

Community & Economic Development 1420 Miner Street, Des Plaines, IL 60016 P: 847.391.5392 | W: desplaines.org

Planning and Zoning Board Agenda June 8, 2021 Room 102 – 7:00 P.M.

Call to Order:

Roll Call:

Approval of Minutes: May 11, 2021

Public Comment: For matters that are not on the Agenda

Old Business: None

New Business:

1. Address: 69-79 Broadway Street Case Number: 21-009-CU

The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to locate a Commercially Zoned Assembly Use at 69-79 Broadway Street in the C-3 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-07-418-016-0000; -017; -018; -019

Petitioner: Steven Bonica, 732 W. Algonquin Road, Arlington Heights, IL 60005

Owner: Gerald J. Meyer, 108 W. Sunset Road, Mount Prospect, IL 60056

2. Address: 1418-1424 Wedgewood Avenue Case Number: 21-014-TPLAT-V

The petitioner is requesting the following items: (i) a Tentative Plat of Subdivision under Section 13-2-2 of the Subdivision Regulations to split an existing lot into two new lots of record; (ii) a Standard Variation under Section 12-7-2(J) of the Des Plaines Zoning Ordinance, as amended, to allow a lot width of 50-feet where a minimum lot width of 55-feet is required in the R-1 zoning district; and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-19-405-009-0000

Petitioner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010

Owner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010

3. Addresses: 1316 Webford Avenue Case Number: 21-016-V

The petitioner is requesting a Major Variation under Section 12-8-1(C) of the Des Plaines Zoning Ordinance, as amended, to allow for the installation of an 897-square foot detached garage where the maximum detached garage

area is 720-square feet in the R-1 zoning district, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-17-306-028-0000

Petitioner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60018

Owner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60018

Next Agenda – June 22, 2021

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

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DES PLAINES PLANNING AND ZONING BOARD MEETING May 11, 2021 MINUTES

As the City of Des Plaines continues to follow social distancing requirements and Governor Pritzker's Restore Illinois Order, the Planning and Zoning Board Meeting on Tuesday, May 11, 2021 was held virtually, via Zoom, and in person in Room 101 of the Des Plaines Civic Center beginning at 7:00 p.m.

ZONING BOARD

Chairman Szabo called the meeting to order at 7:02 p.m. and read this evening's cases. Roll call was established.

PRESENT: Fowler, Hofherr, Saletnik, Veremis, Szabo

ABSENT: Bader, Catalano

ALSO PRESENT: Michael McMahon/Director/Community & Economic Development

Jonathan Stytz, Planner/Community & Economic Development

Wendy Bednarz/Recording Secretary

A quorum was present.

PUBLIC COMMENT

There was no Public Comment.

APPROVAL OF MINUTES

A motion was made by Board Member Hofherr, seconded by Board Member Saletnik, to approve the minutes of March 23, 2021, as presented.

AYES: Hofherr, Saletnik, Fowler, Veremis, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED UNANIMOUSLY

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OLD BUSINESS

NEW BUSINESS

1. Address: 1011 E Touhy Ave Case Number: 21-007-CU

Public Hearing

The petitioner is requesting a Conditional Use Amendment under Section 12-8-5(G) of the 1998 Des Plaines Zoning Ordinance, as amended, to expand the existing commercial mobile radio service facility at the subject property in the C-2 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-32-101-022-0000

Petitioner: Sheronica Chase, 10700 W. Higgins Road, Suite 240, Rosemont, IL 60018

Owner: Larry Goodman, ADM2, LLC, 999 E. Touhy Avenue, Suite 510, Des Plaines, IL 60018

Chairman Szabo swore in Sheronica Chase, petitioner for the case, via Zoom. Ms. Chase provided an overview of the request and explained that T-Mobile has existing equipment on the property, and the request is for a conditional use amendment to upgrade the current equipment. Ms. Chase stated that the new antennas are shorter than the current ones, and will not be visible from the street by the current screening.

Chairman Szabo asked if the Board had any questions.

Member Saletnik clarified that the antennas will be on the roof of the building at 1011 E Touhy, and not adding any additional height. Ms. Chase responded that the new equipment is in the same range, and there will be no change to visibility.

Chairman Szabo asked if there were any questions or comments from the audience. There were no comments or questions.

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(F)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for an expansion of an existing Commercial Mobile Radio Service Facility Use in the C-2 zoning district.

Analysis:

Address: 1011 E. Touhy Avenue

Owners: Larry Goodman, ADM, LLC, 999 E. Touhy Avenue, Suite 510, Des Plaines,

IL 60018

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Petitioner: Sheronica Chase, T-Mobile, 10700 W. Higgins Road, Des Plaines, IL

60018

Case Number: 21-007-CU

Real Estate Index

Number: 09-32-101-022-0000; -023

Ward: #5, Alderman Carla Brookman

Existing Zoning: C-2, Limited Office Commercial District

Existing Land Use: Multi-Tenant Commercial Building

Surrounding Zoning: North: C-2, Limited Office Commercial District

South: M1, Limited Manufacturing/Business Park District (City of

Chicago)

East: C-2, Limited Office Commercial District

West: M1, Limited Manufacturing/Business Park District (City of

Chicago)

Surrounding Land Use: North: Multi-tenant Office Building (Commercial)

South: Business Park (Industrial)
East: Hotel (Commercial)
West: Business Park (Industrial)

Street Classification: East Touhy Avenue is classified as a Principal Arterial and Lee Street is

classified as a Minor Arterial.

Comprehensive Plan: The Comprehensive Plan designates this site as Commercial.

Project Description: ___ The petitioner, Sheronica Chase on behalf of T-Mobile, has requested a

Conditional Use Permit to expand an existing Commercial Mobile Radio Service Facility located on the roof of a multi-tenant office building at 1011 E. Touhy Avenue. The subject property is located within the C-2, Limited Office Commercial district and a roof-mounted Commercial Mobile Radio Service Facility is a conditional use with the C-2 zoning district. The subject property consists of two lots with a multi-tenant office building and a surface parking area as shown in the Plat of Survey. The subject property is located along East Touhy Avenue and Lee Street just north of the I-90 tollway. It is currently accessed by a service road off

Lee Street with six curb cuts.

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1011 E Touhy Ave

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> The existing Commercial Mobile Radio Service Facility was originally approved through Ordinance Z-9-99 for AT&T Wireless Services, Inc. to install three sectors, one on the northeast, southeast, and southwest corners of the roof, totaling twelve antennas on the roof of the existing office building. On December 6, 2000, a Conditional Use Amendment was approved through Ordinance Z-26-00 for Sprint PCS to allow for the installation of three sectors, one on the southeast corner and two on the northwest corners of the roof, totaling twelve new antennas. The current Commercial Mobile Radio Service Facilities are identified on the Site Plan (Attachment 5). The petitioner wishes to modify the existing Commercial Mobile Radio Service Facility by upgrading existing antennas and adding new equipment on the northwest and southeast antenna sectors roof of the office building based on the Antenna Details. Please see the Project Narrative for more details. The modification of the existing Commercial Mobile Radio Service Facility requires an amendment to the current Conditional Use for the property located in the C-2 zoning district pursuant to Section 12-8-5(G) of the Des Plaines Zoning Ordinance.

Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

Future Land Use Plan:

- This property is designated as Commercial on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial and the existing building contains multiple tenant spaces, the petitioner will work to enhance the coverage of the existing Commercial Mobile Radio Service Facility for the region and provide adequate screening of all antennas and related equipment to reduce any negative impacts.
- The subject property is located along the defined Touhy Avenue commercial corridor with a multi-tenant office building to the north, commercial hotel to the east, and industrial business park and O'Hare Airport to the south. The subject property contains a multitenant building with a variety of different commercial uses and is located in between large, established commercial and industrial developments along Touhy Avenue and Lee Street. The request would assist in the improvement of existing communication facilities on site to improve coverage for users in the area.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing utility and communication facilities throughout Des Plaines.

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Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

<u>Comment</u>: A roof-mounted Commercial Mobile Radio Service Facility is a Conditional Use in the C-2, Limited Office Commercial District. Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

<u>Comment:</u> The Comprehensive Plan strives to support the installation and improvement of communication, transportation, and utility facilities throughout the region. The proposal would provide necessary improvements to the existing Commercial Mobile Radio Service Facility to enhance coverage in the area and services to residents in the area. Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facilities on the roof of the office building have been designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with buildings on neighboring properties, as these types of facilities are located on buildings of similar size and appearance in Des Plaines. Additionally, these facilities have been screened to reduce the negative impact of the antennas and related equipment pursuant to design regulations in Section 12-8-5 of the Des Plaines Zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility is not hazardous and does not currently disturb neighboring properties since the facilities are located on top of the building, are screened from view from the street, and are operated without personnel. Since these facilities are typically accessed only for regular maintenance, repairs, and upgrades of equipment, the operation of the facilities do not have adverse effects on neighboring uses. Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility is currently served by adequate public facilities and services as there are currently six entrances to the subject property off Lee Street. The proposal would not change the existing public facilities and services. Please see the petitioner's responses

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to Standards for Conditional Uses.

F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility does not create excessive additional requirements at the public's expense, as it is installed on the existing building on the subject property and utilizes the same utilities and services already present on site. Please see the petitioner's responses to Standards for Conditional Uses.

G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility is located on the roof of the existing multi-tenant office building and self-contained to minimize any excessive production of noise, smoke fumes, glare, and odors. These existing facilities do not have any impact on traffic of the existing site. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility does not have any impact of vehicular access to the subject property since the facilities are installed on the roof of the building. The proposal will not affect any existing vehicular access to the site. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

<u>Comment:</u> The subject property is already developed with a multi-tenant office building and the existing Commercial Mobile Radio Service Facilities. Thus, the proposal will not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

<u>Comment:</u> The existing Commercial Mobile Radio Service Facility complies with all additional regulations of the Zoning Ordinance. The proposal will also meet all other regulations in the Zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for the modification of an existing Commercial Mobile Radio Service Facility at 1011 E. Touhy Avenue based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E)

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(Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance with the condition that drawings may have to be amended to comply with all applicable codes and regulations.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use amendment for the modification of an existing Commercial Mobile Radio Service Facility at 1011 E. Touhy Avenue. The City Council has final authority on the proposal.

A motion was made by Board Member Hofherr, seconded by Board Member Saletnik, to recommend approval of the a Conditional Use Amendment under Section 12-8-5(G) of the 1998 Des Plaines Zoning Ordinance, as amended, to expand the existing commercial mobile radio service facility at the subject property in the C-2 zoning district, with the one condition, as presented:

AYES: Hofherr, Saletnik, Fowler, Vermis, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED UNANIMOUSLY

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2. Address: 1628 Rand Rd Case Number: 21-008-CU

Public Hearing

T The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a trade contractor use in the C-3 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-16-104-022-0000

Petitioner: Art Investment, 2020 Berry Lane, Des Plaines, IL 60018

Owner: Elliott Kratz, 2401 North Janssen Avenue, Unit 301, Chicago, IL 60614

Chairman Szabo swore in Urszula Topolewick of 2020 Berry Lane, Des Plaines, IL 60018, representing the Petitioner.

Ms. Topolewick provided an overview of the request; she stated the request is for a granite sales establishment, with a showroom, a warehouse, and a shop, which includes a space for cutting and polishing the granite. Ms. Topolewick stated that all of these actions would take place inside, on site.

Chairman Szabo asked if there were any questions or concerns from neighbors. The Petitioner did not have any questions from neighbors and staff did not receive and comments from the Public Notice.

Chairman Szabo asked if the Board had any questions.

Member Veremis stated the location seems ideal for her type of business, Ms. Veremis asked about the status of the current parking lot. The Petitioner stated that the parking lot would be repaired, once the conditional use was approved. The Petitioner has a question regarding a fence that will be addressed at the building permit level.

Chairman Szabo went over the conditions of the request. The conditions are as follows:

- 1. The petitioner shall revise the Site Plan/Floor Plan to include landscape details in conformance with Section 12-10 of the Zoning Ordinance within 60 days of City Council approval.
- That an eight foot tall wood privacy fence is installed along the north property line in conformance with Section 12-8-2 of the Zoning Ordinance within 60 days of City Council approval.
- 3. No vehicles or materials shall be stored within the required drive aisles or customer parking spaces at any time.
- 4. No outside storage of raw materials or fabricated goods permitted on site.

Chairman Szabo asked if were any questions or concerns form the public. There were no questions.

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Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1628 Rand Road.

Analysis:

Address: 1628 Rand Road

Owners: Elliott Katz, 2401 N. Janssen Avenue, Unit 301, Chicago, IL 60018

Petitioner: Peter Topolewick, 2020 Berry Lane, Des Plaines, IL 60018

Case Number: 21-008-CU

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Number: 09-16-104-022-0000

Ward: #1, Alderman Mark A. Lysakowski

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant Building

Surrounding Zoning: North: R-1, Single Family Residential District

South: C-3, General Commercial District
East: C-1, Neighborhood Shopping District
West: C-3, General Commercial District

Surrounding Land Use: North: Single Family Residences

South: Columbus Foods & Liquors (Commercial)

East: Apartment Building (Residential)

West: Our Lady of Fatima Center (Commercial)

Street Classification: Rand Road is classified as a Minor Arterial road and Grove Avenue is

classified as a Local street.

Comprehensive Plan: The Comprehensive Plan designates this site as Commercial.

Project Description: The petitioner, Peter Topolewick, owner and operator of House of

Granite and Marble Co., has requested a Conditional Use Permit to for a

Trade Contractor use, at 1628 Rand Road. The subject property is located within the C-3, General Commercial district and a Trade

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> Contractor is a conditional use in the C-3 zoning district. The subject property contains a single-tenant building with an off-street surface parking area on the west side of the property and on-street parking area along Grove Avenue on the east side of the property as shown in the Plat of Survey. The subject property is located along Rand Road at the northwest corner of the Rand Road/Grove Lane intersection. The subject property is currently accessed by three curb cuts, two off Rand Road and one off Grove Lane.

The existing one-story, 14,604-square foot building consists with a front customer entrance in the front and a separate shop area in the rear. The petitioner wishes to utilize the front portion of the building as an office/showroom area and the rear portions of the building as a material warehouse and fabrication room based on the Site Plan/Floor Plan. The petitioner's proposal does not include any changes to the building. However, the petitioner does plan to add landscaping in front of the building and along Rand Road. Staff has added a condition that the Landscape Plan will be updated to provide landscape details proposed for the subject property. The dumpster for this suite will be stored in the northwest corner of the site in compliance with Section 12-10-11 of the Des Plaines Zoning Ordinance.

The proposed Floor Plan includes a 2,000-square foot office/showroom space and 12,604-square foot warehouse space. The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every 250 square feet of gross floor area for office spaces; and
- One parking space for every 1,500 square feet of gross floor area for warehouse space.

Thus, a total of 17 off-street parking spaces are required including one handicap accessible parking space (2,000-square feet of office space / 2500-square feet; and 12,604-square feet / 1,500-square feet = 17 parking spaces). The Site Plan/floor Plan proposes 17 total parking spaces on the property, including a handicap accessible space, which meets this requirement.

House of Granite and Marble Co will be open on Monday through Saturday from 8:30 pm to 6:00 pm. The warehouse portion of the building will be open Monday through Saturday from 7:15 am to 6 pm. Their services will include the sale, fabrication, and installation of stone, granite, quartz, kitchen cabinets, sinks, faucets, counter tops, vanities, and shower glass. A maximum of twelve employees will be on site at a given time. Please see the Project Narrative (Attachment 1) for more details.

Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

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Future Land Use Plan:

- This property is designated as Commercial on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial, the petitioner will work to enhance the subject property by renovating the existing building and installing landscaping along Rand Road and the front of the building. All activities and items stored will be inside to reduce any negative impacts.
- The subject property is located along the defined Rand Road commercial corridor with single-family residences to the north, multi-family residences to the east, and commercial development to the south and the west. The subject property contains a single-tenant building located in between established commercial developments along Rand Road. The request would assist in the retention of a new commercial business at this location and provide additional retail goods and services for the residents of Des Plaines.

Landscaping and Screening:

- The Comprehensive Plan seeks to encourage and actively pursue beautification opportunities and efforts, including the installation of landscaping, street furniture, lighting, and other amenities, to establish a more attractive shopping environment and achieve stronger corridor identity in Des Plaines.
- The existing site does not contain landscaping. However, the proposal seeks to add perimeter parking lot landscaping along Rand Road and foundation landscaping along the building where applicable to improve the aesthetics of the site.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

<u>Comment</u>: The proposed use is classified as a Trade Contractor use. A Trade Contractor is a Conditional Use in the C-3 zoning district. Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

<u>Comment:</u> The proposed Trade Contractor use assists in providing a service-oriented use that primarily serve day-to-day needs of local residents by increasing commercial opportunities for residents in Des Plaines. Additionally, the subject property is located near the Mannheim Road commercial corridor,

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which is identified as a major corridor in Des Plaines. Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

<u>Comment:</u> The proposed Trade Contractor use is designed, constructed, operated, and maintained to be harmonious and appropriate in appearance to surrounding commercial uses as the new business will transform the existing vacant building into a new commercial use. The proposal includes enhancements to the site as a whole including an interior building remodel, the addition of landscaping, and improvements to the parking area. Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

<u>Comment:</u> The proposed Trade Contractor use will be not hazardous or distributing to neighboring uses as all activities, including the fabrication of materials, will take place inside the building. The proposal will include landscaping and screening to minimize the impact of the proposed use on neighboring residences to the north and east. Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

<u>Comment:</u> The subject property is served adequately by essential public facilities and services since it is currently accessible by two streets and three total curb cuts as well as necessary public utilities. The proposed Trade Contractor use will not affect the existing public facilities and services for this property. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

<u>Comment:</u> The proposed Trade Contractor use will not create excessive additional requirements at the public expense and will not be detrimental to economic well-being of the community as it will transform a vacant building into a new asset for the City of Des Plaines and can help improve the local economy. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

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<u>Comment:</u> The proposed Trade Contractor use will include the fabrication of materials on site. However, all activities will take place inside the building and appropriate screening will be provided to minimize any excessive production of noise, smoke fumes, glare, or odors. The site will be enhanced to avoid any negative impacts to traffic in the area and ingress/egress of the site. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

<u>Comment:</u> The subject property does not create interference with traffic in the area with the existing access points and configuration. The proposed Trade Contractor use does not intend to alter these access points or the overall configuration of the site. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

<u>Comment:</u> The subject property is currently developed and improved with a building and surface parking area. The proposed Trade Contractor use will not lead to the loss or damage of natural, scenic, or historic features of major importance on this property. Please see the petitioner's responses to Standards for Conditional Uses.

K. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

<u>Comment:</u> The proposed Trade Contractor use will comply with all additional regulations of the zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Trade Contractor use at 1628 Rand Road based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance with the following conditions:

- 1. The petitioner shall revise the Site Plan/Floor Plan to include landscape details in conformance with Section 12-10 of the Zoning Ordinance within 60 days of City Council approval.
- That an eight foot tall wood privacy fence is installed along the north property line in conformance with Section 12-8-2 of the Zoning Ordinance within 60 days of City Council approval.
- 3. No vehicles or materials shall be stored within the required drive aisles or customer parking spaces at any time.
- 4. No outside storage of raw materials or fabricated goods permitted on site.

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Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Trade Contractor use at 1628 Rand Road. The City Council has final authority on the proposal.

A motion was made by Board Member Fowler, seconded by Board Member Hofherr, to recommend approval of a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1628 Rand Road, with the four conditions, as presented:

AYES: Fowler, Hofherr, Saletnik, Veremis, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED UNANIMOUSLY

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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3. Address: 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street

Case Number: 21-012-FPLAT-PUD-A Public Hearing

The petitioner is requesting the following items: (i) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations to resubdivide a portion of the existing Metropolitan Square Planned Unit Development (PUD) into three lots; and (ii) an amendment to an existing PUD pursuant to Section 12-3-5 of the Des Plaines Zoning Ordinance, as amended, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-17-411-015-0000; 09-17-411-016-0000; 09-17-414-021-0000

Petitioner: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248 **Owner:** T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Chairman Szabo swore in the following individuals via Zoom: Steve Bauer, attorney for applicant of 300 S. Wacker Dr. Suite 3500, Chicago, IL and Dan Joyce, property manager for Metropolitan Square, via Zoom.

Mr. Bauer stated this item is a housekeeping matter for the final plat of subdivision and final plat. Mr. Bauer went over the plat and the plan to subdivide the property into three lots. Mr. Bauer stated that the shopping center will act and maintain the same; nothing changes to the property besides creating lots. Mr. Bauer stated that he reviewed the staff report with the one condition that revisions may be required based on additional review, Mr. McMahon stated that any changes needed to the plat typically happen when the plat is to be recorded, the ordinance will a provision for any adjustments to the plat needed for technical matters.

Chairman Szabo asked if there were any questions from the Board.

Member Fowler inquired about 636 River and if it was included in the subdivision. Mr. Bauer stated that the building is not owner by T Metro Square IL LLC and not part of the property.

Member Veremis asked if the subdivision would help to populate the empty storefronts, Mr. Bauer stated that this change is net neutral and would not harm or help the property.

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Planned Unit Development Amendment under Section 12-3-5(G) of the Des Plaines Zoning Ordinance, and a Final Plat of Subdivision under Section 13-2 of Subdivision Regulations of the City of Des Plaines Municipal Code, to re-subdivide the Metropolitan Square Planned Unit Development.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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Analysis:

Address: 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market

Street

Owners: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Petitioner: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Case Number: 21-012-FPLAT-PUD-A

Real Estate Index

Numbers: 09-17-411-015-0000; 09-17-411-016-0000; 09-17-414-021-0000

Ward: #1, Alderman Mark Lysakowski

Existing Zoning: C-5, Central Business District

Existing Land Use: Commercial

Surrounding Zoning: North: C-3, General Commercial District

South: C-5, Central Business District

East: R-4, Central Core Residential District/C-5, Central Business District West: R-4, Central Core Residential District/C-3 General Commercial District

Surrounding Land Use: North: Commercial

South: Commercial

East: Commercial; Multi-Family Residential West: Commercial; Multi-Family Residential

Street Classification: Lee Street is classified as an Other Principal Arterial, River Road is classified as a

Minor Arterial, and Perry Street is classified as a Local Street.

Comprehensive Plan: The Comprehensive Plan designates the site as Higher Density Urban Mix with

Residential.

Final Planned Unit Development

Project Description:

The petitioner, T-Metro Square IL, LLC, has requested the following items: (i) a Final Plat of Subdivision to consolidate Lot A in Metropolitan Square Phase 1 with a portion of Lot E in Metropolitan Square Phase 1A, resubdivide Lot A into Lots 1 and 3, and designate a portion of said Lot E as Lot 2; and (ii) amend the existing Planned Unit Development (PUD) for Metropolitan Square to depict the new lot lines. The addresses included in this request are 510 and 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street, which are all located within the C-5, Central Business district.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

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The Metropolitan Square development began on July 21, 2003 through the approval of Resolution R-89-03, which authorized the execution of the "Redevelopment Agreement" between TDC & JFA Des Plaines, LLC and the City of Des Plaines for the Downtown Redevelopment Project. On April 21, 2004, Ordinances Z-14-04 and Z-15-04 were passed allowing a map amendment from C-3 to C-5 and final approval for a Planned Unit Development for the Downtown Redevelopment Project—referred to as the Metropolitan Square Downtown Redevelopment—respectively (Case #03-42-PUD-A). On July 12, 2004, Ordinance Z-30-04 was passed granting a conditional use for a Localized Alternative Sign Regulation (LASR) within a C-3 and C-5 zoning district at 551 Lee Street (Case #04-10-CU-LASR). The Jefferson Street right-of-way, Park Place right-of-way, and certain portions of alleys were vacated through the approval of Ordinance M-21-05 on May 2, 2005. Resolution R-13-06 was approved on February 6, 2006 authorizing the execution of the first amendment to the "Redevelopment Agreement" and granting the map amendment request from C-3 to C-5 zoning.

The proposed requests constitute a major change to the existing PUD pursuant to Section 12-3-5(G) requiring a PUD amendment. The subject properties included in this request consist of 3.46 acres in size, which are currently improved with a grocery store, two multi-unit shopping center buildings, a bank, and a multiple surface parking areas as shown in the Plat of Survey (Attachment 4). The subject properties abut Lee Street, Perry Street, River Road, and Market Street and are currently accessed by multiple curbcuts on Perry Street and River Road. The proposal intends to provide a separate lot for the bank property and designate a portion of Lot E, which includes the existing Metropolitan Square multi-tenant pole sign, as Lot A. However, the petitioner does not propose to change the size of the existing PUD.

Final Plat of Subdivision

Project Description

The petitioner has submitted a revised Final Plat of Subdivision in order to re-subdivide the existing lots into three lots to reflect the change in scope for the redevelopment of this property. The proposed new lot configuration is below:

Final Plat of Subdivision - Lot Matrix

Proposed Lot Number	Proposed/Existing Use	Proposed Land Area	Proposed Acreage
Lot 1	Existing Shopping Center & Grocery Store	140,239 SF	3.219
Lot 2	Multi-tenant Pole Sign	177 SF	0.004
Lot 3	Existing Bank	13,115 SF	0.301

A description of each proposed lot is as follows:

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Lot 1 - The existing Lot A including the existing shopping center buildings and grocery store will be extended into include a portion of Lot E, which contains an existing multi-tenant pole sign.

Lot 2 – This lot encompasses the existing multi-tenant pole sign.

Lot 3 – This lot encompasses the existing bank building.

Compliance with the Comprehensive Plan

There are several parts of the newly adopted Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Future Land Use Map:
 - The property is marked for Higher Density Urban Mix with Residential land uses. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses in the Downtown area. The current use is commercial and the petitioner proposes to retain the existing high density commercial development located on the subject properties. The proposed resubdivision will help clean-up the existing PUD by creating specific lots for the bank building and multi-tenant pole sign.
 - The subject property is located in downtown Des Plaines along the defined Lee Street and River Road commercial corridors with high density commercial and residential development. The request would assist in better defining different uses within the existing PUD and retention of existing commercial businesses and residences at this location.

While the aforementioned bullet points are only a small portion of the Comprehensive Plan, there is a large emphasis on developing and enhancing our commercial corridors and mixed use developments. The applicant is proposing to resubdivide the existing PUD to improve the design and function of the existing uses in downtown Des Plaines.

Planned Unit Development (PUD) Findings

As required, the proposed development is reviewed in terms of the findings contained in Section 3-5-5 of the Zoning Ordinance. In reviewing these standards, staff has the following comments:

A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5-1 and is a stated Conditional Use in the subject zoning district:

Comment: A PUD is a listed conditional use in the C-5 zoning district. The existing PUD meets the stated purpose of the PUD. Additionally, the proposed resubdivision of the subject parcels will enhance the neighboring area, but also be cognizant of nearby land uses. Please also see the responses from the applicant.

B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

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Comment: The existing PUD will be in-keeping with the City's prerequisites and standards regarding planned unit development regulations. Please also see the responses from the applicant.

C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

Comment: The existing PUD is in-line with the intent of a PUD as it contains higher density development and a Localized Alternative Sign Regulation for multiple building and freestanding signage. Aside from this, all other aspects of the revised development proposal comply with the Zoning Ordinance. Please also see the responses from the applicant.

D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

Comment: All provisions for public services, adequate traffic control and the protection of open space are being accommodated in the development. The petitioner is not proposing any changes to existing access points or circulation of the subject properties. Please also see the responses from the applicant.

E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

Comment: The existing PUD complements existing development to the east, west and south as all surrounding properties, are built up with higher density commercial and residential development. Additionally, the existing PUD includes aspects that reduce any impact on the nearby properties as all elements will have to comply with the Des Plaines Subdivision and Zoning Ordinances, which will not change with the proposed resubdivision and PUD amendment request.

F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:

Comment: The existing PUD contributes to an improved physical appearance within the City by providing several commercial services and residential uses for residents in Des Plaines, which contributes positively to the tax base and economic well-being of the community. The proposed resubdivision and PUD amendment request will not change the impact that the Metropolitan Square PUD has on the Downtown area and the City of Des Plaines as a whole. Please also see the responses from the applicant.

G. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

Comment: The proposed development meets the goals, objectives and recommendations of the 2019 Comprehensive Plan. Please also see the responses from the applicant.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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Recommendation: I recommend approval of Final Plat of Subdivision pursuant to 13-2 of the Des Plaines Subdivision Ordinance to resubdivide the existing PUD into three lots of record and amend the existing PUD in the C-5 zoning district at 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street with the condition that drawings may have to be amended to comply with all applicable codes and regulations.

Planning and Zoning Board Procedure: Under Section 13-2-7 (Approval of Final Plat By Planning and Zoning Board) of the Subdivision Ordinance and Section 12-3-5(D)(5) (Approval of Final Plat for Planned Unit Developments), the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned Final Plat of Subdivision and PUD amendment requests for the Metropolitan Square PUD. The City Council has final authority over the proposal.

A motion was made by Board Member Saletnik, seconded by Board Member Veremis to approve the (i) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations to resubdivide a portion of the existing Metropolitan Square Planned Unit Development (PUD) into three lots; and (ii) an amendment to an existing PUD pursuant to Section 12-3-5 of the Des Plaines Zoning Ordinance, with the one condition, as presented.

AYES: Saletnik, Veremis, Fowler, Hofherr, Szabo

NAYES: None

ABSTAIN: None

***MOTION CARRIES ***

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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4. Addresses: 1470-1476 Miner Street Case Number: 21-013-CU

Public Hearing

The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a commercially-zoned assembly use for a theatre in the C-5 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-17-415-010-0000

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016 **Owner:** City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Chairman Szabo swore in Director Michael McMahon, City of Des Plaines, who provided an overview of the request and staff report. Mr. McMahon stated that the request was for an assembly use (theater) in a commercially zone property.

Mr. McMahon stated that the theater has been dark for approximately ten years and the City has been working throughout the past few years to get the theater up and running. City work on the theater should be completed in June, the property will then be turned over to Mr. Ron Onesti for additional buildout. Optimistically, the theater should receive occupancy in August along with the state of Illinois entering Phase 5 of the Restoration Plan.

Mr. McMahon stated that the theater would meet the parking requirements with a mix of off-street parking, the Metropolitan Square parking garage and the new Municipal parking garage.

Member Hofherr inquired about the number of employees, Mr. McMahon stated that Mr. Onesti expects as many as 50 employees, including kitchen staff, front of house, valet, theater employees, etc.

Member Hofherr inquired about the showing of movies, Mr. McMahon stated that the original plan was to install a roll down screen to view films, however, he was unsure if that was still part of the current construction plans.

Member Fowler asked about elevators. Mr. McMahon stated that elevators were installed from the kitchen (basement) to the second floor, an additional dumbwaiter was also installed for the ease of food transport.

Chairman Szabo inquired about the Municipal parking garage, Mr. McMahon stated the garage will have public parking after a certain time of day (5:00 pm or 6:00 pm). Police vehicles will have secured access and underground parking.

Member Veremis asked if booking for the theater has started. Mr. McMahon stated that booking for the theater has not begun and will be handled by Mr. Onesti. Mr. Onesti was originally a consultant for the City, but will also be managing the theater and booking through his contacts.

Member Saletnik wanted to congratulate the City on a job well done.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Commercially Zoned Assembly use in the C-5 zoning district at 1470-1476 Miner Street.

Analysis:

Address: 1470-1476 Miner Street

Owners: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60018

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60018

Case Number: 21-013-CU

Real Estate Index

Number: 09-17-415-010-0000

Ward: #1, Alderman Mark A. Lysakowski

Existing Zoning: C-5, Central Business District

Existing Land Use: Des Plaines Theater

Surrounding Zoning: North: C-5, Central Business District

South: C-5, Central Business District East: C-5, Central Business District West: C-5, Central Business District

Surrounding Land Use: North: Metropolitan Square (Commercial)

South: Retail Store/Cleaners/Physical Therapy Office (Commercial)

East: Law Office (Commercial)

West: Bakery/Insurance Agency/Salon (Commercial)

Street Classification: Miner Street is classified as a Minor Arterial and Lee Street is classified as

an Other Principal Arterial.

Comprehensive Plan: The Comprehensive Plan designates this site as Higher Density Urban Mix

with Residential.

Project Description: The petitioner, City of Des Plaines, has requested a Conditional Use

Permit to operate a Commercially Zoned Assembly use, Des Plaines Theater, at 1470-1476 Miner Street. The subject property is located within the C-5, Central Business district and a Commercially Zoned Assembly use is a conditional use in the C-5 zoning district. The subject

Case 21-007-CU Case 21-008-CU Case 21-012-FPLAT-PUD-A

Case 21-013-CU

Various Addresses 1470-1476 Miner St

1628 Rand Rd

1011 E Touhy Ave

Conditional Use Conditional Use Final Plat of Subdivision/PUD Amendment **Conditional Use**

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> property contains a two-story building with on-street parking in the front, accessory parking area at the rear, and access to additional off-street covered parking in the Metropolitan Square garage located north of the subject property as shown in the Plat of Survey. The subject property is located along Miner Street at the northeast corner of the Miner Street/Lee Street intersection. The subject property is located in Downtown Des Plaines and is currently accessed via on-street parking along Miner Street and via the alley located behind the subject property.

> The existing two-story, 14,214-square foot building consists of a front entry area, multi-level theater seating area, and multiple restrooms. The petitioner has completely remodeled the interior of the existing building to renovate the multi-level theater area, add a restaurant, and add a bar area on the second story based on the Floor Plan. The petitioner's proposal does not include any changes to the outside of the building with the exception of tuck-pointing and the refurbishment of the existing marquee sign. The dumpster for this suite will be stored inside the building except trash collection days. The Des Plaines Theater will be open on Monday through Sunday from 11 am to 2 am. A maximum of 50 employees will be on site at a given time. Please see the Project Narrative for more details.

The proposed Floor Plan for the two-story building is as follows:

- First Floor includes the 712-seat main theater area, an 814square foot, 62-seat dining area with bar, a 560-square foot lobby area, 488-square foot lounge/waiting area, and restrooms; and
- Second floor includes a 1,682-square foot, 112-seat dining area with bar, upper level theater seating area, and restrooms.

The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every five seats in the main auditorium, sanctuary, nave, or similar place of assembly and other rooms which are to be occupied simultaneously; and
- One parking space for every 100-square feet of net floor area, or one space for every four seats, whichever is greater, plus space for every three employees for restaurants.

Thus, a total of 199 off-street parking spaces are required including six handicap accessible parking spaces. The existing building will utilize the available public parking in the Metropolitan Square Garage to meet all parking requirements.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

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Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

Future Land Use Plan:

- This property is designated as Higher Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses. While the current use is commercial, the petitioner has enhanced the subject property by renovating the existing building to make it an asset in the Downtown Area and City of Des Plaines as a whole.
- The subject property is located along the defined Miner Street corridor in downtown Des Plaines surrounded by higher density commercial and residential development. The request would transform the existing Des Plaines Theater into a prime destination and assist in promoting a vibrant entertainment and restaurant district in the Downtown area.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

<u>Comment:</u> Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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adequately any such services:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

L. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

<u>Comment:</u> Please see the petitioner's responses to Standards for Conditional Uses.

M. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Commercially Zoned Assembly use at 1470-1476 Miner Street based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Commercially Zoned Assembly use at 1470-1476 Miner Street. The City Council has final authority on the proposal.

Case 21-012-FPLAT-PUD-A Various Addresses Final Plat of Subdivision/PUD Amendment

Case 21-013-CU 1470-1476 Miner St Conditional Use

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A motion was made by Board Member Veremis, seconded by Board Member Fowler, to approve a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a commercially-zoned assembly use for a theatre in the C-5 zoning district, as presented.

AYES: Veremis, Fowler, Hofherr, Saletnik, Szabo

NAYES: None

ABSTAIN: None

***MOTION CARRIES ***

ADJOURNMENT

The next scheduled Planning & Zoning Board meeting is Tuesday, May 25, 2021.

Chairman Szabo adjourned the meeting by voice vote at 7:51 p.m.

Sincerely,

Wendy Bednarz, Recording Secretary

cc: City Officials, Aldermen, Zoning Board of Appeals, Petitioners



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

MEMORANDUM

Date: May 27, 2021

To: Planning and Zoning Board

From: Jonathan Stytz, Planner 35

Cc: Michael McMahon, Community & Economic Development Director

Subject: Consideration of Conditional Use for a Commercially Zoned Assembly Use at 69-79

Broadway Street, Case #21-009-CU (7th Ward)

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Commercially Zoned Assembly use in the C-3 zoning district at 69-79 Broadway Street.

Analysis:

Address: 69-79 Broadway Street

Owners: Steven Bonica, 732 W. Algonquin Road, Arlington Heights, IL 60005

Petitioner: Harriet Denisewicz, Chicago Title Land Trust Company, 10 S. LaSalle Street,

Suite 2750, Chicago, IL 60604

Case Number: 21-009-CU

Real Estate Index

Numbers: 09-07-418-016-0000; -017; -018; -019

Ward: #7, Alderman Patsy Smith

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant Building

Surrounding Zoning: North: C-3, General Commercial District

South: C-3, General Commercial District

East: R-1, Single Family Residential District West: C-3, General Commercial District

Surrounding Land Use: North: Vacant Building

South: Multi-Unit Residential Building East: Single Family Residences

West: Electrician (Commercial)/Vacant Building

Street Classification: Broadway Street is classified as a Local Street.

Comprehensive Plan: The Comprehensive Plan designates this site as Higher Density Urban Mix with

Residential.

Project Description:

The petitioner, Steven Bonica, has requested a Conditional Use Permit to operate a Community Center, Romanian Heritage Center NFP, at 69-79 Broadway Street. A community center is classified as a Commercially Zoned Assembly use, which is a conditional use in the C-3, General Commercial District. The subject properties are located within the C-3 zoning district, along Broadway Street between Cumberland Circle and the Cumberland Metra Station. The four subject properties contain a multi-unit, one-story building spanning all four lots, each with a separate PIN, with on-street parking in the front and a small accessory parking area at the rear as shown in the Plat of Survey for 69-73 Broadway Street (Attachment 4), the Plat of Survey for 75-79 Broadway Street (Attachment 5), and the following table.

Address	PIN	Zoning District
69 Broadway Street	09-07-418-019-0000	C-3, General Commercial
73 Broadway Street	09-07-418-018-0000	C-3, General Commercial
75 Broadway Street	09-07-418-017-0000	C-3, General Commercial
79 Broadway Street	09-07-418-016-0000	C-3, General Commercial

The petitioner plans to completely remodel the interior of the existing building to locate a library/multi-purpose room, office areas, inaccessible Romanian heritage exhibit areas, conference room, kitchen area, restrooms, and storage areas based on the Floor Plan (Attachment 7). The petitioner's proposal does not include any changes to the outside of the building with the exception of new landscaping and signage at the front of the building. The dumpster for this suite will be stored inside the building except on trash collection days. The Romanian Heritage Center NFP will be open on Monday through Friday from 8 am to 7 pm as a research and tutoring center, as denoted in the Proposed Activities, Programs, and Parking Plan (Attachment 8) and the Proposed Schedule of Activities (Attachment 9). A maximum of two to three employees will be on site at a given time hosting a maximum of eight to ten sessions throughout the week with up to twelve students per session. This location will host evening meetings for the Board of Directors and Leadership Advisory Council with up to 20 people and various events once or twice a month. The proposed events include fellowship groups, commemorative and cultural events, exhibitions, concerts, community meetings, conferences, and seminars that are coordinated with the nearby Romanian Baptist Church of Chicago located at 484 E. Northwest Highway. See the Project Narrative (Attachment 1) for more details.

The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for 200-square feet of gross activity area for community centers, banquet halls, and membership organizations; and
- One parking space for every 250-square feet of gross floor area for office areas.

Thus, a total of 19 off-street parking spaces are required including one handicap accessible parking space. The Site Plan (Attachment 6) shows the proposed parking area at the rear of the building, which is designed to accommodate 13 parking spaces and one handicap parking on the subject property. The petitioner intends to utilize a portion of the parking lot at the nearby Romanian Baptist Church of Chicago located at 484 E. Northwest Highway to accommodate the remaining required spaces and for monthly or bimonthly events. The proposal also includes the utilization of a valet service to address parking concerns, especially during events where 50-100 patrons could be in attendance. Staff has added a condition that the petitioner must obtain, execute, and submit a collective parking agreement with the nearby Romanian Baptist Church to staff to address all parking requirements pursuant to Sections 12-9-3 and 12-9-7 of the Des Plaines Zoning Ordinance.

Compliance with the Comprehensive Plan

The proposed project, including the proposed site improvements, addresses various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

• Future Land Use Plan:

- O This property is designated as Higher Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses. While the proposed use does not have a retail component, the petitioner will enhance the subject property by renovating the existing vacant building to make it an asset in the City of Des Plaines as a whole.
- O The subject property is located along Broadway Street near the defined Northwest Highway and Golf Road commercial corridors in Des Plaines surrounded by commercial and residential development. The request would transform the existing vacant building into a community center that could help bridge the gap between the residences and commercial development in this area and bring benefits to the community as a whole.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

<u>Comment</u>: The proposed community center is classified as a Commercially Zoned Assembly use. A Commercially Zoned Assembly use is a conditional use in the C-3 zoning district. Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

<u>Comment:</u> The proposed community center repurposes an existing vacant building, which helps to achieve the goal of the Comprehensive Plan to foster and improve commercial developments. This proposal can also provide another asset to the community through the promotion of cultural diversity, which the Comprehensive Plan strives to preserve and foster. Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

<u>Comment:</u> The proposed community center will not redevelop the existing vacant building in a way that would not be harmonious and appropriate in appearance to surrounding development since the petitioner does not plan to alter the building's exterior. Instead, the proposal includes additional landscaping in front of the building and parking area improvements at its rear to improve the aesthetic appearance of the property. Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

<u>Comment:</u> The proposed community center will not be hazardous or disturbing to the existing neighborhood uses since all of its operations will take place inside the building. The petitioner has proposed off-street parking spaces at the rear of the building and will provide a collective parking agreement with the nearby Romanian Baptist Church to utilize a portion of their parking spaces to meet parking standards and handle any overflow parking during events. Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

<u>Comment:</u> The existing building is adequately served by essential public facilities and services through property access from a rear alley, on street parking in the front, and municipal services. Staff does not feel that the proposed community center will alter the existing service of this property. Please see the petitioner's responses to Standards for Conditional Uses.

F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

<u>Comment:</u> The existing building does not create excessive additional requirements at the public expense for public facilities and services. Staff does not feel that the proposed community center will create excessive additional requirements for public facilities and service, as the size and location of the existing building remain the same. Please see the petitioner's responses to Standards for Conditional Uses.

G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

<u>Comment:</u> The proposed community center operations will not produce excessive production of traffic, noise, smoke fumes, glare, or odors since all operations will take place inside the building and consist of smaller groups of people. The anticipated events that will occur on occasion once or twice during the month will be scheduled and planned in coordination with the Romanian Baptist Church to ensure adequate parking is provided. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

<u>Comment:</u> The proposed community center will have parking and property access concentrated at the rear of building with some parking in the front of the building. Staff feels that the proposed parking and access to the site is sufficient during normal operations, but has required a collective parking agreement to be established and executed between the proposed Romanian Heritage Center NFP to accommodate events with larger vehicular and pedestrian traffic. The proposal includes the use of a valet to allow patrons to drop off their vehicle on site and have it parked in the existing Romanian Baptist Church parking lot during events. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

<u>Comment:</u> The proposed community center will not result in the destruction, loss, or damage of natural, scenic, or historic features since the property is already developed with the building and parking area. In addition, the subject building is not listed as a historic significant structure. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

<u>Comment:</u> The proposed community center will comply with all other regulations in the Zoning Ordinance. The conditional use for the Commercially Zoned Assembly use will be the only entitlement necessary for the proposed community center request as presented. Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Commercially Zoned Assembly use at 69-79 Broadway Street based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Commercially Zoned Assembly use at 69-79 Broadway Street. The City Council has final authority on the proposal.

Attachments:

Attachment 1: Project Narrative

Attachment 2: Petitioner's Reponses to Standards

Attachment 3: Location Map

Attachment 4: Plat of Survey for 69-73 Broadway Street Attachment 5: Plat of Survey for 75-79 Broadway Street

Attachment 6: Site Plan Attachment 7: Floor Plan

Attachment 8: Proposed Activities, Programs, and Parking Plan

Attachment 9: Proposed Schedule of Activities

Attachment 10: Site and Context Photos

ROMANIAN HERITAGE CENTER NFP



732 W. Algonquin Rd., Arlington Heights, IL 60005 Tel. (847) 477-3498 | Email: roheritagecenter@gmail.com

March 26, 2021

To: City of Des Plaines

1420 Miner Street Des Plaines, IL 60016

Attn: Jonathan Stytz - Planner

Re: Application for Conditional Use for Assembly Use

69-73 and 75-79 N. Broadway

Dear Mr. Jonathan Stytz,

On behalf of the Board of Directors of the Romanian Heritage Center NFP, I kindly ask for consideration of our Application for Conditional Use for the two properties captioned above.

Our organization is currently under contract to purchase both of these properties and we plan to completely renovate the interior of the building to suit our purposes, while we will also clean and recondition the exterior to its original beauty. On a second phase we are also looking to add a Glass Vestibule in the front of the building to further enhance and modernize its look.

Our organization will primarily have activities Monday thru Friday from 8 am to 7 pm that are limited to the use of the Library Room as a research and tutoring center, having 2-3 employees at a time in the building and a maximum of 12 students per session, with max. 8-10 sessions per week. We will also have occasional meetings in the evening, of the Board of Directors and of our Leadership Advisory Council, with an anticipated participation of 20 people, once or twice a month.

Furthermore, we will occasionally have larger community events for the purpose of advancing our organization's purposes, such as: fellowship groups, commemorative and cultural events, exhibitions, concerts, community meetings, seminars, and conferences. We anticipate having these events twice a month in the beginning, and later on once a week at max., during the weekends. Planning of these events is going to be coordinated also with our neighboring Romanian Baptist Church, which will permit us to use their parking lot for overflow if needed. In such instances we will be hiring valet parking attendants or will use a couple of the Romanian Churches shuttle vans.

For all other details, I kindly bring your attention to the attached documentation, including the presentation of our project. Should you need more information, please do not hesitate to contact me. We thank you for your attention and consideration.

On behalf of the Board of Directors,

President / Executive Director



COMMUNITY AND ECONOMIC DEVELOPMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5306 desplaines.org

STANDARDS FOR CONDITIONAL USES

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Conditional Use in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly (two to three sentences each).

- 1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;
 - a. We have consulted with Mr. Jonathan Stytz, Planner for the City of Des Plaines, about having the Romanian Heritage Center obtain an occupancy permit and applicable approvals required for functioning in the subjected building and he determined that our use qualifies as a "Commercially Zoned Assembly Use", and that a Conditional Use Application was required.
 - b. We have reviewed the zoning code and the table of uses and we have noted that there are other not-for-profit entities as well as non-commercial uses permitted already, by right, in the zoning district. Included in this list are libraries and media and print establishments, which are uses similar to the activities we will engage in. Our library will occasionally have public functions and host events on special occasions, mostly in the evenings and weekends. Otherwise, our regular use of the facilities will be as a reading room and research center with a limited attendance and only 2 or 3 employees in the facility at one time.
 - c. In addition to all of this, the Romanian Heritage Center NFP is a faith based religious organization and our assembly use in the zoning district is protected by the Religious Land Use and Institutionalized Persons Act, which requires among other things, that municipalities provide religious entities equal treatment and not impose zoning laws that substantially burden the religious exercise of religious assemblies.
- 2. The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

The Board of Directors of the Romanian Heritage Center was very pleased to find out that the City of Des Plaines has established a 10-year vision of this community's desired physical environment, seeking to not only explore but also to promote new opportunities that reflect changes in the community and surrounding socioeconomic landscape.

We were further encouraged after reading Chapter 6 (Diversity & Inclusion) of the Des Plaines Comprehension Plan, which in its Vision Statement states that:

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"The City of Des Plaines welcomes and celebrates its rich cultural history, drawing from its legacy as an immigrant-friendly community. By supporting and providing comprehensive resources for immigrant families and minority-owned businesses, Des Plaines will be primed to continue developing as a vibrant diverse community." (Des Plaines Comprehensive Plan, page 49)

There are already a few businesses in the City of Des Plaines owned and/or managed by Romanian-Americans, all establishments contributing to the Des Plaines economy. The Romanian Heritage Center will further attract other businesses and investors to the City of Des Plaines, enabling our ethnic group to make a larger positive economic impact.

We totally agree with the recommendation in the Des Plaines Comprehensive Plan which states:

"Des Plaines should continue to celebrate and incorporate its rich cultural diversity by preserving the very things that makes it special: its people, character, and diversity. By celebrating the different backgrounds of its residents, there is an opportunity to create a stronger sense of community." (Des Plaines Comprehensive Plan, page 49)

We are certain that through the educational programs, the youth programs and services, and through the cultural events that we will organize or host, the entire surrounding community will come to appreciate the value of the Romanian Heritage Center, thus becoming a valuable resource for anyone in the local community.

The Romanian Heritage Center NFP aims to be of service not only to the ethnic Romanian-Americans but also to anyone wishing to interact with our community and find out more about our religious culture and traditions. We are committed to provide exceptional service and to facilitate a great experience to all who wish to connect with us.

- 3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;
 - a. The proposed changes and design of the property will provide for reconditioning the façade and further enhance its appeal to make it even more attractive to the neighborhood landscape and architecture style. This particular property was a jewel in the neighborhood and our intent is to bring back its beauty with a touch of modernism, without compromising its unique architectural style.
 - b. Unfortunately, part of the building has been vacant for years while another part was just left as it was with very little maintenance, if any. This resulted in today's overall look of the building (both properties subjected to our project) to have a look that shows neglect and required TLC. We would immediately attend to the exterior of the building, cleaning and restoring it, replacing the store front windows and in Phase 2 we would like to build an addition in the center of the property a Glass Vestibule, which will further enhance the look of the whole block.
 - c. We are not planning to change the unique character of the property but rather to preserve it. We plan on renovating its interior as well, using the highest standards of construction methodology and providing for stellar facilities meant to attract people for its stylish ambiance.
 - d. Furthermore, the use of the property will be operated and maintained as an assembly use and certain assembly uses, like libraries, are already permitted in the zoning district.

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4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

The proposed conditional use of the property by the Romanian Heritage Center as an assembly place is certainly not hazardous nor disturbing to the existing neighboring uses. The occasional use of our Library and Multipurpose Room as a gathering place will be monitored closely and in accordance to any applicable restrictions, rules and regulations already in place by similar other not-for-profit religious entities as well as non-commercial uses permitted already by right in the zoning district.

5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services;

The use of the property can and will be served by the same services as have been provided in the past and there is no need to change any. The overall functioning of the building and its entire use will not call for any changes. It is important to note that the overall configuration and integrity of the property will not change, thus current drainage, refuse disposal, water and sewer will all stay the same. Streets are adequate, no additional police or fire protection is required.

- 6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;
 - 1. There will be no excessive additional requirements at public expense for public facilities and services as they already are more than adequate.
 - 2. Although we are a religious not-for-profit entity, the zoning district already permits not-for-profit and non-commercial uses in the district. Therefore, our conditional use for assembly is similar in uses permitted in the zoning district, and it will not be detrimental to the economic welfare of the community. On the contrary, we believe that as we will draw people to the neighborhood, they will be attracted to establish new businesses in the area.
 - a. As a matter of fact, we already are aware of a business group who wants to buy a property nearby to open a modern European Restaurant featuring some Romanian traditional culinary dishes as well, which will certainly be of economic welfare to the entire community.
 - b. We are also aware of another family who wishes to establish a second location for their pastry shop, in addition to the one they have in the east end of Skokie.
 - c. Then there is the group of partners who own an import & distribution warehouse specialized in European delicatessen unperishable products already located in Des Plaines, who wishes to establish a point of sale deli store in the proximity of the new Romanian Heritage Center.

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7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

The proposed conditional use calls for small assembly use, no manufacturing, therefore we will not be causing excessive production of noise, smoke, fumes, glare or odors.

While typically one might wonder on the implications of conditional assembly use on the traffic and/or parking, we will not be causing trouble for the neighbors nor the city's emergency vehicles. Our parking already consists of 12 parking spaces for our day-to-day use, which is sufficient. For special occasions when we will be hosting events, we will hire a valet parking attendant who will be managing the parking lot's use to its maximum capacity of 24 cars. If we will anticipate higher need for parking for exceptionally rare events, we will be working closely with the Romanian Baptist Church around the corner and will coordinate the use of needed additional parking spaces on their property. In such instances we will either have several valet parking attendants assisting our guests or will have shuttle vans to-and-from the church's parking lot and our property.

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

The existing use of the property is currently already designed very well and we will accommodate and comply according to the existing plan, thus we will not create an interference with traffic on surrounding public thoroughfares.

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

We are not aware of any presence of a natural, scenic, or historic feature of major importance anywhere near, nor any other public or private property of such kind that would be affected by our project in any way shape or form.

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested

We intend to comply with all the applicable regulations in this title specific to the conditional use requested and the zoning code.

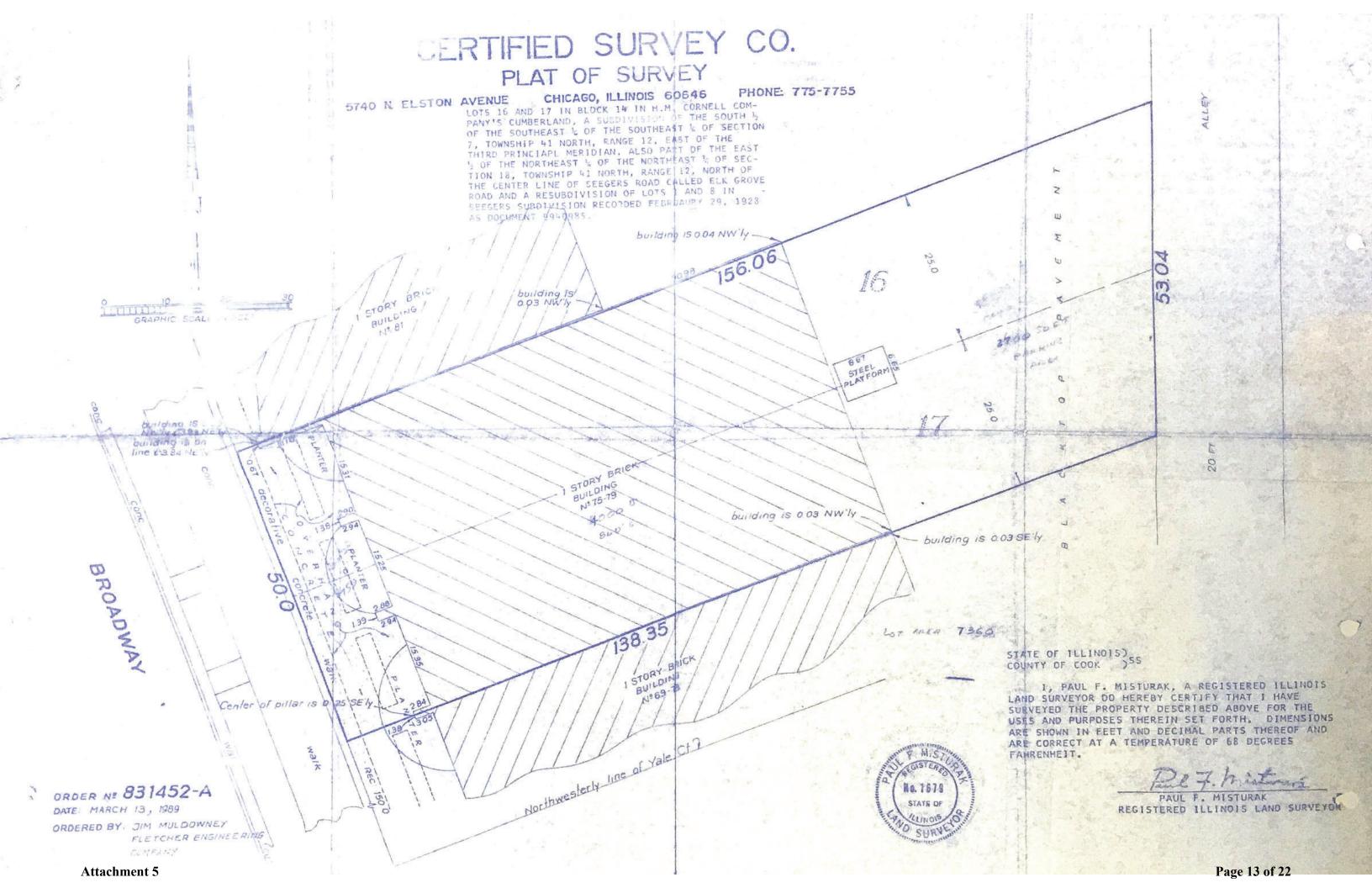
Attachment 2 Page 10 of 22



Attachment 3 Page 11 of 22

V-111111-PLAT OF SURVEY PHONE: 775-7755 CHICAGO, ILLINOIS 60646 5740 N. ELSTON AVENUE LOTS 18 AND 19 IN BLOCK 14 IN H.M. CORNELL COMPANY'S CUMBERLAND, A SUBDIVISION OF THE SOUTH OF THE SOUTHEAST & OF THE SOUTHEAST & OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO PART OF THE EAST OF THE NORTHEAST & OF THE NORTHEAST & OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, NORTH OF THE CENTER LINE OF SECCESS ROAD CALLED FIX GROVE building is 0.03 NW/y bujilon gʻlsro. 03: SE'ly CENTER LINE OF SEEGERS ROAD CALLED ELK GROVE ROAD AND A RESUBDIVISION OF LOTS 1 AND 8 IN SEEGERS SUBDIVISION RECORDED FERBRUAURY 29, 1928 STORY BRICK AS DOCUMENT 9940985. of pillar is Q.25 SEly building is on line BROADWAY PAVEMENT STATE OF ILLINOIS) COUNTY OF COOK)SS Maik I, PAUL F. MISTURAK, A RELLAND SURVEYOR DO HEREBY CERTIF building is 0.04 SE'ly & 4.81 NE'ly SURVEYED THE PROPERTY DESCRIBE Jerly line of Yale Ct? USES AND PURPOSES THEREIN SET ... A.A. ARE SHOWN IN FEET AND DECIMAL ARE CORRECT AT A TEMPERATURE O FAHRENHEIT. 3,350 SF Card

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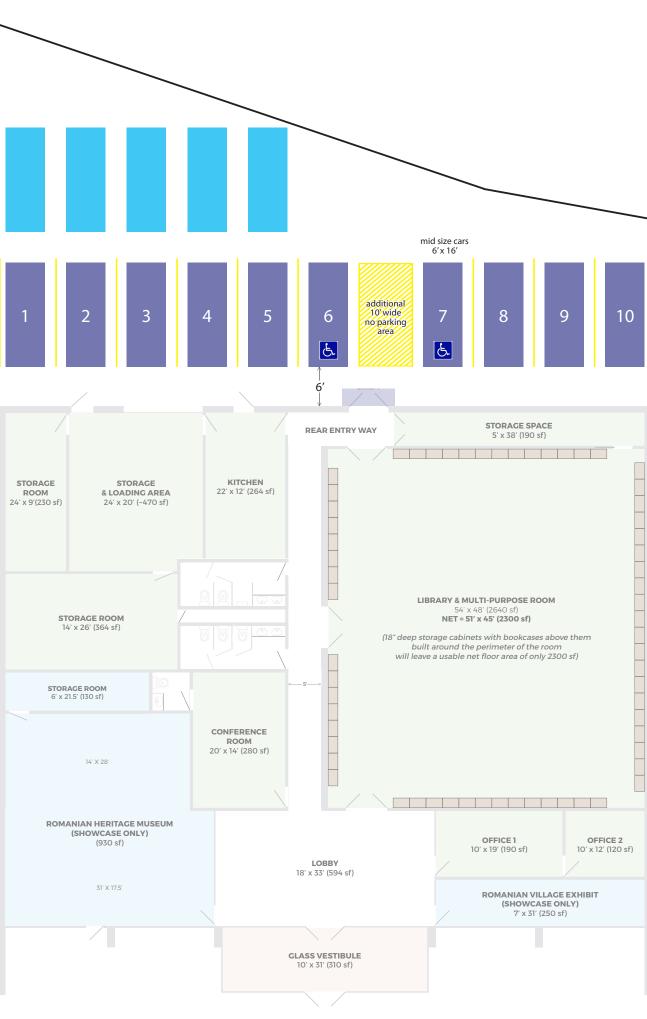
Proposed additional parking spaces >> (events parking with Valet Parking Attendant)

IMPORTANT NOTES:

GARAGE ACCESS is only needed at the most 2-3 times a month when receiving deliveries for events, several hours before event starts.

During special events, if needed, the Romanian Heritage Center will also be able to use the parking lot of the Romanian Baptist Church nearby.

Valet Parking will be used in such instances.

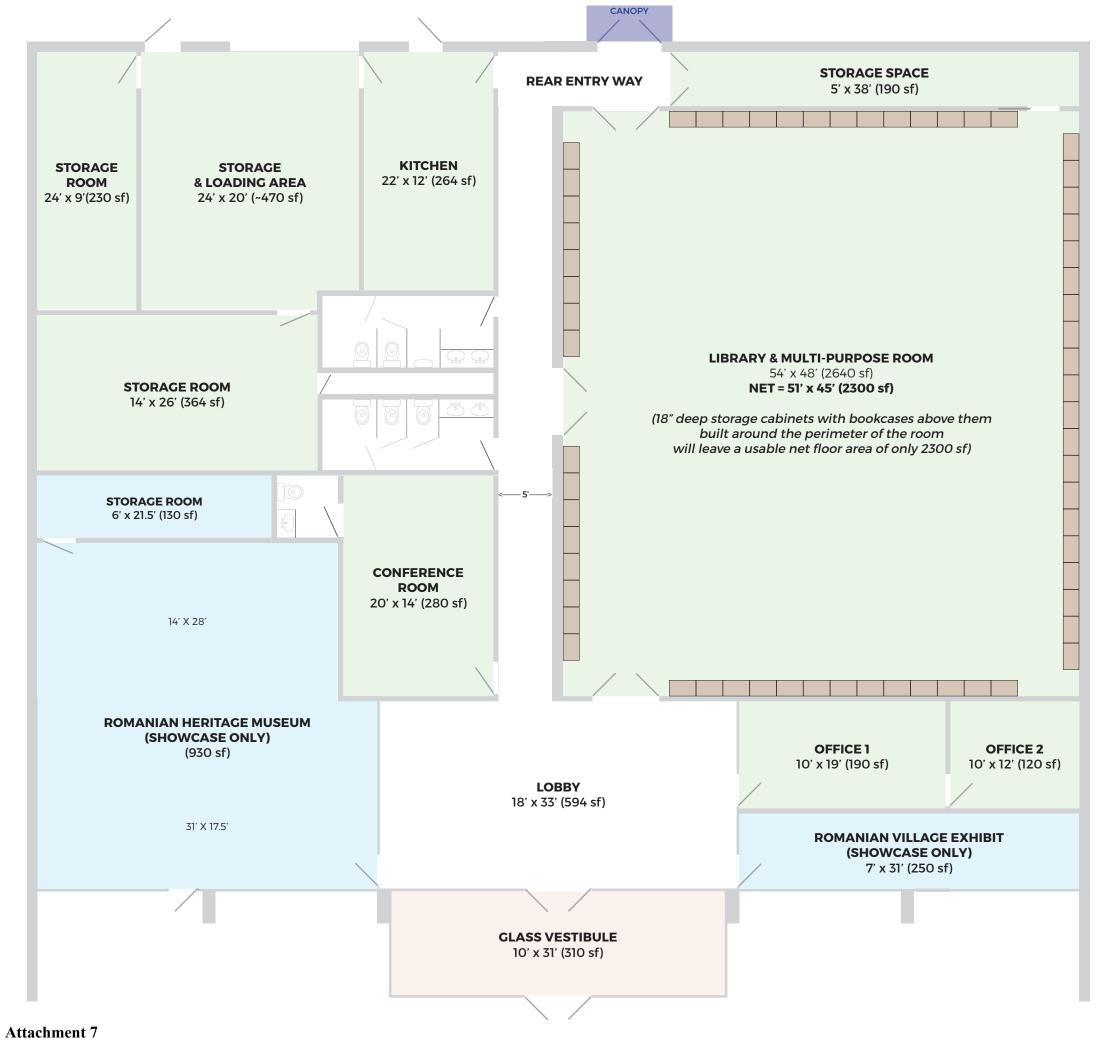


ROMANIAN HERITAGE CENTER NFP

PROPOSED PARKING PLAN

69-73 and 75-79 N. BROADWAY ST. DES PLAINES, IL

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ROMANIAN HERITAGE CENTER NFP

PROPOSED FLOOR PLAN

69-73 and 75-79 N. BROADWAY ST. DES PLAINES, IL

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ROMANIAN HERITAGE CENTER NFP

A. PROPOSED ACTIVITIES & PROGRAMS

The Romanian Heritage Center NFP plans to organize and host activities and programs aimed to implement its stated purposes, with the assistance of volunteers, and at times in partnership with other organizations from our community. Some of the activities and programs on our proposed agenda that we plan to have, contingent upon the budget and availability of funds, are as follows:

1. ROMANIAN HERITAGE CLASSES

Group A: for children 8-11 years old

To be held twice a month on Saturdays (1st & 3rd of each month) from 9 AM to 12 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

2. ROMANIAN HERITAGE CLASSES

Group B: for children 11-14 years old

To be held twice a month on Saturdays (2nd & 4th of each month) from 9 AM to 12 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

3. ROMANIAN LANGUAGE CLASSES

Group A: for children 8-11 years old

To be held twice a month on Tuesdays (1st & 3rd of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

4. ROMANIAN LANGUAGE CLASSES

Group B: for children 11-14 years old

To be held twice a month on Tuesdays (2nd & 4th of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

5. ROMANIAN READING CLUB

Group A: for children 8-11 years old

To be held twice a month on Thursdays (1st & 3rd of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

6. ROMANIAN READING CLUB

Group B: for children 11-14 years old

To be held twice a month on Thursdays (2nd & 4th of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

IMPORTANT NOTE: Children are dropped off and picked up at the end of the class. To avoid any disruptions of students' attention, there is absolutely no waiting on the premises.

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7. ENGLISH PROFICIENCY CLASS

12 weeks modules for high school students.

To be held weekly on Mondays from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

8. ESL ENGLISH CLASS

12 weeks modules for adults.

To be held weekly on Wednesdays from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

9. ADVANCED ENGLISH WRITING CLASS

12 weeks modules for high school students.

To be held weekly on Fridays from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

10. MATH TUTORING

6 weeks modules for 8th grade students.

To be held weekly on Mondays from 5 PM to 6 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

11. MATH TUTORING

6 weeks modules for 9th grade students.

To be held weekly on Tuesdays from 5 PM to 6 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

12. MATH TUTORING

6 weeks modules for 10th grade students.

To be held weekly on Wednesdays from 5 PM to 6 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

13. MATH TUTORING

6 weeks modules for 11th grade students.

To be held weekly on Thursdays from 5 PM to 6 PM.

Class size: from 8 to max. 16 students.

Staff required: 2

14. MATH TUTORING

6 weeks modules for 12th grade students.

To be held weekly on Fridays from 5 PM to 6 PM.

ROMANIAN HERITAGE CENTER NFP - BUILDING USE & PROPOSED PARKING PLANS

Class size: from 8 to max. 16 students.

Staff required: 2

Attachment 8 Page 17 of 22

15. MAN IN THE MIRROR

An inter-denominational Basic Life Principles series of weekly Bible studies and fellowship (aka: Christian Men in His Service), administered by the *Romanian Christian Television Network* of Chicago in partnership with the Romanian churches in the area.

To be held weekly on Fridays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

16. YOUTH BIBLE STUDY

An inter-denominational Basic Life Principles series of weekly studies and fellowship for college students, administered by *Selfless Faith* group of Chicago area.

To be held weekly on Thursdays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

17. WOMEN OF THE BIBLE

An inter-denominational Basic Life Principles series of weekly studies and fellowship for Christian women, administered by Prof. Simona Sabou, of *Grace College and Seminary*. To be held weekly on Tuesdays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

18. CENACLUL RETRO

Quarterly concerts featuring Romanian folk music and poetry interpreted by local artists, with occasional appearances of special guests. Organized and administered by the *Cenaclul Retro NFP*, a cultural organization in the Romanian community of Chicago. To be held once in three months (March, June, Sept., and Dec.) on 1st Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

19. CHICAGO'S ROMANIAN TALENT SEEKING SHOW

Quarterly events featuring Romanian music and poetry interpreted by young talents, with occasional appearances of special guests. Organized and administered by the *Cenaclul Retro NFP*, a cultural organization in the Romanian community of Chicago, and the *Romanian Tribune Media Group*. To be held once in three months (Feb., May, Aug., and Nov.) on 1st Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

20. PROFESSIONAL CLUBS & ASSOCIATIONS MEETINGS

Hosting events for organizations such as: Romanian Bar Association, Association of Romanian-American Medical Professionals, Association of Romanian-American Academia, and the Association of Romanian-American Architects and Engineers. Each club may hold a quarterly meeting, thus totaling 12 events in one year, on 2nd Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

Attachment 8 Page 18 of 22

21. SEMI-ANNUAL FUNDRAISING DINNERS

Organizing and hosting fundraising dinners for the Romanian Heritage Center NFP, with participation of Special Guests and Speakers, some that are representing the Romanian Government and the local American governments (municipal, county, state, and federal). Group size: from 100 to max. capacity allowed for participants.

Staff required: 6-8

22. FUNDRAISING EVENTS FOR OTHER ORGANIZATIONS

As need arises, based on availability of the facilities, we would like to assist other organizations and host their special events in the Library & Research Room. For example, we would like to host annual fundraising dinners for: Romanian Christian Television Network of Chicago, and the Little Samaritan Radio Network of Chisinau - Rep. of Moldova.

Group size: from 100 to max. capacity allowed for participants.

Staff required: 6-8

23. NATIONAL DAY OF ROMANIA CELEBRATION

This event takes place on or around the National Day of Romania, December 1st, and is organized in partnership with the Consulate General of Romania in Chicago and the Romanian Churches form Greater Chicago Area.

Group size: from 100 to max. capacity allowed for participants.

Staff required: 6-8

24. CHRISTMAS CAROLS CONCERT

This special event takes place around the Christmas Holiday and is organized in partnership with the Romanian Churches of Chicago and the Romanian Christian Television Network.

Group size: from 100 to max. capacity allowed for participants.

Staff required: 6-8

IMPORTANT NOTE:

The activities and programs described above are going to be offered based on the needs identified in our community and surrounding neighborhood, considering our proposed limited budget and the availability of our volunteers. Should the needs change, we will re-evaluate the possibilities and will create other activities so long as we will be able to safely host and organize them.

While our goal is to be an organization and facility that serves our community, we are mindful of the limitations and regulations safeguarding our neighborhood and the residents of City of Des Plaines.

As such, we will consider the advice and recommendations presented to us by the pertinent officials and authorities to ensure the most positive impact in our surrounding community and a harmonious relationship with all.

Attachment 8 Page 19 of 22

ROMANIAN HERITAGE CENTER NFP - BUILDING USE & PROPOSED PARKING PLANS

B. PROPOSED PARKING PLANS

1. REGULAR WEEK DAYS, 9 AM - 7 PM

Our parking lot will be sufficient (please see our proposed 2 options for parking plans), with the additional other **5-6 spaces** always empty in front of the building on-street. Please note that all classes held are for students that are dropped off and picked up at the end of the class.

2. REGULAR WEEK DAYS, 7 PM – 9 PM

Our parking lot plus on-street parking as detailed above, **plus 6 additional spots** which we are allowed to use at 42 N. Broadway St.

3. **SATURDAYS, 9 AM – 1 PM**

Our parking lot will be sufficient, with the additional **5-6 spaces** always empty in front of the building on-street. Please note that all classes held are for students that are dropped off and picked up at the end of the class.

4. SATURDAYS, AFTER 5 PM and SUNDAYS, 1 PM – 5 PM

Our parking lot with the another **5-6 spaces** in front of the building on-street, **plus 6 additional spots** which we are allowed to use at 42 N. Broadway St..

ADDITIONALY - During these times on Saturdays and Sundays we also have available **as many parking spaces as needed** at the Romanian Baptist Church around the corner.



Please note that **we've consulted with the Des Plaines Police Department** about our weekend special events with larger participation when using the Romanian Baptist Church's parking lot for overflow, and **we are planning to hire DPPD Community Police to assist pedestrians** crossing the street at the Golf Rd round-about. **For some of the upscale large events we are also going to have Valet Parking** to offer our guests a pleasant experience with the most comfortable parking solution.

PLEASE ALSO NOTE that we have started negotiations with the ownership & management of other properties in the area with large parking lots in an effort to obtain agreements to share the use of their parking spaces on Saturdays after 5 pm and Sundays between 1 pm and 5 pm.

(EX: R.E. agent for the current owner of 561 E. Golf Rd. as well as the Broadway Condominium Association which manages the medical building at 17-29 N. Broadway). Our discussions were very encouraging and we hope to have positive outcomes in the coming days.

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ROMANIAN HERITAGE CENTER NFP

69-79 N. Broadway Street, Des Plaines, IL 60016

www.RomanianHeritage.US

PROPOSED SCHEDULE OF ACTIVITIES

	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY	
9:00 - 9:50 AM 10:00 - 10:50 AM	Library & Research Room	CLOSED	Library & Research Room Open to Members Only with appointments (max. capacity allowed 12)	CLOSED	Library & Research Room Open to Members Only with appointments (max. capacity allowed 12)	ROMANIAN HERITAGE CLASS (GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)	CLOSED	
11:00 - 11:50 AM								
12:00 - 12:50 PM								
1:00 - 1:50 PM					CLOSED		AVAILABLE FOR SPECIAL EVENTS	
2:00 - 2:50 PM	CLOSED	Open to Members Only with appointments (max. capacity allowed 12)	CLOSED	Library & Research Room Open to Members Only with appointments (max. capacity allowed 12)		CLOSED		
3:00 - 3:50 PM								
4:00 - 4:50 PM	ENGLISH PROFICIENCY CLASS 12 weeks modules for high school students	ROMANIAN LANGUAGE CLASS (GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)	ESL ENGLISH CLASS 12 weeks modules for adults	ROMANIAN READING CLUB (GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)	ADVANCED ENGLISH WRITING CLASS 12 weeks modules for high school students			
5:00 - 5:50 PM	MATH TUTORING 8th grade level	MATH TUTORING 9th grade level	MATH TUTORING 10th grade level	MATH TUTORING 11th grade level	MATH TUTORING 12th grade level			
6:00 - 6:50 PM						AVAILABLE	CLOSED	
7:00 - 7:50 PM	AVAILABLE FOR USE	WOMEN OF THE BIBLE inter-denominational	AVAILABLE FOR USE	YOUTH BIBLE STUDY inter-denominational	MAN IN THE MIRROR inter-denominational	FOR SPECIAL EVENTS	CLOSED	
8:00 - 8:50 PM	TO CLUBS & ORGANIZATIONS	Basic Life Principles (Bible study for women)	TO CLUBS & ORGANIZATIONS	Basic Life Principles (college students)	Basic Life Principles (Christian Men in His Service)			







69-79 Broadway St - Looking Southwest at Rear of Site

Attachment 10 Page 22 of 22



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

MEMORANDUM

Date: May 26, 2021

To: Planning and Zoning Board

From: Jonathan Stytz, Planner 35

Cc: Michael McMahon, Community and Economic Development Director

Subject: Consideration of Tentative Plat of Subdivision and Standard Variation at 1418-1424

Wedgewood Avenue, Case 21-014-SUB-V (3rd Ward)

Issue: The petitioner is requesting: (i) Tentative Plat of Subdivision under Section 13-2 of the Subdivision Regulations to subdivide the existing vacant lot into two lots of record; (ii) a Standard Variation under Section 12-7-2(J) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for a lot width of 50-feet where a minimum of 55-feet is required; and (iii) the approval of any other such variations, waivers, and zoning relief as may be necessary.

Analysis:

Address: 1418-1424 Wedgewood Avenue

Owner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL

60010

Petitioner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL

60010

Case Number: 21-014-SUB-V

Real Estate Index

Number: 09-19-405-009-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: R-1, Single Family District

Existing Land Use: Vacant Lot

Surrounding Zoning: North: R-1, Single Family Residential District

South: R-1, Single Family Residential District East: R-1, Single Family Residential District West: R-1, Single Family Residential District

Surrounding Land Use: North: Single Family Residence

South: Single Family Residence East: Single Family Residence West: Single Family Residence

Street Classification: Wedgewood Avenue is classified as a local street.

Comprehensive Plan: The Comprehensive Plan designates the site as Single Family Residential.

Project Description: The petitioner, Daniel Beniek, is requesting a Tentative Plat of Subdivision and

Standard Variation for lot width for the property located at 1418-1424 Wedgewood Avenue. The subject property is 19,984-square feet (0.459 acres) in size and is comprised of one unimproved lot as shown in the Plat of Survey (Attachment 4). A request to subdivide the subject property was approved in 2006 and addresses 1418 and 1424 Wedgewood were assigned. However, the Final Plat of Subdivision was never recorded. Thus, the petitioner is requesting a new Tentative Plat of Subdivision and a variation for lot width for this site.

The petitioner is proposing to subdivide the existing vacant lot into two lots of record for future single-family home development. However, this proposal does not include the immediate development of the two proposed lots at this time. Both lots will be 10,000-square feet in size and measure 50-feet in width with a 30-foot front building setback. There are five-foot public utility easements proposed for the sides and ten-foot public utility easements proposed for the front and rear of each lot as shown in the Tentative Plat of Subdivision (Attachment 5). There is also a variation request for lot width, as the proposed lots will not meet the minimum 55-foot lot width requirement for properties in the R-1 district pursuant to Section 12-7-2(J) of the Zoning Ordinance.

Tentative Plat of Subdivision Report

Name of Subdivision: Skycrest Subdivision

Address: 1418-1424 Wedgewood Avenue

Requests: Approval of Tentative Plat of Subdivision & Variation

Total Acreage of

Subdivision: 0.459 acres

Lot Descriptions and

Construction Plans: The petitioner's Tentative Plat shows the subdivision of the existing lot into two

10,000-square foot, 50-foot wide lots with a 30-foot building setback. The proposed public utility easements are five feet on the sides, ten-feet on the front,

and ten-feet on the rear of each property.

Compliance with the Comprehensive Plan

There are several parts of the 2019 Des Plaines Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Overarching Principles:
 - O The Comprehensive Plan seeks to promote a wider range of housing options and to encourage the reinvestment and preservation of established Des Plaines neighborhoods through the addition of new housing to fit diverse needs. The proposal seeks to reinvest in this vacant lot and provide additional housing options in this established neighborhood.
- Under Land Use Plan:
 - A primary goal of the Comprehensive Plan is to preserve and enhance established single-family neighborhoods while also expanding newer housing options. The proposal matches the existing character of the neighborhood and provides modern housing options that are prevalent in the immediate vicinity.
- Under Future Land Use Map:
 - The property is marked for Single-Family Residential land uses. These areas are designated for detached single-family residences to maintain and improve housing options for residents. The proposed use will transform an existing residential lot with one residence and provide an additional single-family housing option for the community as a whole.

While the aforementioned bullet points are only a small portion of the Comprehensive Plan, there is a large emphasis on maintaining detached single-family zoning areas and promoting the expansion of these developments to increase housing options for residents. The petitioner is proposing to take a 0.459-acre vacant parcel for future development of two new residences for the community.

<u>Variation Findings:</u> Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:

<u>Comment:</u> Requiring the petitioner to adhere to the minimum 55-foot lot width requirement would limit development on this property to one residence and would not meet the goals and objectives of the Comprehensive Plan to foster growth of residential areas and provide additional housing options. Furthermore, surrounding properties in the area have similar lot widths as the proposal. Please see the Petitioner's responses to Standards for Variations.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:

<u>Comment:</u> The existing property was platted with its current dimensions before the code was updated from a minimum lot width of 50-feet to 55-feet. Under the previous code, the property would have met the standards for a subdivision. However, the property is land-locked so it cannot be expanded to meet the requirements. Please see the Petitioner's responses to Standards for Variations.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:

<u>Comment:</u> The unique physical condition is not the result of the current owner or previous owners as the property was platted long before the zoning code update to change the minimum lot width required from 50-feet to 55-feet. Additionally, there is not a way for the petitioner to widen the lot to the meet the 55-foot lot width requirement. Please see the Petitioner's responses to Standards for Variations.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:

<u>Comment:</u> Carrying out the strict letter of the code would prevent the petitioner from subdividing the existing property for use of two single family residences as many of the surrounding properties have done, which would deny them the substantial rights of neighboring property owners. A majority of the existing lots in this area are less than 55-feet wide and do not meet the current minimum 55-foot lot width requirement. Please see the Petitioner's responses to Standards for Variations.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:

<u>Comment:</u> The variation request would not provide the petitioner with any special privilege that is not already enjoyed by many of the surrounding property owners or allow him to make more money from the property. The petitioner does not plan to develop these lots at this time, but rather to subdivide them for future development. Please see the Petitioner's responses to Standards for Variations.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:

<u>Comment:</u> The proposal would result in the future development of this site that would be in harmony with the specific purposes of Section 12-3-6 of the Zoning Ordinance or the Comprehensive Plan. This proposal sets to develop this vacant property into two separate lots to add residential options in Des Plaines. Please see the Petitioner's responses to Standards for Variations.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

<u>Comment:</u> There is no way that the petitioner can alter the dimensions of the property to meet the 55-foot minimum lot width requirement, as the property is land-locked by developed properties. The variation is required for the petitioner to create two residential lots and expand housing options in Des Plaines. Please see the Petitioner's responses to Standards for Variations.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

<u>Comment:</u> The variation request is the minimum measure of relief necessary to allow the petitioner to create two residential lots out of the large existing vacant lot. Please see the Petitioner's responses to Standards for Variations.

Recommendation: Staff recommends approval of the request for a Tentative Plat of Subdivision pursuant to 13-2 of the Des Plaines Subdivision Ordinance and the Standard Variation request for lot width pursuant to Section 12-3-6 of the Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 13-2-7 (Approval of Tentative Plat By Planning and Zoning Board) of the Subdivision Ordinance and Section 12-3-6 (Approval of Variations), the Planning and Zoning Board has the authority to approve, approve subject to conditions, or deny the above-mentioned Tentative Plat of Subdivision and Standard Variation request for the property at 1418-1424 Wedgewood Avenue.

Attachments:

Attachment 1: Project Narrative

Attachment 2: Responses to Standards

Attachment 3: Location Map Attachment 4: Plat of Survey

Attachment 5: Tentative Plat of Subdivision

Attachment 6: Preliminary Engineering Plans

Attachment 7: Site and Context Photos



1418-1424 Wedgewood, Des Plaines PROJECT NARRATIVE

April 22, 2021

We are requesting the ability to subdivide 1418-1424 Wedgewood (PIN 09-19-405-009-0000) into 2 separate parcels. The property is 100' wide by 200' deep and is located within the R-1 zoning district. Each parcel after subdividing would be 50'x 200' deep.

LOCATION:

The property is located to the north of Oakton and west of Wolf Road. The nearest cross streets of the block are Forest Avenue and Lincoln Avenue.

COMPOSTION OF THE BLOCK

14 of the 17 properties on Wedgewood between Forest Avenue and Lincoln Avenue are 50x200 deep lots. Only 2 other lots on the block are larger than 50' wide. As such, the 2 new subdivided lots will be similar to the majority of the other lots on the block as they will be the same width, depth, and overall size.

COMPARISON TO CURRENT R1 ZONING REQUIREMENTS

	REQMTS	PROPOSED				
Bulk Controls	R-1					
Maximum height	2 ¹ / ₂ stories to 35 ft.	WILL COMPLY DURING BLDG				
Minimum front yard	25 ft.	WILL COMPLY DURING BLDG				
Minimum side yard	5 ft.	WILL COMPLY DURING BLDG				
Minimum rear yard	25 ft. or 20% of lot depth, whichever is less	WILL COMPLY DURING BLDG				
Maximum rear yard coverage	60%¹	WILL COMPLY DURING BLDG				
Minimum lot width:						

Attachment 1 Page 6 of 19

	Interior	55 ft.	_	50'
	Corner	65 ft.		na
Minimum lot area:				
	Interior	6,875 sq. ft.		10,000
	Corner	8,125 sq. ft.		na
Maximum building coverage:				
	Interior		30%	WILL COMPLY DURING BLDG
	Corner		35%	NA
Minimum corner side yard		10 ft. ³		NA

As you can see above, we comply or will comply with all other zoning requirements.

Please feel free to contact me with any questions or further insight you might need.

-- DocuSigned by:

Daniel Beniek —E76528764A1E471...

Daniel Beniek

Owner

Skycrest Homes LLC

26303 W Merton Rd

Barrington, IL 60010

847-732-1391

dan@skycresthomes.com

Attachment 1 Page 7 of 19

1424 Wedgewood

PIN 09-19-405-009-0000

STANDARDS FOR VARIATIONS

In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each). Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

We are requesting a zoning variance for relief on the requirements of lot width for R1 residential zoning. The R1 zoning previously required 50' lot width but was updated to 55'. There are currently 14 lots on Wedgewood that are 50' wide. We are requesting the ability to subdivide our 100 x200 lot into 2 – 50x200 lots. We meet all other R1 zoning requirements.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Our lot is 100×200 and we would like to subdivide it into 2 lots that would be 50×200 . 14 other lots on Wedgewood are 50×200 . Thus, our subdivided lots would be consistent with others on the street. In addition, we meet all other requirements (10,000sf lots vs 6,875sf required, 25' front and rear setback, 5' sideyard, and etc).

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

The variance is needed due to a change in the R1 zoning and not due to action or inaction by any prior or current property owner. The R1 zoning previously allowed 50' wide lots. The variance is only required due to the R1 zoning update related to the minimum lot width requirement.

Attachment 2 Page 8 of 19

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

The inability to subdivide the existing 100x200 lot into 2 lots of 50x200 would deprieve us of being able to have comparable lot sizes to the majority of the other on the street (14 of the 17 lots on Wedgewood are 50' wide). The current lot size isn't the highest and best use of the property as evidenced by the majority of the other newer homes on the street being 50' wide.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

We don't believe this is special privilege given the majority of the lots on the street are 50' wide which we are seeking. We are requesting to be allowed to subdivide with the same requirements as the other lot owners on the street. The depth and overall square footage of the lot is well in excess of R1 zoning requirements.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

We are seeking to minor variance for the lot width going from the required 55' to 50' width which is a 10% change and is within the max 30% maximum allowed change per Section 12-3-6-E- 1A of the zoning code.

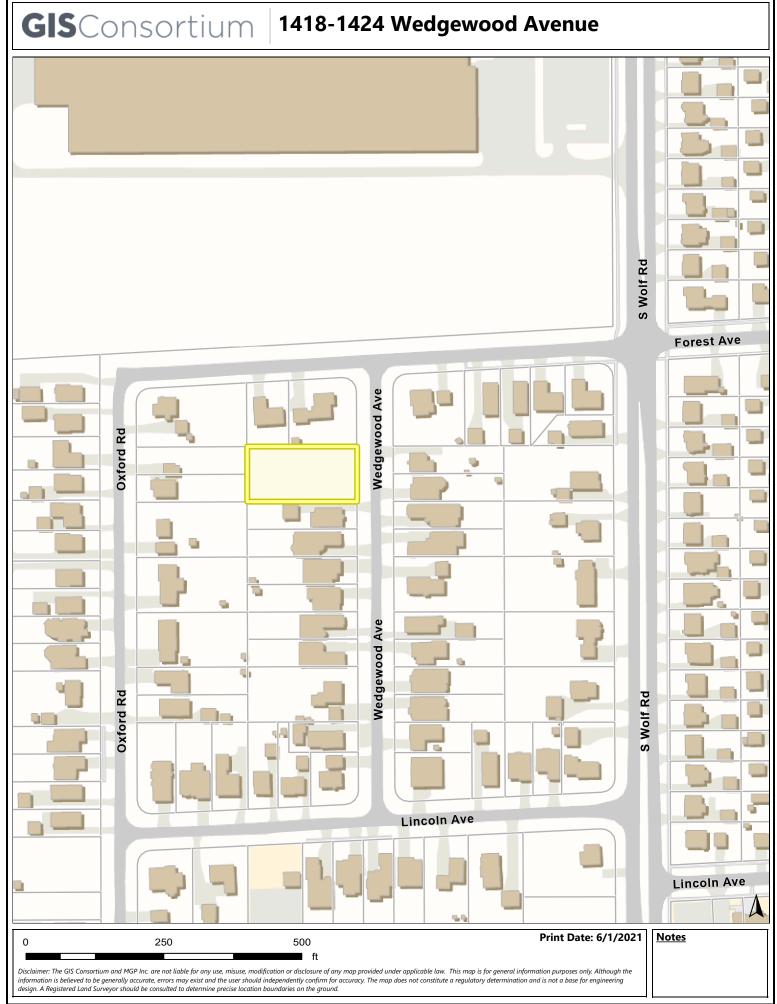
7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

There are no other ways that would allow us to offer similar size lots, square footage of homes, and price point comparable to the neighbors on Wedgewood. In addition, we don't have the ability to reorientate that lot, acquire additional property from an adjoining neighbor or etc to comply with the updated R1 zoning for lot width.

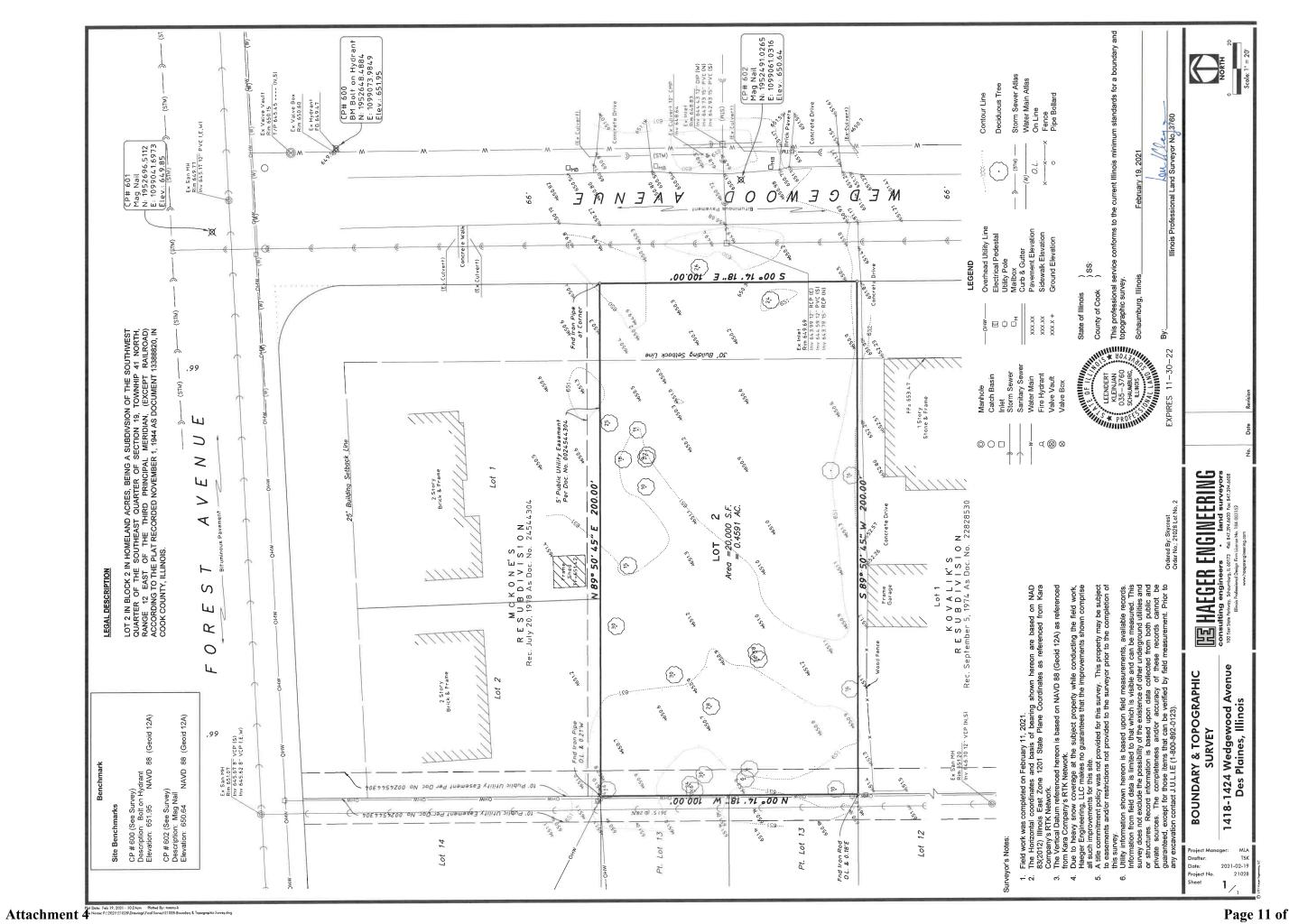
8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

We are requesting the minimum relief necessary to alleviate the hardship. We meet all other R1 zoning requirements. The only relief we are requesting is to be allowed 50' wide which previously was allowed and exists for the majority of the properties on Wedgewood.

Attachment 2 Page 9 of 19



Attachment 3 Page 10 of 19

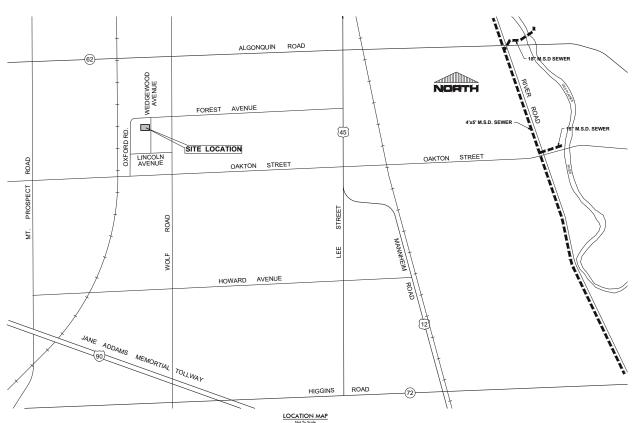


P.I.N. No. 09-19-405-009 TENTATIVE PLAT SHEET | OF I LEGEND MAIL PLAT TO: SET CONCRETE MONUMENT HAEGER ENGINEERING LLC CONSULTING ENGINEERS AND LAND SURVEYORS 100 EAST STATE PARKWAY SCHAUMBURG, IL 60173 SET 1/2" PIPE UNLESS OTHERWISE NOTED SKYCREST SUBDIVISION SUBDIVISION BOUNDARY LINE EASEMENT LINE BUILDING SETBACK LINE LOT NEW LOT NO BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL UNDERLYING PARCEL NO. SCALE: I" = 20' Ex Sen MH Rim 649.77 /inv 645.17 12" PVC (,E,W) PUBLIC UTILITY EASEMENT FOREST AVENUE THE FOLLOWING UTILITY COMPANIES HAVE BEEN NOTIFIED AND HAVE APPROVED THIS TENTATIVE PLAT OF SUBDIVISION FOR 1418-1424 WEDGEWOOD AVENUE: PLAT PREPARED FOR: SKYCREST HOMES, LLC COMMONWEALTH EDISON COMPANY 26303 W. MERTON BARRINGTON, IL 60010 AT&T. NICOR GAS COMPANY Rim 650.15 CITY OF DES PLAINES DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT 1420 MINER STREET DES PLAINES, IL 60016 COMCAST. THE CITY OF DES PLAINES SEND NEW TAX BILL TO: SKYCREST HOMES, LLC 25' Building Setback Line 26303 W. MERTON BARRINGTON, IL 60010 SURVEYOR'S NOTES: FIELD WORK WAS COMPLETED ON FEBRUARY 11, 2021.
 THE HORIZONTAL COORDINATES AND BASIS OF BEARING SHOWN HEREON ARE BASED ON NAD 82/2012 ILLINOIS EAST ZONE 1201 STATE PLANE COORDINATES AS REFERENCED FROM KARA COMPANY'S RTK NETWORK. Lot 14 Lot 1 Ш N 89° 50' 45" E 200.00' 2 Storm CB A2 - Ty, C (24"Ø) Gr 649.70 Inv 647.2d Storm CB A3 - Ty. C (24"Ø) Gr 650.50 Inv 648,00 104' + 6" PVC @ 1.0% Min. Pt. Lot 13 Storm CB A1 - Ty. C (24"Ø) Gr 650,40 Inv 647.90 (12"E) Ex Cutvert 12" CMP Inv 646.07±(12"N.S) Area =10,000 S.F. = 0.2296 AC. Ex Intel Rim 648.83 Inv 644.43 12" DIP (W) Inv 643.73 15" PVC (N) Inv 642.93 15" PVC (S) — (MTR) ———(N 89° 50' 45" E 200.00' SURVEYOR'S CERTIFICATE (Ex Culvert) STATE OF ILLINOIS) COUNTY OF COOK 1.5" Copper Water Service with B-Box 1. LEENDERT A, KLEINJAN, A REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT 0 LOT 2 Area =10,000 S.F. = 0.2296 AC. \geq LOT 2 IN BLOCK 2 IN HOMELAND ACRES, BEING A SUBDIVSION OF THE SOUTHWEST LOT 2 IN BLOCK 2 IN HOMELAND ACKES, BEING A SUBJIVISION OF THE SUCTIFIES OF QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT RAILROAD) ACCORDING TO THE PLAT RECORDED NOVEMBER 1, 1944 AS DOCUMENT 13388820, IN COOK COUNTY, Pt. Lot 13 _(__c.o. Ш 9 Fnd Iron Rod O.L. & 0.18'E (Ex Culvert) I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS WITHIN THE COPORATE - 5' Public Utility Easement Hereby Dedicated 0 LIMITS OF CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, WHICH HAS ADOPTED A COMPREHENSIVE CITY PLAN AND IS EXERCISING THE SPECIAL POWER AUTHORIED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE. S 89° 50' 45" W 200.00 Ш I FURTHER CERTIFY THAT BASED ON INFORMATION PROVIDED ON THE FLOOD INSURANCE RATE MAP COMMUNITY - PANEL NO. 1703 102/18J DATED AUGUST 19, 2008 PRODUCED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COOK COUNTY, ILLINOIS, THE PROPERTY SHOWN AND DESCRIBED HEREON IS LOCATED WITHIN ZONE X, WHICH IS DEFINED BY FEMA AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. \geq Lot 12 K O V Å L I K' S R E S U B D I V I S I O N Rec. September 5, 1974 As Doc. No. 22828530 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SCHAUMBURG, ILLINOIS ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3760 EXPIRES 11-30-22 AREA SUMMARY 10,000 S.F. 0.2296 Ac. 10,000 S.F. 0.2296 Ac. 20,000 S.F. 0.4592 Ac 1 05-20-2021 City Review No. Date Revision

PRELIMINARY ENGINEERING PLANS SKYCREST SUBDIVISION

1418-1424 WEDGEWOOD AVENUE

SECTION 19 TOWNSHIP 41 NORTH RANGE 12 EAST CITY OF DES PLAINES, ILLINOIS COOK COUNTY



Skycrest Homes LLC 26303 W. Merton

Haeger Engineering LLC Illinois Prof. Design Firm #184-003152 100 E. State Parkway Schaumburg, IL 60173

PREPARED BY

Tel: 847-394-6600 Fax: 847-394-6608 www.haegerenginee

CITY OF DES PLAINES

Des Plaines.IL 60016

City BM #54
Description : Monument set in concrete on the S. side of Oakton at Maine West H.S. 8' West of W Drive of Maine West Parking Lot and 15' South of E/P of Oakton
Elevation: 651.32
NAVD 88 (Geoid 12A)
Northing: 1,951,415.22
Easting: 1,100,582.21

Site Benchmarks

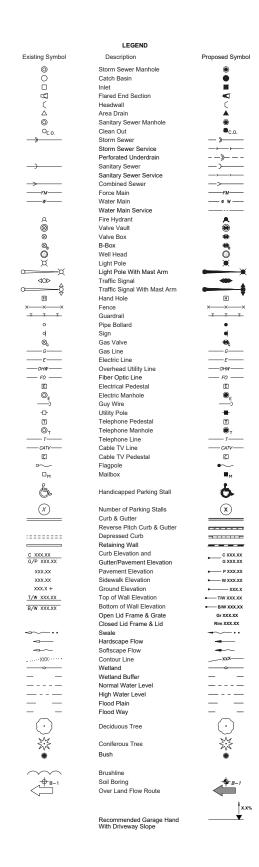
CP # 600 (See Survey)
Description: Bolt on Hydrant
Elevation: 651.95 NAVD 88 (Geoid 12A)

CP # 602 (See Survey)
Description: Mag Nail
Elevation: 650.64 NAVD 88 (Geoid 12A)

	INDEX TO SHEETS							
NO.	DESCRIPTION							
C1.0	TITLE SHEET							
C2.0	GENERAL NOTES AND SPECIFICATIONS							
C2.1	GENERAL NOTES AND SPECIFICATIONS							
C3.0	DEMOLITION, GRADING, AND UTILITY PLAN							
C4.0	SOIL EROSION CONTROL PLAN AND DETAILS							
C5.0	STANDARD DETAILS							



Call 811 at least 48 hours, excluding weekends and holidays, before you d



Attachment 6

ENGINEERING s . land surveyors

HAEGER

盟 記

TITLE SHEET

PRELIMINARY ENGINEERING SKYCREST SUBDIVISION

03-26-202

Sheet C1.0

- Definition of Terms:

 a. 'Owner' shall mean the person or entity with which Haeger Engineering, LLC has been contract with to prepare the Plans and Specifications.

 b. 'Engineer' shall mean Haeger Engineering, LLC.
 c. 'Contractor' shall mean the persons or entities responsible for performing and constructing the work described in the Plans, Specifications and other Construction Documents including but no work described in the Plans, Specifications and other Construction Documents including but no work described in the Plans, Specifications and other Construction and other incidentals necessary.
- "Plans and Specifications" shall mean the Engineering Drawings and any Specifications prepared
- . "Hains and Specifications' shall mean the Engineering Drawings and any Specifications prepared by Haeger Engineering, LLC, the Engineer.
 ." Jurisdictional Agency' shall mean any local, municipal, county, township, state or federal entity of government or other entity having jurisdiction of some aspect of the project from whom approval, permit and/or review and approval was required.
 e Specifications opverning this project are as follows:

 All applicable Village/City and other applicable Jurisdictional Agency Ordinances, Codes, Regulations, Requirements, Policies, Specifications, Standards, etc.
 Roadway and Earthwork construction shall conform to the Illinois Department of Transportation
- - Roadway and Earthwork construction shall conform to the Illinois Department of Transportation (IDOT) "Standard Specifications for Road and Bridge Construction", latest edition and any subsequent "Supplemental Specifications and Recurring Special Provisions" as well as any applicable IDOT Flighway Standards. Hereafter these items shall be collectively be referred to as the IDOT Standard Specifications. Water Main, Storm Sewer, and Sanitary Sewer construction shall conform to the "Standard Specifications for Water and Sewer Construction in Illinois", latest edition.

 Seid Erosion and Sedimentation Control shall conform to the Illinois Erviconmental Protection Agency (IEPA) "Illinois Urban Manual" (IUM), latest edition and "Illinois Procedures and Standards

- Traffic Control shall conform to the "Manual of Uniform Traffic Control Devices" (MUTCD), latest edition, as well as the latest edition of the "Illinois Supplement to the MUTCD", and IDOT "Quality

- edition, as well as the latest edition or tine "liminos Supplement to the Multi-Li, and Libor Lowering Standard for Work Zone Traffic Control Devices", latest edition.

 All handicap accessibility items shall conform to the Illinois Accessibility Code (IAC), latest edition. General Notes and Specifications contained herein or elsewhere as a separate document. conflict, contradiction, or discrepancy occurs between any of the above Specifications the more gent requirement shall apply, unless directed otherwise by the applicable Jurisdictional Agency.
- The Engineer's Plans and Specifications shall be included as part of the Contract Documents. In the Engineer's parks and Specinications shall be included as part or the collected Documents.

 All Contractors shall carefully examine the Plans and Specifications, and other Contract

 Documents prepared for the work. They shall visit the file of the work and acquaint themselved

 with all local conditions, codes, and requirements affecting the contract. If awarded the contract,

 they shall not be allowed extra compensation by reason of any unforeseen difficulties or obstacles

 which the Contractor could have discovered or reasonably anticipated or inferred prior to bidding.
- or start of construction.

 Should it appear that the work covered by the Plans and Specifications or other Contract
 Documents is not sufficiently detailed or explained, a Request For Information (RFI) Form shall be
 submitted to the Engineer for further explanations and drawings as may be necessary to clarify
 the point in question prior to the contract award. It is the intention of the Contract Documents to provide a job complete in every respect. Incidental items or accessories necessary to complete the work may not be specifically noted or shown but that are necessary to complete the project
- the work may not be specifically noted or shown but that are necessary to complete the project shall be considered incidental to the Contract. The Contractor is responsible for this result and to turn over the project in complete operating condition, irrespective of whether the contract documents cover every individual term in minute detail.

 d. The Contractor shall review the subsurface exploration and geotechnical report (a.k.a. soil boring report) prepared by detail the subsurface project of the contractor shall review the subsurface soil conditions of the site. Opeis of all such soil boring reports for the property can be obtained from the Owner. If any additional soils data is needed to confirm the Contractor's opinions of the subsurface conditions, this shall be done at the Contractor's expense. The Contractor's hall obtain the Owner's written authorization to access the site to conduct a supplemental soils investigation. The Owner and Engineer make no representation or warrantly regarding the number, location, spacing or depth of borings taken, nor of the accuracy or reliability of the information given in the results thereof. Furthermore, the Owner and Engineer assume no responsibility for the possibility that during construction, the soil and groundwater conditions may vary between borings or are different than previously indicated. Any brading, sheeting, dewatering or special construction methods deemed necessary by the Contractor in order to install the proposed improvements shall be considered incidental to the Contract and no additional ements shall be considered incidental to the Contract and no additional pensation will be allowed.
- compensation will be allowed.

 Should any apparent errors, omissions, discrepancies or conflicts be discovered on the Plans, Specifications, Quantities or other Contract Documents by the Contractor, whether prior to or after the award of the contract, the Engineer's attention shall be called to the same before work is begun thereon, so that proper clarification can be provided or revision made. If any work is done without contacting the Engineer, it shall be considered that the Contractor has proceeded at their own risk and
- e. ver the performance of work is indicated on the Plans, and no specific item is included in the Whenever the performant or work is indicated on the "Hais, and no specific item is included in the Contract for payment, the work shall be considered incidental to the Contract and no additional compensasy labor, material, equipment, etc. necessary to perform all the work required for shall provide all necessary labor, material, equipment, etc. necessary to perform all the work required for construction of the proposed improvements. The base palndrawing for the fragineering Plans (existing conditions, site topography, utilities, rights-of-way, lact, by as obtained from the topographic survey preparior survey prepared by:

Haeger Engineering, LLC 100 East State Parkway, Schaumburg IL 60173 February 19 2021

- The Owner shall obtain the necessary approvals from the following Jurisdictional Agencies:
- The Owner shall obtain the necessary approvals from the following Jurisdictional Agencies:
 a City of Des Plaines
 b. Metropolitan Water Reclamation District of Greater Chicago (MWRD)
 The Contractor, unless otherwise agreed upon in writing with the Owner prior to the start of Construction, shall at his own expense, obtain all other approvals including permits, licenses, etc., as may be required for the execution of this work as well as provide all necessary notices, pay all fees required, post bonds, obtain all necessary instruance, and comply with all laws, ordinances, rules, and regulations relating to the work and to the preservation of public health and safety. The Contractor shall also provide all required insurance androff bonds as may be required by the Jurisdictional Agencies. In addition, the Contractor shall meet all of the requirements of any permits as might be issued for this work by other Agencies, and shall pay for at their sole expense any surely, insurance or bonds as may be required by the Jurisdictional Agencies.

 No work shall proceed until the appropriate permits or paprovals, it is being done without the permission or consent of the Engineer. The Contractor approvals, it is being done without the permission or consent of the Engineer. The Contractor and Party authorizing the work to proceed shall be assumed to be proceeding at their own risk and the Engineer shall not be held liable or responsible for any work being performed without a permission.
- work to proceed shall be assumed to be proceeding at their own insk and the Engineer shall not be net liable for responsible for any work being performed without a permit. The Contractor shall indemnify and hold harmless the Owner, Engineer, Village/City, and ofth Jurisdictional Agencies as well as all of their respective officers, employees, agents, and Engineer from and against all losses, claims, demands, payments, suits, actions, recoveries, and judgment every nature and description brought or recovered against them, by reason of any act, error unission of said Contractor, their agents or employees in the execution of the work or in the guardit
- construction shall be under the general inspection and observation of the designated individual authorized by the Village/City or other applicable Jurisdictional Agencies. The Village/City Jurisdictional Agencies, Owner, and Engineer shall be notified at least two working days prior to the
- The location of existing underground utilities such as water mains, sewers, gas lines, electric lines, The location of existing underground utilities such as water mains, sewers, gas lines, electric lines, cable TV lines, fiber optic lines, etc., as shown on the Plans, has been determined from the best available information and has been provided for the convenience of the Contractor. However, the Owner and Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered and that the actual location of those which are shown may be defined from the location as shown on the Plans. The Contractor is to verify the location of all utilities prior to the start of work and is responsible for damage to the same. The Contractor shall contact JULI.LE. or Digger by dailing all 1 (Outside the City of Chicago, JULI LE: Alpho-982-0123 or within the City of Chicago, Digger, 312-744-7000) and the Village/City Public Works Department for utility contents at last-64 brows exclusions used to believe before discinct. For exputility compositions the City Of Criticagu - Digger 3/22/44-1000 and the VillingBetCity Funds works Department for unit locates at least 46 hours, excluding weekends and holidays, before digging. For any utility companie which are not members of JULIE or DIGGER, the Contractor shall contact the Owners of eac respective utility directly for utility locates at least 48 hours, excluding weekends and holidays, before displays the contract of the c
- digging. In some instances, the existing utilities are shown on the Plans according to information obtained from the utility companies (atlas information) and/or surveys performed By Others. The Owner an Engineer do not guarantee the accuracy or completeness of this information. The Contractor shall be aware of potential conflicts with existing or other proposed utilities as indicated on the Plans or the become apparent as the result of field locates By Others. The Contractor shall make their ow become apparent as the result of field locates By Others. The Contractor shall make their own investigations as necessary to determine the evisitence, nature, and location of all utility lines and related appurtenances within the limits or adjacent to the proposed improvements. The Contractor shall locate all utilities far enough in advance to avoid all conflicts between existing utilities and proposed improvements and make the Engineer aware of any such conflicts. If the Contractor encounters a conflict between the proposed improvements and existing utility that was not located in advance by the Contractor, then the Contractor shall at no cost to Owner, relocate the proposed improvements and and/or utility to avoid the conflict.

 The Contractor will be required to cooperate with all utility companies involved in connection with the
- any and all services or facilities owned or operated by them within the limits or general vicinity of the In good an accuracy of the contraction of the Owner and Utility Companies the Contractor, the Contraction of the Contraction of the Owner and Utility Companies the Contractor, hall coordinate the location and install PVC sleeves as necessary under the proposed pavement, urbs, walks, etc. for utility companies to run their proposed utility lines lefore doing any work which will damage, disturb or leave unsupported, or unprotected any utility lines

- or related appurtenances encountered, the Contractor shall notify the respective Owner thereof, who will make all arrangements for relocating, adjusting, bracing, or otherwise maintaining or abandoning service on lines that fall within the limits of the proposed construction without cost to the Contractor, including the removal of all cables, manhole covers and other related appurtenances which the Owner desires to salvage. After such arrangements have been made, the Contractor will proceed with the work as directed by the Engineer. All utility lines and related appurtenances which are abandoned shall be removed if necessary and legally disposed of legally off-size by the Contractor. No extra compensation will be allowed by the Contractor for any expense incurred for complying with all of these aforementioned utility coordination and cooperation requirements, or because of delays, inconvenience or interruptions in their work resulting from the failure of any utility company to remove, relocate, construct, reconstruct or abandon their services. The responsibility for prompt and timely
- relocate, construct, reconstruct or abandon their services. The responsibility for prompt and timely removal, relocation, reconstruction or abandonment of their facilities by all utility companies involved and the coordination of their own work with that of these companies to the end that work on this improvement is not delayed because of the necessary changes in the existing utilities, public or private shall rest upon the Contrador.
- improvement is not designed because of the necessary changes in the existing utilities, public or private, shall rest upon the Contractor. Prior to commencing work, the Contractor is to field check and verify all critical locations, elevations, materials, sizes, dimensions, and conditions affecting the work, and notify the Engineer immediately if there are any suspected discrepancies. No work shall be performed until the suspected discrepancy has been resolved. The Contractor shall also call to the attention of the Engineer any errors or has been exceeded with the work until any lines and grades which are to believed to be in error have been verified or corrected by the Engineer.

 The Contractor shall maintain positive drainage at all times during construction. Construction shall not block off-site derianage and the flow from any drainage ways, field tiles, storm severs or similar draining off-site properties. All on-site existing field tiles, storm severs or similar draining off-site properties. All on-site existing field tiles, storm severs or similar draining off-site properties. All on-site existing field tiles, storm severs of their original pre-construction condition or better, properly re-routed, and/or connected to the proposed stormwater drainage system. If this can't be accomplished then the field tile should be repaired or re-routed with new pipe of similar fits scart be accomplished then the field tile should be repaired or re-routed with new pipe of similar
- or damaged during construction shall be maintained, restored to their original pre-construction condition or bettler, properly re-routed, and/or connected to the proposed stormwater drainage system. If this can't be accomplished then the field tile should be repaired or re-routed with new pipe of similar diameter to the original line and put back in service. The Contractor shall notify the Engineer if any suspined tile to the properties of the properties of
- . No construction activities, disturbance or fill shall occur within the limits of natural resources such as wellands, floodplains, creeks, streams, ponds, lakes, basins, reservoirs, etc. or their respective buffers unless specifically specified on the Plans and further that the work has been permitted. The Contractor shall take sufficient precautions to protect these natural resources that are to remain, whether on-site or on adjacent property, to protect them from sediment, fuels, oils, bitumens, calcium chloride, or other harmful materials that may be a detriment. The Contractor shall conduct and schedule their Construction so as to avoid siltation, or other disturbance or impact to these natural resource areas. The Contractor shall not disturb or otherwise impact these designated natural resource areas, or areas that have been designated to be protected or as essential habitat for State or Federal listed endangered or threatened species, or Prairie or Savannah areas where the Owner has made commitment for protection of these areas. Also if remaining the individual resource areas. endangered or threatened species, or Prairie or Savannah areas where the Owner has made commitments for protection of these areas. Also, if previously unidentified natural resource areas, prairies, savannahs, or areas or locations suspected of containing protected species are identified during construction, the Contractor shall not disturb them unless written permission to do so is granted by the Owner or applicable Jurisdictional Agency. If the Owner, Engineer, or applicable Jurisdictional Agency the Owner or applicable Jurisdictional Agency are necessary to prevent or mitigate project effects on natural resource areas, prairies, savannahs, protected species, or essential habitat the Contractor shall cooperate in accomplishing these measures.

 The Contractor shall confine their activities to within the project boundaries, work areas, or easements pecified. No work shall be performed on adjacent private property or outside the project work areas without the written permission of each respective Owner. The Contractor shall be liable for damage caused to existing or newly installed improvements as well as any damage on adjacent proventy or adjacent provents or adjacent proventy or adjacent
- caused to existing or newly installed improvements as well as any damage on adjacent property of areas outside designated work areas, provided damage us a result of Contractor action, or lack
- The Contractor is responsible for returning all areas affected by equipment, materials and/or laborate The Contractor is responsible for feutring all areas affected by equipment, materials and/or laborers to pre-construction condition or better. All existing utilities or improvements, including but not limited to pavements, curbs, drives, trees, and parkways damaged or removed during construction shall be promptly restored to their respective original pre-construction condition or better. The Contractor is also responsible for protecting all newly constructed work from damage until the project has been completed and has been approved and accepted by the Owner. Completed and has been approved and accepted by the Owner, which is a construction of each phase of the work or when directed to do so by the Owner, so that these areas will be restored as nearly as possible to their original necessitation condition or better, and shall uniquide the full or be limited to restorated.
- work or when directed to do so by the Owner, so that these areas will be restored as nearly as possible to their original pre-construction condition or better, and shall include but not be limited to, restoration of maintained lawns and rights-of-way, roadways, driveways, sidewalks, ditches, landscaping, fences, mailboxes, storm sewers, drain tiles, sanitary sewers, water mains, etc. It shall also be the responsibility of the Contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the Owner. All proposed grades shown on the Plans shall be considered to be finished grade surface elevations
- unless noted otherwise.

 Construction staking/layout shall be provided by the Contractor and shall be included in the Contract be unless otherwise agreed upon in writing with the Owner prior to the start of Construction
- All Construction means and methods, techniques, procedures, scheduling, sequencing, and job site safety is the sole responsibility of the Contractor. The Contractor shall observe and comply with all the Occupational Safety and Health Administration (OSHA) standards, rules and regulations, as well as any other applicable local, state and federal safety
- requirements.

 All trenching, shoring, bracing and construction work performed shall be in accordance with the All trenoning, snoring, oracing and construction work performed shall be in accordance with the Occupational Safety and Health Administration (OSHA) standards. The Contractor shall take whatever steps necessary to protect the public from open trenches, excavations, and other site obstructions or hazards. No trenches, excavations or holes in the pavement or parkway are to be left open over a holiday, weekend, or after 3 p.m. on the day preceding

- pavement or parkway are to be left open over a holiday, weekend, or after 3 p.m. on the day preceding a holiday or weekend.

 During construction the Contractor and their Sub-Contractors shall keep the premises clean by the contractor by the contractor shall clean the premises to the satisfaction of the Village/City and Owner.

 The Contractor shall have appropriate equipment and material including street sweepers and end loaders available on-site at all times when equipment or vehicles are using existing public or private the contractor shall minediately remove any sediment or debris including but not limited to drir, mud. clay, sediment, concrete, gravel, sand, stones, plant material, refuse, garbage, oil, grease, etc. deposited on any roadway, street, walk, alley or other pavement by any equipment, vehicles or personnel associated with this project. This work shall be considered incidental to the Contract
- vehicles or personnel associated with this project. This work shall be considered incidental to the Contract.

 The Contractor shall at all times maintain proper dust control at the site and shall have a watering true readily available during all working hours. The Contractor shall water the entire site whenever the site conditions become unhealthy due to blowing soil or dust. The site shall be watered as many times per day as necessary to maintain a healthy work is lase adetermined by the Owner or Engineer. Water for non-emergency use shall not be obtained from any fire hydrant, unless the fire hydrant is metered with a proper backflow preventer a scordinger with Village/Clby or Jurisdictional Agency requirements. Trees not marked for removal shall be protected as necessary by the Contractor. In the event that a tree or trees in accordance with Village/Clby requirements. If the Village/Clby does not have specific received by the Contractor during construction, the Contractor shall replace such tree with a tree or trees in accordance with Village/Clby requirements. If the Village/Clby does not have specific received procedures to the village shall be replaced in accordance with the procedures outlined in Section 201 of the IDOT Standard Specifications. The
- Contractor shall ensure that they are familiar with the applicable tree preservation requirements and shall be held responsible for the replacement of all damaged trees not designed for removal, and any penalties associated with the unapproved removal of trees
- penalties associated with the unapproved removal of trees.

 Where overhanging branches, limbs, or roots interfere with the required construction activities, said branches, limbs, or roots shall be trimmed or pruned as necessary in accordance with Section 201 of the IDDT Standard Specifications. This work shall be performed under the supervision of an approved arborist for landscape architect.

 The Contractor is responsible for the installation and maintenance of adequate signs, traffic control devices, and warning devices, in accordance with the Plans, applicable IDDT Standard Specifications and the MUTCD Standards to inform and protect the public during all phases of construction. The Contractor shall provide all signage, barricades, devices, equipment, personnel, etc. necessary to provide for safe and efficient traffic flow in all areas where the work will interrupt, interfere or cause to change in any form the conditions of traffic flow where the work will interrupt, interfere or cause to provide for safe and efficient traffic flow in all areas where the work. Will interrupt, interfere or cause to change in any form, the conditions of traffic flow that existed prior to the commencement of any portions of the work. Roadways shall remain open to a degree satisfactory to the Owner or applicable Jurisdictional Agency which at their discretion may require the Contractor to furnish traffic control under these or other circumstances where in their opinion it is necessary for the protection of life and property. Emergency eholic access along with access to fre hydrants shall be maintained at all times. Further, unless authorized by the Owner, all existing access points shall be maintained at all times by
- Where noted in the Plans, the Contractor shall have Shop Drawings and any other required supporting where nideb in one Finals, the Contractor stain nave shop praiwings and any other required supporting documentation or calculations prepared and submitted for review and approval prior to any fabrication, placement, or construction. If structural elements such as retaining walls are required, the drawings and any required supporting design calculations must be prepared, and signed and sealed by an Illinois and any required supporting design calculations must be prepared, and signed and sealed by an Illinois to the contract of the c
- ensed Structural Engineer. he Contractor is responsible for having a set of approved Plans and Specifications with the lates vision date on the job site at all times during the construction period.

- The Contractor shall maintain a clean, legible, undamaged set of Field Marked Construction Plans. These Field Marked Construction Plans shall show the location of the actual installed location of all underground utilities including related appurtenances (sanitary, storm, water, service stubs, gas, telephone, electric, cable TV, etc.) giving particular attention to concealed elements that would be difficult to measure and record at a later date. Any approved modifications, edvalations, or alterations from the approved Plans should also be noted and shown on these Field Marked Construction Plans shall be provided to the Owner/Engineer at the completion of
- All work that is performed that is not in conformity with the Plans, Specifications or other Contrac
- All work that is performed that is not in conformity with the Plans, Specifications or other Contract Documents or that is defective shall be removed and replaced, or otherwise corrected or remedied by and at the sole expense of the Contractor. Any unauthorized work or work performed beyond the limits or in excess of that shown on the Plans will not be measured or paid for. All work performed under the Plans, Specifications or other Contract Documents shall be guaranteed against all defects in materials and workmanship of whatever nature by the Contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work by the Village/City, other applicable Jurisdictional Agencies, and the Owner, unless otherwise agreed upon in writing with the Owner prior to the start of construction.
- are owner prior to the start of construction,. Before acceptance by the Owner and prior to final payment all work shall be inspected and approve
- Before acceptance of designate deveraged for the final payment all work shall be inspected and approved by the Owner or designate presentative. Final payment will be made after the Contractor's work has been proved and accepted or as required in the contract Document of the Contract of Couract of

- The Contractor shall perform all demolition, clearing, grubbing, and tree removal and protection work in accordance with all applicable Federal, State, County and Local requirements or as noted in the Plans. Prior to the commencement of any demolition or clearing activities, the Owner or Contractor shall obtain all applicable permits to disconnect the existing utility services to each building proposed for
- The Contractor shall coordinate all demolition work with the Village/City utility companies and other
- The Contractor shall coordinate all demolition work with the Village/Clty, utility companies, and other jurisdictional Agencies, so as to ensure the protection of all existing sewer, water main, and other utilities, and further to ensure that proper stormwater conveyance is attained until the proposed improvements can be installed and placed into operation.

 Clearing shall consist of the removal and legal disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation and stumps. These ltems shall be removed whenever they are found within the street right-of-ways or within the limits of construction. Trees to be saved or protected shall be identified by the Engineer on the Plans or in the field. All trees except those designated to be saved or protected, as well as all stumps and hedges within the limits of construction, shall be removed completely and legally disposed of off-site or as otherwise designated on the Plans or authorized by the Owner. Trees designated to be saved or protected as indicated on the Plans or as directed by the Engineer. Engineer, shall be protected from damage in accordance with the procedures outlined in Section 20
- Engineer, shall be protected from damage in accordance with the procedure's outlined in Section 201 of the IDOT Standard Specifications. Plans including items not specifically noted but necessary to be All items shown to be removed on the prosession shall be demolished or removed as necessary and disposed of legality off-site or as approved by the Owner. Existing utilities to be disconnected shall be done so at the main or as directed by the applicable Jurisdictional Agency or as noted on the Plans. Utilities marked to be abandoned shall be abandoned as required by the applicable Jurisdictional

- denieval to evaluation of the plans. All existing parents of the proposed removal of each item. All existing pavement or concrete to be removed shall be saw-out along the limits of the proposed removal to provide a clean vertical edge. The cost of saw-outting shall be considered incidental to the removal of provide a clean vertical edge.
- removal to provide a custant various edge. The constraints of the cons
- demolition or clearing work.

 All existing building services serving buildings that are to be removed shall be disconnected and removed as required by the applicable Jurisdictional Agency.

 All existing wells shown on the Plans to be abandoned or that are discovered during the course of construction shall be exposed and cut-off three (3) feet below the proposed finished grade and sealed by the Contractor in accordance with Section 920 of the "Illinois Water Well Construction Code", latest edition, or as required by the Health Department or by any other Local, County, State or Federal rules
- All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are discovered during the course of construction shall have all fliquids and solids removed and disposed of legally off-site by a licensed commercial waste hauter in accordance with the requirements of the Health Department or as required by any Local, County, State or Federal rules and regulations. The structures shall then be removed and disposed legally off-site or broken in-place, so as not to hold liquid, and back-filled with suitable materials by the Contractor or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.

 Any material containing asbestos or other hazardous materials found within existing structures or other items shown to be removed in order to construct the proposed improvements shall be removed from the site and legally disposed of off-site by the Contractor in accordance with applicable County, State or Federal rules or regulations.
- or Federal rules or regulations.

 All fire access lanes or routes located within the existing project area shall remain in service, clean of debris, and accessible for use by emergency vehicles at all times while demolition and clearing work is
- being performed.

 It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their demolition or clearing operations at no additional expense to the Owner. Burning or incineration on the site is not permitted.

- All earthwork and grading activities shall be performed in accordance with the IDOT Stand Specifications or as noted in the Plans. Included in this work, but not necessarily limited to following are: stripping and stockpling of topsol, mass grading and fine grading of the site roadways, excavation of unsuitable materials and adequate disposal of unsuitable materials and treplacement with suitable materials where required; construction of detention ponds, be construction, and miscellaneous topsoil respread and seeding.
- Any earthwark quantities, calculations, surmantes that have been furnished by the Engineer are for information purposes only and are provided without any guarantee by the Owner or Engineer with the provided that the provided in the provided in the provided by the Contractor of the contractor to determine all material quantities and apprise themselves of all site conditions. The Contractor to determine all material quantities and apprise themselves of all site conditions. The Contractor warrants that he has performed his own investigations as necessary and his own calculations to determine site soil conditions and earthwork quantities. The Engineer makes no representation or quarantee regarding earthwork quantities or that the earthwork for this project will belance due to the varying field conditions, changing soil types, allowable construction tolerances and construction methods that are beyond the control of the Engineer. In the event that the Earthwork is indicated to be Lump Sum then the Contract Price submitted by the Contractor shall be considered as Lump Sum and shall include all items necessary for the complete project and no claims for extra work will be recognized unless authorized in writing by the Owner.
 The soil boring reports for the subject property can be obtained from the Owner. The information presented in these reports is solely for the guidance of the Contractor. The Owner and the Engineer make no representation or warranty regarding the information contained in the boring logs or soils report. The Contractor shall make their own investigations and shall plan their work accordingly. Arrangements to enter the properly during the bidding phase may be made upon request of the Owner. There will be no additional payment for expenses incurred by the Contractor resulting from adverse soil or ground water conditions. construction, and miscellaneous topsoil respread and seeding. Any earthwork quantities, calculations, summaries that have been furnished by the Engineer are fo
- or ground water conditions. The initial establishment of soil erosion and sediment control measures such as the placement o
- The initial establishment of soil erosion and sediment control measures such as the placement of erosion control sift fence, stabilized construction entrance, intel protection, etc. shall be installed by the Contractor prior to the start of demolition, clearing and mass grading. All earthwork and grading operations are to be supervised and inspected by a qualified Geotechnical/Soils Engineer or their designated representative. All testing, inspection, observation, and supervision of soil quality, unsuitable soil removal and its replacement, compaction testing, ensuring ponds and retention areas hold/retain water and other soils related operations shall be entirely the responsibility of the Geotechnical/Soils Engineer. Furthermore, no undercut or other recommended remediation work shall be performed without authorization by the Owner and documentation of extent by the Geotechnical/Soils Engineer.
- documentation of extent by the Geotechnical/Soils Engineer.

 A qualified Geotechnical/Soils Engineer or their designated representative shall observe the construction of the retention and detention areas including berning to ensure the areas will be capable of holding the designated normal and high water levels. Gravel or sand seams, or other conditions which may be encountered and which might tend to dewater the area shall be remedied as directed by the Geotechnical/Soils Engineer. Topsoil stripping or excavation shall initially consist of the removal of the uppermost layers of organic soil and stockpiling at a location shown on the Plans, in another area deemed appropriate by the Contractor and approved by the Owner, or at a location specified by the Owner or Engineer. No stockpile location shall be finalized without the explicit approval from the Owner. Further, stockpiles shall not be located within find organized soil in the specified by the Owner. Further, stockpiles shall not be located within find organized soil and sproved by their agency.
- hall not be located within flood prone areas or within designated buffer areas.
- shall not be located within flood prone areas or within designated buffer areas.

 8. Stripping of vegetation or ground cover, grading, or other soil disturbance activities shall be done in a manner which will minimize soil erosion. Further, the disturbance shall be kept to a minimum and all disturbed areas shall be stabilized with temporary or permanent measures within fourteen (14) days of active hydrologic disturbance or re-disturbance.

 9. The Contractor shall take precautionary measures to minimize earthwork and other activities in the areas where trees are to be saved or protected as to not cause injury to roots or trunks.

 10. Embankment placement including preparation of existing ground surface prior to embankment placement and compaction shall be in accordance with Section 205 of the IDOT Standard Specifications. All embankments located within structural fill areas or zones of influence thereof shall

- be constructed to a minimum 95% of the modified proctor density in accordance with ASTM D1557. Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density in accordance with ASTM D1557. Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil or depth indicated on the Plans over the disturbed unpaved areas within the construction limits. These areas shall then be seeded, sodded, landscaped, stabilized, etc. as indicated on the Plans. On the Plans over the disturbed areas within the right-d-way and at other locations indicated on
- Refer to the Landscape Plans prepared By Others for additional information on the landscaping and

- 3. Refer to the Landscape Plans prepared By Others for additional information on the landscaping and ground cover requirements.
 4. Completed subgrade grading and final finished grading for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) toot of the design elevation.
 5. Contractor shall provide uniform slopes between proposed grades and smooth vertical curves/transitions through all high and low points. Smooth transitions shall be provided where any proposed improvements match into or abut existing improvements.
 7. The subgrade for the proposed streets and other pavement areas shall be proof-rolled by the Contractor in the presence of the Village/City Engineer or applicable Jurisdictional Agency and the Contractor in the presence of the Village/City Engineer or applicable Jurisdictional Agency and replaced or remediated as directed by the Village/City Engineer or applicable Jurisdictional Agency and Geotechnical/Soils Engineer. Any unstable areas or failures encountered and remediation method including approximate size, quantity, etc. shall be documented by the Geotechnical/Soils Engineer.
 7. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their construction operations at no additional expense to the Owner. Burning or incineration on the site is not permitted.

SEWER AND WATER MAIN GENERAL NOTES

- All sanitary sewers, storm sewers and water mains as well as their services and other related appurtenances shall be constructed and tested in accordance with the "Standard Specifications for Water and Sewer Construction in Illinois", latest edition, the requirements of the applicable Jurisdictional Agency, and the applicable Typical Details. Rough grading shall be within one (1) foot of finished subgrade elevation shall be completed prior to the commencement of the underground utility construction. Trench excavation, badding and backfill, and compaction for sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances shall be in accordance with applicable
- mains as well as their services and other related appurtenances shall be in accordance with applicable Trench Section Details.

 When in the opinion of the Geotechnical/Soils Engineer, unsuitable soil conditions are encountered within utility renches which require the removal of unsuitable materials below the depth of the bedding specified, the Contractor shall remove the unsuitable soils and replace the material with granular compacted bedding material as directed by the Geotechnical/Soils Engineer, Village/City or other applicable Jurisdictional Agency. The depth of the required removal and replacement shall be documented by the Geotechnical/Soils Engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which price shall include the removal and reflaced disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to reform the work as specified.
- disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipmei required to perform the work as specified.

 All utility trenches for the proposed sanitary sewer, storm sewer, water main and services lying undo or where the inner edge of the trench is within two (2) feet of any pavement area, curb, curb and gutte stabilized shoulder, sidewalk, building, utility crossing or other structural area shall be backfilled wis select granular backfill material and compacted as noted on the Plans.

 The Contractor shall be responsible for dewatering any excavation for the installation of sanita.
- select granular backfill material and compacted as noted on the Plans.

 The Contractor shall be responsible for dewatering any excavation for the installation of sanitary severs, storm sewers, water mains as well as their services and other related appurtenances. Any devalenting required to construct the proposed underground improvements shall be considered incidental to the respective underground improvement.

 Connections to an existing sewer main shall be to an existing service stub, wye, tee, or manhole where possible. Sewer connections to existing sanitary manholes shall be machine cored. All pipe connections to sanitary structures shall be made with flexible waterstop gasket/boot (resilient connector) conforming to ASTM C923.

 When connecting to an existing sewer main by means other than an existing service stub, wye, tee, or manhole, one of the following methods shall be used:

 a. Circular saw-cut of sewer main by proper tools ("sewer-tap" machine or similar) and proper installation of a suitable hub-wye saddle or hub-tee saddle.

 b. Remove the entire Section of pipe breaking only the top of one bell and replace with a wye or tee

- b. Remove the entire Section of pipe breaking only the top of one bell and replace with a wye or tee
- branch Section.

 With pipe cutter, neatly and accurately cut out the desired length of pipe for insertion of proper fittings, using 'Band-Seal' or similar flexible type couplings to hold it firmly in place.

 Other method approved by Jurisdictional Agency.

 and-Seal' or similar flexible type couplings shall be used in the connection of sewer pipe of dissimilar
- materials. The Contractor shall mark the locations of the ends of the service stubs with 4"x4" wood posts
- The Contractor shall mark the locations of the ends of the service stubs with 4'x4' wood posts extending a minimum of three (3) feet above the ground. The top twelve (12) inches of post shall be painted green for sanitary, white for storm, and blue for water. The Contractor shall keep accurate recovers of all service connection locations.

 Rail structures including but not limited to frames and lids or grates, cleanouts, b-boxes, etc. shall be adjusted as necessary by the Contractor to final finished grade elevation. All sanitary sewers, storm sewers, water mains as well as their services and other related appurlenances shall be thoroughly cleaned to the satisfaction of the Village/City, Owner, and Engineer as necessary during construction, prior to inspection and testing, and at the end of the project. The Contractor shall coordinate the testing and televising so that it can be witnessed by the applicable Jurisdiction Agency.
- The cost of the cleaning, televising, and testing shall be considered incidental to the Contract.
- 14. The cost of the cleaning, televising, and testing shall be considered incidential to the Contract.
 15. All deficiencies and defects observed as well as any necessary corrective work required as the result of testing or television inspection shall be performed by the Contractor at no additional cost to the Owner and without delay. All dips, cracks, leaks, improperly sealed joints and departures from the approved grades and alignment shall be repaired by removing and replacing the involved sections of pips. Upon completion thereof, the sewer shall be retested and/or re-televised and such further inspection made as may appear warranted by the Owner or as required by the Jurisdictional Agency.
 16. Refer to Sanitary Sewer, Storm Sewer, Water Main and Water Main Protection Requirements for

- Refer to Sewer and Water Main General Notes for additional requirements.

 Gravity Sanitary Sewer Pipe shall be constructed from one or more of the following materials as specified on the Plans:
- ectied on the Plans:

 Polyvinyl Chloride (PVC) Pine conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to
- ASTM D3212 and F477.

 b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket jorist conforming to ANSI A21.11 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C110/C153 for fittings. Where water main qualify pipe and joints are required to meet the water main protection requirements the sanitary sewer pipe shall be constructed from one or more of the following materials as specified on
- te Plans: a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D2241 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to
- (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM 03139 and F477.

 b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111. The interior of the pipe and fittings shall be coment-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphalitic obading per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C1010C153 for fittings.

 All sanitary manholes shall be constructed of precast reinforced concrete sections with tongue and grove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches. If manhole diameter is not specified in the Plans the required manhole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall
- manhole diameter is not specified in the Plans the required manhole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the structure shall be precast into the structure walls at the proper invert levation and orientation. Benches and defined channel invert flow lines shall be provided at bottom of structures to provide smooth defined flow path between all inlet and outlet pipe inverts. Sanitary manholes shall have eccentric offset cones, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided inleu of an eccentric cone section. Falt top slabs shall conflow in DOT Standard Detail 002601 as in-lieu of an eccentric cone section. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20HS-20 loading requirement. Concrete adjusting rings will be permitted where necessary and shall be limited to two (2) adjusting rings totaling not more than eight (8) inches in height or as permitted by the applicable Jurisdictional Agency. All joints between structure sections, adjusting rings and frames shall be securely sealed to one another using a resilient, flexible, non-hardening bituminous mastic or buly sealing compound in accordance with ASTM C990, or flexible rubber gasket in accordance with ASTM C443 in order to provide a watertight joint. The Cortiractor shall remove all excess mastic on inside of structure and butter joints with mortar. External chinney seals shall be provided on all sanitary manholes and all sanitary manholes shall be

- watertight.

 Sanitary manhole frames and lids shall be Neenah R-1713 with Type B, self-sealing, watertight lids with concealed pick holes or approved equal, unless noted otherwise in the Plans. Sanitary manhole lids shall be imprinted with the word "SANITARY" cast into the lid.

 Manhole steps shall be furnished and installed in all Sanitary and Storm structures in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition and as shown on the Plans. Steps shall be polyproplene coated steel core reinforced steps with sip, load, and pullout ratings in accordance with ASTM C478 and OSHA requirements. The steps shall be placed uniformly contained to the contained the step of at twelve (12) to sixteen (16) inches on-center and shall be located directly below the manhole frame opening and shall not be located directly over a pipe opening with the alignment of the steps generally
- opening and shain no to located unicoury over a pipe opening with a significant or the pipe flow direction wherever possible.

 An external drop manhole structure in accordance with Plans or other Jurisdictional Agency equipments shall be provided where the difference between inverts is greater than or equal to two (2).
- The minimum cover over sanitary sewer lines and services shall be three (3) feet
- The minimum cover over sanitary sewer lines and services shall be three (3) feet. The minimum sanitary service line size shall be 6-inch diameter pipe at a 1.0% minimum slope. All services stubs shall be capped with a watertight plug until connection is ready to be made. The plug shall be properly secured to withstand the required test pressures. Sanitary sewer service risers shall be installed where the mainline sewer depth is greater than twelve (12) feet or in locations indicated on the Plans. Cleanouts shall be provided in locations shown on the Plans or as required by the Jurisdictional America.

- Agency.

 All floor drains shall discharge into the sanitary sewer.

 External grease traps, if applicable, shall be provided in accordance with the Jurisdictional Agency requirements at the locations shown on Plans. Contractor shall submit shop drawings for review and
- approval prior to ordering or fabricating the grease trap.

 Sanitary sewers and related appurtenances shall be tested and televised in accordance with the
- following:

 a. All sanitary sewers shall be tested for acceptability by either an air test, infiltration of water test, or exfiltration of water test or a combination thereof in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive. The maximum allowable rate of infiltration or extiltration shall not exceed 200 gallons per inch diameter of pipe
- per mile of pipe per fay.

 All flexible pipe sanitary sewers shall be deflection tested in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive. Deflection shall not exceed the manufacturer's recommended deflection limits or a maximum of 5% of the internal diameter of the pipe, whichever is more stringent.

 All sanitary manholes shall be tested for wateriphitness using a leakage test in accordance with ASTM C969 "Standard Practice for Infiltration and Extiliration Acceptance Testing of Installed Precast Concrete Pipe Sewer Lines" or ASTM C1244 "Standard Test Method for Concrete Sewer Manholes by the Negative Pressure (Vacuum) Test Prior to Backfill."

 The Contractor shall televise all newly constructed sanitary sewers in accordance with applicable Jurisdictional Agency requirements prior to the completion of the project and final acceptance. A copy of the inspection video shall be provided to the applicable Jurisdictional Agency and the
- copy of the inspection video shall be provided to the applicable Jurisdictional Agency and the

ENGINEER : land sur $\mathbf{\alpha}$

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PRELIMINARY E SKYCRES

Project Manager: KM 03-26-202

Attachment 6

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RAL NOTES AND CIFICATIONS

FENGINEERING FEST SUBDIVISION GENERAL SPECIF

Engineer: Sheet C2.0

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- Refer to Sewer and Water Main General Notes for additional requirements. Storm Sewer Pipe shall be constructed from one or more of the following materials as specified on the
- forced Concrete Pipe (RCP) conforming to ASTM C76 with O-Ring gasket joints conformin STM C443. Pipe class shall be per Section 550 of IDOT Standard Specifications, except th pipe shall be a minimum Class III in non-structural areas (i.e., grass, parkway, etc.) and a minimum of Class IV in or within zone of influence of all structural areas (i.e., roadways, parking
- loss, curbs, walks, etc.). I but of minute of minute of an automata races (i.e., heavings, parameter of tots, curbs, walks, etc.). Polyvinyl Chloride (PVC) Pipe conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to
- ASTM D3212.

 High Density Polyethylene (HDPE) Pipe with smooth wall interior conforming to ASTM D3350 with ionists conforming to ASTM D3212 and ASTM D3350.
- joints conforming to ASTM D3212 and ASTM D3350.

 (a) Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar linef in accordance with ANSI A21.4 and AWWA C104. The exterior of all
- pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductie iron pipe, and ANSI A21.50 and AWWA C110C153 for fittings.

 Where water main quality pipe and joints are required to meet the water main protection requirements the storm sewer pipe shall be constructed from one or more of the following materials as specified on
 - . Reinforced Concrete Pipe (RCP) conforming to ASTM C361 with O-Ring gasket joints conforming to ASTM C443 and C361. Pipe class shall be per Section 550 of IDOT Standard Specifications, xcept that pipe shall be a minimum Class III in non-structural areas (i.e., grass, parkway, etc.) and a minimum of Class IV in or within zone of influence of all structural areas (i.e., roadways
- parking lots, curos, walks, etc.).

 Nolyvinyl Chloride (PVC) Pipe conforming to ASTM D2241 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to
- lyethylene (HDPE) pressure pipe with smooth wall interior and joints conforming
- 1. Ingil Delisisy Public Wiley Lipessule pipe with striction wan milestrol and joint schordning to ANSI ACL 50.
 2. Description (CIPP). Class 5.2 conforming to ANSI A21.51 and ANWA C151 with rubber and fittings shall be connent rountar lined in accordance with ANSI A21.51 and ANWA C10.1. The interior of the pipe and fittings shall be connent rountar lined in accordance with ANSI A21.4 and ANWA C10.4. The cetarior of uppers and fittings shall be connected by the ANSI A21.51 and ANWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and ANWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and ANWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and ANWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and ANWA C151.63 for fittings a specified on the Plans:

 a. Reinforced Concrete Arch Pipe in accordance with ASTM C506 and AASHTO M206.

 b. Reinforced Concrete Box Culvert Sections in accordance with ASTM C507 and AASHTO M207.

 c. Reinforced Concrete Box Culvert Sections in accordance with ASTM C1433.

 All storm structures shall be constructed of precast reinforced concrete sections with longue and groove joints conforming to ASTM C478. If the structure diameter is not specified in the Plans the required manhold clameter shall be determined by size of pipes and their orientation. The precast

- required manhole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the required mannole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the structure shall be project the proper invert elevation and orientation. Benches and defined channel invert flow lines shall be provided at bottom of structures to provide smooth defined flow path between all inlet and outlet pipe inverts. Storm anholes and catch basins shall have eccentric offset concer, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided in-lieu of an eccentric consecution. Flat top slabs shall conform to IDOT Standard Detail SCOPG1 as well as meet the H-20/HS-20 loading requirement. Catch Basins shall have the sumy depth as specified in the Plans. Concrete adjusting rings will be permitted where necessary and shall be limited to two (2) adjusting rings totaling not more than eight (8) inches in height. All joints between structure sections, adjusting rings totaling norm to the securely sealed to one another using a resilient, flexible, non-hardening bituminous mastic or buly sealing compound in accordance with ASTM C490, or flexible rubber gasket in accordance with ASTM C443 in order to provide a wateright joint. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar. Manhole steps shall be furbished and installed in all Sanitary and Storm structures in accordance with ASTM C476 and OSFA requirements. The steps shall be placed uniformly at twelve (12) to sixtem (16) inches on-center and shall be located directly below the manhole farme
- at twelve (12) to sixteen (16) inches on-center and shall be located directly below the manhole frame opening and shall not be located directly over a pipe opening with the alignment of the steps generally
- opening and shall not be located directly over a pipe opening with the alignment of the steps generally perpendicular to the pipe flow direction wherever possible.

 Open lid storm structures are designated with "G" on the Plans and closed lid storm structures are designated with "Film" on the Plans. a lids shall be Neenah R-1713 with Type B lid, or approved equal, unless noted otherwise in the Plans. Closed lid storm lids shall be imprinted with the word "STORM" unless noted otherwise in the Plans. Closed lid storm lids shall be imprinted with the word "STORM"
- Open lid storm structures frames and lids shall be Neenah R-2504-D, or approved equal, unless noted
- Yard area drain structures shall be Nyloplast inline drains or drain basin structures, or approved equal,
- Yard area drain structures stem to represent a control of the state of Rip-Rap with filter fabric in accordance with Section 281 of the IDOT Standard Specifications shall be
- provided at locations shown on the Plans. Cleanouts shall be provided in locations shown on the Plans or as required by the Jurisdictional
- Agency.

 All downspoults, fooling drains, and outside storm drains shall discharge to the storm sewer or discharge at grade. No stormwater shall be discharged into the sanitary sewer system. Perforated pipe underdrains shall be corrugated flexible HDPE pipe conforming to AASHTO M252 or M294, perforated polyethylene pipe of diameter specified on the Plans with a smooth interior and wrapped in a soft filter fabric sock supplied and installed by the Contractor. Elevations of structures located in our band guiter are flow line elevations.
- Elevations of flared end sections are provided at the extreme outer end of the flared end section.

- Refer to Sewer and Water Main General Notes for additional requirements.

 Water Main Pine shall be constructed from one or more of the following materials as specified on the
- a Ductile Iron Pine (DIP) Class 52 conforming to ANSI A21.51 and AWWA C151 with a 150 psi working pressure, with push-on double sealing rubber gasket joints conforming to ANSI A21.1 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance ariu Awwa C111. Ine intenor of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A214 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.01A21.53 and AWWA C1105.C151 for ductile iron pipe, and ANSI A21.01A21.55 and AWWA C105. Installation of DIP and fittings shall be encased by a polyethylene encasement with an 8 mill thickness, Class C (Black) conforming to ANSI A21.5 and AWWA C105. Installation of DIP and fittings shall be in accordance with AWWA C800.
- accordance with AWWA C600.

 Polyvinyl Chloride (PVC) Pipe, SDR 18 conforming to AWWA C900 (4"-12" diameters) and Polyvinyl Chloride (PVC) Pipe, SDR 18 conforming to AWWA C900 (4*-12" diameters) and AWWA C905 (14"-48" diameters) with a pressure rating of 235 conforming to ASTM D2241 and joints in accordance with ASTM D3139 with elastomeric seals in accordance with ASTM F477. Installation of PVC pipe and fittings shall be in accordance with AWWA C605.
 High Density Polytethylene (HDPE) pressure pipe and fittings for water main in accordance with AWWA C906, DR 11, 160 psi, with ductile iron pipe outside dimension.
 Cite iron fittings or cast iron fittings shall conform to ANSI A21.53 and AWWA C153.

- ductile iron fittings shall conform to ANSI AZ L.33 and AVYVVA C.133.

 All water structures shall be constructed of precast reinforced concrete sections with tongue and roove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-i groove joints conforming to ASTM C470 and strial have a milliminary inside unintered to more structure diameter is not specified in the Plans the required structure diameter shall be determined by size of pipes and appurtenances that need to be located within said structure. The precast reinforcer size of pipes and appurtenances that need to be located within said structure. The precast reinforced concrete base and bottom section shall be monotificially cast. All pipe openings in the structure shall be precast into the structure walls at the proper invert elevation and orientation. Water structures shall have concentric cones, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided in-lieu of an eccentric cone section. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20HS-20 loading requirement. Concrete adjusting rings will be permitted where necessary and shall be limited to two (2) adjusting rings statling not more than eight (6) inches in height. All joints between structure sections, adjusting rings and frames shall be securely sealed to one another using a resilient, flexible, one-hardening bituminous mastic or butyl sealing compound in accordance with ASTM C443 in order to provide a watertight joint. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar. All water structures shall be watertight.

 Valve vaults shall have minimum inside diameter of forty-eight (48) inches for eight (8) inch diameter and smaller valves, and have a minimum inside diameter of sixty (60) inches for ten (10) inch and larger valves.
- larger valves. Water services 2 ½ inches in diameter and smaller shall be Type K Copper for underground services conforming to ASTM B88 and ASTM B251. Larger diameter water services shall be of same pipe and
- joint materials as the mainline water main or as noted on the Plans. The minimum cover from finished grade to the top of the water main and water services shall be 5.
- tect. Water main fittings (i.e., bends, elbows, tees, reducers, etc.) may not be specifically referenced on the Plans and are to be considered incidental and included in the linear footage cost of the watermain. The standards for maximum deflection at pipe joints and laying radius for the various pipe types and
- ne standards for maximum deflection at pipe joir engths shall be per the following: a. Ductile Iron Pipe (DIP) AWWA C600. b. Polyvinyl Chloride (PVC) Pipe AWWA C900.

Attachment 6

High Density Polyethylene (HDPE) - Per Manufacturer's requirements

- Thrust blocking shall be installed on water mains at all tees, elbows, plugs, and bends 11 ¼ degrees or greater etc. per the "Standard Specifications for Water and Sewer Construction", latest edition. Thrust blocking shall be poured in place Portland Cement Concrete.
 All bends greater than 10 degrees, hydrants, tees, and fittings shall be mechanical joint with Mega-Lug retaining glands or Field Lot gasket in casings, between fittings and at grade changes.
 All botts and nuts shall be stainless steel.
 All botts are shall be installed on all nor-metallic water mains. The wire shall be continuous from

- vave vatur to varve vatur.

 Frame and lids for water structures shall be Neenah R-1713 or approved equal and lids shall be imprinted with the word "WATER" cast into the lid.
- . Frame and lids for water structures shall be Neenah K-1713 or approved equal and lids shall be imprinted with the word "WATER" cast into the lid.

 All water valves, fire hydrants, b-boxes, corporation stops, curb stops, ground key stops, service boxes, tapping sleeves, and other water main related appurtenances shall conform to 'Village/Cily or applicable Jurisdictional Agency Requirements and shall furnish and install the same. Contractor shall werely exact model, style, type, and manufacturer required prior to ordering. All fire hydrants shall be write year model, style, type, and manufacturer required prior to ordering. All fire hydrants shall be resilient to water the shall be non-inting stem type and shall close by turning diodxisise. All valves shall be resilient wadeg gate or ball valves, except that butterfly valves shall be installed on all water mains 16' diameter and larger, conforming to AWWA C500 with a minimum rated working pressure of 200 psi and in accordance with applicable Jurisdictional Agency requirements. Specialty valves and fittings such as cut-in-valves, tapping sleeves and valves, pressure reducing valves, insertion valves, and air release valves shall conform to the requirements of the applicable Jurisdictional Agency requirements and shall be installed at locations indicated on the Plans.

 When making connections to existing water mains requires a shutdown that requires an interruption in service, the Contractor shall contact the Owner of the water main and they shall mutually agree upon a date and a time for connections which will allow ample time to perform the work required in order to make the required connection. Notifications of all users to be affected by the interruption shall be interview.
- provided a minimum of twenty-four (24) hours prior to the service interruption. All water mains opene
- provided a minimum of twenty-four (24) hours prior to the service interruption. All water mains opened of atmosphere must be disinfected prior to returning the water main to service. Water Main and related appurtneances shall be tested in accordance with the following:

 A all water mains shall be tested by means of a pressure test and leakage test, in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition, AWWA C600, and in accordance with applicable Jurisdictional Agency requirements.

 b. All water structures (i.e., valve vaults) shall be subject to a leakage test in accordance with IEPA guidelines and Jurisdictional Agency requirements.
- 10. An water structures (i.e., variev exams) shall be subject to a learning test in accordance with IEPA guidelines and Jurisdictional Agency requirements.
 After completion of the water main testing, the water mains and related appurtenances shall be flushed clean and disinfected (chlorinated) in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition and in accordance with applicable Jurisdictional Agency

WATER MAIN PROTECTION REQUIREMENTS

Water mains, water services and related appurtenances shall be protected from any existing or propose Water mans, water services and related apputenances shall be protected from any existing or proposed drains, sanitary, sewers, storm sewers, combined sewers, force mains, and sewer services. All these previously mentioned items shall collectively be referred to as "sewer(s)" for the remainder of this section Horizontal and vertical separation requirements between water mains and sewers as well as other wate main protection requirements shall be in accordance with "Slandard Specifications for Water and Sewe Construction in Illinois", latest edition and per the following:

- Separation: never possible, an existing or proposed water main must be at least ten (10) feet horizany existing or proposed drain, storm sewer, sanitary sewer, combined sewer or
- Should local conditions exist which would prevent a lateral separation of ten (10) feet, an existing
- Should local conditions exist which would prevent a lateral separation of ten (10) feet, an existing or proposed water main may be closer than ten (10) feet to a sever provided that the water main invert is at least eighteen (18) inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer. If it is impossible to obtain proper horizontal and vertical separation as described in Items 1a and 1b above, both the water main and sewer must be constructed of pipe and joint material that conforms to water main quality pipe and joint standards, and be pressure tested to the maximum expected surcharge head to assure water tightness before backfilling.
- ever water mains cross sewers, the water main shall be laid at such an elevation that the Whenever water mains cross sewers, the water main shall be laid at such an elevation that the invert of the water main is all least eighteen (1s) inches above the crown of the sewer. This vertical separation shall be maintained for that portion of the water main located within (10) feet horizontally of any sewer crossed. This must be measured as the perpendicular distance from the water main to the sewer. A length of water main pipe shall be centered over the sewer to be crossed within joints placed equidistant from the sewer. Where conditions exist that the minimum vertical separation for this little 2a dove cannot be maintained, or it is necessary for the water main to pass under a sewer, one of the following two maintained, or it is necessary for the water main to pass under a sewer, one of the following two
- measures must be taken: The water main shall be installed within a PVC casing pipe that conforms to water main quality
- The water main shall be installed within a PVC easing pipe that conforms to water main quality pipe and joint standards and the casing pipe and joint standards and the casing pipe and joint material which water main to be sever is at least ten (10) feet. The involved sever shall be construed of pipe and joint material which would conform to water main quality pipe and joint standards until the normal distance on either storesing from the water main to the sever is tall east ten (10) feet.

 In making such crossings, a length of water main pipe shall be contered over the sever to be crossed with joints equidistant from the severe. Where a water main must cross under a sever, a
- sed with joints equidistant from the sewer. Where a water main must cross under a sew cal separation of eighteen (18) inches between the invert of the sewer and the crown or main shall be maintained, along with means to support the sewer to prevent their sel breaking the water semin izontal and vertical separation between water service lines and sewers or related service lines
- should be the same as for water mains, as detailed above, except that when minimum horizontal and vertical separation cannot be maintained, water main quality pipe and joints as described under Vertical Separation above, may be used for sewer or related service lines.

 Water mains or services shall not be allowed to pass through or come into contact with sewer
- water mains shall be separated from septic tanks, disposal fields, seepage beds, and sewage lift stations by a minimum of twenty-five (25) feet
- Water mains shall be separated from sanitary sewer force mains by a minimum of at least ten (10) feet horizontally and there shall be an eighteen (18) inch vertical separation at crossings.

 The Contractor shall protect water mains and service lines from the entrance of hydrocarbons through
- The Contractor shall protect water mains and service lines from the entrance of hydrocarbons through diffusion through any material used in the construction of the line. Casing pipe shall be installed in locations and of material specified on the Plans or where necessary it meet the water main protection requirements. The carrier pipe shall be securely blocked and banded with appropriately spaced spacers, and sanitary and storm sewers shall maintain the specified gradient. Upon installing the carrier pipe the voids between the casing and carrier pipe shall be filled with sand, pea gravel or flowable fill and the ends shall be sealed.

PAVEMENT, CURB & GUTTER, AND WALKS

- All work under this Section shall be performed in accordance the IDOT Standard Specifications or as
- specified in the Plans.

 Concrete curb or crub and gutter shall be constructed in accordance with the Plans and Section 606 of the IDDT Standard Specifications. A ½' pre-molded fiber joint filler along with two (2) 18' long x ½' (44) expox coated smooth round dowe has with greased end caps, centered on joint, sall be provided at expansion joints. Expansion joints shall be provided at a maximum of sixty (60) foot intervals and at all points of curvature and tangency, curb returns, five (5) feet either side of edge of structures, and at the end of each pour. Construction joints shall be provided at amaximum twently (20) front intervals.
- ot intervals.

 There proposed curb or curb and gutter connects to an existing curb or curb and gutter, the existing Where proposed curb or curb and gutter connects to un towards (#4) epoxy coated smoo or curb and gutter shall be saw-cut and then two 18" long x ½" (#4) epoxy coated smoo lowel bars with greased end caps shall be drilled and installed nine (9) inches into the exis proposed curb. Bars shall be installed in a location similar to that of the expansion joint in the
- and curb and gutter constructed over a utility trench shall be reinforced with two (2) #4 epoxy
- coated reinforcing bars for a length of ten (10) feet centered over the trench or as shown on the plans. Reversed pitched curb and gutter shall be installed in areas where pavement slopes away from the
- curb.

 Sidewalks and walks shall be constructed in accordance with the Plans and Section 424 of the IDOT Standard Specifications. Concrete sidewalks and walks shall be thickened to a minimum of 6" at all driveways. All sidewalks and walks shall be IDOT Portland Cement Concrete, Class SI, on compacted aggregate base course as shown on the Plans. Scored contraction joints shall be provided at five (5) foot intervals and adjacent to concrete curbs, stiffler shall be provided at maximum fifty (50) foot intervals, and adjacent to concrete curbs, foundations, ramps, etc. as well as when meeting existing concrete walks. Sidewalks and walks constructed over a utility trench shall be reinforced with three (3) #4 round epoxy coated reinforcing bars for a length of ten (10) feet centered over the utility trench or as shown on the plans.
- .

 ramps accessible to the disabled with raised truncated dome detectable warning surface of and brick red color or other contrasting color shall be provided at all locations where sidewalk
- standard brick red color or other contrasting color shall be p meets curb and at other locations shown on the Plans in accor (IAC), latest edition and IDOT Standard 424001, latest revision Curing and protection of all exposed concrete surfaces shall be in accordance with the IDOT Standard
- Curing and protection of all exposed concrete surfaces shall be in accordance with the IDOT Standard Specifications. No "honey-combing" or other similar failures of the concrete surfaces will be accepted. Aggregate base course shall be in accordance with the Plans and Section 351 of the IDOT Standard Specifications. Aggregate base course material shall be C-A6, Type B, 100% crushed gravel conforming to Section 1004 of the IDOT Standard Specifications. Billuminous binder and surface courses shall be Hot Mix Asphalt (HMA) of type and compacted thickness as specified in the Plans and shall be constructed in accordance with Section 406 of the IDOT Standard Specifications. The surface courses shall be made with virign materials; no recycled materials shall be allowed unless specified otherwise on the Plans. The Contractor shall provide and pay for the services of a competent paving laboratory to design and supervise the control of the paving mixture. All paving materials and mixes shall be IDOT certified.

- Portland cement concrete (PCC) pavement shall be Class PV with reinforcement as specified on Plans and be constructed in accordance with Section 420 of the IDOT Standard Specifications.
 All concrete work shall be finished with a broom finish unless specified otherwise in the Plans.
 He Contractor shall saw-cut the exposed edges of all existing pavement adjacent to any proposed pavement, apron, sidewalk, curb and gutter or similar to provide a smooth, clean edge that is free of loose material. A proper transition but! pinit and/or taper shall also be provided as necessary. Refer to but I joint detail for additional information.
- The testing of the subgrade, aggregate base course, bituminous aggregate material, binder course ourse, and concrete work shall be required and be performed in accordance with the IDO surface course, and concrete work shall be required and be performed in accordance with the IDOT Standard Specifications and requirements of the applicable Jurisdictional Agency. A qualified testing firm shall be employed to perform the required tests, ensure quality and conformance, and provide the results to the Engineer, Owner, and Jurisdictional Agency. The Contractor shall provide the Owner with a construction schedule and shall coordinate all required testing with the testing firm. Prior to the commencement of any paving activities, a proof-roll must be performed by the Contractor and approved by the Village/City or applicable Jurisdictional Agency, and the Owner. All areas not pasting the proof-roll shall be remetated as recommended by the Solis/Geotechnical Engineer and approved by the Owner. Any remediate areas shall be re-tested.
- rior to installation of the aggregate base course:
 a. The subgrade shall be prepared in accordance with Section 301 of the IDOT Standard
 - Specifications.

 b. The Contrator shall be responsible for all subgrade compaction and preparation to within 0.1-ft of the proposed subgrade elevation. Subgrade shall be compacted to a minimum 95% of the modified protor density in accordance with ASTM D1557.

 c. Sub-grade shall pass a proof-roll and any unsuitable areas in the subgrade shall be remediated as recommended by the 50ls/Geotechnical Engineer and approved by the Owner.
 - Prior to the installation of the binder cours
 - . The aggregate base course shall be prepared in accordance with Section 351 of the IDO
 - The aggregate base course shall be clean and dry.
 - The bituminous priming material shall be prepared and applied according to Section 403 of the IT Standard Specifications.

 • Contractor shall prime the aggregate base course at a rate of 0.25 gallons per square yard with the biggerenant of the binder course.
- prior to the placement of the binder course.

 The binder course shall be placed only when the temperature in the shade is at least 40° F and the forecast is for rising temperatures. For the installation of the surface course:

- Prior to the installation of the surface course:

 a. The Contractor shall patch and repair all damaged and failed areas in the binder course to the satisfaction of the Village/City or applicable Jurisdictional Agency, and the Owner.

 b. The Contractor shall repair all damaged cubr and gutter or other concrete pavement to the satisfaction of the Village/City or applicable Jurisdictional Agency, and the Owner.

 c. Structures within pavement shall be adjusted to final surface grade.

 d. The Contractor shall clean and prime the binder course at a rate of 0.05 gallons per square yard prior to the placement of the surface course.

 e. The surface course shall be placed only when the air temperature in the shade is at least 45° F.
- and the forecast is for rising temperatu
- Pavement marking/striping:
 a. All Pavement markings shall be in accordance with Section 780 of the IDOT Standard Specifications and the MUTCD, and be of the material type, size and color specified on the Plans. b. Pavement marking on freeways shall be placed with truck-mounted equipment. Markings on roads other than freeways may be placed with either truck-mounted or hand-operated equipment. C. Before applying the pavement marking material, the pavement shall be clean, dry, and free of debris or any other material that would reduce the adhesion of the markings on the pavement. d. Pavement markings shall be applied in accordance with the manufacturer's recommended instructions.
- Pavement markings shall be uniform and have clean straight edge:
- e. Pavement markings shall be uniform and have clean, straight edges.
 f. Pavement marking words and symbols shall conform closely to the dimensions and spacing specified in the MUTCD, IDOT Standard Details, and the Plans.
 O. Deviations from the required dimensions and spacing or other departures from reasonable standards of professionalism will be cause for rejection by the Engineer.
 Handicapped stalls shall be striped and signed in accordance with the Illinois Accessibility Code (IAC), latest edition and any other applicable ADA guidelines. Handicapped stalls shall be a minimum of sixteen (16) feet wide and signage shall be affixed to a post permanently mounted in the ground or wall and located in the center of the space no further than five (5) feet from the front of the accessible ace. The minimum height to the bottom of the fine sign shall be four (4) feet. Hand ping shall be yellow in color. triping snail be yellow in color. All signs shall be in accordance with Section 720 of the IDOT Standard Specifications and the MUTCD,
- and be of the material type, size, and color specified on the Plans.

 Raised reflective pavement markers shall be in accordance with Section 781 of the IDOT Standard Specifications and be recessed into the pavement as required by the applicable Jurisdictional Agency.

 Pavement marking and marker removal shall be in accordance with Section 783 of the IDOT Standard Specifications. ons. ents curb curb and outters walks etc shall be cleaned to the satisfaction of the Village/City.
- or applicable Jurisdictional Agency, Owner, and Engineer as necessary during construction and at the end of the project prior to the final acceptance.

SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

- All soil erosion and sedimentation control (SESC) measures shall be installed and properly main ui soil erosion and segimentation control (SESU) measures snall be installed and properly maintaine a coordance with the Illinois Environmental Protection Agency's (IEPA) "Illinois Urban Manua", lates didtion and "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control tastes edition, and shall be followed as directed by the Village/City and Engineer. In addition, on site that will ultimately result in the disturbance of one (1) acre or more the provisions outlined in the General National Pollutant Discharge Elimination System (NPDES) General Permit No. ILR10, lates edition, shall also be followed.
- General Nationar Potential Residual Scharge Eminitation System (NPUES) General arternitin, No. LRNO, aleast edition, shall also be followed. Prior to commencement of construction, on sites that will ultimately result in the disturbance of one (1) acre or more, the Contractor shall be responsible for obtaining a copy of the notice of coverage letter and the IEPA National Pollutant Discharge Elimination System (NPDES) General Permit ILR10 from the Owner. The Owner together along with the Contractor and/or other entities is of designated by the Owner, shall be responsible for ensuring that all the requirements of the General Permit and the Storm Water Pollution Prevention Plan (SWPPP) including but not limited to the installation, maintenance as well as the installation of any additional measures necessary that may be required, and inspections of the soil erosion and sediment control measures as well as completing all of the necessary applicable certifications, reports, logs, etc. Inspections are required to be performed at least once every seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches of rain (or equivant snowfall) or greater. The SWPPP and all the required paperwork shall be kept on-site and be organized and ready for viewing.

 All erosion control measures are to be installed prior to any demolition, earth moving activities or other disturbance.
- disturbance.

 Soil Erosion Control measures shall include the provision of an erosion control fence as required along the area of disturbance, a stabilized construction entrance, and sediment traps or other inlet protection ethod at each inlet or catch basin.
- method at each inlet or catch basin.

 Contractor to establish a temporary stabilized construction entrance as well as install all perimeter silt fence prior to the start of any clearing or grading activities.

 Temporary gravel stabilized construction entrance shall be maintained, adjusted, and/or relocated as necessary to prevent mud and other debris from being tracked onto adjacent public roadways. Any mud or other debris that is tracked onto a public road shall be properly removed as soon as practical, but before the end of each working day.
- After the start of mass grading and before all storm water conveyance improvements are in place and functional, all on-site storm water shall be temporarily diverted into the detention basin or a properly
- functional, all on-site storm water shall be temporarily diverted into the detention basin or a properly constructed temporary sedimentation basin or collection device, as per local requirements, so as to prevent surface waters from flowing onto adjacent property.

 Disturbed areas shall be stabilized by seeding within seven (7) calendar days of the completion of disturbance. If construction activity on a portion of the site is to resume within fourteen (14) calendar days of the end of the last disturbance, then stabilization measures do not have to be initiated on that portion of the site by the 7th day after the completion of said disturbance. Areas with slopes 3H:1V or greater shall be stabilized with erosion control banket or mat in addition to seeding. nail be stabilized with erosion control blanket or mat in addition to seeding.

 ractor shall provide adequate planning and supervision during the project construction perior
 menting construction methods, processes and cleanup procedures necessary to preven
- vater pollution and control erosion. No sediment or debris shall be allowed to enter the existing storm sewer system or flow off-site.
- No sediment or debris shall be allowed to enter the existing storm sewer system or flow oft-ste. All temporary and permanent erosion and sedimentation control measures shall be maintained, repaired and/or replaced as necessary to ensure effective performance. If required, a designated erosion control inspector shall inspect all measures every seven (7) calendar days, or within twenty-four (24) hours of a 0.5-inch rain event or equivalent snowfall, and report where items are in non-compliance. Otherwise, the Contractor shall be responsible for the inspection as well as naintenance of all measures and shall be subject to the terms of Federal, State, and local
- All temporary erosion and sedimentation control measures are to remain in place and be functionin variety polyary ervosion and secumentation comount measures are or emanum piace and de microarum until final stabilization. After final stabilization, the Contractor is to remove and properly dispose of all erosion and sedimentation measures according to Jurisdictional Agency requirements within thirty (30) days. All disturbed areas or trapped sediment that accumulates from said measures shall be days. All disturbed areas or trapped sediment that accumulates from said measures shall be
- permanently stabilized.
 Topsoil stockpiles shall not be located in flood prone areas or buffers protecting wetlands, or waters of
 the United States or County. Stockpiles shall be protected from erosion by installing silt fence around
 the perimeter of the stockpile(s). Stockpiles shall be seeded within seven (7) calendar days of If dewatering services are used, adjoining properties and discharge locations shall be protected from
- Trap, sediment Basin, or other appropriate mea All storm severs, drainage structures, catch basin sumps and/or retention/detention/sedimentation basins provided within this project are to be cleaned at the end of construction and prior to final acceptance. Cleaning may also be required during the course of construction if it is determined that the structures are not properly functioning and their performance is impaired.

osion. Discharges shall be routed through an effective sediment control measure (i.e., sedimen

- Storm water conveyance swales, channels, streams or similar, if disturbed, are to be stabilized within
- Storm water conveyance swales, channels, streams or similar, if disturbed, are to be stabilize
 48 hours after the end of active disturbance.
 Extreme caution shall be taken by the Contractor to prevent erosion and silitation during con
 The Contractor shall inspect catch basins and clean out if necessary. The contractor still/erosion control fence staked in place to prevent silitation of all drainage structures.
 The Contractor shall water the site, as required during dry weather to control dust.
 Erosion Control Maintenance and Replacement Notes.
- . Silt fences are to be cleaned as required during the course of the construction of the project or if he Engineer determines that they are not properly functioning and their performance is impaired. Sediment traps and basins shall be inspected immediately after each rainfall and at least daily

- the eighnet between the table to projected immediately after each rainfall and at least daily considered to the consider

- nstruction fencing around areas not to be disturbed

- 4. Stabilized construction entrance Install tree protection fencing and tree removal where necessary (clear & grub) Construct sediment trapping devices (sediment traps, basins, etc.) Construct deterion facilities and outlet control structure with restrictor. Strip and stockpite topsoil and mass grade the site Temporarily stabilize topsoil stockpites (seed and silf tence around toe of slope) Install sanitary sewer, storm sewer, watermain and associated inlet & outlet prot Permanently stabilize deterior basins with seed and erosion control blarket
- Temporarily stabilize all areas including lots that have reached temporary grade
- Install roadways, parking areas, etc.
- j. Install roadways, parking areas, etc.
 k. Final grade and permanently stabilize all outlot areas with topsoil and seed
 I. Install structures and grade individual lots
 m. Permanently stabilize site with topsoil and seed
 n. Remove all temporary SE/SC measures after the site is stabilized with vegetation

MWRD GENERAL NOTES

- A.Referenced Specifications All construction shall be in accordance with the applicable sections of the following, except as
- ran Colsand Control State De in accordance with the applicate Sections of the billowing, except as modified herein or on the Plans:
 Standard Specifications for Road and Bridge Construction (Latest Edition), by the Illinois Department of Transportation (IDDT SS) for all improvements except Sanitary Sewer and Wate
- ain construction.
 Internated Specification for Water and Sewer Main Construction in Illinois, Latest Edition (SSWS) it Sanitary Sewer and Water Main construction.
 Ity of Des Plaines Municipal Code.
 The Metropolitan Water Reclamation District of Greater Chicago (MWRD) Watershed
- Ine metropolitan water recialmation District of Greater Chicago (MWHLD) Watershed Management Ordinance and Technical Guidance Manual.
 In case of a conflict between the applicable Ordinances noted, the more stringent shall take precedence and shall control all construction.

- B. Notifications
 1. The MWRD Local Sewer Systems Section Field Office must be notified at least two (2) working days prior to the commencement of any work (Call 708-588-4055)
 2. The City of Des Plaines Engineering Department and Public Works Department must be notified at least 24 hours prior to the start of construction and prior to each phase of work. Contractor shall determine Items requiring inspection prior to start of construction or each phase of work
- otermine items requiring inspection prior to start or construction or each phase or work. The Contractor shall notify all utility companies prior to beginning construction for the exact locations of utilities and for their protection during construction. If existing utilities are encountered that conflict in location with new construction, immediately notify the engineer so that the conflict can be resolved. Call J.U.L.I.E. at 1-800-892-0123.

- C. General Notes

 1. All elevations shown on plans reference the North American vertical datum of 1988 (NAVD88)
- MWRD, the municipality and the owner or owner's representative shall have the authority to inspect.
- 2. MWRD, the municipality and the owner or owner's representative shall have the authority to inspect, approve, and reject the construction improvements.
 3. The contractor(s) shall indemnify the owner, engineer, municipality, MWRD, and their agents, etc., from all liability involved with the construction, installation, or testing of this work on the project.
 4. The proposed improvements must be constructed in accordance with the engineering plans as approved by MWRD and the municipality unless changes are approved by MWRD, the municipality, or authorized agent. The construction details, as presented on the plans, must be followed. Proper construction techniques must be followed on the improvements indicated on the plans.
 5. The location on various underground utilities which are shown on the plans are for information only and represent the best knowledge of the engineer. Verify locations and elevations prior to beginning the construction operations.
- the construction operations.

 5. Any existing pawement, sidewalk, driveway, etc., damaged during construction operations and not called for to be removed shall be replaced at the expense of the contractor.

 Material and compaction testing shall be performed in accordance with the requirements of the municipality, MWRD, and owner.

 The underground contractor shall make all necessary arrangements to notify all inspection
- All new and existing utility structures on site and in areas disturbed during construction shall be
- adjusted to finish grade prior to final inspec adjusted to finish grade prior to final inspection.

 10. Record drawings shall be kept by the contractor and submitted to the engineer as soon as round improvements are completed. Final payments to the contractor shall be held until they reviewed. Any changes in length, location or alignment shall be shown in red. All wyes or bends a located from the downstream manhole. All valves, B-boxes, tees or bends shall be tied to a

- actor shall take measures to prevent any polluted water, such as ground and surface
- The contractor shall take measures to prevent any polluted water, such as ground and surrace
 water, from entering the existing sanitary sewers.
 A water-tight plug shall be installed in the downstream sewer pipe at the point of sewer connection
 prior to commencing any sewer construction. The plug shall remain in place until removal is
 authorized by the municipality and/or MWRD after the sewers have been tested and accepted.
 Discharging any unpolluted water into the sanitary sewer system for the purpose of sewer flushing
 of lines for the deflection test shall be prohibited without prior approval from the municipality or
- All sanitary sewer construction shall be in accordance with the standard specifications for water and
- All floor drains shall discharge to the sanitary sewer system.

 All downspouts and footing drains shall discharge to the storm sewer system. All sanitary sewer pipe materials and joints (and storm sewer pipe materials and joints in a combined sewer area) shall conform to the following:

Pipe Material	Pipe Specifications Joint	Specifications
Vitrified Clay Pipe	ASTM C-700	ASTM C-425
Reinforced Concrete Sewer Pipe	ASTM C-76	ASTM C-443
Cast Iron Soil Pipe	ASTM A-74	ASTM C-564
Ductile Iron Pipe	ANSI A21.51	ANSI A21.11
Polyvinyl Chloride (PVC) Pipe		
6-inch to 15-inch Diameter SDR 26	ASTM D-3034	ASTM D-3212
18-inch to 27-inch Diameter F/DY=46	ASTM F-679	ASTM D-3212
High Density Polyethylene (HDPE)	ASTM D-3350	ASTM D-3261, F-2620 (Heat Fusion
	ASTM D-3035	ASTM D-3212, F-477 (Gasketed)
Water Main Quality PVC SDR 26		
4-inch to 36-inch	ASTM D-2241	ASTM D-3139
4-inch to 12-inch	AWWA C900	ASTM D-3139
14-inch to 48-inch	AWWA C905	ASTM D-3139

The following materials are allowed on a qualified basis subject to district review and approval prior to permit issuance. A special condition will be added to the permit when the pipe material is used to sewer construction or a connection is made.

Polypropylene (PP) Pipe 12-inch to 24-inch Double Wall ASTM F-2736 ASTM D-3212, F-477 ASTM F-2764

- 8. All sanitary sewer construction (and storm sewer construction in combined sewer areas), requires stone bedding with stone 1/4" to 1" in size, with minimum bedding thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than four (4) inches nor more than eight (8) inches. Material shall be CA-7, CA-11 or CA-13 and shall be extended at least 12" above the top of the pipe when
- Non-shear flexible-type couplings shall be used in the connection of sewer pipes of dissimilar
- 9. Noti-steal nextue-type couplings shan be used in the contriction of sewer pipes or dissimilar materials.

 10. All manholes shall be provided with bolted, watertight covers. Sanitary life shall be constructed with a concealed pickhole and watertight gasket with the word "SANITARY" cast into the lid.

 11. When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, one of the following methods shall be used:

 a. A circular saw-cut of sewer main by proper tools ("Sewer-tap" machine or similar) and proper installation of hubwye saddle or hub-tee saddle.

 b. Remove an entire section of pipe (breaking only the top of one bell) and replace with a wye or

- ... remove an enuer secuour or pipe (oreasing only the top of one bell) and replace with a wye or tee branch section.

 c. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band Seaf" or similar couplings to hold it firmly in place.

 12. Whenever a sanitary/combined sever crosses under a watermain, the minimum vertical distance from the top of the sever to the bottom of the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between sanitary/combined sewers and watermains shall be maintained unless, the sever is faid in separate therenk, keeping a minimum 18' vertical separation; or the sewer is faid in separate therenk, keeping a minimum 18' vertical separation; or the sewer is faid in separate the sever persons above the water districts of the sewer is all of the same trench with the watermain located at the opposite side separation; or the sewer is all of the sewer for sever above the water main; the sewer shall be constructed to water main standards or it shall be encased with a water main quality carrier pipe with the ends sealed.

 13. All existing septic systems shall be abandoned. Abandoned tanks shall be filled with granular material or removed.

 14. All sanitary manholes, (and storm manholes in combined sewer reass), shall have a minimum inside diameter of 48 inches, and shall be cast in place or orre-cast reinforced recorder.

- Au sanitary mannoies, (and storm mannoies in combined sewer areas), shall nave a minimum inside diameter of 48 linches, and shall be cast in place or pre-cast reinforced concrete. All sanitary manholes, (and storm manholes in combined sewer areas), shall have precast "rubber soots" that conform to ASTM C-923 for all pipe connections. Precast sections shall consist of
- dified groove tongue and rubber gasket type joints. abandoned sanitary sewers shall be plugged at both ends with at least 2 feet long non-shrink
- 10. He authorized with the contract plus of the contract plus associated with 17. Except the thorized plus associated with 17. Except the thorized plus associated with 17. Except the control fall plus associated with 18. Except the c on all existing drain files and perforated pipes encountered within the project area shall be plugge r removed, and shall not be connected to combined sewers, sanitary sewers, or storm sewers
- or removed, and snall not be connected to continue and continue and the state of th

- E. Erosion and Sediment Control ntractor shall install the erosion and sediment control devices as shown on the approved
- The Contractor shall install the textsoon and sediment control devices as shown on the approved
 erosion and sediment control plant.
 Erosion and sediment control practices shall be functional prior to hydrologic disturbance of the site
 3. All design criteria, specifications, and installation of erosion and sediment control practices shall be
 in accordance with the fillinois Urban Manual.
 A copy of the approved erosion and sediment control plan shall be maintained on the site at all
- Inspections and documentation shall be performed, at a minimum:
- Inspections and documentation shall be performed, at a minimum: a Upon completion of initial erosion and sediment control measures, prior to any soil disturbance. b. Once every seven (7) calendar days and within 24 hours of the end of a storm event with greater than 0.5 inch of rainfall or liquid equivalent precipitation.Soil disturbance shall be conducted in such a manner as to minimize erosion. If stripping, clearing, grading, or landscaping are to be done in phases, the co-permittee shall plan for appropriate soil erosion and sediment control measures.
- ion and sediment control measures. abilized mat of crushed stone meeting the standards of the Illinois Urban Manual shall be Illed at any point where traffic will be entering or leaving a construction site. Sediment or s A sabilized mat of custined storie meeting the sandards or the introduction stream as a state or installed at any point where traffic will be entering or leaving a construction site. Sediment or soil in reaching an improved public right-of-way, street, alley or parking area shall be removed by scrapin or street cleaning as accumulations warrant and transported to a controlled sediment disposal area
- or street cleaning as accumulations warrant and transported to a controlled sediment disposal are 8. Concrete washout facilities shall be constructed in accordance with the Illinois Urban Manual and shall be installed prior to any on site construction activities involving concrete. 9. Morfar washout facilities shall be constructed as necessary to interect all runoff from hydrologically disturbed areas to an appropriate sediment trap or basin. 10. Temporary diversions shall be constructed as necessary to direct all runoff from hydrologically disturbed areas to an appropriate sediment trap or basin. Volume control facilities shall not be use as temporary sediment basin; experience of the propriate sediment trap or basin. Volume control facilities shall not be use as temporary sediment basin; experience the sediment trap or basin.
- iporary sediment basins. bed areas of the site where construction activities have temporarily or permanently ceased. 11. Discurbed areas or ine size where construction activities have temporarily or permanently ceased shall be stabilized with temporary or permanent measures within seven (7) days.

 12. All flood protection areas and volume control facilities shall, at a minimum, be protected with a double-row of sill fence (or equivalent).

 13. Volume control facilities shall not be constructed until all of the contributing drainage area has been
- stabilized.

 14. Soil stockpiles shall, at a minimum, be protected with perimeter sediment controls. Soil stockpiles shall not be placed in flood protection areas or their buffers.

 15. Earthen embankment side slopes shall be stabilized with appropriate erosion control blanket.

 16. Storm severs that are or will be functioning during construction shall be protected by appropriate sediment control measures.

 17. The contractor shall either remove or replace any existing drain tiles and incorporate them into the
- 7. The contractor shall either remove or replace any existing drain tiles and incorporate them into the drainage plan for the development. Drain tiles cannot be tributary to a sanitary or combined sewer. Drain tiles allowed in combined sewer area for green infrastructure practices.
 8. If dewatering services are used, adjoining properties and discharge locations shall be protected from erosion and sedimentation. Dewatering systems should be inspected daily during operational periods. The site inspector must be present at the commencement of dewatering activities.
 9. The contractor shall be responsible for trench dewatering and excavation for the installation of sanitary sewers, storm sewers, water mains as well as their services and other appurtenances. Any trench dewatering, which contains sediment shall pass through a sediment settling pond or equally effective sediment control device. Alternatives may include dewatering into a sump lif. filter bag or existing vegetated upslope area. Sediment laden waters shall not be discharged to waterways.
- Tood protection areas or the combined sewer system.

 20.All permanent resolution control practices shall be initiated within seven (7) days following the completion of soil disturbing activities.

 21.All erosion and sediment control measures shall be maintained and repaired as needed on a year-round basis during construction and any periods of construction shutdown until permaner 22. All temporary erosion and sediment control measures shall be removed within thirty (30) days after
- 22 All temporary ensurements its stabilization.
 permanent site stabilization.
 3. The erosion and sediment control measures shown on the plans are the minimum requirement Additional measures may be required, as directed by the engineer, site inspector, or MWRD.

NOTES A ⊸ Œ GENERAL

> Engineer: Project No. Sheet C2.1

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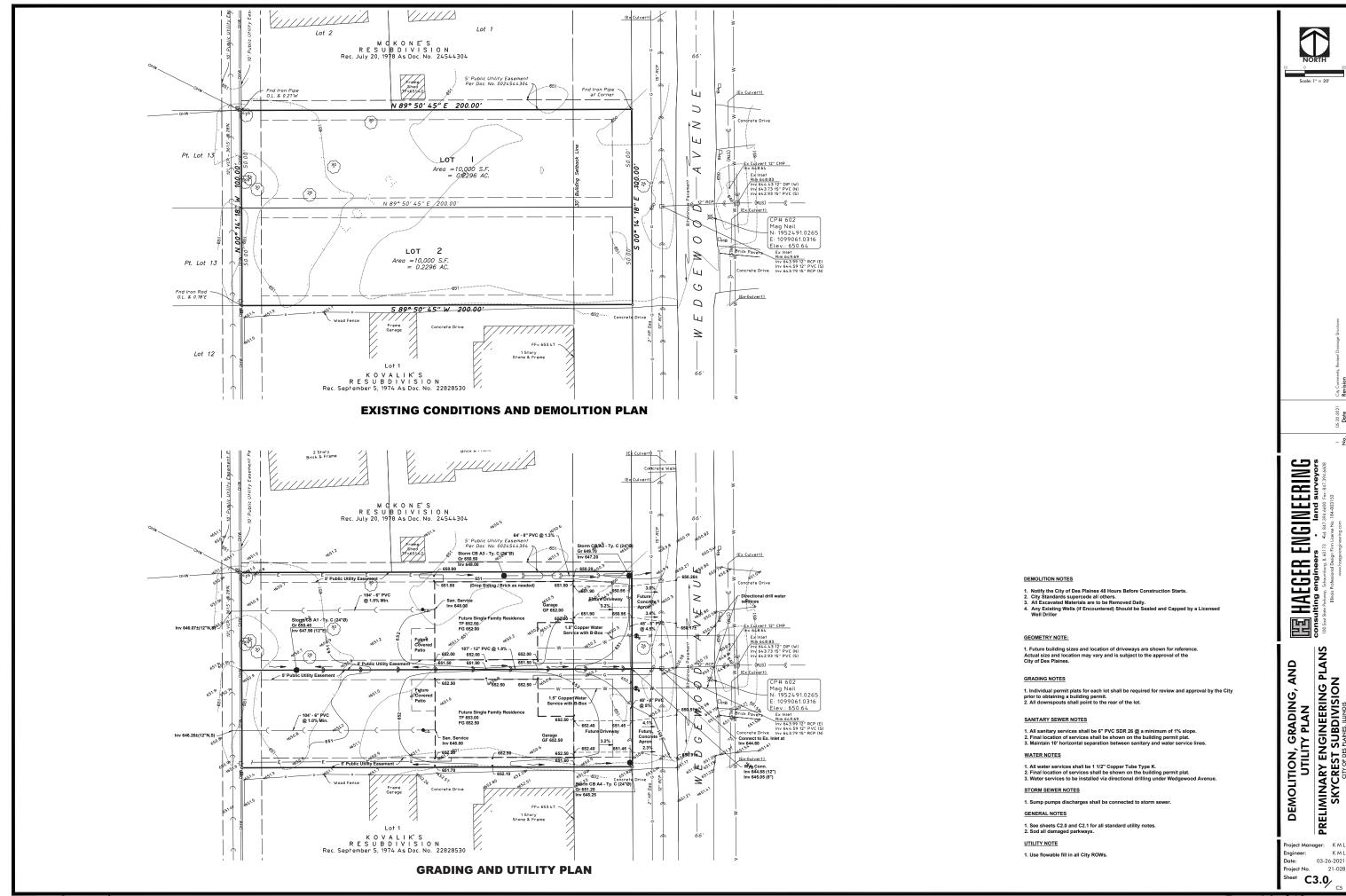
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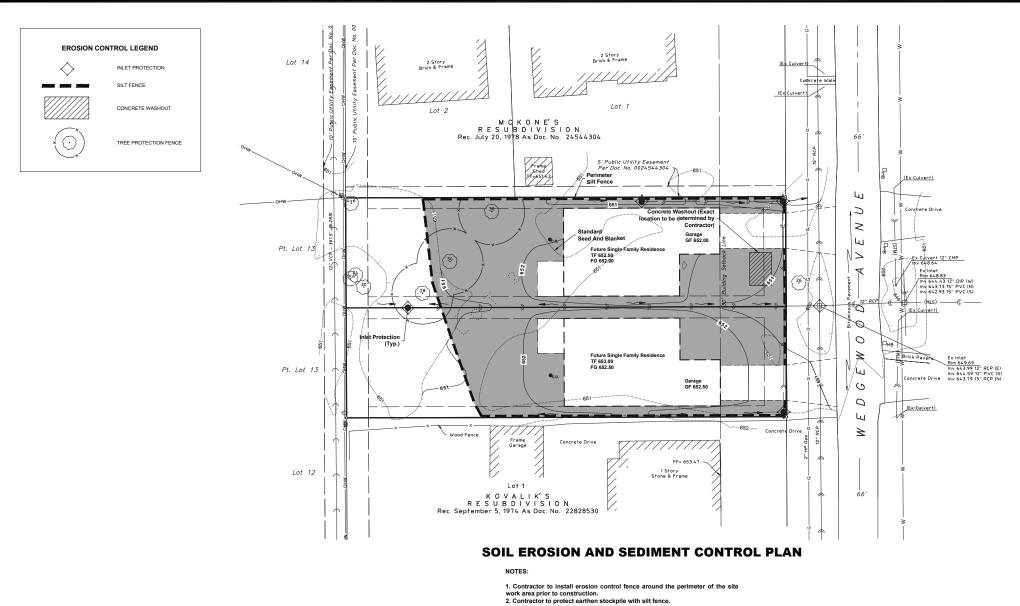
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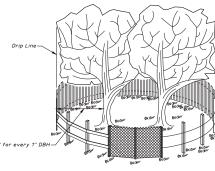
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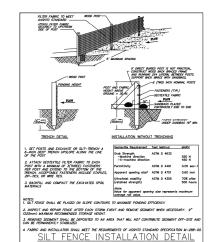
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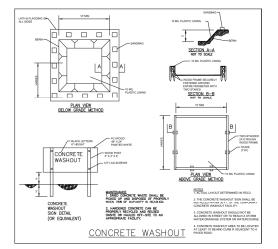




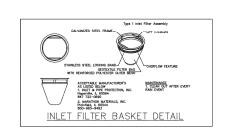


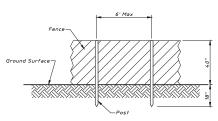
SIDE VIEW





Stabilization Type:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC
Permanent Seeding			Α==	_	=	xxx	×××	×				
Dormant Seeding	В		-									
Temporary Seeding			c=	_	_	xxx	×××	×				
Sodding			EXX	×=	=	=				-		
Mulohing	F											
= Kentucky Bluegr = Kentucky Bluegr = Spring Oats @ 1 = Wheat or Cereal = Sod = Straw Mulch (Hy XX = Irrigation nee	00 lb	9 135 s/ac. 9 150	lbs/o	c. Mi ac.	xed v	vith F	erenr	nial Ř	yegra	s 0 :	30 lb: 45 lb	s/ac. os/ac.
rigation should be p	rovid	ed as	nece	ssary	to t	horou	ghly	estab	ish i	ntend	ed gr	owth.





POST AND FENCE DETAIL

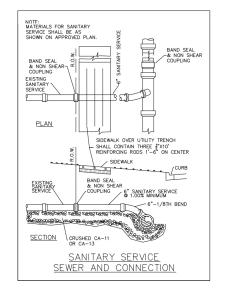
NOTES:

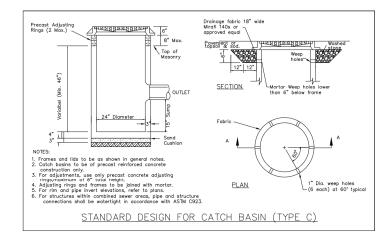
- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
- Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in..
- 3. The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

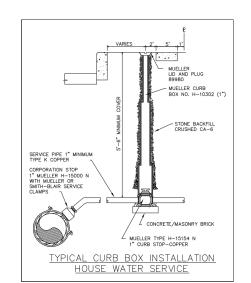
TREE PROTECTION - FENCING

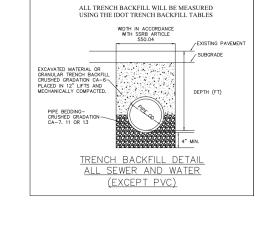
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
GITTOF DES PLANES ILLINOIS SOIL EROSION CONTROL PLAN AND DETAILS 03-26-2021 Sheet C4.0

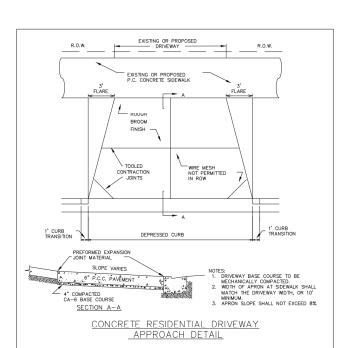
HAEGER ENGINEERING

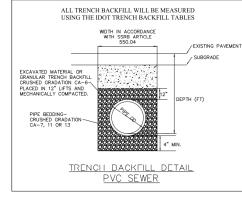


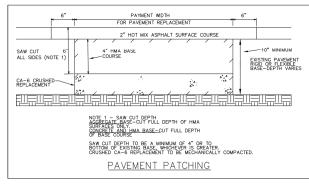


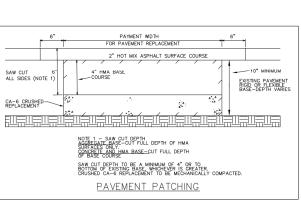












PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
CITY OF DES PLANNES, ILUNOIS STANDARD DETAILS

HAEGER ENGINEERING

Engineer: Date: Project No. 03-26-2021 Sheet C5.0





SUBDIVISION BY DES PLAINES



1418-1424 Wedgewood Ave - Looking Southwest at Front of Site

Page 19 of 19 **Attachment 7**

1418-1424 Wedgewood Ave - Looking West at Front of Site



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

MEMORANDUM

Date: June 1, 2021

To: Planning and Zoning Board

From: Jonathan Stytz, Planner \sqrt{s}

Cc: Michael McMahon, Director of Community & Economic Development

Subject: Consideration of a Major Variance Request to Exceed the Maximum Area Permitted for a

Detached Garage at 1316 Webford Avenue (8th Ward)

Issue: The petitioner is requesting a Major Variation under Section 12-8-1(C) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow the construction of a 897-square foot detached garage at 1316 Webford Avenue where the maximum area permitted for a detached garage in a residential zoning district is 720-square feet.

Analysis:

Address: 1316 Webford Avenue

Owner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60016

Petitioner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60016

Case Number: 21-016-V

PIN: 09-17-306-028-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: R-1, Single Family Residential District

Existing Land Use: Single Family Residence

Surrounding Zoning: North: C-3, General Commercial District

South: R-3, Townhouse Residential District East: R-3, Townhouse Residential District West: R-3, Townhouse Residential District

Surrounding Land Use: North: Walgreens (Commercial)

South: Single Family Residences

East: Single Family Residences West: Single Family Residences

Street Classification: Webford Avenue is classified as a local street.

Comprehensive Plan: The Comprehensive Plan designates the site as Residential.

Project Description:

The petitioner, Chris Colldock, is requesting a major variation to allow for an 879-square foot detached garage in the R-1, Single Family Residential District at 1316 Webford Avenue where a maximum area for a detached garage in a residential zoning district is 720-square feet. The subject property is located along Webford Avenue near Downtown Des Plaines and backs up to the Metra railroad. The property is 13,650-square feet (0.31 acres) in size and currently consists of a one-story residence, patio area, detached garage, and driveway area as shown on the Plat of Survey (Attachment 4). The existing one-car detached garage is approximately 337-square feet in size, is located 3.67-feet from the east property line, and is setback approximately 33.37-feet from the north property line. Pursuant to Section 12-8-1(C), the maximum area for a detached garage in a residential zoning district is 720-square foot.

The petitioner is proposing to construct a one-story, 897-square foot detached garage with an 18-foot wide garage door. The proposed garage will be setback 5'-6" off the east property line and 19'-2" off the north property line to meet the minimum five-foot setback requirement for detached garages as shown in the Site Plan (Attachment 5). The petitioner is requesting the over-sized detached garage to accommodate additional vehicles, yard equipment, seasonal furniture, and personal workbench for residence maintenance on the property in an enclosed structure, which is not possible in the existing one-car garage. The proposal would replace the existing detached garage with the new 879square foot detached garage setback further from the property lines but without any changes to access as shown in the Site Plan (Attachment 5). Please note that while the driveway surface on the Site Plan does not reflect the design, setback, and dimensions that the petitioner proposes to install on the property, the petitioner intends to conform with all required driveway regulations. The petitioner has provided garage plans to illustrate the overall design, layout, and elevations of the proposed garage as shown in the Garage Plans (Attachment 6). It is important to note that the garage plans depicted in the architectural drawings do not reflect the exact shape and dimensions of the current detached garage proposed, but rather are included for illustrative purposes for what the proposed rectangular detached garage will look like when completed. The existing gravel driveway leading from the front property line to the existing detached garage does not comply with current code. If approval is recommended for this request, staff is adding a condition that the gravel driveway is improved with a dust-free hard surface.

Pursuant to Section 12-8-1(C)(5) of the Des Plaines Zoning Ordinance, the maximum area of a detached garage shall be seven hundred twenty (720) square feet or less. The petitioner's request to allow for a detached garage that exceeds the 720-square foot maximum for accessory structures in Des Plaines constitutes the need for a major variation to Section 12-8-1(C) of the 1998 Des Plaines Zoning Ordinance.

<u>Variation Findings:</u> Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:

<u>Comment:</u> Staff finds that there is no hardship or practical difficulty preventing the petitioner from complying with the 720-square foot maximum area allowance for detached garages in residential districts as a 720-square foot space does allow for the storage of multiple vehicles, equipment, and workbench area depending on design. Additionally, the zoning code allows for two accessory structures for each property so a shed could be added to accommodate additional storage as needed. Please see the Petitioner's responses to Standards for Variations.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:

<u>Comment:</u> Staff finds that there is no unique physical condition on the subject property than differs from any other property along this street as there are several other properties backing up to the Metra train tracks that share the same conditions. While detached garages and other accessory structures inevitably may provide some semblance of privacy and noise reduction, this is not their intended purpose. Additionally, there is ample room to install landscaping as a natural barrier to address the noise and privacy concerns posed by the petitioner. Please see the Petitioner's responses to Standards for Variations.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:

<u>Comment:</u> While the subject property's location, size, and close proximity to the Metra train tracks may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. As such, staff does not find these physical conditions of the subject property warrant the approval of a variation for an over-sized garage, whether for privacy, noise dampening, or additional storage, since other properties along this street deal with similar circumstances. Please see the Petitioner's responses to Standards for Variations.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:

<u>Comment:</u> Staff finds that carrying out the strict letter of this code to permit a 720-squae foot detached garage would not deprive the existing property owner of substantial rights enjoyed by other owners of similarly zoned lots since this regulation in enforced for all residentially-zoned properties regardless of size, location, and composition of the property. All new detached garages are held to the same standards under Section 12-8-1(C) of the Zoning Ordinance so enforcing the maximum detached garage area would not prevent the property owner from any substantial rights enjoyed by other single family residential properties. Please see the Petitioner's responses to Standards for Variations.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:

<u>Comment:</u> Staff finds that the granting of this variation for density would, in fact, provide a special privilege for the property owner not available to other single family residential properties as it would give the petitioner preferential treatment over owners of other single family residences. Additionally, it could create a precedence for additional over-sized garage requests for single family residential properties that do not meet the standards for variations and may not have the available space or justifiable need for an over-sized detached garage. Please see the Petitioner's responses to Standards for Variations.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:

<u>Comment:</u> Staff finds that the proposed over-sized detached garage would not be harmonious with the surrounding single family residential development in this area or for other single family zoned properties in Des Plaines and does not meet the standards for variation in Section 12-3-6 of the Zoning Ordinance. Additionally, the zoning code requires a minimum of two off-street parking spaces, which a 720-square foot garage can meet and exceed depending on design. The request for the oversized detached garage would not support the goals and objectives of the Comprehensive Plan as this does not benefit other residents or the City of Des Plaines as a whole. Please see the Petitioner's responses to Standards for Variations.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: Staff finds that there are ways to avoid the requested variation for an oversized garage. Aside from the fact that the allowable 720-sqare foot size for a detached garage can accommodate multiple vehicles, equipment storage, and work area depending on its design, the zoning code allows up to two accessory structures for each property up to 150-square feet in size. Thus, a shed could be added on the property as a second accessory structure to accommodate additional storage as needed totaling 870-square feet, which is near the area that the petitioner is requesting for the detached garage. An additional alternative if more space is needed is constructing an addition on the existing residence, in conformance with all applicable codes, since there is ample room in the rear yard. In essence, there are other available options aside from the variation to remedy the petitioner's posed concerns. Please see the Petitioner's responses to Standards for Variations.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

<u>Comment:</u> Staff finds that the approval of this variation request for an oversized garage is not the minimum measure if relief to address the petitioner's concerns, but rather the installation of mature landscaping at the rear of the property to reduce noise, add privacy, and allow for outdoor space. In addition to that, the zoning ordinance allows properties that abut a railroad right-of-way to install an eight-foot tall fence along the side that abuts the alley, which could assist in the privacy and noise reduction measures. Please see the Petitioner's responses to Standards for Variations.

Recommendation: Staff recommends denial of the request to allow the construction of an 879-square foot detached garage in the R-1 zoning district at 1316 Webford Avenue based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined within the City of Des Plaines Zoning Ordinance, as amended. If the request is recommended for approval, staff recommends adding a condition that the existing gravel driveway shall be improved with a dust-free hard surface in conformance with all applicable City of Des Plaines codes within 60 days of City Council approval.

Planning and Zoning Board Procedure: Under Section 12-3-6(F) of the Zoning Ordinance (Major Variations), the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or disapprove the above-mentioned variance for detached garage area within the R-1 Zoning District at 1316 Webford Avenue. The City Council has the final authority on the proposal.

Attachments:

Attachment 1: Project Narrative

Attachment 2: Petitioner's Responses to Standards for Variation

Attachment 3: Location Map
Attachment 4: Plat of Survey
Attachment 5: Site Plan
Attachment 6: Garage Plans

Attachment 7: Site and Context Photos

PROJECT NARRATIVE

We are requesting a variance of the City of Des Plaines to go beyond the 720 square foot maximum detached garage requirement. We are asking to add an additional 197 square feet.

We are requesting this variance due to the hardship of what we believe to be a lack of privacy and excessive noise from the Metra & freight trains that run along the back yard of our property. The current one-car garage is non-functional by today's standards (a small SUV can not fit in it). We would like to tear it down and build a larger garage that can comfortably fit both our cars, plus store yard equipment, seasonal furniture, a workbench for general home maintenance etc. In doing so, we realized that if the garage were to be slightly larger we could gain more privacy by blocking the view from the Metra trains that overlook our property, even with the fence currently in place. The larger garage would also help reduce the noise from the trains as they go by.

Because of the unique shape of our lot and trying to preserve as much outdoor space as possible, we feel that the location of the garage on the attached plans would be the best way to accommodate these hardships. Based on the location and shape of the garage, you will not be able to notice the size difference from the street.

Thank you for your consideration.

Attachment 1 Page 6 of 16

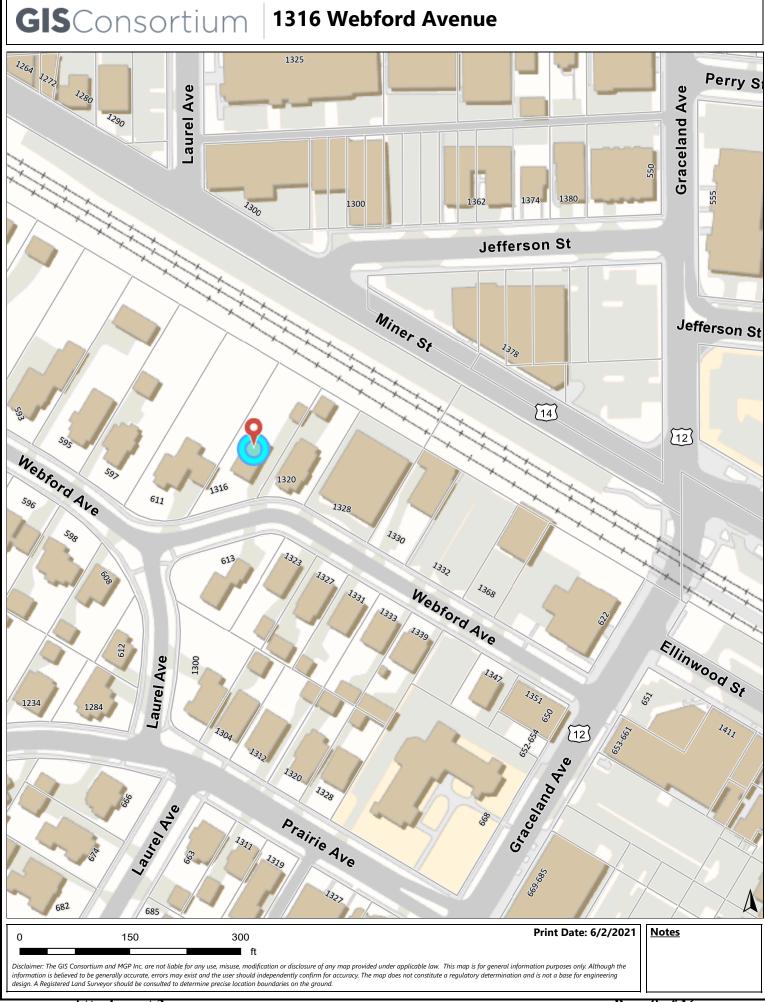
STANDARDS FOR VARIATIONS

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

Even though a fence is at the back of the lot, it is still inadequate of providing privacy and noise reduction between the subject property and the Metra trains. Adding an extra 197 sq. ft. to the garage would help minimize both these issues.

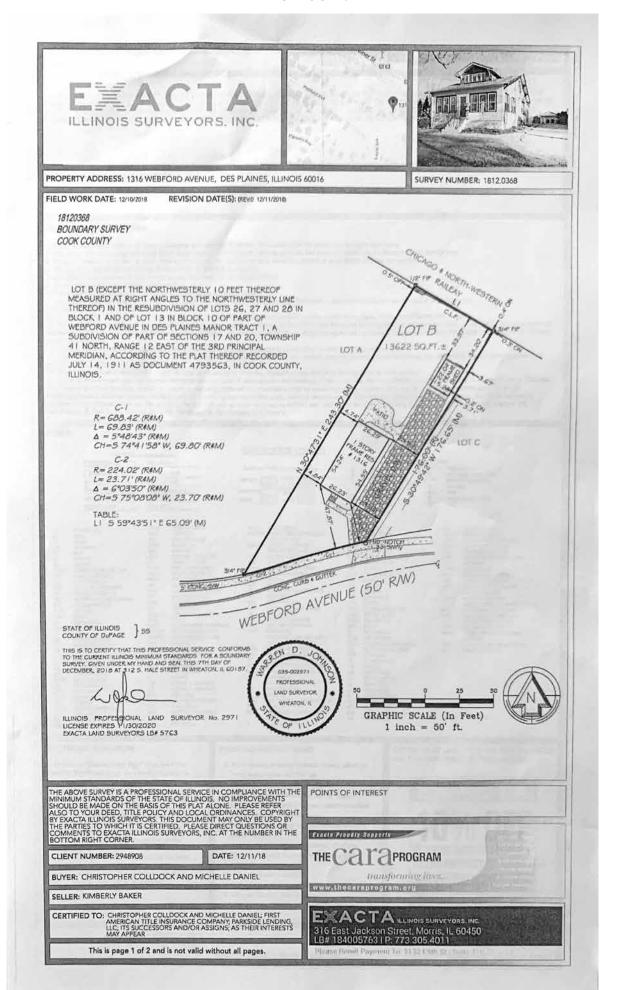
- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.
 - The subject lot is long and narrow and the house sits further back on the property then most other houses in the surrounding lots. Due to this, and in order to preserve the usable outdoor space, the ideal garage would be long and narrow as well.
- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title
 - Neither the applicant nor the preceding owners have created the hardship as the property size and house location as been this way since the property was developed.
- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
 - The surrounding lots have larger backyards due to the fact that their houses sit closer to the street, giving them more opportunity for privacy and noise reduction. They are still able to maintain there usable outdoor space while having larger garages and larger outdoor space.
- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.
 - The garage will be used for car storage, and area to keep equipment to maintain the property (garden/yard equipment, seasonal furniture etc). There will be no financial benefit to the requested variance of additional space to the garage.
- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.
 - The specified use would not alter or change from the original intent to being a general use garage. See response 5.
- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.
 - Based on the unique size and shape of the subject lot, the owners believe making the proposed garage slightly larger is the best way to resolve the privacy and noise issues while still maintaining the outdoor space..
- 8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.
 - The requested variation of making the proposed garage slightly larger would block noise and create privacy for the applicants. This would be the least amount of structure necessary to alleviate the hardship while still preserving outdoor living space.

Attachment 2 Page 7 of 16



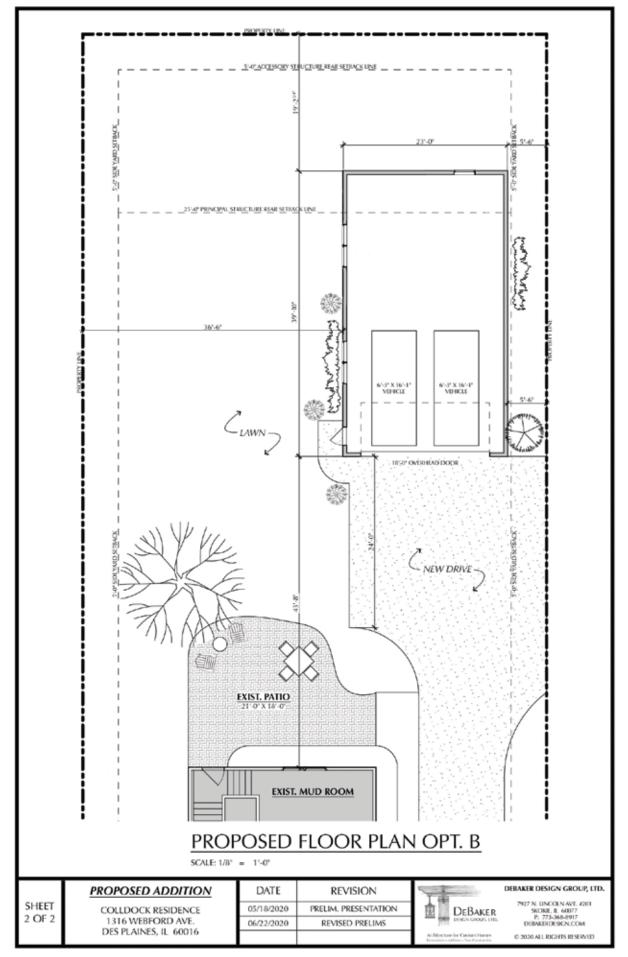
Attachment 3 Page 8 of 16

PLAT OF SURVEY



Attachment 4 Page 9 of 16

REQUESTED VARIANCE SITE PLAN



Attachment 5 Page 10 of 16

PROPOSED DETACHED GARAGE

1316 WEBFORD AVE., DES PLAINES, IL 60016

GENERAL NOTES & SPECIFICATIONS

1. GENERAL REQUIREMENTS

GENERAL CONTRACTOR TO PROVIDE REQUIRED SILT FENCE AND/OR CONSTRUCTION FENCE.

2. SITE CONSTRUCTION

ALL WORK TO BE PERFORMED PER LOCAL CODE AND GENERALLY ACCEPTED INDUSTRY STANDARDS

NO BACKFILLING SHALL OCCUR SOONER THAN 7 DAYS AFTER POURING CONCRETE.

FINISH GRADE SHALL BE 6" BELOW TOP OF FOUNDATION, OR PER LOCAL CODE.

SUBCONTRACTOR SHALL BACKFILL WITH GOOD EARTH AROUND FOUNDATION.

CALL J.U.L.I.E. PRIOR TO COMMENCEMENT OF SITE WORK IN ORDER TO AVOID ANY UNDERGROUND UTILITIES.

FOUNDATION WALLS TO BE REVIEWED WITH SITE SUPERINTENDENT PRIOR TO POURING CONCRETE TO VERIFY ALL HOLDOUTS AND FOUNDATION STEPS.

PROVIDE FOOTINGS, RIGID INSULATION, WALLS, DRAIN TILE, SUMP PIT, AND DAMPPROOFING AS PER PRINT, SPECS, AND AS REQUIRED PER LOCAL CODE.

5. METALS

FURNISH AND INSTALL ALL BOLTS, NUTS, AND WASHERS REQUIRED FOR CONNECTION OF STEEL TO STEEL JOINTS.

6. WOODS AND PLASTICS

Attachment o

PLYWOOD FLOORING TO BE 3/4" T&G FIR GLUED AND SCREWED UNLESS NOTED OTHERWISE.

ALL BEARING WALL OPENINGS SHALL BE FRAMED WITH (2)2X12 HEADER WITH 1/2' SOLID PLYWOOD U.N.O.. PROVIDE (2) CRIPPLES AND ONE STUD AT EACH JAMB. DOUBLE ALL SILLS.

CAULK ALL EXTERIOR PLATES, WINDOWS, DOORS, AND PENETRATIONS

ALL WOOD BEAMS/JOISTS AND BEARING PLATES SHALL BE NO. 1 or NO. 2 SPRUCE PINE FIR (SPF), SURFACED DRY.

7. THERMAL AND MOISTURE PROTECTION

PROVIDE 1" MINIMUM AIR SPACE BETWEEN ROOF SHEATHING AND BATT INSULATION. USE BAFFLES AT EAVE

PROVIDE FIRE CAULK AS PER CODE.

DOORS AND WINDOWS

ALL EXTERIOR DOORS SHALL BE INSULATED METAL, STYLE AS SHOWN ON PRINT, UNLESS NOTED OTHERWISE.

10. SPECIALITIES - N/A

11. APPLIANCES AND ACCESSORIES - N/A

12. FURNISHINGS – NOT APPLICABLE

13. SPECIAL CONSTRUCTION - NOT APPLICABLE

14. CONVEYING SYSTEMS - NOT APPLICABLE

15. MECHANICAL

PROVIDE HOOK-UPS FOR ALL APPLIANCES.

PROVIDE SHUT-OFF VALVES FOR HOT AND COLD WATER AT EACH FIXTURE

SHEET INDEX NAME COVER SHEET ELEVATIONS & SECTIONS WALL SECTIONS

APPLICABLE BUILDING CODES FOR CITY OF DES PLAINES

2015 International Building Code 2015 International Residential Code 2015 International Mechanical Code 2015 International Fire Code 2014 National Electric Code 2014 Illinois State Plumbing Code 2018 Illinois State Accessibility Code 2018 International Energy Conservation Code NFPA 101 Life Safety Code - current adopted addition

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MYSELF AND UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CITY OF DES PLAINES BUILDING CODE.



LICENSED ARCHITECT JEFFREY W. EICHHORN ILLINOIS LICENSE #001.021097 - EXPIRES 11/30/2022

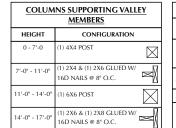
PROFESSIONAL DESIGN FIRM DEBAKER DESIGN GROUP, ITD. ILLINOIS LICENSE #184.006003 - EXPIRES 04/30/2021

OLN AVE.

COLLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016

COVER SHEET

A-001





GENERAL NOTES NEW ELECTRICAL SUB PANEL IN GARAGE RUN OFF MAIN HOUSE. PROVIDE WATER LINE FROM MAIN HOUSE TO GARAGE FOR HOSE BIBS AS SHOWN.

PROVIDE NATURAL GAS LINE FROM MAIN HOUSE TO GARAGE FOR HEATING ELEMENTS AS SHOWN. FLOOR AREA

GARAGE AREA: 719.75 SO.FT

PROVIDE NATURAL GAS CEILING MOUNTED HEATER.

PROVIDE OPTION FOR RADIANT HEAT AT GARAGE FLOOR SLAB RUN OFF BOILER.

WITH HEATED GARAGE, PROVIDE THE FOLLOWING INSULATION:

WALLS: R-21 BATT INSULATION

TTIC: R-49 BATT INSULATION

SLAB: R-10 RIGID FOAM ON INSIDE OF FOUNDATION WALL FOR A DEPTH OF 2 FEET. R-5 RIGID FOAM INSULATION UNDER ENTIRE SLAB IF RADIANT OPTION IS SELECTED.

STRUCTURAL NOTES

ATTIC FLOOR DESIGN LOADS: LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF

ROOF DESIGN LOADS: LIVE LOAD = 50 PSF DEAD LOAD = 20 PSF

METAL POST BASES ARE REQUIRED FOR WOOD COLUMNS THAT COME IN CONTACT W/ CONCRETE. PROVIDE MIN. 2-1/2" CLEARANCE TO CONCRETE

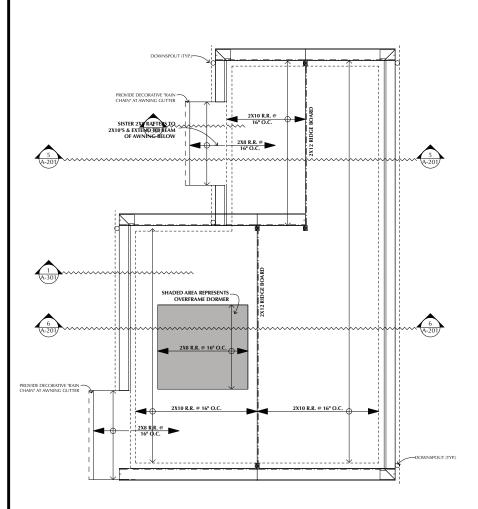
PROVIDE JOIST HANGERS AT ALL FLUSH RAMED CONDITIONS. (I.E. JOIST TO JOIST HEADERS AND JOIST TO BEAMS, ETC.)

BLOCK ALL COLUMNS TO STRUCTURAL MEMBERS AND/OR SILL PLATES. BLOCKING TO BE MINIMUM OF SIZE OF COLUMN ABOVE.

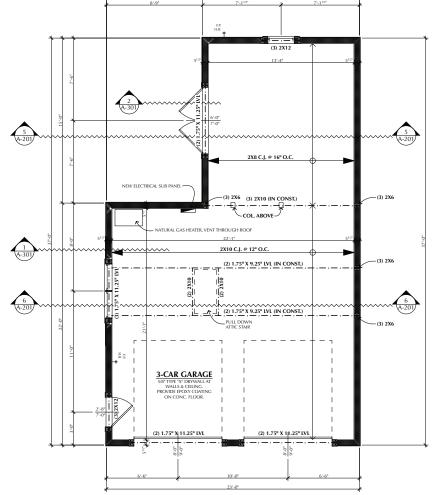
FOUNDATION PLAN NOTES

DOWNSPOUTS TO SPLASH ON GRADE UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLAN.

IF SLEEVING UNDER GARAGE FLOOR SLAB, STOOP, ETC., FOR DOWNSPOUT, GAS LINE, ELECT. LINE OR AIR CONDITIONING CONDENSOR LINES: PROVIDE 6" OP PVC SLEEVE (OR AS REQ'D.), SUPPLIED & INSTALLED BY PLUMBING CONTRACTOR PRIOR TO POURING SLAB. VERIFY LOCATION W/ SUBCONTRACTOR.

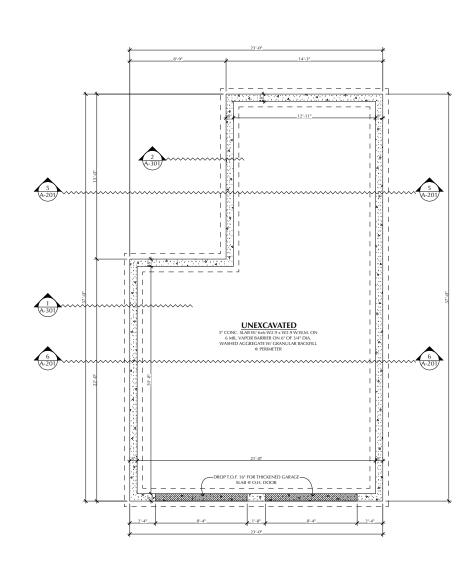


PROPOSED ROOF PLAN



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 11-0"



PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

D FOUNDATION PLAN

A-101 SHEET 3 of 6

FLOOR PLANS

PROPOSED DETACHED GARAGE

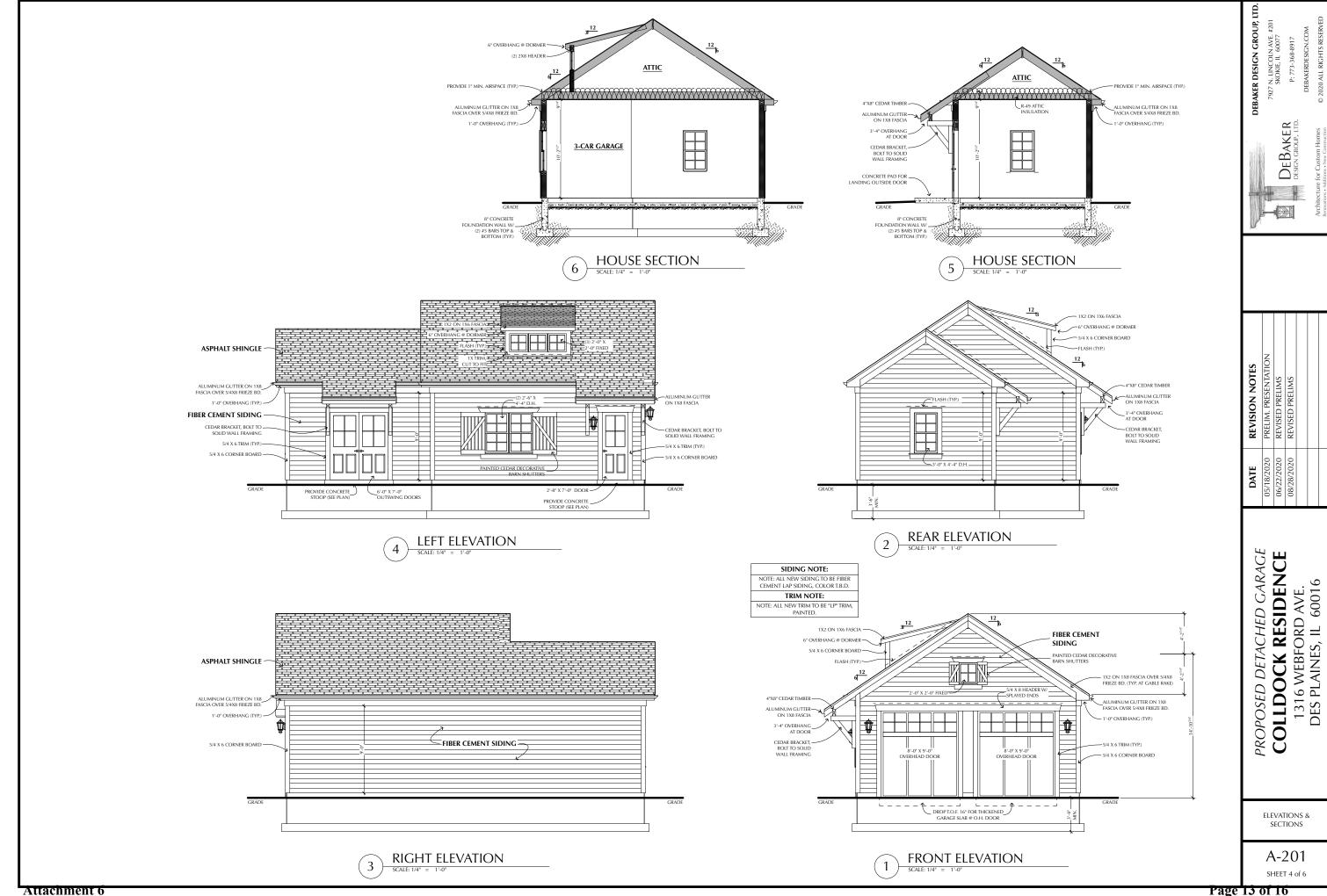
COLLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016

DEBAKER DESIGN GROUP, LTD. 7927 N. LINCOLN AVE. #201 SKOKIE, IL 60077

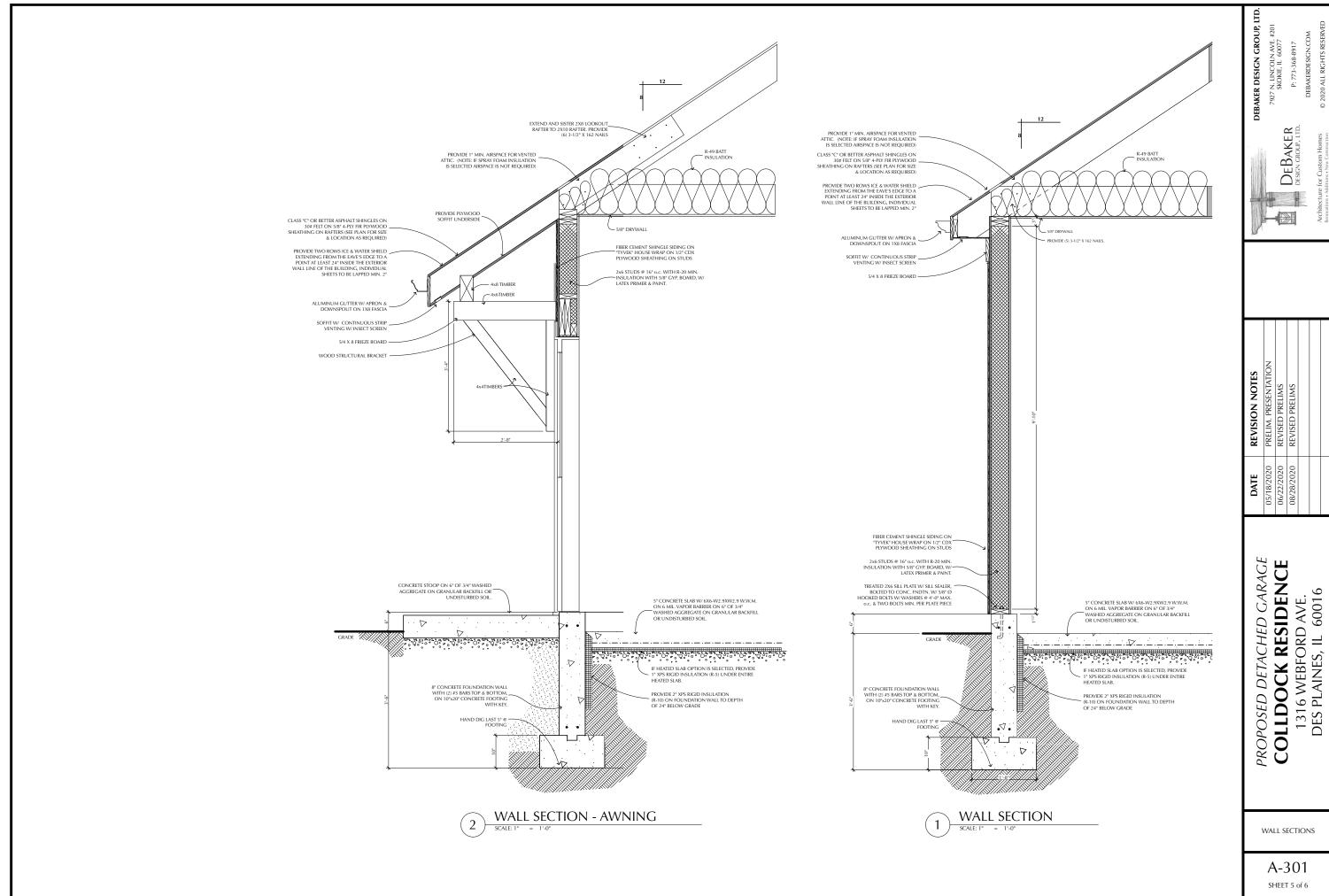
DEBAKER DESIGN GROUP, LTD.

PRELIM. PRESENTATION REVISED PRELIMS REVISED PRELIMS

REVISION NOTES



Page 13 of 16



Attachment 6

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ELECTRICAL NOTES

A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MIN. OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

5" RECESSED CANS BY JUNO WITH WHITE TRIM AND WHITE BAFFLES TO BE INCLUDED IN BASE BID. ELECTRICIAN TO INCLUDE ALL RECESSED CAN LIGHTING AND REQUIRED LAMPS

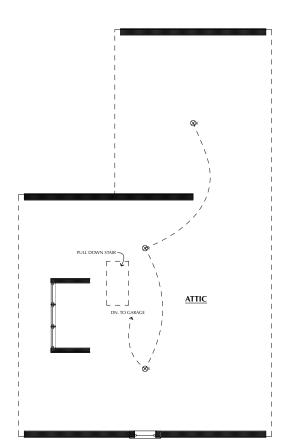
ALL SWITCHES AND OUTLETS TO BE DECORA IN STANDARD COLOR.

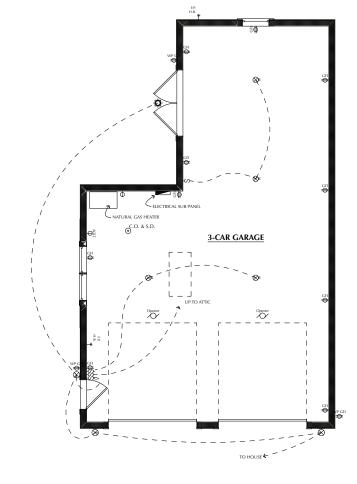
NEW OUTLETS IN GARAGE AND EXTERIOR LOCATIONS TO BE GFCI RATED.

LECTRICIAN TO PROVIDE SHUT-OFFS FOR ALL MECHANICAL EQUIPMENT.

PROVIDE WP GFI AT EXTERIOR LOCATIONS, MIN. ONE AT EACH ENTRY DOOR.

		ELECTRICAL KEY				
	8	JUNCTION BOX, FIXTURE PROVIDED BY OWNER		0	SINGLE OUTLET	
	⊗ ^k	REINFORCED JUNCTION BOX, FIXTURE PROVIDED BY OWNER		ф	DUPLEX OUTLET	
	⊗	WALL MOUNTED JUNCTION BOX, FIXTURE PROVIDED BY OWNER		ΞΦ	GFI DUPLEX OUTLET	
	۵	△ WALL SCONCE, FIXTURE PROVIDED BY OWNER		AFCI	ARC-FAULT DUPLEX OUTLET	
_	₩	FLOOD LAMP		$\mathop{\Phi}_{2200}$	220 VOLT DEDICATED OUTLET	
-	ø	RE	CESSED CAN LIGHT	Opener	DOOR OPENER	
1	FU	-	FLOURESCENT LIGHT FIXTURE	Q _{EQ}	GARBAGE DISPOSAL	
_	~~	~~	UNDER-CABINET LIGHTING	Fan	EXHAUST FAN	
	\$	'		ල්.D.	SMOKE DETECTOR	
	\$	\$\\$\\$\\$\ 3-WAY SWITCH		$_{\ominus}$	THERMOSTAT	
	\$			(SP)	LOW VOLTAGE SPEAKER	
	\$	\$ JAMB SWITCH		Δ	LOW VOLTAGE AS INDICATED	





SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

DEBAKER DESIGN GROUP, LTD.

REVISION NOTES
PRELIM. PRESENTATION
REVISED PRELIMS
REVISED PRELIMS

DATE

DEBAKER DESIGN GROUP, ITD.
7927 N. LINCOLN AVE. #201
SKOKIE, IL. 60077
P: 773-368-8917

PROPOSED DETACHED GARAGE

COLLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016

ELECTRICAL PLANS

E-101 SHEET 6 of 6









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1316 Webford Ave - Looking North at Existing Detached Garage