



# Planning and Zoning Board Agenda March 10, 2026 Room 102 – 7:00 P.M.

## Call to Order and Roll Call

**Approval of Minutes:** February 10, 2026 PZB Meeting

**Public Comment:** For matters not on the agenda

**General Communications:** March 2, 2026 City Council meeting result: The Conditional Use and Major Variations request for Recycling Facility Expansion at 1777-1841 Busse Highway was approved on first reading (second reading on March 16, 2026).

## Pending Applications:

1. **Addresses:** 1055 S. Mount Prospect Road and 30 E. Algonquin Road **Case Number:** 26-005-FPLAT

The applicant requests a Final Plat of Subdivision to split one lot into two lots in the M-3 Special Manufacturing District.

**PIN:** 09-19-101-005-0000

**Applicant/Owner:** Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

2. **Addresses:** 25 and 95 E. Algonquin Road **Case Number:** 26-006-FPLAT

The applicant requests a Final Plat of Subdivision to consolidate two lots into one in the M-2 General Manufacturing District.

**PINs:** 09-19-300-010-0000 and 09-19-300-012-0000

**Applicant/Owner:** Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

3. **Address:** Citywide **Case Number:** 26-007-TA

The petitioner requests various text amendments to Chapters 3, 7, 8, 9, and 13 of the Zoning Ordinance to: (i) add explicit regulations for electric vehicle charging spaces and equipment; (ii) define additional standards for drive-through facilities and clarify their accessory use classification; and (iii) adjust and cleanup portions of text to improve clarity and consistency throughout.

**PIN:** Citywide

**Petitioner:** City of Des Plaines, 1420 Miner St., Des Plaines, IL 60016

**Owner:** N/A

## Adjournment

**Next Agenda:** Next meeting is Tuesday, March 24, 2026.

Persons with disabilities who require certain accommodations in order to observe or participate in a public meeting or have questions about the accessibility of the public meeting should contact the ADA Coordinator at least 48 hours (or two business days) in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 1420 Miner St., Des Plaines, IL; by telephone at (847) 391-5486; or by email at [hr@desplainesil.gov](mailto:hr@desplainesil.gov). Notices of this meeting were posted in accordance with the requirements of 5 ILCS 120/1 et. Seq. (Open Meetings Act)



**DES PLAINES PLANNING AND ZONING BOARD MEETING  
Tuesday, February 10, 2026  
MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, February 10, 2026, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chairman Szabo called the meeting to order at 7:00 p.m. and a roll call was established.

PRESENT: Catalano, Veremis, Zadrozny, Weaver, Fowler, Fallico and Szabo

ABSENT: None

ALSO PRESENT: Jeff Rogers, Director  
Jonathan Mendel, Assistant Director

A quorum was present.

**APPROVAL OF JANUARY 13, 2026 PZB MEETINGS MINUTES**

Member Fowler moved and Member Fallico seconded a motion to approve the minutes as presented.

AYES: Catalano, Veremis, Zadrozny, Weaver, Fowler, Fallico and Szabo  
NAYS: None  
ABSTAIN: None

\*\*\*MOTION CARRIED\*\*\*

**APPROVAL OF JANUARY 27, 2026 PZB MEETINGS MINUTES**

Member Fallico moved and Member Folwer seconded a motion to approve the minutes as presented.

AYES: Catalano, Veremis, Zadrozny, Weaver, Fowler, Fallico and Szabo  
NAYS: None  
ABSTAIN: None

\*\*\*MOTION CARRIED\*\*\*

**PUBLIC COMMENT ON NON-AGENDA ITEM**

There was no public comment.

**GENERAL COMMUNICATIONS**

Chairman Szabo provided the following updates:

- February 2, 2026 City Council meeting results:
  - Conditional Use Permit for a Planned Unit Development including a Combined Preliminary and Final Planned Unit Development Plat, Tentative and Final Plat of Subdivision, Major Variations, and a Minor Variation for Vetter Real Estate USA, LLC at 10-60 West Algonquin Road – ORDINANCE Z-4-26 – APPROVED 7-0 with 1<sup>st</sup> & 2<sup>nd</sup> reading (**This came before the PZB on December 9, 2025**)

**ADMINISTRATIVE DECISIONS:**

None

**PENDING APPLICATIONS:**

1. Address: 1057 Hollywood Ave. Case Number: 25-068-APPEAL

**Continued from the January 27, 2026 PZB meeting - WITHDRAWN ON FEBRUARY 9, 2026**

The petitioner requests an appeal of the Zoning Administrator's October 2, 2025 determination regarding the loss of nonconforming use status for a two-unit dwelling in the R-1 Single Family Residential District.

**PIN:** 09-17-305-007-0000

**Petitioner/Owner:** Kendall Partners, Ltd. (Representative: Kevin Hansen), 129 Commercial Drive, Unit 7, Yorkville IL 60560

Chairman Szabo asked why the request was withdrawn.

Director Rogers explained why withdrawn due it be compliant with zoning as a two-unit multi-family building and doesn't require review by the PZB.

2. **Addresses:** 1777 and 1841 Busse Highway **Case Number:** 25-071-CU-V

**Continued from the January 13, 2026 PZB meeting**

The petitioner requests (i.) Conditional Use for a Recycling Center for a metal processing facility; (ii.) Major Variations to allow a.) loading spaces that open onto or face a public right-of-way, and b.) reduce required front, side, and rear yards to allow for the construction of an addition to the existing facility; and (iii.) any other exceptions, variations, waivers, and zoning relief as may be necessary.

**PINs:** 09-21-107-033 & 09-21-107-039

**Petitioner:** Mid-States Recycling, Inc., 1841 Busse Highway, Des Plaines, IL 60016

**Owner:** ELSE II, LLC, 1841 Busse Highway, Des Plaines, IL 60016

Chairman Szabo did not need to swear-in petitioners as still open meeting and hearing.

Mr. Dan Dowd (Petitioner's attorney) presented their revised plans developed since the January 13, 2026 PZB meeting.

Michael Arenson (Petitioner's architect) reiterated the history of how we got to this meeting. Outlining the revised site plan made since to the on-street parking, off-street parking and on-site security fence changes.

Chairman Szabo asked for PZB questions and comments. There were none, so he asked for the staff presentation.

Assistant Director Jonathan Mendel presented the additional staff analysis on the revised site plan and how it affects the request and the PZB's review and decision.

**Background:** At the January 13, 2026 PZB meeting, the public hearing for the proposed expansion of Mid-States Recycling onto their vacant lot at 1777 Busse Hwy. immediately adjacent westerly. The proposed expansion requires Conditional Use approval and several Major Variations.

The January 9, 2026 staff memo and analysis discussed a potentially hazardous condition related to the existing parking area partially within the Busse Hwy. public ROW adjacent to the front of the 1841 Busse building. Here is an excerpt from the January 9, 2026 staff memo on this subject:

*The Planning and Zoning Board are encouraged to evaluate the site in relation to Standard 8 of the Conditional Use Standards regarding traffic and access. A suggested condition of approval would require reconfiguration of existing parking spaces along Busse Highway to comply with Section 12-9-6 of the Zoning Ordinance, if the Planning and Zoning Board and City Council determine it is necessary to address potential traffic and bicycle safety considerations. Draft language for this condition is included in the suggested conditions section.*

During the January 13, 2026 PZB public hearing, there was extensive discussion between the petitioner, the PZB and staff regarding whether this parking area in the Busse public ROW would be permitted to continue as is or whether it must be modified to comply with City design and construction requirements and procedures.

**Status Update:** The petitioner developed and provided staff a detailed schematic zoning level plan (Attachment 2) and a narrative (Attachment 1) to improve all the Busse public ROW with public sidewalk, parkway, curbing/drainage and twelve public parallel parking spaces can't be reserved for only the petitioner's private use.

As part of the revised site plan, the petitioner also proposes moving the 1841 Busse's security gate/fence is move southerly within the existing off-street parking area to place three parking spaces outside the security fence to accommodate customer off-street parking for access to the business' primary customer entrance currently at the northeasterly corner of the existing 1841 Busse Hwy building.

**Staff Review:** Applicable City staff have reviewed the plan and there are minimal plan details and permit procedural comments from the PWE-Engineering Division (as shown in Attachment 2).

Additionally, the revised site plan with the parallel parking spaces in the Busse public ROW satisfies the Conditional Use Standard #8 outlined above and the January 9, 2026 staff memo.

**PZB Procedure and Recommended Conditions:** Under Section 12-3-4.D (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use permit. City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4.E (Standards for Conditional Uses) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff suggests the following conditions.

**Revised Suggested Conditions of Approval:**

1. The permit plans shall be consistent with Attachment 2 dated January 23, 2026 to this February 6, 2026 memo reconstructing the Busse Hwy public ROW frontage along 1841 Busse Hwy and 1777 Busse Hwy.
2. The petitioner shall install and maintain signage identifying site entry and exit points for delivery and service vehicles. Signage shall be visible from Busse Highway and designed to minimize conflicts with bicycles, pedestrians, and other vehicles. Final plans for signage shall be submitted to and approved by the Director of Community and Economic Development prior to issuance of a certificate of occupancy.
3. Parkway landscaping adjacent to the site must be installed in accordance with City requirements. The Public Works and Engineering Director or their designee may allow for modified plantings in this area, based on Illinois Department of Transportation (IDOT) requirements or consultation.
4. Environmental inspections shall be conducted by a qualified environmental professional retained by the petitioner at each milestone identified in the Construction-Phase Environmental Inspection Schedule. The consultant shall document each inspection and shall provide this documentation to the City. The Construction-Phase Environmental Inspection Schedule may be revised as necessary by the Director of Community and Economic Development to accommodate changes in construction sequencing or site conditions.
5. If previously unidentified contaminated soil, groundwater, or vapors are encountered, work shall cease in the affected areas and the petitioner shall notify the City and retain a qualified environmental professional to evaluate the conditions. Documentation of any such events

and response actions shall be provided to the City before work can continue.

6. If construction experiences significant delays, as determined by the Director of Community and Economic Development, the petitioner shall coordinate with the City to implement temporary site protection measures.
7. Prior to issuance of a certificate of occupancy, the petitioner shall submit a letter from a qualified environmental professional or applicable agency confirming that construction was completed in compliance with approved environmental measures and that no unresolved environmental issues remain that would limit the approved use of the site.

Chairman Szabo for PZB questions and comments from the public.

Member Weaver asked the petitioner if they are familiar with the proposed conditions of approval and is the petitioner agreeable.

Mr. Jack Brown agreed to the conditions of approval as proposed.

Member Weaver moved and Member Catalano seconded a motion to recommend the City Council approve the proposed request as amended during the February 10, 2026 PZB meeting and the conditions of approval as presented by staff.

AYES: Weaver, Catalano, Veremis, Zadrozny, Fowler, Fallico and Szabo

NAYS: None

ABSTAIN: None

\*\*\*MOTION CARRIED\*\*\*

3. **Address:** 1313-1333 E. Oakton Street

**Case Number:** 26-004-V

The petitioner requests major and standard variations for (i.) building coverage exceeding the 35 percent requirement, a reduction of the minimum required front yard setback, (ii.) building height comprised of more than 2.5 stories, (iii.) reduction in the minimum landscaping requirements, and (vi.) site lighting levels less than the minimum required and with less than the minimum open design and any other exceptions, variations, waivers, and zoning relief as may be necessary to construct a new public fire station and accessory improvements.

**PINs:** 09-29-202-004, 09-29-202-005, 09-29-202-006, 09-29-202-007, 09-29-202-008 & 09-29-202-015

**Petitioner/Owner:** City of Des Plaines, 1420 Miner St., Des Plaines, IL 60016

Chairman Szabo swore in the petitioner City of Des Plaines Community & Economic Development Director Jeff Rogers.

Director Jeff Rogers presented the City's proposal for the redevelopment and replacement of City Fire Station #62 and its design and function. He also stated that Justin Green from the City's Public Works & Engineering Department is in attendance also.

Chairman Szabo asked for PZB member questions or comment

Member Weaver asked about the likely deliveries from the public alley or from Oakton Street.

Director Rogers stated there is not typically delivery vehicles coming to this property, but smaller Fire Department vehicles and equipment would likely access the property from the public alley.

Member Fowler what percentage of the property is occupied by the proposed building. Staff indicated the BLC is 39.8%.

Chairman Szabo asked if public notice sign was posted and if staff has received any comments from neighbors.

Director Rogers and Assistant Director Mendel stated there were no substantive public inquires.

Member Weaver asked about the Fire Department equipment allocation to this site and does it mean the proposed larger building is needed to meet modern professional requirements and staffing level.

Director Rogers outlined the general operational needs for the City's current Fire Department.

Member Weaver asked about additional Fire Station locations within the City.

Director Rogers stated there are plans to construct a new facility elsewhere in the City.

Member Fowler suggested other locations.

Member Veremis asked about the construction timeline.

Director Rogers outlined the desired construction timeline of 12-18 months to occupancy.

Assistant Director Jonathan Mendel presented the additional staff analysis.

**Issue:** The petitioner requests the following major variations for the proposed City of Des Plaines Fire Station 62:

- 39.8% Building Coverage exceeding the 35% maximum
- 10.9 foot front yard setback instead of the minimum required 25 feet on the site's westside
- Various reductions and omissions of minimum landscaping requirements
- Site lighting levels less than the minimum required

**Petitioner/Owner:** City of Des Plaines, IL, 1420 Miner Street, Des Plaines, IL 60016

**Case Number:** #26-004-V

**PIN:** 09-29-202-008-0000, 9-29-202-007-0000, 9-29-202-006-0000, 9-29-202-005-0000, 9-29-202-004-0000 & 9-29-202-015-0000

**Ward Number:** #5, Alderman Thomas Merlin

**Existing Zoning:** R-1, Single Family Residential

**Existing Land Use:** City Fire Station (Public Facility)

**Surrounding Zoning:** North: C-4, Regional Shopping District  
South: R-1, Single Family Residential District

East: C-3, General Commercial District  
West: R-1, Single Family Residential District

**Surrounding Land Uses:** North: Regional Shopping Center (commercial)  
South: Single Family Residences (residential)  
East: Commercial Buildings (commercial) & railroad tracks  
West: Single Family Residences (residential)

**Street Classification:** E. Oakton Ave. is a Minor Arterial under City of Des Plaines jurisdiction.

**Comprehensive Plan:** The Comprehensive Plan illustrates this site as residential.

**Property/Zoning History:** *Overview*

The subject property has been a City Fire Station for many decades and three single family houses. The City acquired the single-family houses over the last several years to permit the proposed Fire Station 62 redevelopment.

The proposed variations permit the optimal building and site design and function for this critical part of the City of Des Plaines EMS services. Fire Station 62 has been serving the Des Plaines community for more than 65 years at this location and must continue serving the community proficiently in the 21<sup>st</sup> century.

**MAJOR VARIATIONS**

**Request Description:** *Overview*

The City has planned this Fire Station 62 redevelopment for several years to replace and modernize this critical public facility to better serve the Des Plaines community.

The City seeks the following major variations:

- 10.9 foot front yard setback instead of the minimum required 25 feet on the site's westside in Section 12-7-2.J-Table 2.
- 39.8% Building Coverage exceeding the 35% maximum in Section 12-7-2.J-Table 2
- Parking Lot Setback – Reduction from 5.0 feet to 3.0 feet at the northeast corner of the site in Section 12-10-8.B.3 and 12-9-6.F.
- Omitting required shade trees at the south end of the east and west parking rows in Section 12-10-8.A.2
- Omitting landscaping adjacent to the proposed mechanical screening where a minimum of 3.0 feet of landscaping is required
- Omitting foundation landscaping on the east building elevation – No foundation landscaping is proposed on the east elevation where a minimum quantity of landscaping adjacent to 35% of the building foundation on street-facing elevations is required in Section 12-10-10.
- Parking Lot Light Levels – The proposed lighting design provides lighting at levels slightly below 1.0 foot-candle in limited areas of the parking lot in Section 12-9-6.G.

### *Consideration of Alternatives*

Given the constraints of the subject property and the needs of a modern full-service Fire Department, there were limited alternatives for total compliance.

Front yard setback:

- To provide an adequate vehicle bay, living quarters and on-site parking, the building's width is at the minimum necessary to provide sufficient functional space for the EMS operations.

Building Coverage

- The proposed building coverage is 4.8% more than the maximum permitted 35%. It is necessary to provide the minimum sufficient interior function. Also, this difference is not readily perceivable on the ground in the field.

Minimum landscaping requirements

- Alternatives would reduce the on-street parking for the Fire personnel assigned to this station and could hamper operations especially at shift change.

**Standards for Variation:** The following is a discussion of standards for variations from Section 12-3-6(H) of the Zoning Ordinance. Rationale for how the proposal would satisfy the standards is provided below and in the petitioner's response to standards. The PZB may use this rationale toward its recommendation, or the Board may make up its own. For the following standards for variations see the response to standards in Attachment 5.

1. **Hardship:** No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.
2. **Unique Physical Condition:** The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.
3. **Not Self-Created:** The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.
4. **Denied Substantial Rights:** The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
5. **Not Merely Special Privilege:** The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the

owner to make more money from the use of the subject lot.

6. **Title And Plan Purposes:** The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.
7. **No Other Remedy:** There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.
8. **Minimum Required:** The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

**PZB Procedure and Recommended Conditions:** Under Section 12-3-6.G.2.b (Procedure for Review and Decision of Major Variations) of the Zoning Ordinance, the PZB has the authority to *recommend* the City Council approve or deny the major variations request. Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-6.H (Standards for Variation) of the Zoning Ordinance. Member Catalano asked about the stormwater management method.

Director Rogers outlined compliance with local and County stormwater management.

Chairman Szabo asked about if the existing lots have to be consolidated.

Director Rogers stated consolidation through plat of subdivision is not required for this project.

Member Weaver moved and Member Catalano seconded a motion to recommend the City Council approve the request as proposed

AYES: Weaver, Catalano, Fowler, Fallico, Veremis, Zadrozny and Szabo

NAYS: None

ABSTAIN: None

\*\*\*MOTION CARRIED\*\*\*

### **ADDITIONAL ITEMS**

Member Fowler asked about the status of the 622 Graceland property.

Director Rogers outlined the property's current status.

### **ADJOURNMENT**

Chairman Szabo adjourned the meeting by affirmative voice vote at 7:44 P.M.

Sincerely,

Jonathan Mendel, AICP, Assistant Director/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners

MEMORANDUM

Date: March 6, 2026

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR  
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Consideration of a Final Plat of Subdivision at 1055 S. Mount Prospect Road and 30 E. Algonquin Road, Case #26-005-FPLAT

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**Issue:** The applicant requests a Final Plat of Subdivision to split one lot into two lots of record.

**Applicant/Owner:** Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

**Case Number:** 26-005-FPLAT

**PIN:** 09-19-101-005-0000

**Ward:** #3, Alderman Sean Oskerka

**Existing Zoning:** M-3 Special Manufacturing District

**Existing Land Use:** Former office buildings and surface parking lots

**Surrounding Zoning:** North: R-1 Single Family Residential District  
South: M-2 General Manufacturing District  
East: M-3 Special Manufacturing District  
West: M-3 Special Manufacturing District

**Surrounding Land Use:** North: Single Family Residences (Residential)  
South: Former Office Building (Commercial)  
East: Laboratory/Manufacturing (Industrial)  
West: Office Building (Commercial)

**Street Classification:** Mount Prospect Road is a major collector under Cook County jurisdiction and Algonquin Road is a major collector under Illinois Department of Transportation (IDOT) jurisdiction.

**Comprehensive Plan:** The subject property is illustrated as an *industrial* land use on the Future Land Use map in the 2019 Comprehensive Plan.

**Zoning/Property History:** As illustrated in the attached ALTA/NSPS Land Title Survey, the subject property was improved with two separate office buildings, each with its own off-street parking area and street address. The northern building addressed as 1055 S. Mount Prospect Road has since been demolished and replaced with turf, but the off-street parking area still remains. In contrast, the two-story, 26,454-square-foot office building and off-street parking area at the south portion of the site addressed as 30 E. Algonquin Road still remain as illustrated in the attached ALTA/NSPS Land Title Survey.

**FINAL PLAT OF SUBDIVISION**

*Overview*

The applicant requests splitting the existing site into two lots of record and redeveloping each with a new speculative industrial building, loading docks, off-street trailer storage spaces, and off-street car parking spaces described in the attached Project Narrative and illustrated on the attached Final Site Improvement Plans. On August 26, 2025, the PZB approved the Tentative Plat of Subdivision with the condition that all building setbacks for the M-3 Special Manufacturing district were provided on the Final Plat. As such, the applicant now requests a final plat, which is the last part of the process noted in Section 13-2-5 of the Subdivision Regulations.

The proposal includes the subdivision of the existing lot into a 9.150-acre north lot (Lot 1) and 9.624-acre south lot (Lot 2), with a total subdivision area of 18.77 acres. The attached Final Plat of O’Hare Logistics Center 17 and 18 Subdivision shows the locations, boundaries, and sizes of the proposed lots.

Since the 2025 tentative plat review, a recent Amendment to Declaration of Easement Appurtenant recorded on November 4, 2025 reduced the original 160-foot-wide easement along the north of the subject property to 70 feet, allowing for an increase in the building size and alteration of site improvements on the proposed Lot 1 without a change to the overall subdivision boundaries and lot dimensions. The table below provides an overview of the proposed site improvements for each proposed lot in the subdivision noting the revised site improvements for Lot 1.

Proposed Lot Improvements					
<i>Lot ID</i>	<i>Lot Area</i>	<i>Building Area</i>	<i># of Docks</i>	<i># of Parking Spaces</i>	<i># of Trailer Storage Spaces</i>
Lot 1	398,556 SF <i>(no change)</i>	106,756 SF <i>(+31,396 SF)</i>	21 <i>(+4)</i>	111 (+9 <i>spaces)</i>	30 (+21 trailer <i>spaces)</i>
Lot 2	419,257 SF	166,320 SF	35	172	32
<b>Totals</b>	<b>817,813 SF</b>	<b>273,076 SF</b>	<b>56</b>	<b>283</b>	<b>62</b>

### *Building Lines and Easements*

The Final Plat includes the required 60-foot building setbacks for all required front, side, and rear yards in conformance with Section 12-7-4.H of the Zoning Ordinance. Both lots in the proposed subdivision meet the minimum 5-acre lot size requirement and minimum 125-foot lot depth requirement. Note that Lot 1 will be an interior lot with its front yard on the west property line along Mount Prospect Road and Lot 2 will be corner lot with its front yard on the south property line along Algonquin Road.

The subdivision plat shows: (i) a new 70-foot-wide blanket easement along the north property line of the proposed subdivision (reduced from 160-foot-wide) including a 10-foot-wide electrical easement, a 10-foot-wide natural gas easement, and existing 15-foot-wide sewer easement; (ii) a 30-foot-wide temporary maintenance easement near the northeast portion of the proposed subdivision including a 10-foot-wide private sanitary sewer easement, both to be vacated; (iii) a 40-foot-wide ingress and egress easement in the northwest corner of the subdivision along Mount Prospect Road to be vacated; (iv) a 10-foot-wide private watermain easement at the northeast corner of Lot 2 of the subdivision; (v) a new 5-foot-wide public utility easement along the east (rear) property line of Lot 1 of the subdivision; (vi) a new 5-foot-wide public utility easement along the north (rear) property line of Lot 2 of the subdivision; and (vii) a 5-foot-wide sidewalk easement on the west property line.

### *Public Works and Engineering (PWE) Review*

The applicant has provided the attached Final Site Improvement Plans, which identify the specific public improvements related to this project including a new curb cut on Mount Prospect Road, new side path along Algonquin Road and Mount Prospect Road, replacement of the 12-inch watermain along Mount Prospect Road, site grading, a new water line connection on Algonquin Road, two new industrial buildings, detention basin, and surface parking areas. The applicant has provided an Engineer's Estimate of Probable Cost (EOPC) for these improvements, which have been approved by the PWE department with conditions as noted in the attached PWE approval letter.

**PZB Procedure and Recommended Conditions:** Under Section 13-2-7 (Approval of Final Plat by the Planning and Zoning Board) of the Subdivision Regulations, the PZB has the authority to recommend approval, approval with conditions, or denial of the Final Plat request and forward the decision to City Council for final determination. There are no staff recommended conditions of approval for this request.

### **Attachments:**

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative (*revised February 27, 2026*)
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Excerpt of Final Site Improvement Plans<sup>1</sup>
- Attachment 7: Public Works and Engineering (PWE) Department Memo
- Attachment 8: Final Plat of Subdivision

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<sup>1</sup> Full copies available upon request to the Community and Economic Development department.



Print Date: 8/22/2025

Notes

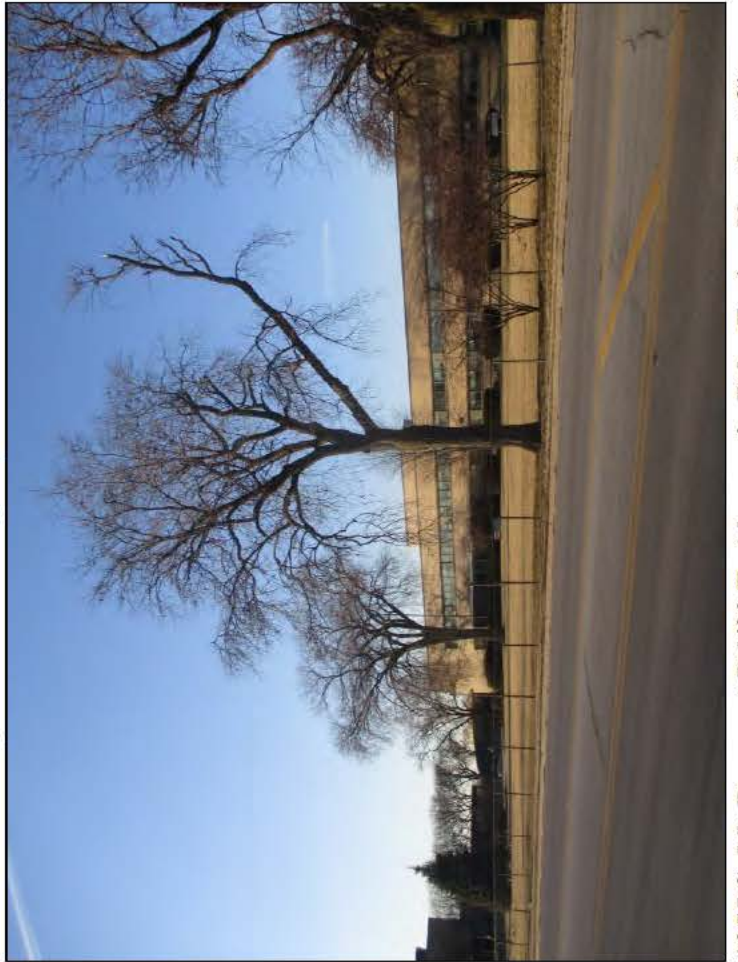
Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Public Notice Sign #1



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Public Notice Sign #2



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Facing North at Site



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Side of Building



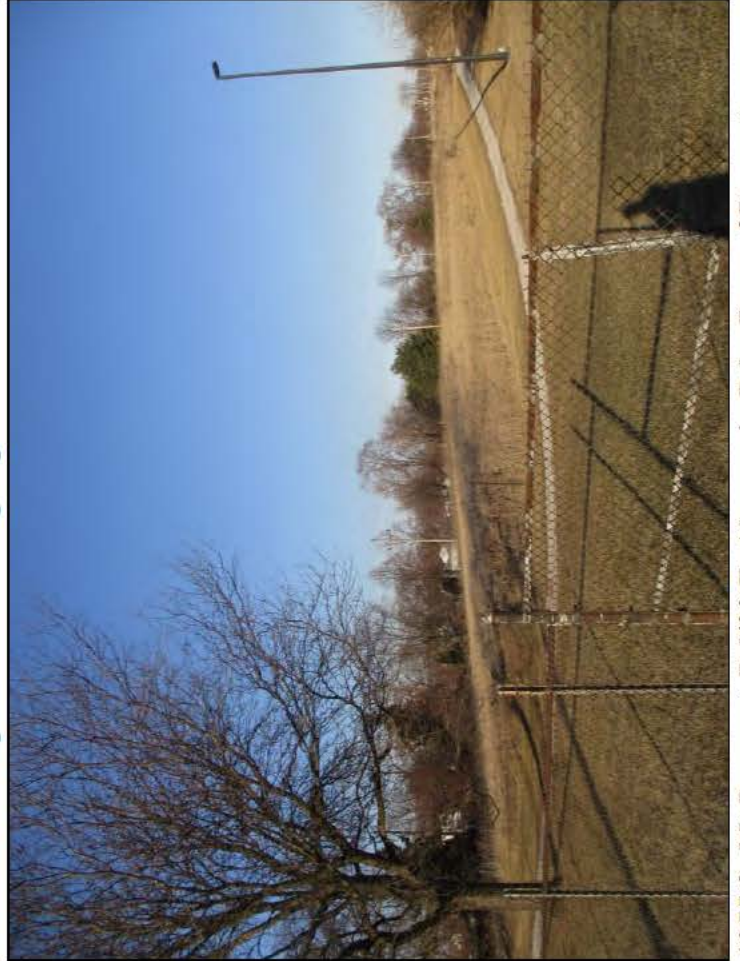
1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Parking Area #1



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – West Entrance



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Parking Area #2



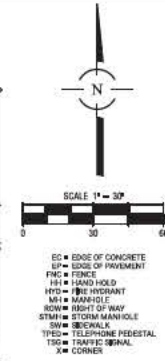
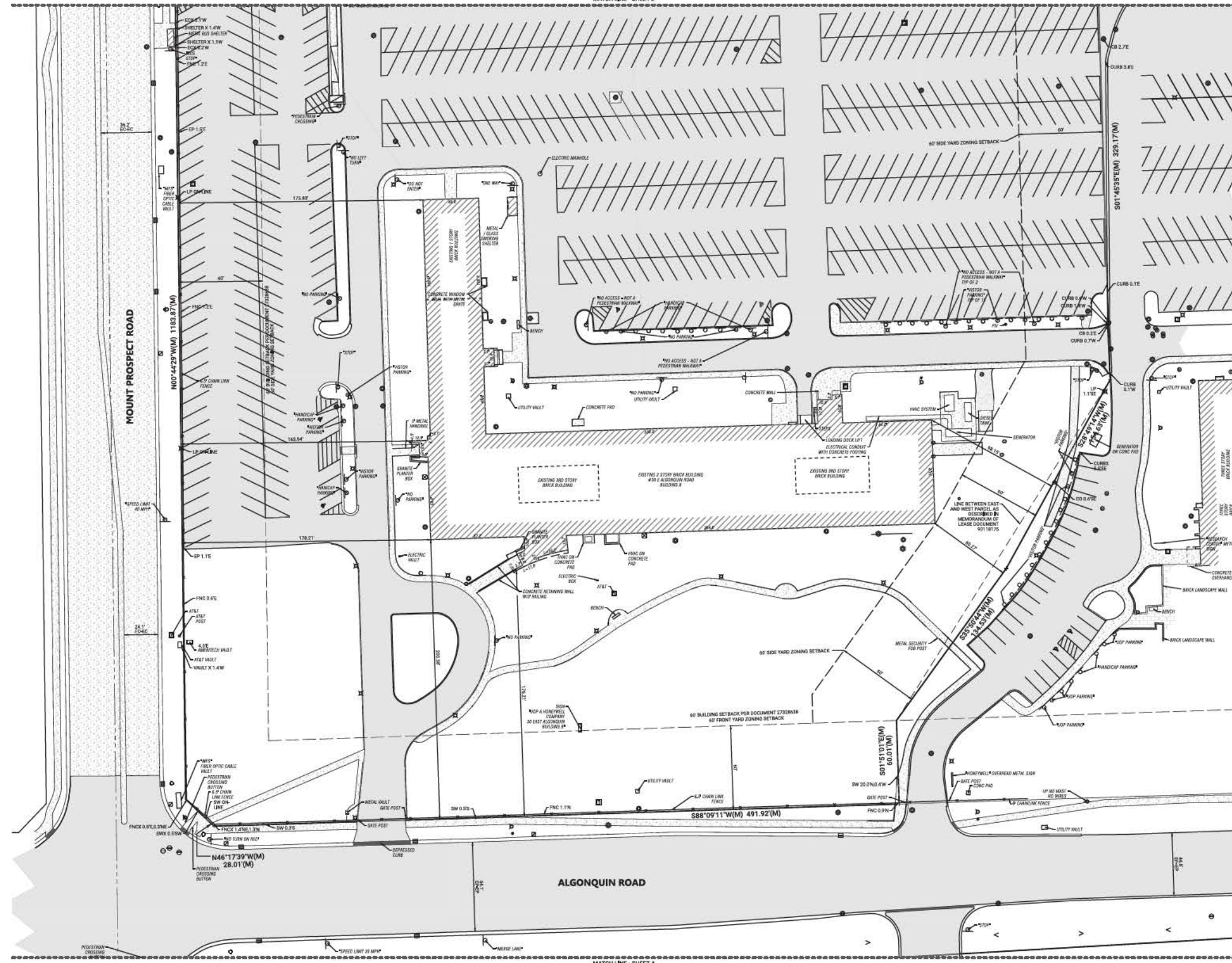
1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Rear of Property





# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

MATCH LINE - SHEET 2



- EC = EDGE OF CONCRETE
- EP = EDGE OF PAVEMENT
- FNC = FENCE
- HH = HAND HOLD
- HYD = HYDRO PIPING
- MR = MANHOLE
- SM = SIGN
- STW = STORM MANHOLE
- SW = SWALE
- TEP = TELEPHONE PEDESTAL
- TR = TRAILER
- VC = CURB

NO.	DATE	REMARKS
1	12/05/24	ZONING REPORT

ALTA/NSPS LAND TITLE SURVEY  
**25, 30 & 95 EAST ALGONQUIN ROAD**  
 DES PLAINES, ILLINOIS

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME:	969729ALTA-01
DATE:	11/14/2024
JOB NO.	9697.03
SHEET	

PARCEL 3 ZONING  
 THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY HAVE BEEN LISTED HEREON BASED ON ZONING AND SET REQUIREMENTS SUMMARY PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED DECEMBER 2, 2024. FOR SET NUMBER 1797697. (TABLE A, ITEM SA)

EXISTING ZONING: M-2 (SPECIAL MANUFACTURING)  
 FRONT / REAR / SIDE REAR SETBACK: 95 FEET  
 MAXIMUM BUILDING HEIGHT: 35 FEET  
 MINIMUM LOT SIZE: 1 ACRE  
 MAXIMUM FLOOR COVERAGE: 75%  
 MAXIMUM FLOOR AREA RATIO: NO REQUIREMENT NOTED  
 PARKING SPACE FORMULA:  
 MANUFACTURING AND WHOLESALE: 1 SPACE FOR EVERY 1,300 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 50% WAREHOUSE AREA FOR ALL BUILDINGS)  
 (235,170 / 1,300 = 181)  
 OFFICE: 1 SPACE FOR EVERY 300 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 50% OFFICE AREA FOR ALL BUILDINGS)  
 (25,949 / 300 = 86)  
 267 TOTAL PARKING SPACES REQUIRED

LEGEND	
	60' SIDE YARD ZONING SETBACK
	60' BUILDING SETBACK FOR DOCUMENT 2728938
	60' FRONT YARD ZONING SETBACK
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	60' SIDE YARD ZONING SETBACK
	60' BUILD





## SEEFRIED INDUSTRIAL PROPERTIES, INC.

### Project Narrative 1055 S. Mount Prospect Road

Seefried Properties desires to redevelop the unused office building at 1055 S Mount Prospect Road into a two parcel, two building speculative industrial campus. The parcels will be split along the traffic signal along Mount Prospect Rd opposite the Vetter operation. The north parcel shall contain a 106,756 square foot building that will be 32' clear with 111 possible car parking positions, 2 drive in doors, 21 possible dock positions, and 30 trailer parking positions. The south parcel shall contain a 152,820 square foot building that will be 36' clear with 172 possible car parking positions, 2 drive in doors, 34 possible dock positions, and 40 trailer parking positions. The buildings shall be made of concrete precast walls and glass designed with first class industrial aesthetic features like textured reveals and overlapped panels to create depth, undulating heights, glass openings and entrance features, and complementary paint schemes. The facilities will be designed to attract world class occupiers eager to operate business out of this desirable industrial location within the city. The speculative nature of the project means there are no tenants in the space currently and thus means the facilities will be shown as empty buildings to start and designed with optimal flexibility for any possible tenant.



June 2<sup>nd</sup>, 2025

Susan March  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd Suite 220, Chicago, IL 60631

WILL SERVE LETTER

Dear Susan March,

This letter is in response to your request for information on the availability of AT&T services for a proposed commercial project in Des Plaines at the following addresses

- 25 Algonquin rd
- 95 E Algonquin rd
- 1055 S Mt. Prospect Rd

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed commercial development but an acknowledgment that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

**Kolade Fajimi (Engineer)**  
**Senior Specialist OSP Design Engineer**  
**Access Construction & Engineering Midwest**

**AT&T**  
**1000 Commerce Dr,**  
**Oak Brook, IL 60523**  
**M 847-226-7885 | [REDACTED]**



June 20, 2025

Ms. Susan March  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd.  
Suite 220  
Chicago, IL 60631

Re: A Will Serve letter for a new commercial project at 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016.

Dear Ms. Susan March:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Maurice Allen at cell +1 (630) 210-5916 or email at [REDACTED] with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,



Robert L. Schuller Jr.  
Central Division Director of Construction  
(224) 229-5863

---

July 8, 2025  
Susan March  
847-921-5537

[REDACTED]  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd Suite 220, Chicago, IL 60631

Gas Availability for the Proposed: 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016

To whom it may concern,

This letter will serve as Nicor Gas' intention to provide service to the above, proposed new construction project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Kelly Turner, at start up in order to coordinate the gas service/main installation timetable. I can be reached at 630-605-1586 or by email at [REDACTED]

If you have any additional questions, please let me know.

Sincerely,

*Kelly Turner*

New Business Construction Consultant  
Customer Development, Nicor Gas

08/13/2025

**1055 S Mount Prospect RD.  
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 1055 S Mount Prospect RD., Des Plaines,  
IL 60016**

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely  
DCC | Field Representative  
ComEd | An Exelon Corporation  
847-846-1074

08/13/2025

**30 E Algonquin RD  
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 30 E Algonquin RD. Des Plaines, IL  
60016**

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely  
DCC | Field Representative  
ComEd | An Exelon Corporation  
847-846-1074

# SITE IMPROVEMENT PLANS for O'HARE LOGISTICS CENTER 17 & 18

**1055 S. MOUNT PROSPECT ROAD  
DES PLAINES, IL  
PROJECT NO:9697.09**

**MWRD JOB START NOTIFICATION**  
CONTACT THE METROPOLITAN  
WATER RECLAMATION DISTRICT  
OF GREATER CHICAGO 2 DAYS  
BEFORE STARTING WORK.  
  
P: (708) 588-4055  
E: WMOJOBSTART@MWRD.ORG

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or, that if drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains approved for use by the Director of Public Works and Engineering, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the construction of this project.

To the best of our knowledge and belief there is no regulatory floodplain/floodway, no special flood hazard areas, riparian areas, or wetlands located on or within 100' of the project site. The project site was previously developed and graded.



**DEVELOPER**  
SEEFRIED INDUSTRIAL PROPERTIES  
8745 W. HIGGINS ROAD, SUITE 220  
CHICAGO, IL 60631

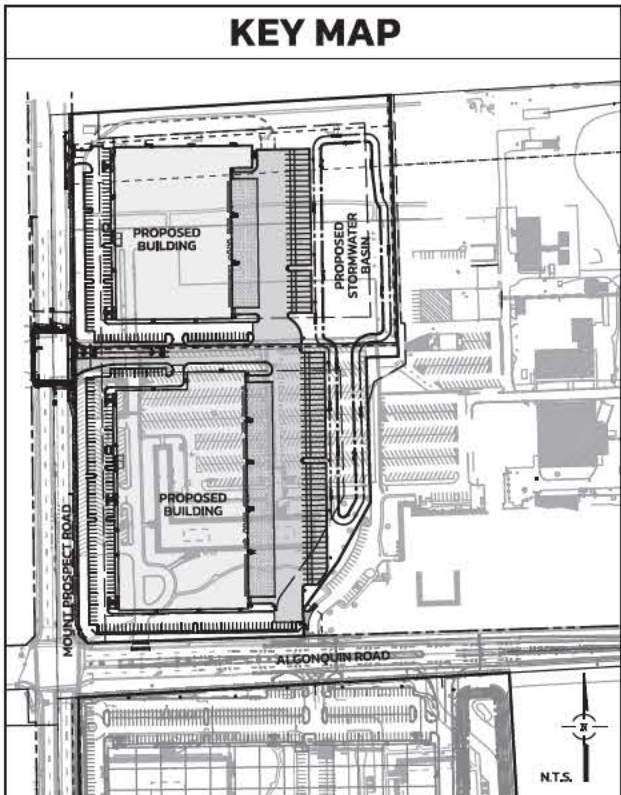
**ARCHITECT**  
HARRIS ARCHITECTS  
1475 E. WOODFIELD RD, SUITE 925  
SCHAUMBURG, IL 60173

**CALL J.U.L.I.E. 1-800-892-0123**  
WITH THE FOLLOWING:  
COUNTY COOK  
CITY, TOWNSHIP DES PLAINES, IL  
SEC. & 1/4 SEC. NO. S19, T41N, R12E  
  
**48 HOURS BEFORE YOU DIG.**  
EXCLUDING SAT., SUN. & HOLIDAYS

**BENCHMARK**  
ELEVATION:  
DESCRIPTION: **SEE SHEET OVEC FOR BENCHMARK INFORMATION**

**NOTE:**  
SPACECO, INC. IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS  
  
IF YOU ARE CONSTRUCTING PUBLIC IMPROVEMENTS, INSPECTIONS ARE REQUIRED TO BE DONE BY PERSONNEL FROM THE CITY OF DES PLAINES PUBLIC WORKS AND ENGINEERING DEPARTMENT. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE PUBLIC WORKS AND ENGINEERING DEPARTMENT AT 847-391-5390, TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION OF PUBLIC IMPROVEMENTS TO ARRANGE FOR REQUIRED INSPECTION(S).

INDEX		
SHEET #	SHEET LD.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	GN	TYPICAL SECTIONS AND GENERAL NOTES
3	OVEC	OVERALL EXISTING CONDITIONS PLAN
4-6	EC1-EC3	EXISTING CONDITIONS PLANS
7-9	DEM01-DEM03	DEMOLITION PLANS
10	OVSP	OVERALL SITE PLAN
11-13	GM1-GM3	GEOMETRIC PLANS
14-16	GR1-GR3	GRADING PLANS
17-20	UT1-UT4	UTILITY PLANS
21-23	SE1-SE3	SOIL EROSION & SEDIMENT CONTROL PLAN
24-25	S1-S2	SPECIFICATIONS
26-31	D1-D6	DETAILS
32	PDE	PROPOSED DRAINAGE EXHIBIT
33	SRM	MWRD SEWER ROUTING MAP
34	EXH-R	MAINTENANCE & MONITORING EXHIBIT



REVISIONS			
ORIGINAL PLAN DATE: JULY 18, 2025			
#	SHEET #	REMARKS	DATE
1	8,10-20,23,32	PER CITY OF DES PLAINES	08/13/25
2	7,9-20,22,23,27,31,32,34	PER MWRD & SEEFRIED	11/12/25
3	7,8,11,14-19	PER SEEFRIED	11/26/25
4	34	PER MWRD	12/17/25
5	7,12,17,18,19	PER CITY OF DES PLAINES	01/06/26
6	1	PER MWRD	01/13/26
7	8,9	PER CITY OF DES PLAINES	01/28/26
8	15,18	PER CITY OF DES PLAINES	02/18/26

*Brett Duffy* 02/18/26 DATE  
ENGINEER  
BRETT M. DUFFY, P.E.  
ILLINOIS REGISTRATION NO.: 062-053198  
EXPIRATION DATE: 11/30/2027  
PROFESSIONAL DESIGN FIRM NO.: 184-001157  
EXPIRATION DATE: 04/30/2027  
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

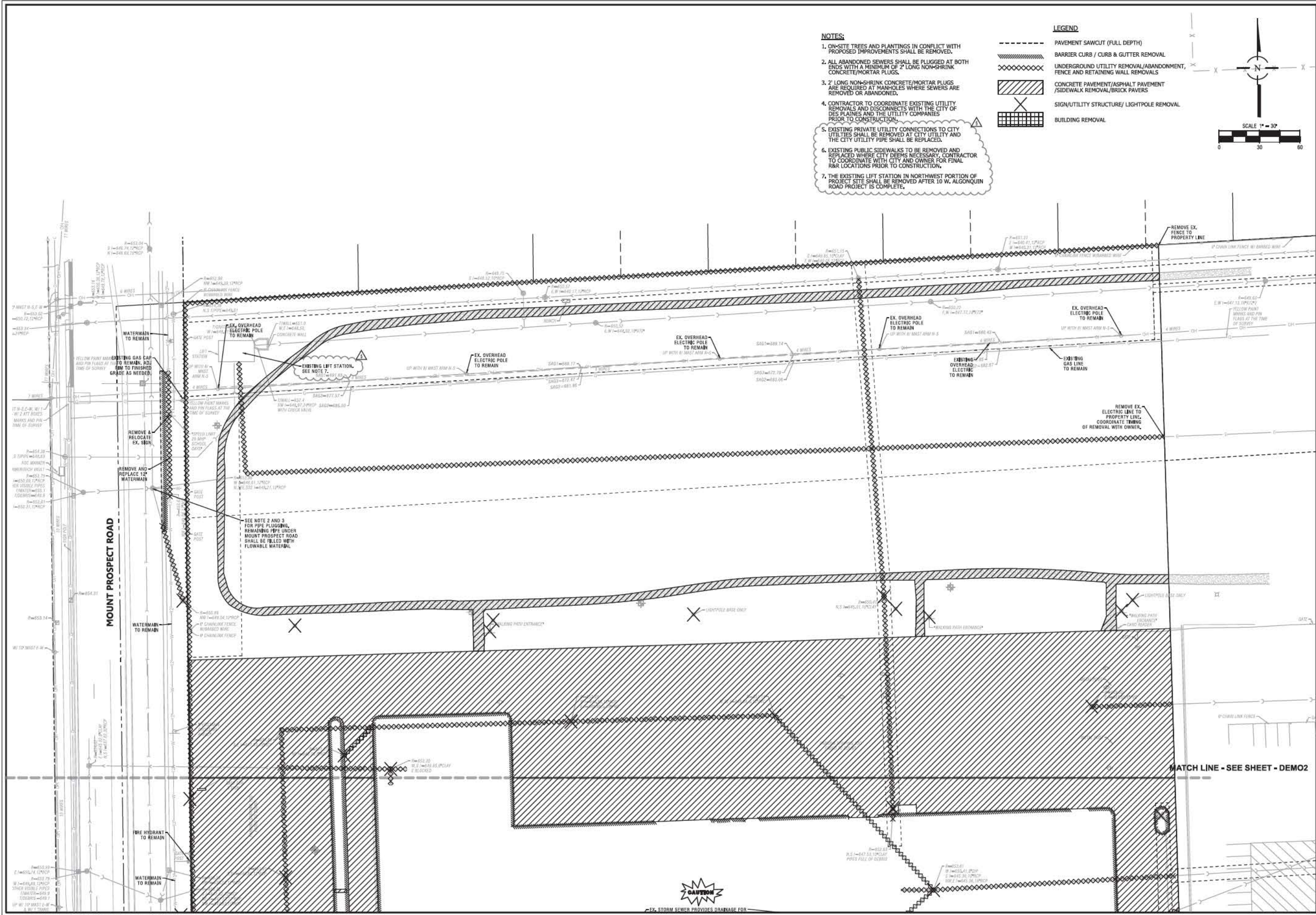
**O'HARE LOGISTICS CENTER  
17 & 18  
DES PLAINES, IL**

Rosemont Office  
9575 W. Higgins Road, Suite 700  
Rosemont, Illinois 60018  
Phone: (847) 696-4060



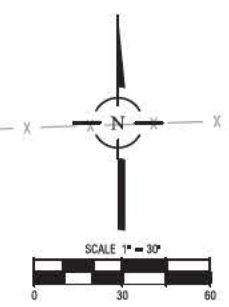
FILENAME:  
9697.09-NORTH-TITLE  
DATE:  
07/18/25  
JOB NO.  
9697.09  
SHEET  
**C1**  
1 OF 34





- NOTES:**
1. ON-SITE TREES AND PLANTINGS IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED.
  2. ALL ABANDONED SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS.
  3. 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS ARE REQUIRED AT MANHOLES WHERE SEWERS ARE REMOVED OR ABANDONED.
  4. CONTRACTOR TO COORDINATE EXISTING UTILITY REMOVALS AND DISCONNECTS WITH THE CITY OF DES PLAINES AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
  5. EXISTING PRIVATE UTILITY CONNECTIONS TO CITY UTILITIES SHALL BE REMOVED AT CITY UTILITY AND THE CITY UTILITY PIPE SHALL BE REPLACED.
  6. EXISTING PUBLIC SIDEWALKS TO BE REMOVED AND REPLACED WHERE CITY DEEMS NECESSARY. CONTRACTOR TO COORDINATE WITH CITY AND OWNER FOR FINAL R&R LOCATIONS PRIOR TO CONSTRUCTION.
  7. THE EXISTING LIFT STATION IN NORTHWEST PORTION OF PROJECT SITE SHALL BE REMOVED AFTER 10 W. ALGONQUIN ROAD PROJECT IS COMPLETE.

- LEGEND**
- PAVEMENT SAWCUT (FULL DEPTH)
  - ||||| BARRIER CURB / CURB & GUTTER REMOVAL
  - XXXXXX UNDERGROUND UTILITY REMOVAL/ABANDONMENT, FENCE AND RETAINING WALL REMOVALS
  - ▨ CONCRETE PAVEMENT/ASPHALT PAVEMENT /SIDEWALK REMOVAL/BRICK PAVERS
  - ⊗ SIGN/UTILITY STRUCTURE/ LIGHTPOLE REMOVAL
  - BUILDING REMOVAL



**DEMOLITION PLAN - 1**

**O'HARE LOGISTICS CENTER 17 & 18**

**PROJECT LOCATION**

NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
3	11/26/25	PER SEINFELD
2	11/12/25	PER HWRD & SEINFELD

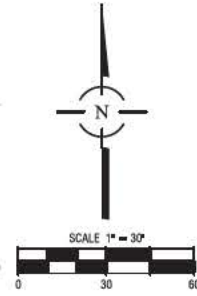
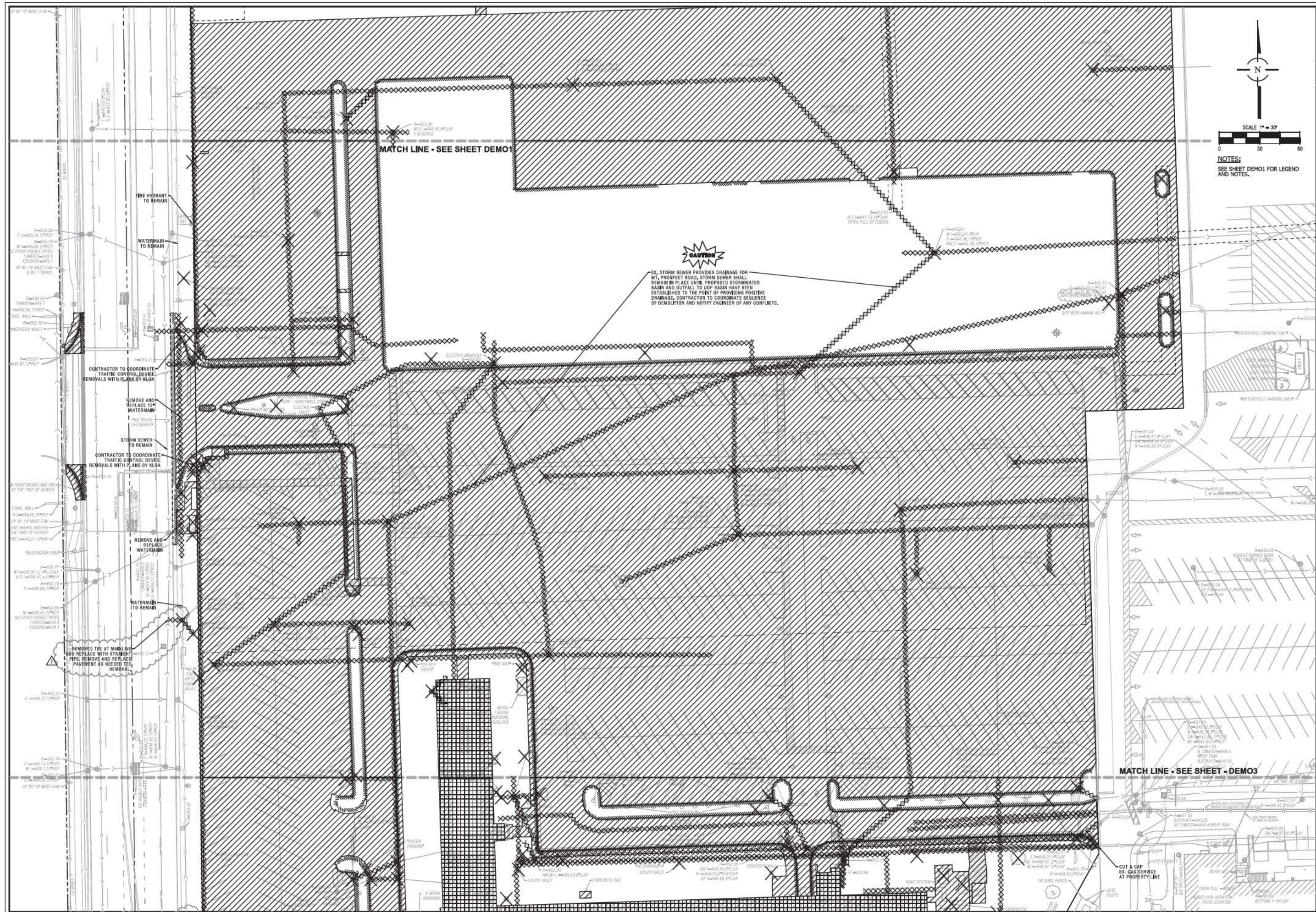
**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN

FILENAME:  
1161102-NORTH-DEMO1

DATE:  
07/18/25

JOB NO.  
9697.09

SHEET  
**DEMO1**  
7 OF 34



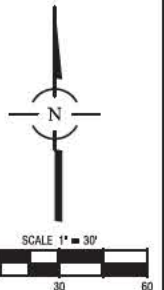
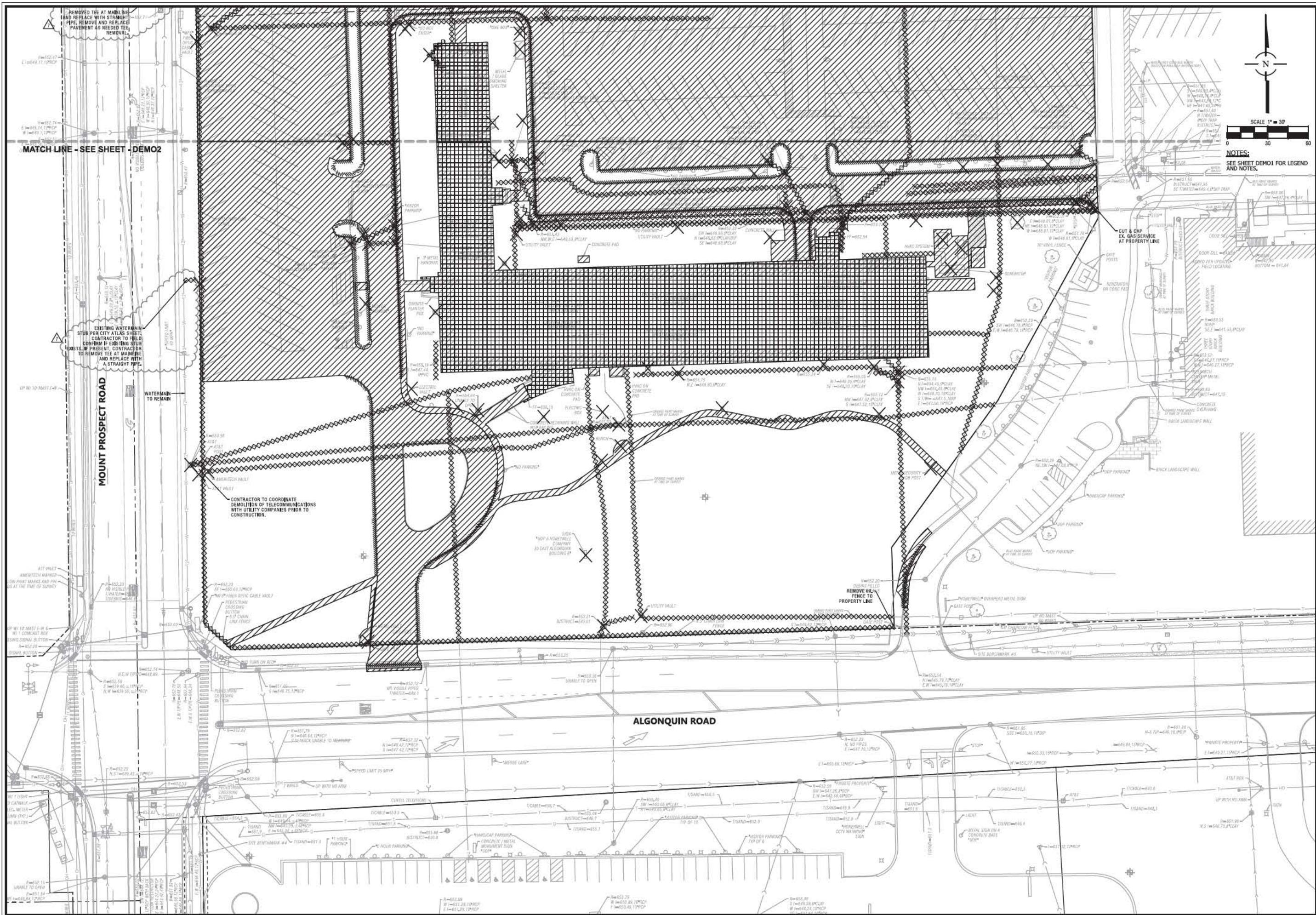
**NOTES:**  
SEE SHEET DEMO1 FOR LEGEND AND NOTES.

NO.	DATE	REMARKS
3	11/26/25	PER RECEIVED PER CITY OF DES PLAINES
1	08/13/25	PER CITY OF DES PLAINES
7	01/28/26	PER CITY OF DES PLAINES

**DEMOLITION PLAN - 2**  
**O'HARE LOGISTICS CENTER 17 & 18**  
PROJECT LOCATION



FILENAME:	165102-NORTH-DEM02
DATE:	07/18/25
JOB NO.:	9697.09
SHEET:	DEM02
	8 OF 34



**NOTES:**  
SEE SHEET DEMO1 FOR LEGEND AND NOTES.

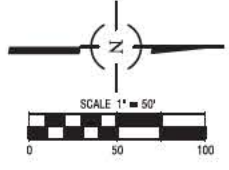
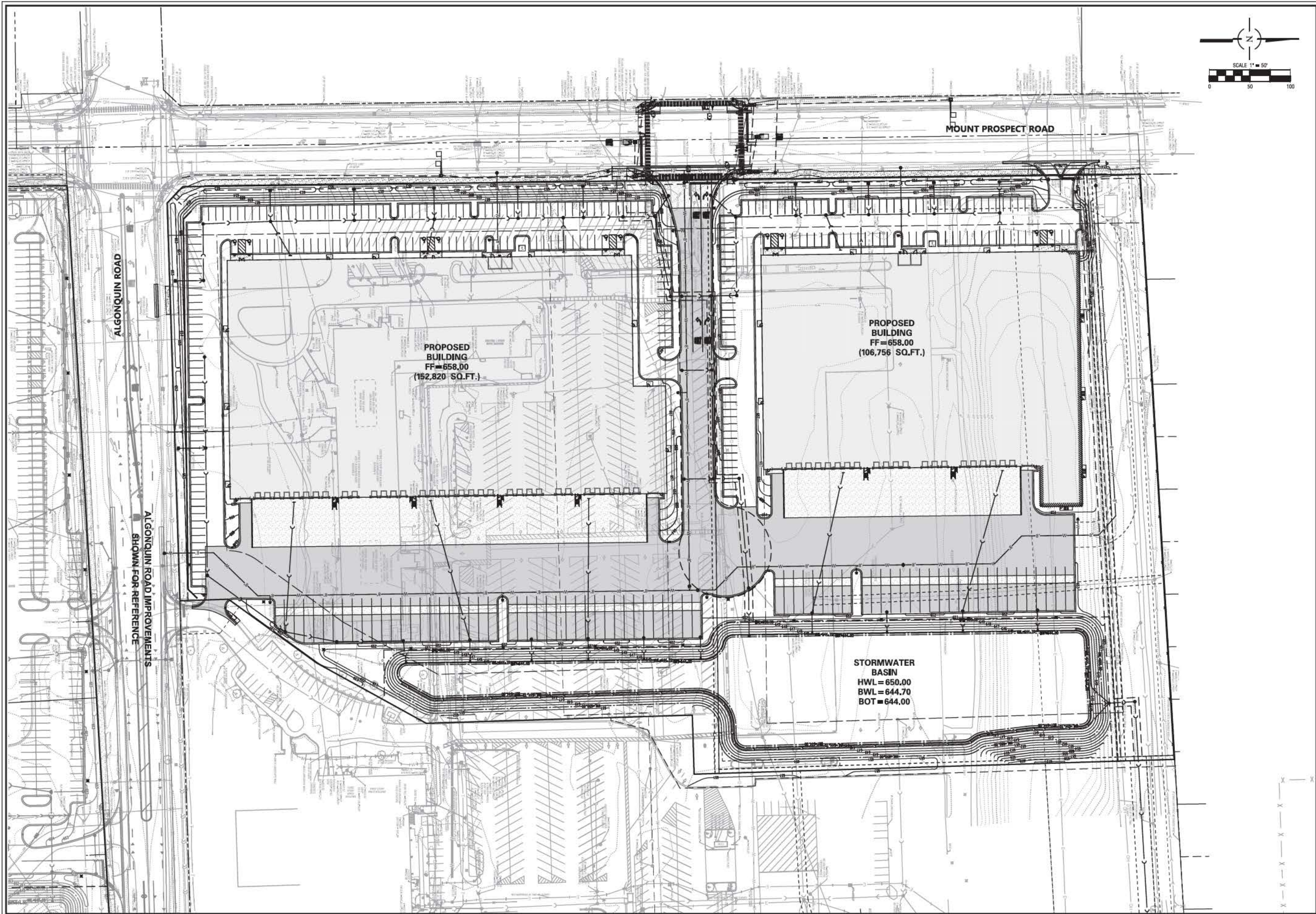
NO.	DATE	REMARKS
7	01/28/26	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
2	11/12/25	PER NWRD & SEIFRED

**DEMOLITION PLAN - 3**  
**O'HARE LOGISTICS CENTER 17 & 18**  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 1161102-NORTH-DEM03
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>DEM03</b> 9 OF 34



ALGONQUIN ROAD

MOUNT PROSPECT ROAD

PROPOSED BUILDING  
FF=658.00  
(152,820 SQ.FT.)

PROPOSED BUILDING  
FF=658.00  
(106,756 SQ.FT.)

STORMWATER BASIN  
HWL = 650.00  
BWL = 644.70  
BOT = 644.00

ALGONQUIN ROAD IMPROVEMENTS  
SHOWN FOR REFERENCE

OVERALL SITE PLAN

O'HARE LOGISTICS CENTER 17 & 18  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

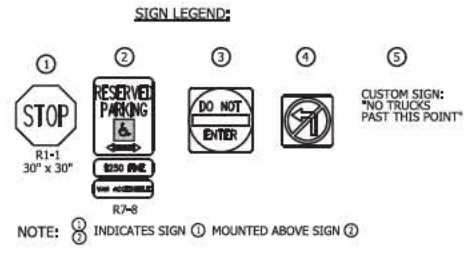
FILENAME:	9697.09-NORTH-OVSP
DATE:	07/18/25
JOB NO.	9697.09
SHEET	<b>OVSP</b>
	10 OF 34

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES
2	11/12/25	PER NWRD & SEEFRED

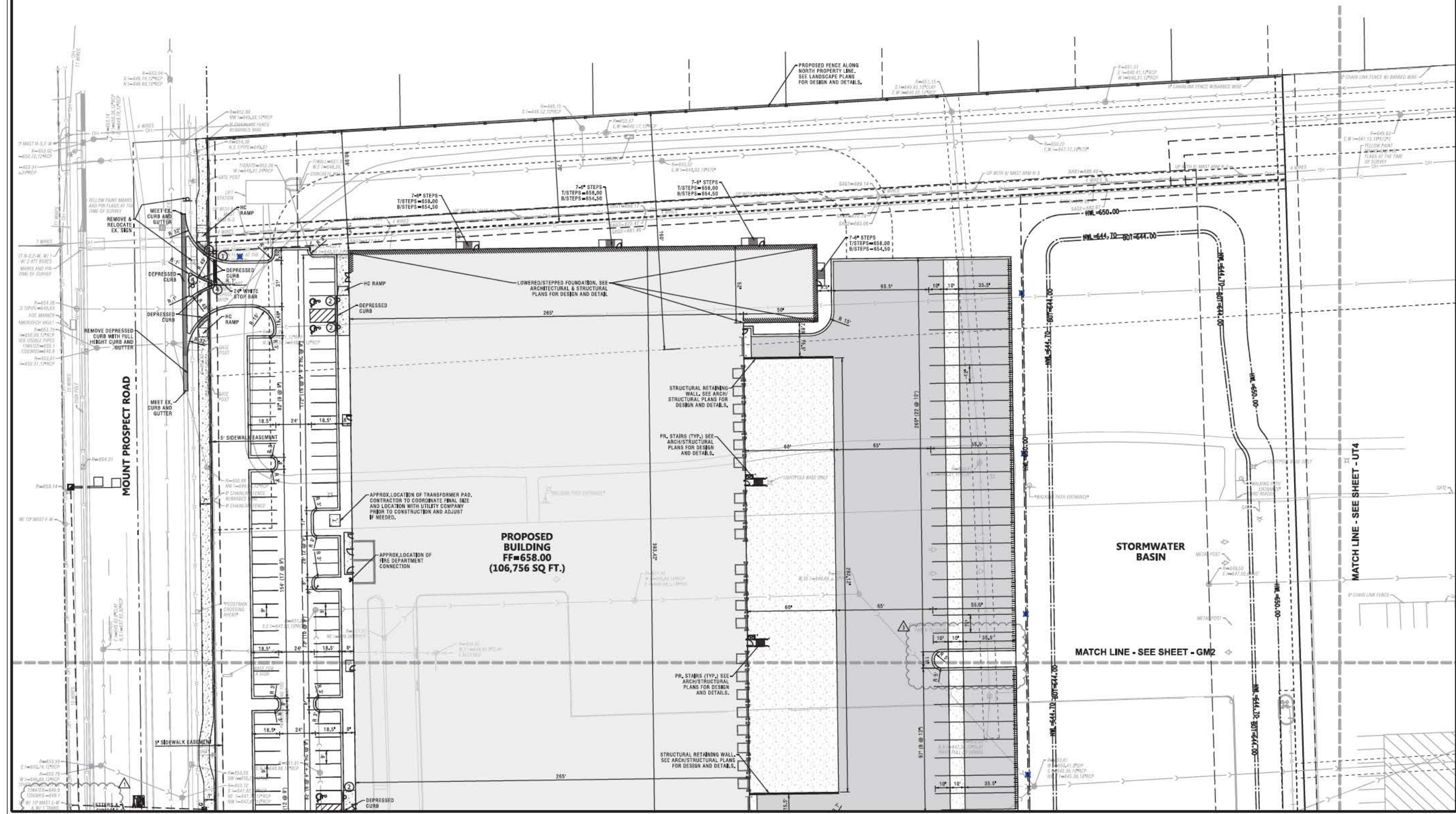
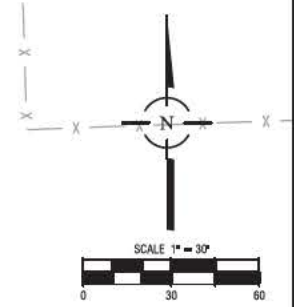
NO.	DATE	REMARKS

**LEGEND**

	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	CONCRETE PAVEMENT OR APRON
	CONCRETE SIDEWALK
	CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
	REVERSE PITCH (PITCH OUT) CURB & GUTTER
	STANDARD PITCH (PITCH IN) CURB & GUTTER
	DEPRESSED CURB & GUTTER



- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL CURBS AND GUTTERS 8-6.12 ARE REVERSED PITCH UNLESS OTHERWISE NOTED.
  3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
  4. ALL PAVEMENT MARKINGS SHALL BE PAINT UNLESS NOTED OTHERWISE.
  5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
  6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS.
  7. ALL CURB AND GUTTER IN COOK COUNTY ROW (MOUNT PROSPECT ROAD) ARE PROPOSED TO BE 8-6.24 UNLESS OTHERWISE NOTED.



NO.	DATE	REMARKS
3	11/26/25	PER REVISION
2	11/12/25	PER HWRD & REVISION
1	08/13/25	PER CITY OF DES PLAINES

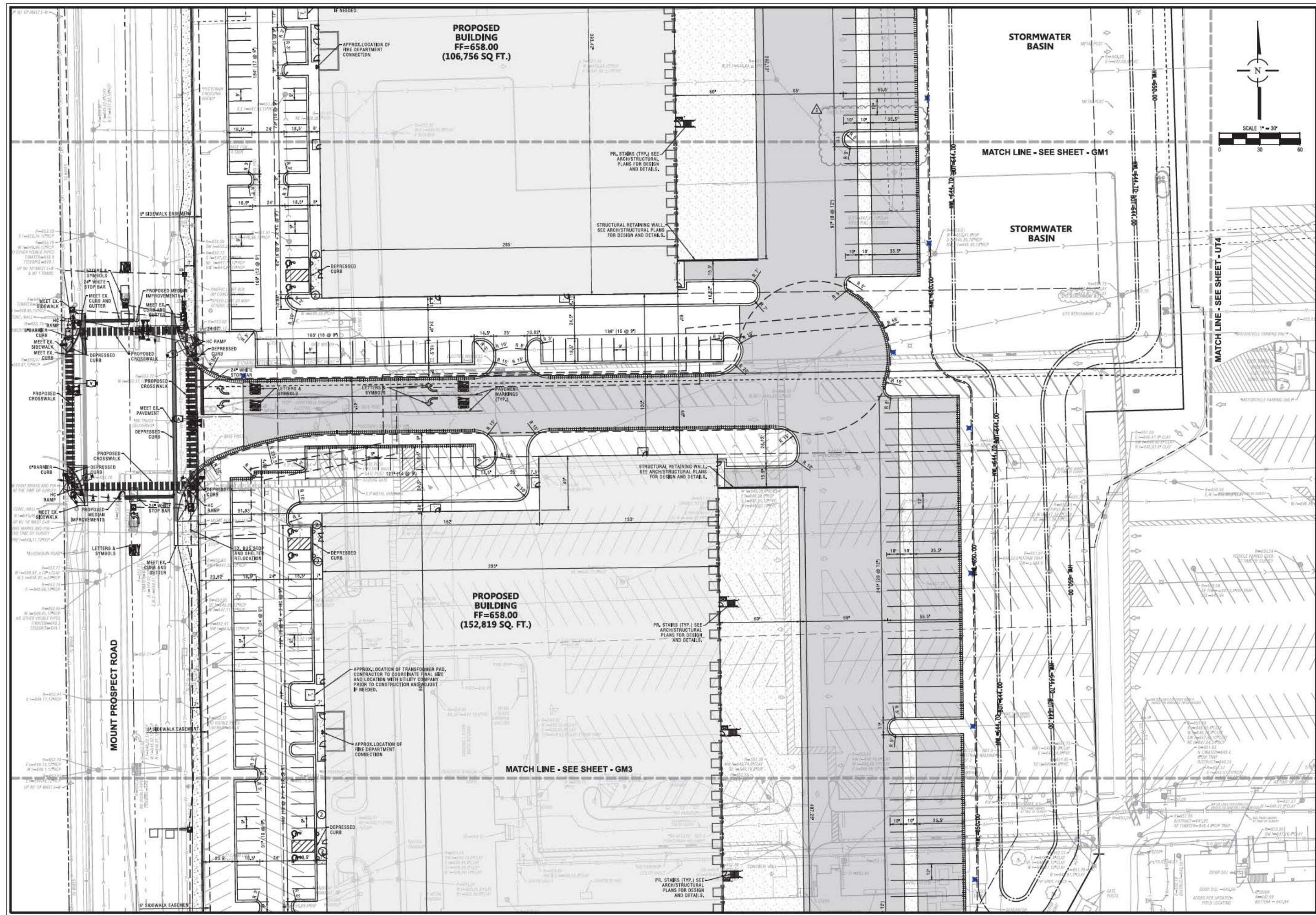
**GEOMETRIC PLAN - 1**

**O'HARE LOGISTICS CENTER 17 & 18**

**PROJECT LOCATION**

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 1161L02-NORTH-GM1
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>GM1</b> 11 OF 34



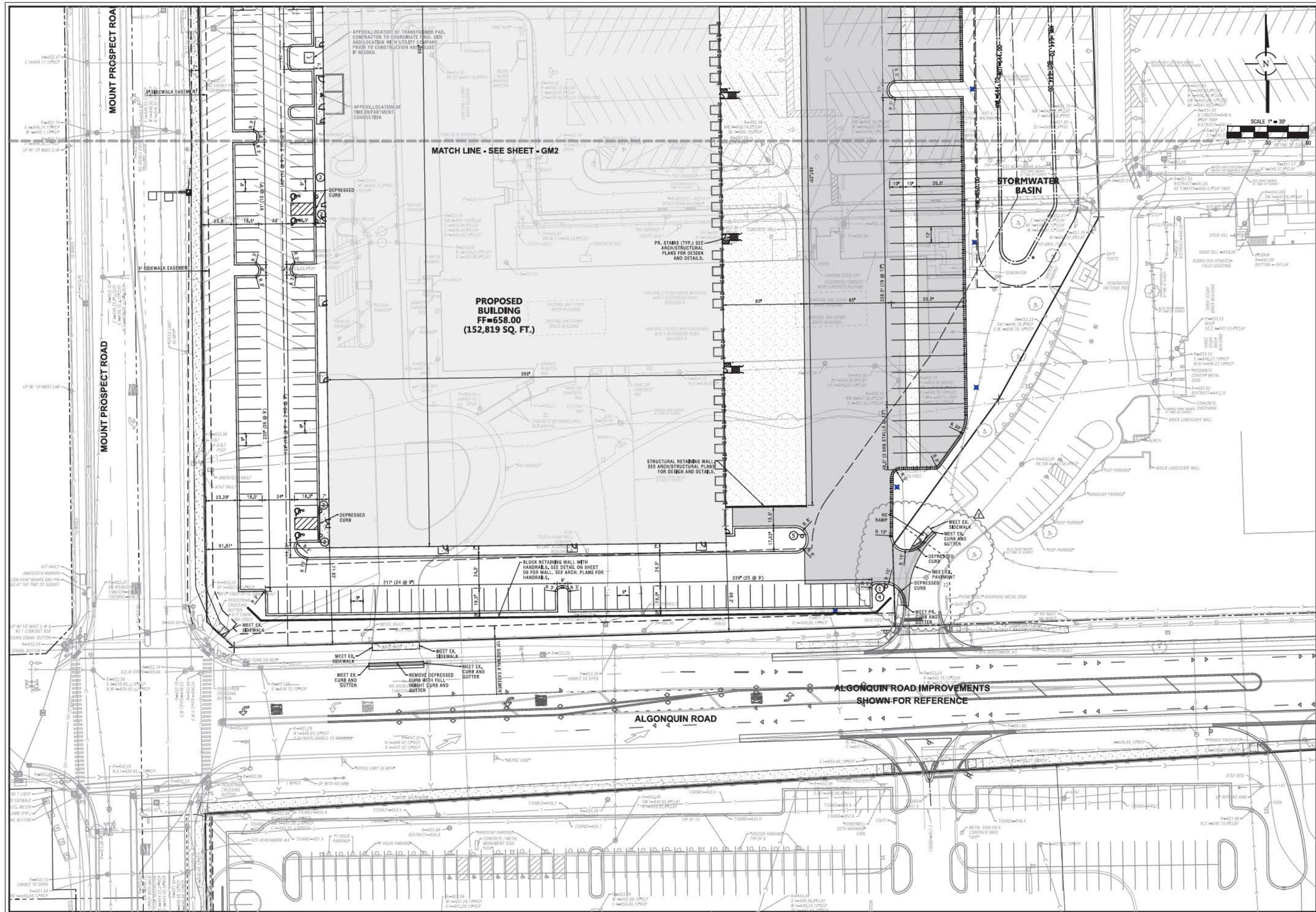
NO.	DATE	REMARKS
5	01/07/26	PER CITY OF DES PLAINES
2	11/12/25	PER HWRD & SEIFRED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
5	01/07/26	PER CITY OF DES PLAINES
2	11/12/25	PER HWRD & SEIFRED
1	08/13/25	PER CITY OF DES PLAINES

**GEOMETRIC PLAN - 2**  
**O'HARE LOGISTICS CENTER 17 & 18**  
 PROJECT LOCATION

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME:	116102-NORTH-GM2
DATE:	07/18/25
JOB NO.	9697.09
SHEET	GM2
	12 OF 34

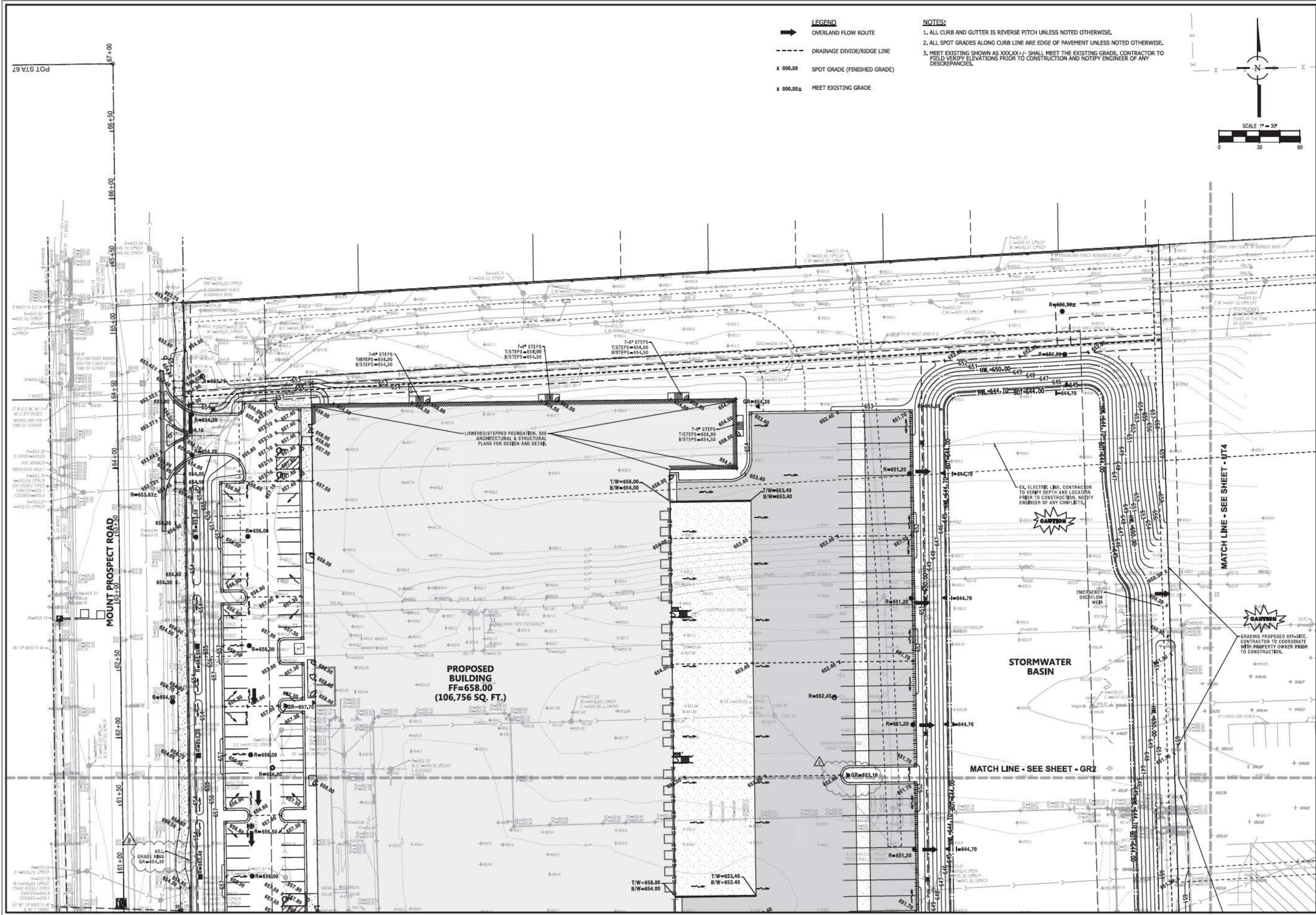


NO.	DATE	REMARKS
2	11/12/25	PER NWRD & SEWERED
1	08/13/25	PER CITY OF DES PLAINES

**GEOMETRIC PLAN - 3**  
**O'HARE LOGISTICS CENTER 17 & 18**  
 PROJECT LOCATION

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME:	116102-NORTH-GM3
DATE:	07/18/25
JOB NO.	9697.09
SHEET	GM3
	13 OF 34

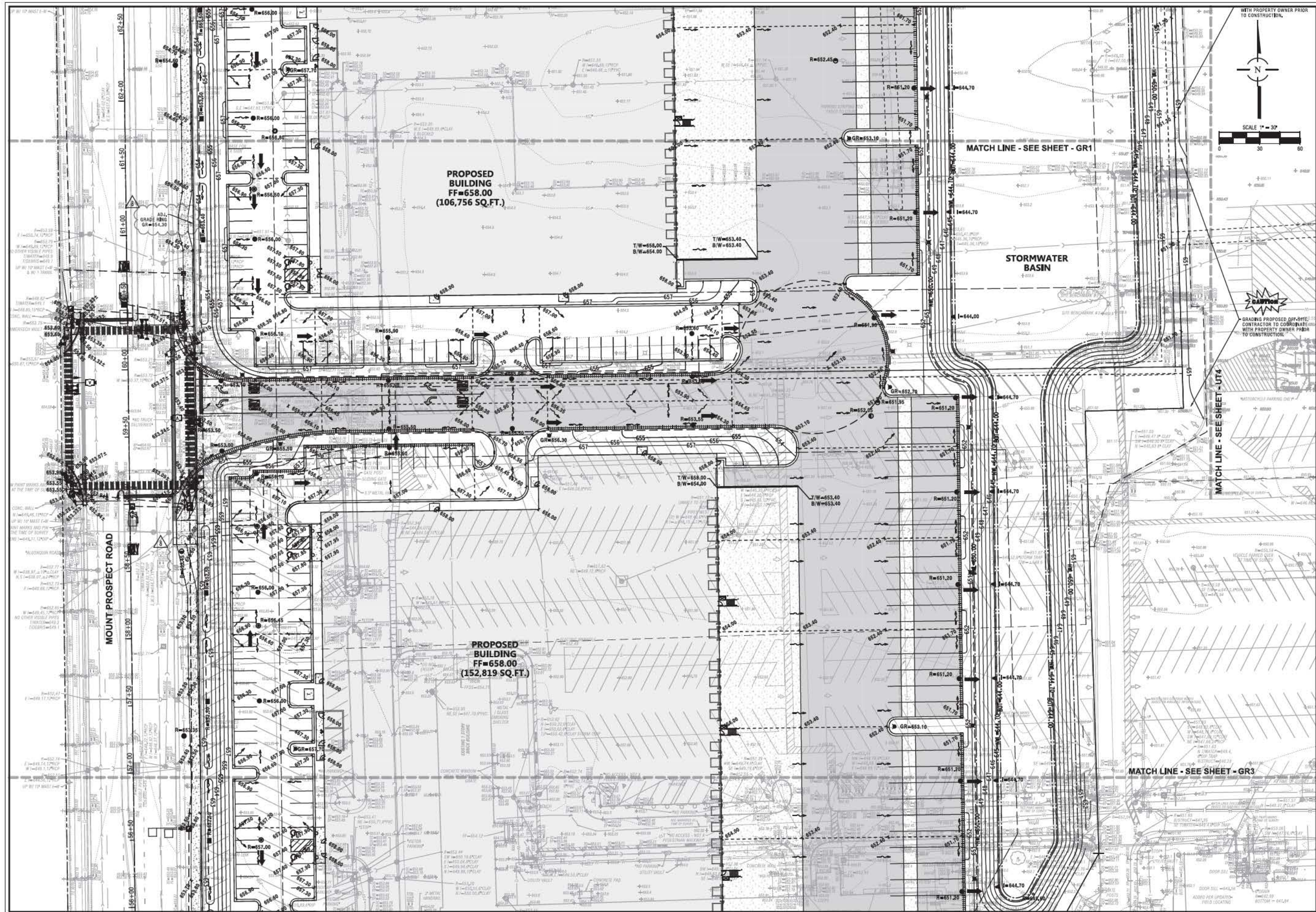


NO.	DATE	REMARKS
3	11/26/25	PER REVISION
2	11/12/25	PER HWRD & REVISION
1	08/13/25	PER CITY OF DES PLAINES

**GRADING PLAN - 1**  
**O'HARE LOGISTICS CENTER 17 & 18**  
 PROJECT LOCATION



FILENAME:	116102-NORTH-GR1
DATE:	07/18/25
JOB NO.	9697.09
SHEET	GR1
M OF 34	



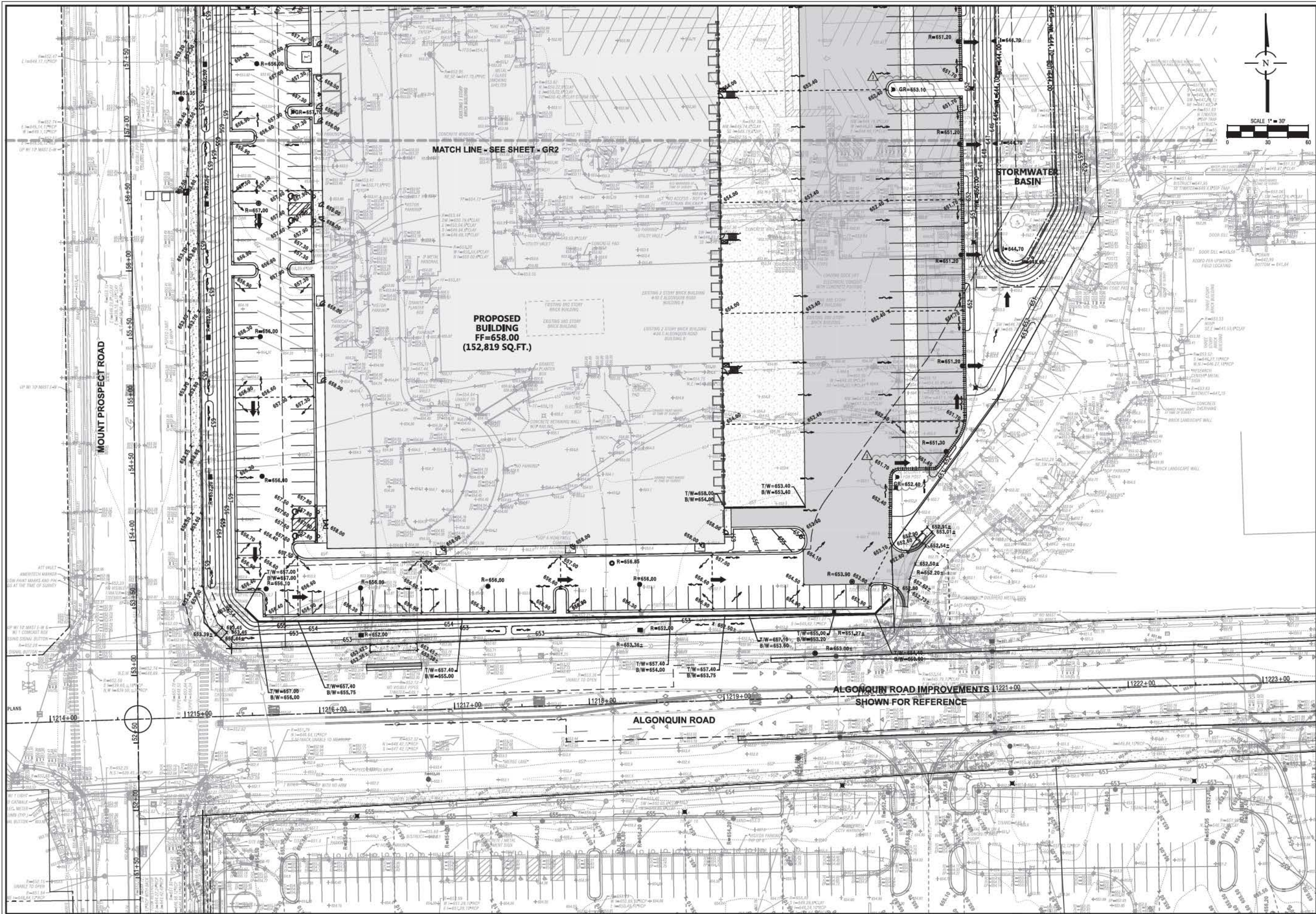
NO.	DATE	REMARKS
9	07/18/25	PER CITY OF DES PLAINES
3	11/26/25	PER REFERRED
2	11/21/25	PER AWARD & REFERRED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS

**GRADING PLAN - 2**  
**O'HARE LOGISTICS CENTER 17 & 18**  
 PROJECT LOCATION



FILENAME:	116102-NORTH-GR2
DATE:	07/18/25
JOB NO.	9697.09
SHEET	GR2
	15 OF 34



NO.	DATE	REMARKS
3	11/26/25	PER SHEETED
2	11/12/25	PER AWARD & SHEETED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
3	11/26/25	PER SHEETED
2	11/12/25	PER AWARD & SHEETED
1	08/13/25	PER CITY OF DES PLAINES

**GRADING PLAN - 3**

**O'HARE LOGISTICS CENTER 17 & 18**

PROJECT LOCATION

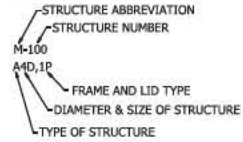


FILENAME:	116102-NORTH-GR3
DATE:	07/18/25
JOB NO.	9697.09
SHEET	GR3
	16 OF 34

**NOTES:**

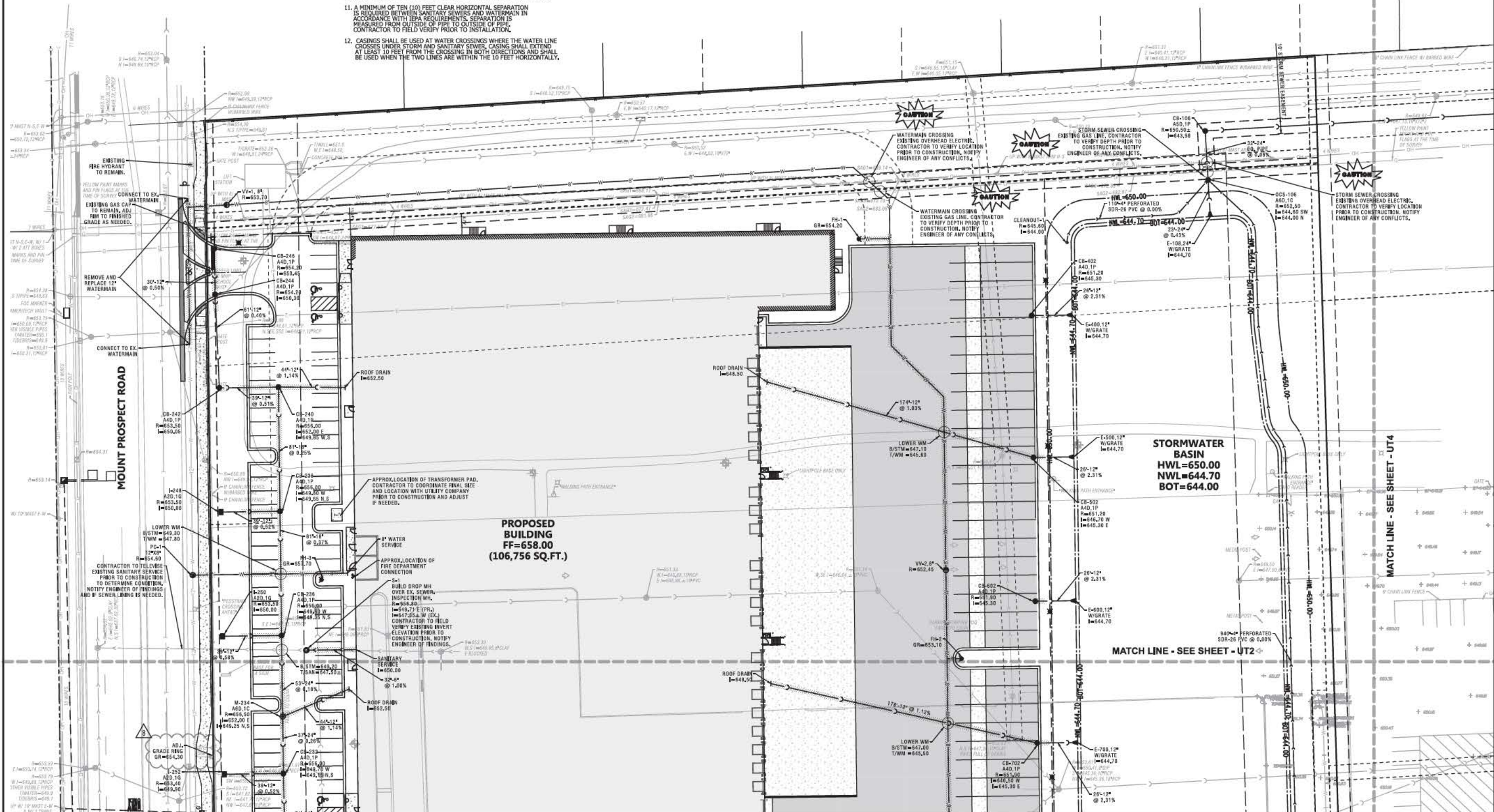
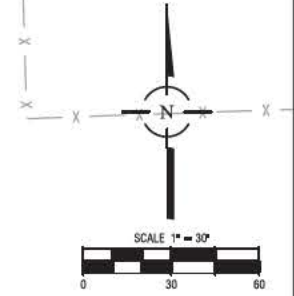
1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
3. ALL WATER MAINS SHALL BE DIP CL 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
4. INDICATES TRENCH BACKFILL REQUIRED.
5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES.
6. ELEVATIONS SHOWN AS XXX.XX+/- OR N/E SHALL MEET THE EXISTING GRADE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. CONTRACTOR TO COORDINATE FINAL UTILITY (SANITARY, STORM, WATER) SERVICE LOCATIONS, SIZES AND INVERT ELEVATIONS WITH MEP PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
8. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS WITH PROPOSED IMPROVEMENTS.
9. - SEE LIGHTING PLANS FOR DESIGN AND DETAILS.
10. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
11. A MINIMUM OF TEN (10) FEET CLEAR HORIZONTAL SEPARATION IS REQUIRED BETWEEN SANITARY SEWERS AND WATERMAIN IN ACCORDANCE WITH TPA REQUIREMENTS. SEPARATION IS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALLATION.
12. CASINGS SHALL BE USED AT WATER CROSSINGS WHERE THE WATER LINE CROSSES UNDER STORM AND SANITARY SEWER. CASING SHALL EXTEND AT LEAST 10 FEET FROM THE CROSSING IN BOTH DIRECTIONS AND SHALL BE USED WHEN THE TWO LINES ARE WITHIN THE 10 FEET HORIZONTALLY.

**STORM STRUCTURE LEGEND**



**STORM STRUCTURE ABBREVIATIONS**

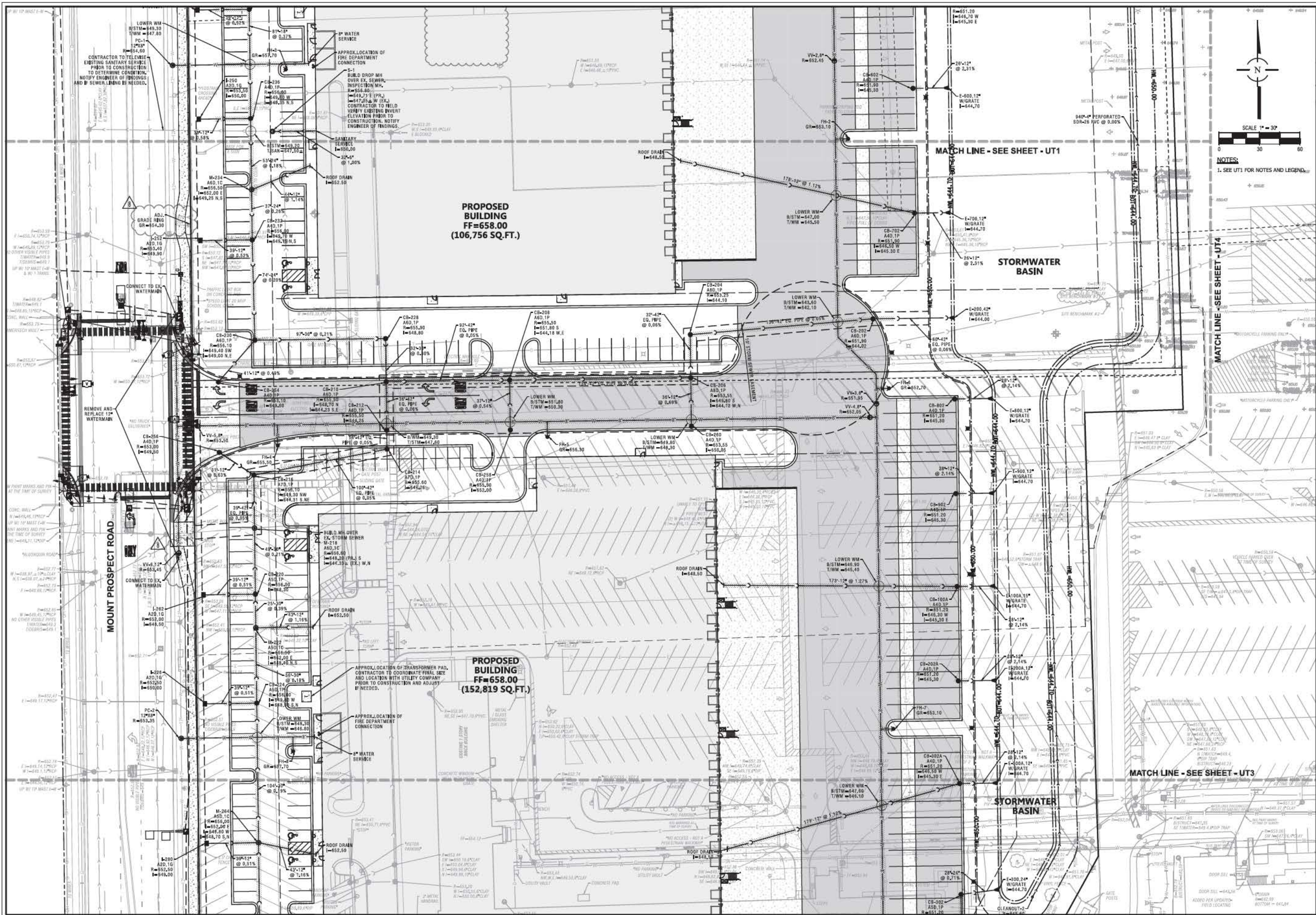
- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION



UTILITY PLAN - 1		O'HARE LOGISTICS CENTER 17 & 18		PROJECT LOCATION	
5	01/06/26	PER CITY OF DES PLAINES	PER CITY OF DES PLAINES	NO.	DATE
3	11/26/25	PER SEWERED	PER SEWERED	NO.	DATE
2	11/12/25	PER HWRD & SEWERED	PER HWRD & SEWERED	NO.	DATE
1	08/13/25	PER CITY OF DES PLAINES	PER CITY OF DES PLAINES	NO.	DATE
		REMARKS	REMARKS	NO.	DATE

<p><b>Spaceco</b> Civil Engineering &amp; Surveying Rosemont, IL - Morris, IL - Indianapolis, IN spacecoinc.com</p>	<p>FILENAME: 1161102-NORTH-UT1</p> <p>DATE: 07/18/25</p> <p>JOB NO. 9697.09</p> <p>SHEET UT1 17 OF 34</p>
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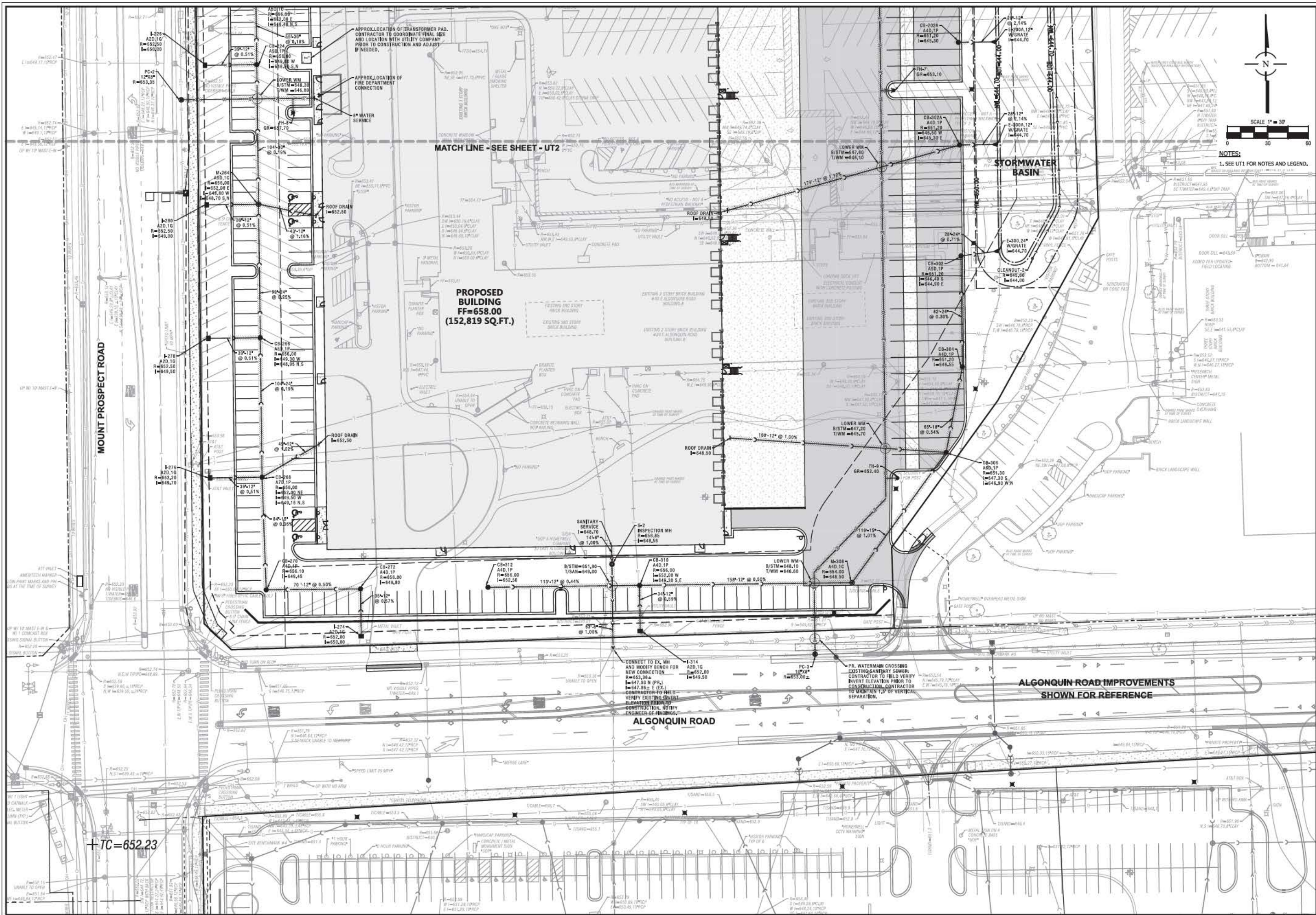
NO.	DATE	REMARKS

NO.	DATE	REMARKS

UTILITY PLAN - 2  
**O'HARE LOGISTICS CENTER 17 & 18**  
 PROJECT LOCATION

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME:	116102-NORTH-UT2
DATE:	07/18/25
JOB NO.	9697.09
SHEET	UT2
	18 OF 34



NOTES:  
1. SEE UT1 FOR NOTES AND LEGEND.

NO.	DATE	REMARKS

NO.	DATE	REMARKS
5	07/06/26	PER CITY OF DES PLAINES
3	11/26/25	PER SEWERED
2	11/12/25	PER AWARD & SEWERED
1	08/13/25	PER CITY OF DES PLAINES

**UTILITY PLAN - 3**  
**O'HARE LOGISTICS CENTER 17 & 18**  
**PROJECT LOCATION**

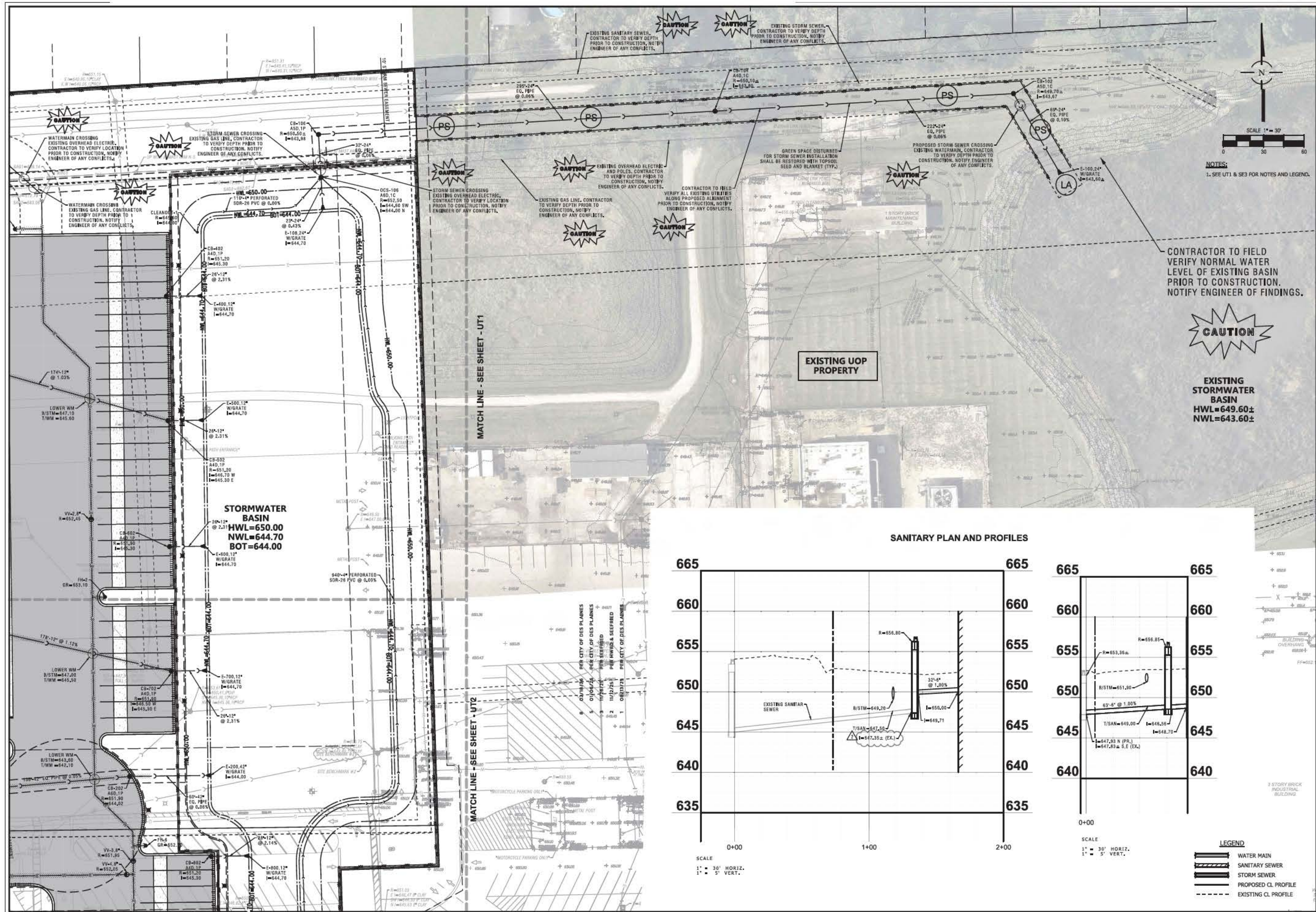
**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME:  
116102-NORTH-UT3

DATE:  
07/18/25

JOB NO.  
9697.09

SHEET  
**UT3**  
19 OF 34



NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES
2	11/12/25	PER HWRD & SEERED

**UTILITY PLAN - 4**  
**O'HARE LOGISTICS CENTER 17 & 18**  
**PROJECT LOCATION**



FILENAME: 1161102-NORTH-UT4
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>UT4</b> 20 OF 34

**MEMORANDUM**

Date: January 27, 2026  
To: Jonathan Stytz, Senior Planner  
From: John La Berg, P.E., CFM, Civil engineer  
Cc: Becka Shipp, P.E. Assistant Director of Public Works and Engineering  
Subject: 1055 S. Mt. Prospect Rd.

---

Public Works and Engineering has reviewed the final plans and has approved them as long as the following have been approved first. MWRD, IDOT, Cook County Highway Dept, and IEPA permits. Show cross section between public sidewalk and private curb. Why are there catch basins located there? Why not just adjust public sidewalk elevation?

-Owner will need to provide the following to the city for us to create the looped water main maintenance agreement.

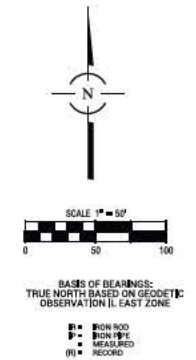
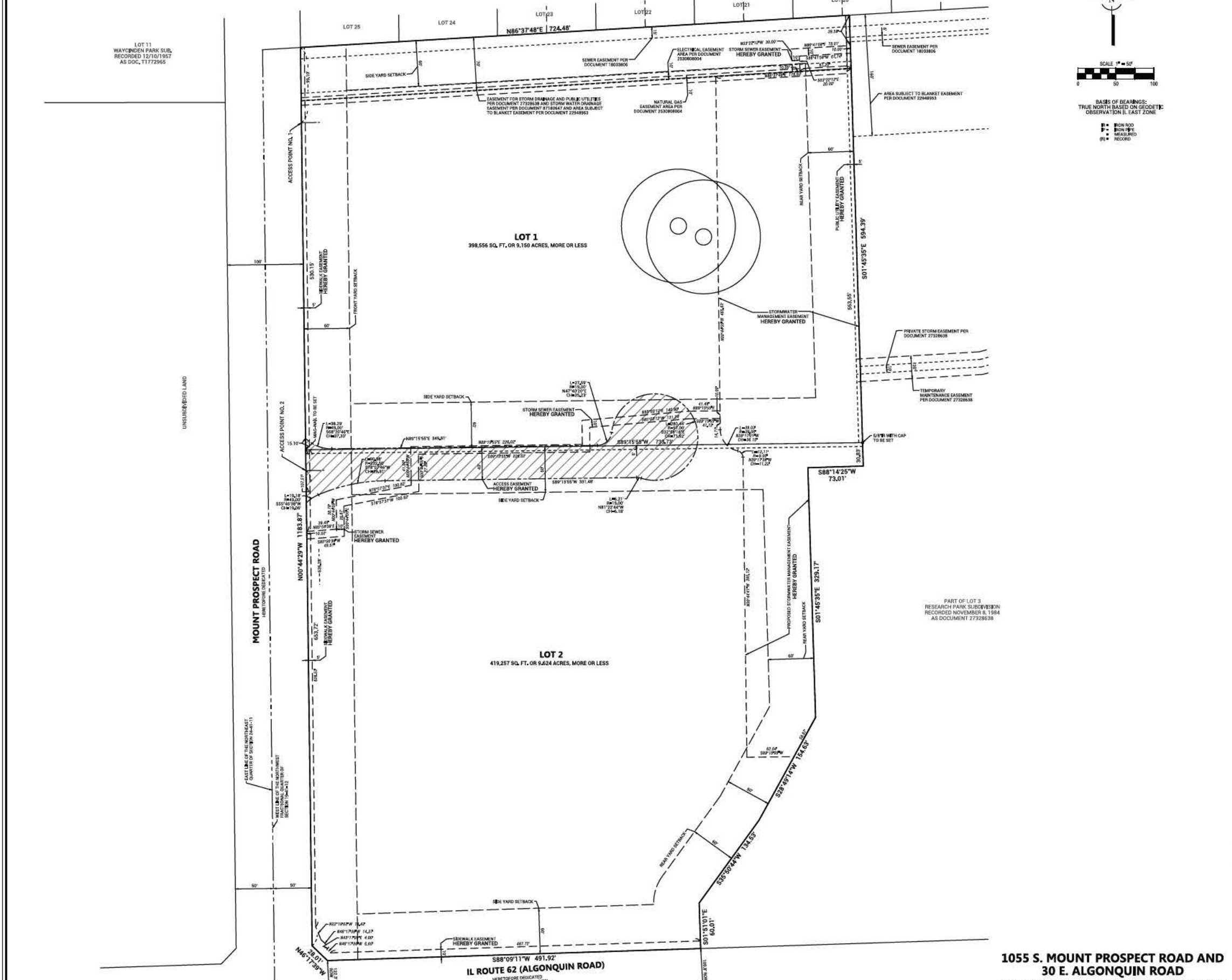
- Plat of Survey and legal description of the property
- The construction material, diameter, and linear feet for the proposed water main
- Description of any other improvements associated with the main that will be covered by the easement (e.g. pumps)
- Easement exhibit and legal description of the looped water main easement
- The construction material, diameter, and linear feet for the proposed water main
- Proof of ownership (if we have this or can get it). We can also research the deeds for the property.

JL/jl



# FINAL PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 17 & 18

BEING A SUBDIVISION IN THE SOUTH HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 19,  
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



**FINAL PLAT OF SUBDIVISION  
O'HARE LOGISTICS CENTER 17 & 18  
DES PLAINES, ILLINOIS**



FILENAME:	999120918AL-NORTH-01
DATE:	07/18/2025
JOB NO.	9697.09
SHEET	2 OF 3

**1055 S. MOUNT PROSPECT ROAD AND  
30 E. ALGONQUIN ROAD  
PROPOSED BOUNDARY INFORMATION**

# FINAL PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 17 & 18

BEING A SUBDIVISION IN THE SOUTH HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 19,  
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N.:  
09-19-101-005-0000

### OWNER'S CERTIFICATE

AN ILLINOIS LIMITED LIABILITY COMPANY, AS OWNER OF THE PROPERTY SHOWN AND  
RESTRICTIONS HEREIN, HEREBY ADOPTS THIS PLAT OF SUBDIVISION ESTABLISHING THE MINIMUM BUILDING  
RESTRICTIONS, ERECTION OF ROADS, STREETS, ALLEYS, WALKS AND OTHER AREAS LOCATED THEREON TO  
THE PUBLIC USE AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON.

THIS IS TO ALSO CERTIFY THAT AS OWNER OF THE PROPERTY DESCRIBED AS AND LEGALLY DESCRIBED ON THE PLAT  
OF THE SAME NAME, HERIN DETERMINED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH  
OF THE FOLLOWING LOTS LIE:

COOK COUNTY, ILLINOIS, DISTRICT NO. 535  
DARTON COMMUNITY COLLEGE DISTRICT NO. 635  
IN WITNESS WHEREOF WE HAVE HEREUNDER SET OUR HANDS

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

### NOTARY PUBLIC CERTIFICATE

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY  
CERTIFY THAT \_\_\_\_\_

OF \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED  
TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE IS THE  
OWNER OF THE PROPERTY SHOWN ON THE PLAT OF SUBDIVISION AND VOLUNTARILY ACTED FOR THE USES AND PURPOSES THEREIN SET FORTH,  
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

### NOTARY PUBLIC

### DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE  
CONSTRUCTION OR SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED,  
REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISPOSITION OF SURFACE WATERS INTO PUBLIC AREAS  
AND FOR CREEKS AND THAT SUCH PROVISIONS, TO THE BEST OF OUR KNOWLEDGE, WILL BE ACCORDINGLY MADE GENERALLY ACCEPTED  
PRACTICES AND STANDARDS AS TO BECOME THE BASIS OF SUBSTANTIAL DAMAGE TO THE ADJACENT PROPERTY BECAUSE  
OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

CHECK ONE:  APPROVED PUBLIC WORKS AND ENGINEERING STATE

Name: \_\_\_\_\_  
Date: \_\_\_\_\_

(SEAL)

### CONTENT OF MORTGAGE

IF THE HOLDER OF A MORTGAGE DATED AS OF \_\_\_\_\_, 20\_\_\_\_, AND RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDER, ILLINOIS, ON  
\_\_\_\_\_ AS DOCUMENT NO. \_\_\_\_\_, ENCUMBERING THE PROPERTY DESCRIBED

ON THIS PLAT OF SUBDIVISION HEREBY CONSENTS TO THE RECORDING OF THIS PLAT OF SUBDIVISION AND AGREES  
THAT ITS LEND SHALL BE SUBJECT TO THE PROVISIONS OF THIS PLAT OF SUBDIVISION.  
IN WITNESS WHEREOF, THE UNDERSIGNED HAS CAUSED THIS CONSENT TO BE EXECUTED ON  
\_\_\_\_\_ 20\_\_\_\_.

ATTEST: \_\_\_\_\_

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

### MORTGAGEE'S NOTARY PUBLIC

STATE OF ILLINOIS  
COUNTY OF \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 20\_\_\_\_, BY  
\_\_\_\_\_ AND \_\_\_\_\_ THE  
\_\_\_\_\_ AND \_\_\_\_\_ THE

SECRETARY OF \_\_\_\_\_

WHICH INDIVIDUALS ARE KNOWN TO ME TO BE THE IDENTICAL PERSONS WHO SIGNED THE FOREGOING  
INSTRUMENT AS SUCH OFFICERS OF THE CORPORATION FOR AND ON BEHALF OF SAID CORPORATION, AND THAT  
THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, AND AS THE TRUE AND VOLUNTARY  
ACT AND DEED OF THE CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNATURE OF NOTARY  
PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

PREPARED FOR:  
SPEACCO INDUSTRIAL PROPERTIES  
8745 W. HIGGINS, SUITE 220  
CHICAGO, IL 60631

AFTER RECORDING SEND TO:  
SPEACCO INC.  
8745 W. HIGGINS ROAD  
SUITE 200  
ROSEMONT, ILLINOIS 60018

### APPROVED BY THE CITY COUNCIL

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
CITY CLERK

### PLANNING AND ZONING BOARD CERTIFICATE

APPROVED BY THE CITY PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES,

COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED CHAIRMAN \_\_\_\_\_

### DIRECTOR OF FINANCE CERTIFICATE

I CERTIFY THAT THERE ARE NO OUTSTANDING OR CURRENT UNPAID SPECIAL  
ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATE: \_\_\_\_\_

DIRECTOR OF FINANCE \_\_\_\_\_

### CITY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING CERTIFICATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES  
PLAINES, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
CITY DEPARTMENT OF PUBLIC WORKS & ENGINEERING

### EASEMENT FOR PUBLIC UTILITIES

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS SUBDIVISION PLAT, AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE EXECUTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF, THESE SHULDS, FENCINGS AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES. EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM WATER DRAINAGE" LOCATED ON IT SHALL MAINTAIN A GRADE COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE "EASEMENT FOR STORM WATER DRAINAGE" AND SHALL KEEP SUCH GRASS AND LANDSCAPE IN A FIRST CLASS AND TRIMMED CONDITION. THE OWNERS OF LOTS ON WHICH ANY "EASEMENT FOR STORM WATER DRAINAGE" IS LOCATED SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT OR PREVENT TO BE OBSTRUCTED THE "EASEMENT FOR STORM WATER DRAINAGE" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY OF DES PLAINES.

### EASEMENT FOR STORM WATER DRAINAGE

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS SUBDIVISION PLAT, AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE EXECUTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF, THESE SHULDS, FENCINGS AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"). EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM WATER DRAINAGE" LOCATED ON IT SHALL MAINTAIN A GRADE COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE STORM WATER DETENTION AREA AND SHALL KEEP SUCH GRASS IN A NEAT AND TRIMMED CONDITION.

### EASEMENT FOR STORM SEWER

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS SUBDIVISION PLAT, AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE EXECUTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF, THESE SHULDS, FENCINGS AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"). EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM SEWER" LOCATED ON IT SHALL MAINTAIN A GRADE COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE STORM WATER DETENTION AREA AND SHALL KEEP SUCH GRASS IN A NEAT AND TRIMMED CONDITION.

WHICH INDIVIDUALS ARE KNOWN TO ME TO BE THE IDENTICAL PERSONS WHO SIGNED THE FOREGOING INSTRUMENT AS SUCH OFFICERS OF THE CORPORATION FOR AND ON BEHALF OF SAID CORPORATION, AND THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, AND AS THE TRUE AND VOLUNTARY ACT AND DEED OF THE CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED.

### ACCESS EASEMENT PROVISIONS

### ACCESS EASEMENT PROVISIONS

TO BE PROVIDED

### UTILITY CERTIFICATE

AN EASEMENT FOR SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, NATURAL GAS, AND COMMUNICATION SERVICES IS HEREBY RESERVED FOR AND GRANTED TO:

### COMMONWEALTH EDISON COMPANY

APPROVED BY \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ATTEST: ILLINOIS BELL TELEPHONE CO. (AMERICOTECH)

APPROVED BY \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NORTHERN ILLINOIS GAS COMPANY (NIGCO)

APPROVED BY \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COMCAST

APPROVED BY \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ASTOUND

APPROVED BY \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PUBLIC UTILITY EASEMENTS PROVIDED SHALL BE FOR THE USE OF MUNICIPAL SEWER AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES FOR ANY CABLE TELEVISION FRANCHISE GRANTED BY THE CITY AND OTHER MUNICIPAL BODIES.

### VACATION APPROVAL CERTIFICATE

I, THE UNDERSIGNED, AS AN AUTHORIZED REPRESENTATIVE OF THE OWNER OF LOT 2 IN RESEARCH PARK SUBDIVISION HEREBY RELEASE AND ASSIGNS ALL RIGHTS OF EASEMENT WITHIN THE PRIVATE SANITARY SEWER EASEMENT, TEMPORARY MAINTENANCE EASEMENT AND PRIVATE WATER MAIN EASEMENT GRANTED BY DOCUMENT 2728888 THE PERSON DESCRIBED PART OF SAID REAL ESTATE, BEING HEREBY VACATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
(SIGNATURE)

NAME: \_\_\_\_\_  
(PLEASE PRINT)

TITLE: \_\_\_\_\_

### VACATION APPROVAL CERTIFICATE

I, THE UNDERSIGNED, AS AN AUTHORIZED REPRESENTATIVE HEREBY RELEASE AND ASSIGNS ALL RIGHTS OF EASEMENT WITHIN THE PRIVATE SANITARY SEWER EASEMENT, TEMPORARY MAINTENANCE EASEMENT AND PRIVATE WATER MAIN EASEMENT GRANTED BY DOCUMENT 2728888 THE PERSON DESCRIBED PART OF SAID REAL ESTATE, BEING HEREBY VACATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER OF LOTS 1, 2 AND PART OF LOT 3

BY: \_\_\_\_\_  
(SIGNATURE)

NAME: \_\_\_\_\_  
(PLEASE PRINT)

TITLE: \_\_\_\_\_

OWNER OF PART OF LOT 3

BY: \_\_\_\_\_  
(SIGNATURE)

NAME: \_\_\_\_\_  
(PLEASE PRINT)

TITLE: \_\_\_\_\_

### RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER DETENTION AREA

1. THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORM WATER DETENTION AREA" SHALL BE CONTIGUOUSLY MAINTAINED IN A NEAT MANNER BY OWNERS OF LOTS 1 AND 2 AND 3 AND 4 AND 5 AND 6 AND 7 AND 8 AND 9 AND 10 AND 11 AND 12 AND 13 AND 14 AND 15 AND 16 AND 17 AND 18 AND 19 AND 20 AND 21 AND 22 AND 23 AND 24 AND 25 AND 26 AND 27 AND 28 AND 29 AND 30 AND 31 AND 32 AND 33 AND 34 AND 35 AND 36 AND 37 AND 38 AND 39 AND 40 AND 41 AND 42 AND 43 AND 44 AND 45 AND 46 AND 47 AND 48 AND 49 AND 50 AND 51 AND 52 AND 53 AND 54 AND 55 AND 56 AND 57 AND 58 AND 59 AND 60 AND 61 AND 62 AND 63 AND 64 AND 65 AND 66 AND 67 AND 68 AND 69 AND 70 AND 71 AND 72 AND 73 AND 74 AND 75 AND 76 AND 77 AND 78 AND 79 AND 80 AND 81 AND 82 AND 83 AND 84 AND 85 AND 86 AND 87 AND 88 AND 89 AND 90 AND 91 AND 92 AND 93 AND 94 AND 95 AND 96 AND 97 AND 98 AND 99 AND 100 AND 101 AND 102 AND 103 AND 104 AND 105 AND 106 AND 107 AND 108 AND 109 AND 110 AND 111 AND 112 AND 113 AND 114 AND 115 AND 116 AND 117 AND 118 AND 119 AND 120 AND 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MEMORANDUM

Date: March 6, 2026

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR  
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Consideration of a Final Plat of Subdivision at 25 & 95 E. Algonquin Road, Case #25-006-FPLAT

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**Issue:** The applicant requests a Final Plat of Subdivision to consolidate two lots into one lot of record.

**Applicant/Owner:** Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

**Case Number:** 25-006-FPLAT

**PINs:** 09-19-300-010-0000 and 09-19-300-012-0000

**Ward:** #3, Alderman Sean Oskerka

**Existing Zoning:** M-2 General Manufacturing District (*both properties*)

**Existing Land Use:** Office building and parking lot (*both properties*)

**Surrounding Zoning:** North: M-3 Special Manufacturing District  
South: M-2 General Manufacturing District  
East: M-2 General Manufacturing District  
West: R-1 Single Family Residential District

**Surrounding Land Use:** North: Office Buildings (Commercial)  
South: Multi-tenant Industrial Building (Manufacturing)  
East: Industrial Building (Manufacturing)  
West: Single Family Residences (Residential)

**Street Classification:** Algonquin Road is a major collector under the Illinois Department of Transportation (IDOT) jurisdiction and Mount Prospect Road is a major collector under Cook County jurisdiction.

**Comprehensive Plan:** The subject properties are both illustrated as *industrial* land uses on the Future Land Use map in the 2019 Comprehensive Plan.

**Zoning/Property History:** The subject properties described below are both located in the M-2 General Manufacturing district and are currently under the ownership of the applicant. Both properties are developed—each with a two-story building and a surface parking area—as illustrated on the attached ALTA/NSPS Land Title Survey.

Current Property Information		
Address	PIN	Lot Size
25 E. Algonquin Road	09-19-300-010-0000	505,249 SF (11.59 acres)
95 E. Algonquin Road	09-19-300-012-0000	238,188 SF (5.46 acres)

### **FINAL PLAT OF SUBDIVISION**

**Request Description:**

*Overview*

The applicant requests consolidating and redeveloping both lots into a single lot with a new 260,400-square-foot speculative industrial building with 45 loading docks, 63 off-street trailer storage spaces, and 300 off-street car parking spaces as described in the attached Project Narrative and illustrated in the attached Final Site Improvement Plans. On August 26, 2025, the PZB approved the Tentative Plat of Subdivision with the condition that all building setbacks for the M-2 General Manufacturing district were provided on the Final Plat. As such, the applicant now requests a final plat, which is the last part of the process noted in Section 13-2-5 of the Subdivision Regulations.

The proposal includes the consolidation of the two existing lots into one 15.98-acre lot. The attached Final Plat of O’Hare Logistics Center 19 Subdivision shows the location, boundary, and size of the proposed consolidated lot. The plat also notes the previously dedicated areas along the Algonquin Road and Mount Prospect Road rights-of-way for roadway purposes.

*Building Lines and Easements*

The Final Plat includes the required 65-foot front building line and 25-foot side and rear building lines in conformance with Section 12-7-4.H of the Zoning Ordinance. While there is no minimum lot area requirement, the single lot in the proposed subdivision will meet the minimum 125-foot lot depth requirement. The new lot will be a corner lot with its front yard on the west property line along Mount Prospect Road.

The subdivision plat shows: (i) a new 5-foot-wide sidewalk easement along the west property line abutting Mount Prospect Road; (ii) a new 5-foot-wide public utility easement along the east (rear) property line; (iii) an existing 20-foot-wide utility easement along the south property line; and (iv) an existing 17-foot watermain easement along the west property line of the proposed subdivision.

*Public Works and Engineering (PWE) Review*

The applicant has provided the attached Final Site Improvement Plans, which identify the specific public improvements related to this project including a new curb cut on Mount Prospect Road, new side path along Algonquin Road and Mount Prospect Road, adjustments to the two existing curb cuts on Algonquin Road, site grading, a new looped water line connection on Mount Prospect Road, a new industrial building, detention basin, and surface parking areas. The applicant has provided an Engineer's Estimate of Probable Cost (EOPC) for these improvements, which have been approved by the PWE department with conditions as noted in the attached PWE approval letter.

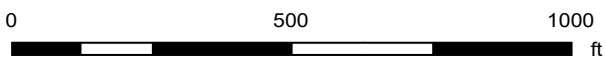
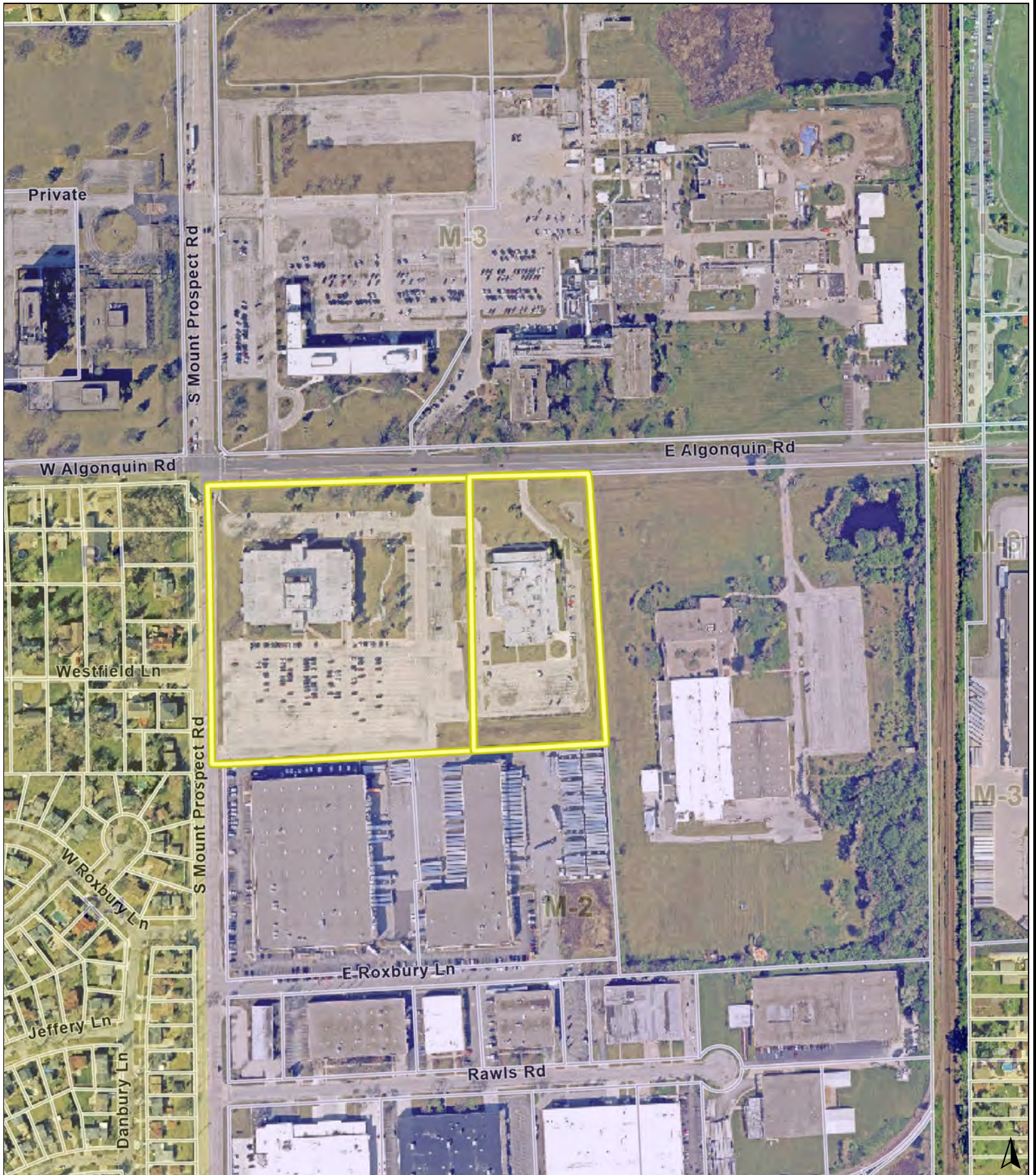
**PZB Procedure and Recommended Conditions:** Under Section 13-2-7 (Approval of Final Plat by the Planning and Zoning Board) of the Subdivision Regulations, the PZB has the authority to recommend approval, approval with conditions, or denial of the Final Plat request and forward the decision to City Council for final determination. There are no staff recommended conditions of approval for this request.

**Attachments:**

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Excerpt of Final Site Improvement Plans<sup>1</sup>
- Attachment 7: Public Works and Engineering (PWE) Department Memo
- Attachment 8: Final Plat of Subdivision

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<sup>1</sup> Full copies available upon request to the Community and Economic Development department.



Print Date: 8/22/2025

Notes

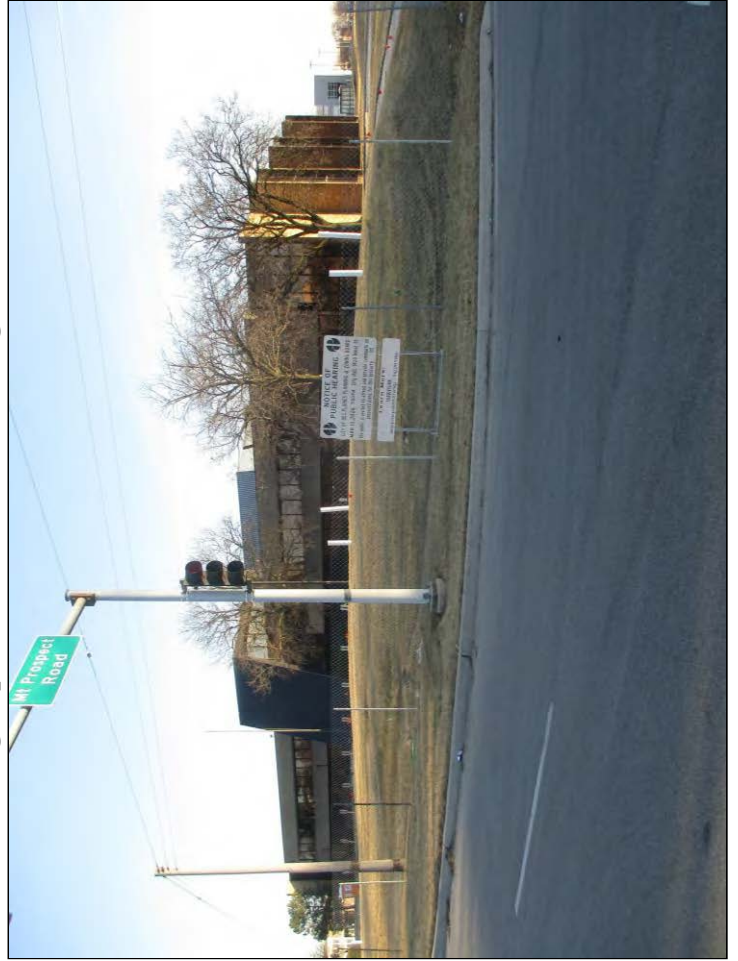
Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



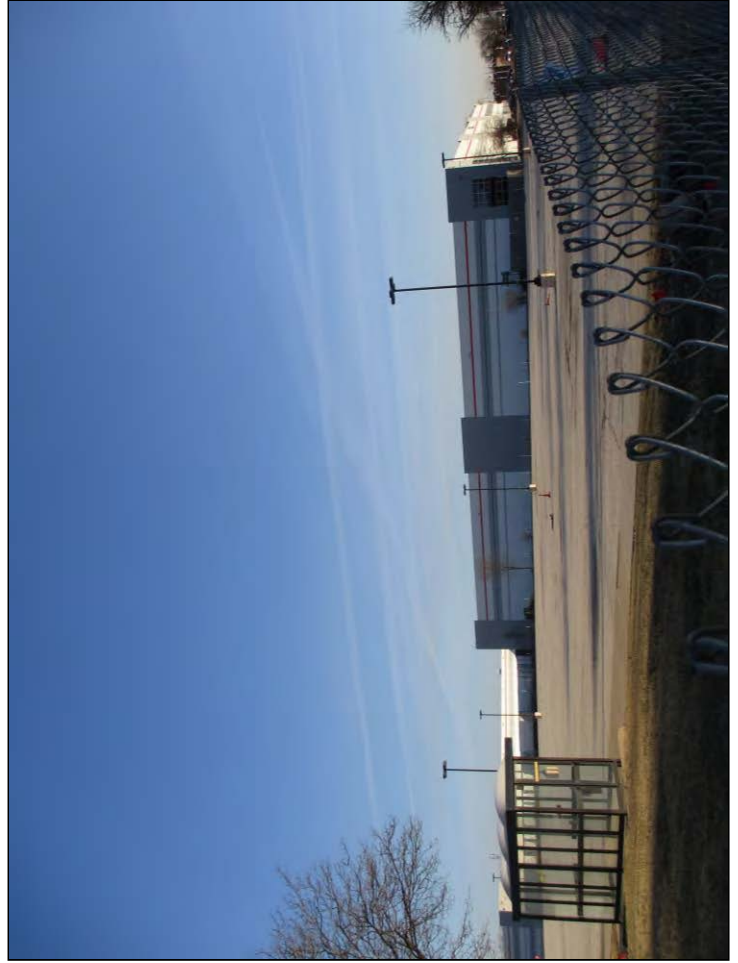
25 and 95 E. Algonquin Rd – Public Notice Sign #1



25 and 95 E. Algonquin Rd – Public Notice Sign #2



25 and 95 E. Algonquin Rd – Facing South from Algonquin Road



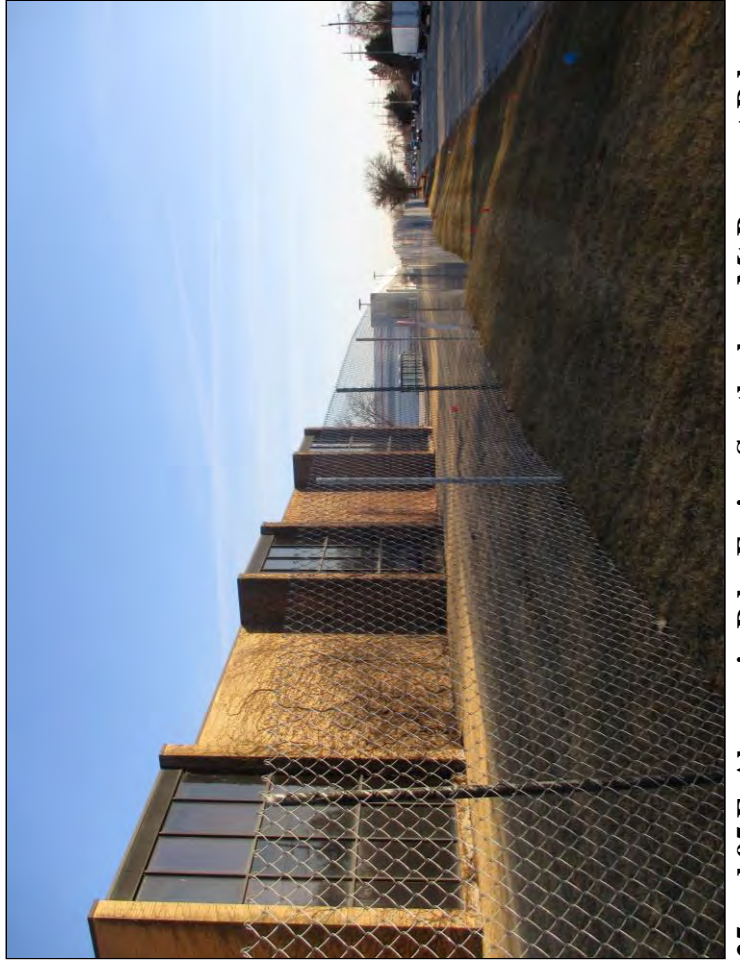
25 and 95 E. Algonquin Rd – Facing Southeast at Rear Parking Area



**25 and 95 E. Algonquin Rd – Front of Building**



**25 and 95 E. Algonquin Rd – Facing East at Front Parking Area**



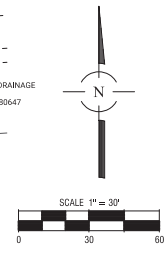
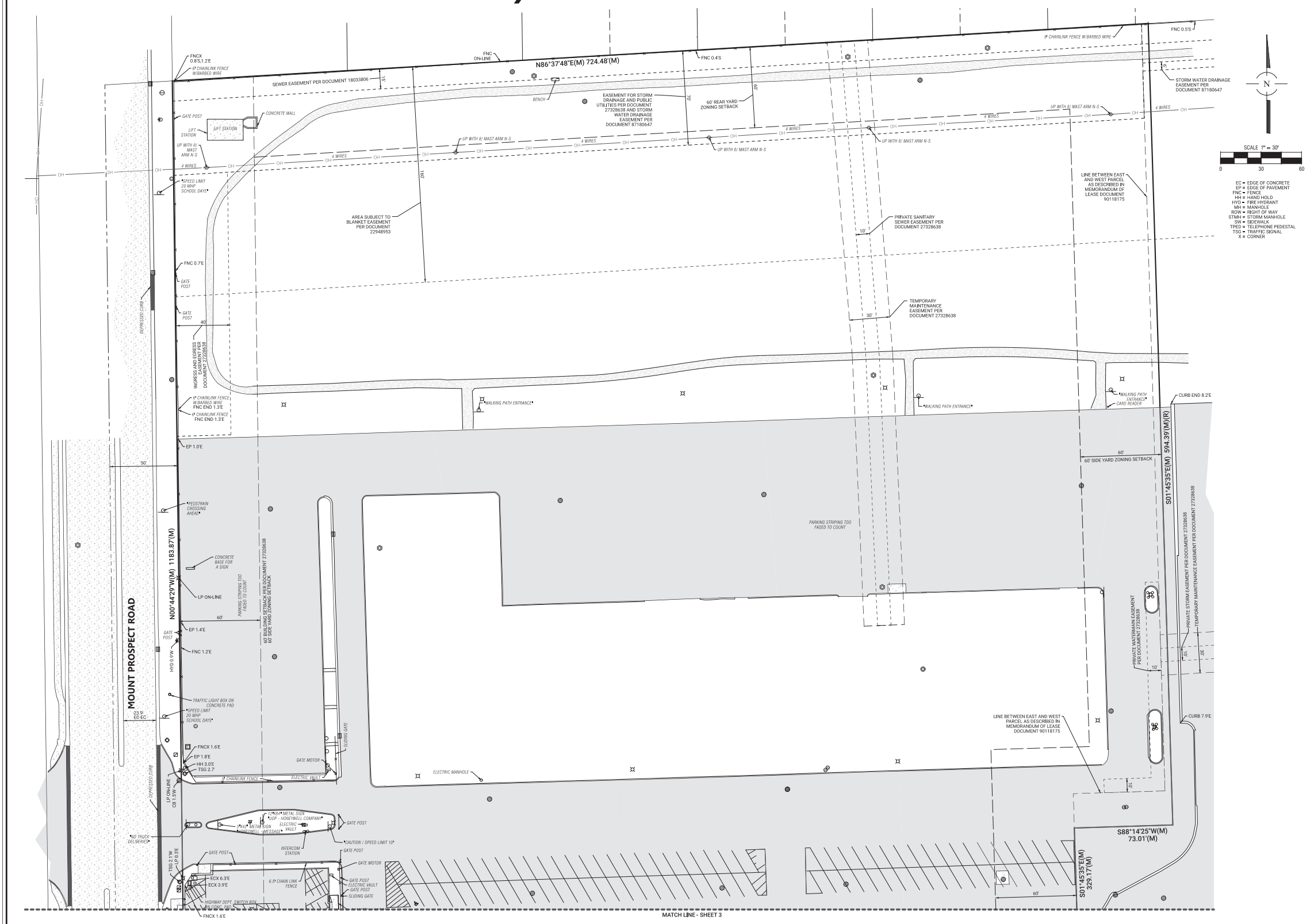
**25 and 95 E. Algonquin Rd – Facing South along Mt Prospect Rd**



**25 and 95 E. Algonquin Rd – North Entrance to Parking Area**



# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



- ES = EDGE OF CONCRETE
- EP = EDGE OF PAVEMENT
- FNC = FENCE
- HH = HAND HOLD
- HYD = FIRE HYDRANT
- MH = MANHOLE
- ROW = RIGHT OF WAY
- STM = STORM MANHOLE
- SW = SIDEWALK
- TPD = TELEPHONE PEDESTAL
- TSG = TRAFFIC SIGNAL
- X = CORNER

NO.	DATE	REMARKS
1	12/05/24	ZONING REPORT

**ALTA/NSPS LAND TITLE SURVEY**  
**25, 30 & 95 EAST ALGONQUIN ROAD**  
 DES PLAINES, ILLINOIS

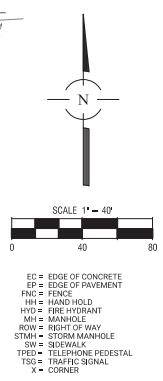
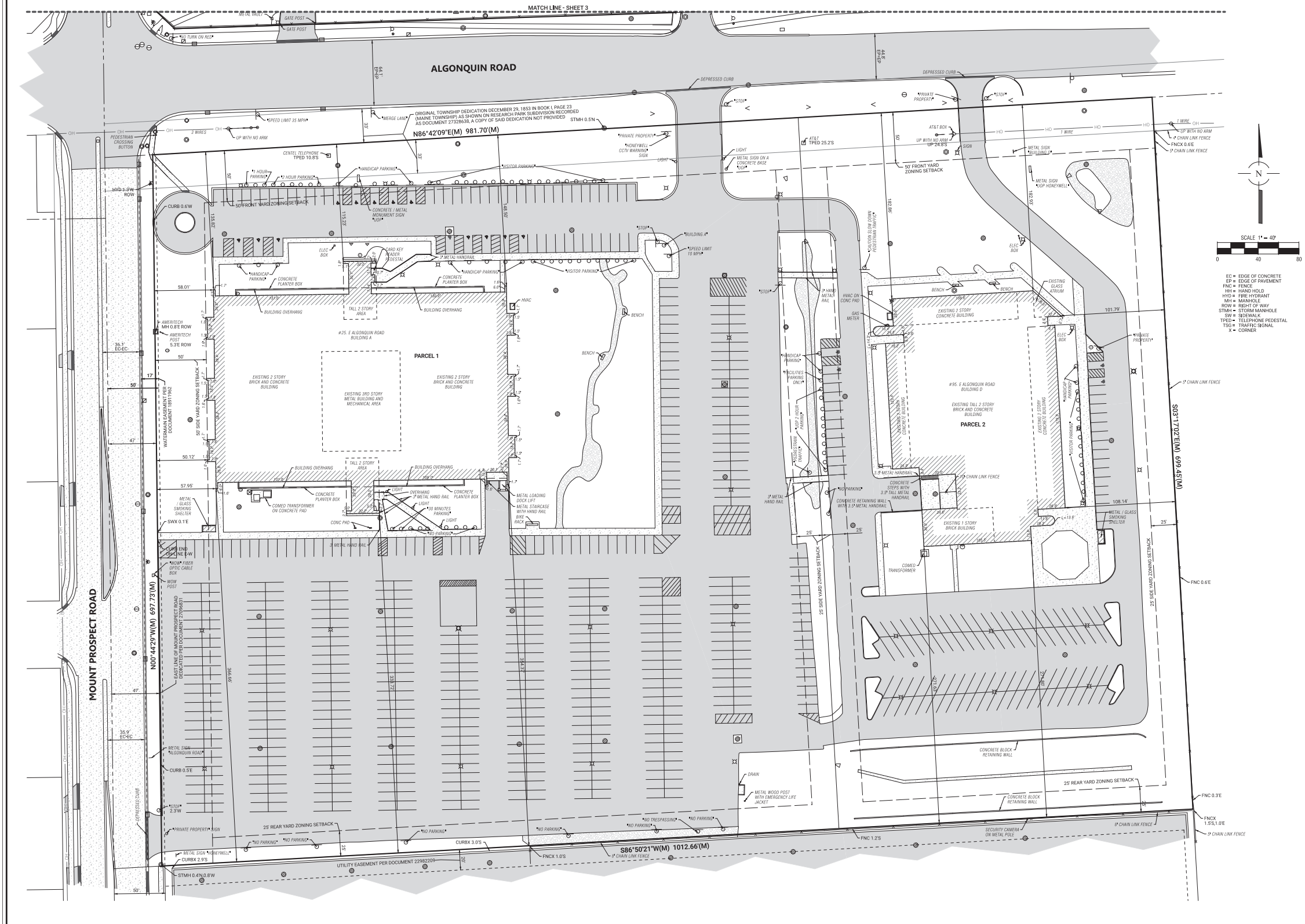
**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME: 9697.09ALTA-01
DATE: 11/14/2024
JOB NO. 9697.09
SHEET 2 OF 4

LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	CATV
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	OVERHEAD GAS LINE
	OVERHEAD WATER LINE
	ELECTRIC MANHOLE
	STORM MANHOLE
	MANHOLE
	FIRE HYDRANT
	TRAFFIC SIGNAL PEDESTAL
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	TELEPHONE SIGNAL
	CORNER
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	FENCE
	HAND HOLD
	RIGHT OF WAY
	STORM MANHOLE
	SIDEWALK
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	CORNER



# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



- ED = EDGE OF CONCRETE
- EP = EDGE OF PAVEMENT
- FNC = FENCE
- HM = HAND HOLE
- HYD = FIRE HYDRANT
- MM = MANHOLE
- ROW = RIGHT OF WAY
- STMH = STORM MANHOLE
- SW = SIDEWALK
- TPEL = TELEPHONE PEDESTAL
- TSO = TRAFFIC SIGNAL
- X = CORNER

**PARCEL 1 ZONING:**  
 THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY HAVE BEEN LISTED HEREON BASED ON ZONING AND SITE REQUIREMENTS SUMMARY PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED DECEMBER 2, 2024. PZR SITE NUMBER: 1767401. (TABLE A, ITEM 6A)

**EXISTING ZONING:** M2 (GENERAL MANUFACTURING)  
 FRONT SETBACK, ADJACENT MANUFACTURING, NOT ON A MAJOR THOROUGHFARE: 50 FEET (REQUIRED); ADJACENT OTHER, OR ON MAJOR THOROUGHFARE: 65 FEET  
 SIDE / REAR SETBACK, ADJACENT MANUFACTURING: 25 FEET; ADJACENT OTHER: 50 FEET (25 FEET REQUIRED) MAXIMUM BUILDING HEIGHT: 60 FEET; 40 FEET WHEN WITHIN 120 FEET ABUTTING RESIDENTIAL ZONE  
 BUILDING SITE AREA: NONE REQUIRED  
 MAXIMUM BUILDING COVERAGE: 70%  
 PARKING SPACE FORMULA:  
 WAREHOUSING AND WHOLESALES: 1 SPACE FOR EVERY 1,500 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% WAREHOUSE AREA FOR ALL BUILDINGS)  
 (247,179 / 1,500 = 165)  
 OFFICE: 1 SPACE FOR EVERY 250 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% OFFICE AREA FOR ALL BUILDINGS)  
 (27,464 / 250 = 110)  
 275 TOTAL PARKING SPACES REQUIRED

LEGEND	
	STORM SEWER
	SANITARY SEWER
	GAS
	WATER
	ELECTRIC
	TELEPHONE
	CABLE TV
	FIRE HYDRANT
	MANHOLE
	STORM MANHOLE
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	CORNER
	EDGE OF CONCRETE
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	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	CORNER
	EDGE OF CONCRETE
	EDGE OF PAVEMENT



## SEEFRIED INDUSTRIAL PROPERTIES, INC.

### Project Narrative 25 & 95 E. Algonquin Road

Seefried Properties desires to redevelop the unused 2 office buildings at 25 & 95 E. Algonquin Road into a single parcel, speculative industrial building. The parcel shall contain a 260,400 square foot building that will be 36' clear with 300 possible car parking positions, 2 drive in doors, 45 possible dock positions, and 63 trailer parking positions. The building shall be made of concrete precast walls and glass designed with first class industrial aesthetic features like textured reveals and overlapped panels to create depth, undulating heights, glass openings and entrance features, and complementary paint schemes. The facility will be designed to attract world class occupiers eager to operate business out of this desirable industrial location within the city. The speculative nature of the project means there are no tenants in the space currently and thus means the facilities will be shown as empty buildings to start and designed with optimal flexibility for any possible tenant.



June 20, 2025

Ms. Susan March  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd.  
Suite 220  
Chicago, IL 60631

Re: A Will Serve letter for a new commercial project at 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016.

Dear Ms. Susan March:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Maurice Allen at cell +1 (630) 210-5916 or email at [REDACTED] with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,



Robert L. Schuller Jr.  
Central Division Director of Construction  
(224) 229-5863



June 2<sup>nd</sup>, 2025

Susan March  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd Suite 220, Chicago, IL 60631

WILL SERVE LETTER

Dear Susan March,

This letter is in response to your request for information on the availability of AT&T services for a proposed commercial project in Des Plaines at the following addresses

- 25 Algonquin rd
- 95 E Algonquin rd
- 1055 S Mt. Prospect Rd

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed commercial development but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

**Kolade Fajimi (Engineer)**  
**Senior Specialist OSP Design Engineer**  
**Access Construction & Engineering Midwest**

**AT&T**  
**1000 Commerce Dr,**  
**Oak Brook, IL 60523**  
**M 847-226-7885 | [REDACTED]**

08/7/2025

**25 E Algonquin RD  
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 25 E Algonquin RD. Des Plaines, IL  
60016**

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely  
DCC | Field Representative  
ComEd | An Exelon Corporation  
847-846-1074

---

July 8, 2025  
Susan March  
847-921-5537

[REDACTED]  
Seefried Industrial Properties, Inc  
8745 W Higgins Rd Suite 220, Chicago, IL 60631

Gas Availability for the Proposed: 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016

To whom it may concern,

This letter will serve as Nicor Gas' intention to provide service to the above, proposed new construction project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Kelly Turner, at start up in order to coordinate the gas service/main installation timetable. I can be reached at 630-605-1586 or by email at [REDACTED]

If you have any additional questions, please let me know.

Sincerely,

*Kelly Turner*

New Business Construction Consultant  
Customer Development, Nicor Gas

# SITE IMPROVEMENT PLANS for O'HARE LOGISTICS CENTER 19

**25 & 95 E. ALGONQUIN ROAD  
DES PLAINES, IL  
PROJECT NO:9697.09**

**MWRD JOB START NOTIFICATION**

CONTACT THE METROPOLITAN  
WATER RECLAMATION DISTRICT  
OF GREATER CHICAGO 2 DAYS  
BEFORE STARTING WORK.

P: (708) 588-4055  
E: WMOJOBSTART@MWRD.ORG

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or, that if drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains approved for use by the Director of Public Works and Engineering, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the construction of this project.

To the best of our knowledge and belief there is no regulatory floodplain/floodway, no special flood hazard areas, riparian areas, or wetlands located on or within 100' of the project site. The project site was previously developed and graded.



*Brett M. Duffy*  
REGISTERED PROFESSIONAL ENGINEER

**DEVELOPER**

SEEFRIED INDUSTRIAL PROPERTIES  
8745 W. HIGGINS ROAD, SUITE 220  
CHICAGO, IL 60631

**ARCHITECT**

HARRIS ARCHITECTS  
1475 E. WOODFIELD RD, SUITE 925  
SCHAUMBURG, IL 60173

**CALL J.U.L.I.E. 1-800-892-0123**

WITH THE FOLLOWING:

COUNTY COOK  
CITY, TOWNSHIP DES PLAINES, IL  
SEC. & 1/4 SEC. NO. S19, T41N, R12E

**48 HOURS BEFORE YOU DIG,  
EXCLUDING SAT., SUN. & HOLIDAYS**

**BENCHMARK**

ELEVATION:

DESCRIPTION: **SEE SHEET OVEC FOR  
BENCHMARK INFORMATION**

**NOTE:**

SPACECO, INC. IS TO BE NOTIFIED AT LEAST  
THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION  
AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

IF YOU ARE CONSTRUCTING PUBLIC IMPROVEMENTS, INSPECTIONS ARE  
REQUIRED TO BE DONE BY PERSONNEL FROM THE CITY OF DES PLAINES  
PUBLIC WORKS AND ENGINEERING DEPARTMENT. IT IS THE DEVELOPER'S  
RESPONSIBILITY TO CONTACT THE PUBLIC WORKS AND ENGINEERING  
DEPARTMENT AT 847-391-5390, TWO (2) WORKING DAYS IN ADVANCE  
OF ANY CONSTRUCTION OF PUBLIC IMPROVEMENTS  
TO ARRANGE FOR REQUIRED INSPECTION(S).

CITY STANDARDS SHALL SUPERSEDE ALL OTHERS. CONTACT ENGINEER  
OF RECORD FOR COORDINATION IF NECESSARY.

**REVISIONS**

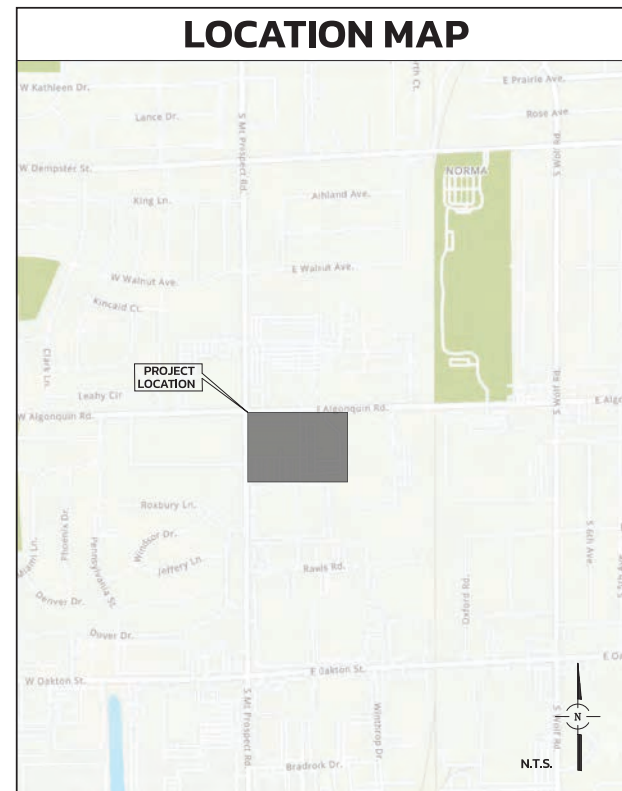
ORIGINAL PLAN DATE: JULY 18, 2025

#	SHEET #	REMARKS	DATE
1	8-14,17,18,28 1,6-7,9,11,13,16-18 22,26-30	PER CITY OF DES PLAINES	08/13/25
2		PER MWRD	10/03/25
3	8-14,16-18,22,28,30	PER SEEFRIED	11/12/25
4	11-14	PER SEEFRIED	11/26/25
5	6,9-11,13,17	PER SPACECO	01/06/26
6	9,11	PER CITY OF DES PLAINES	02/18/26

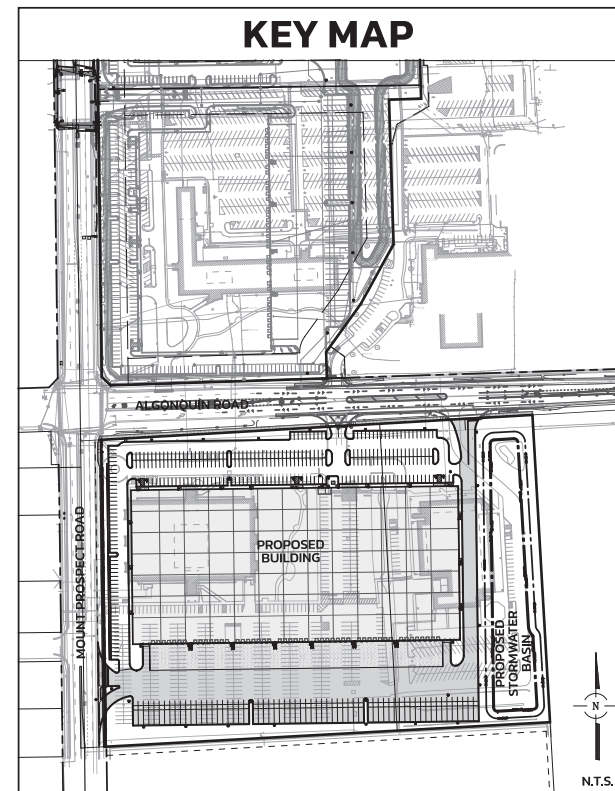
**INDEX**

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	GN	GENERAL NOTES & TYPICAL SECTIONS
3	OVEC	OVERALL EXISTING CONDITIONS PLAN
4-5	EC1-EC2	EXISTING CONDITIONS PLANS
6-7	DEMO1-DEMO2	DEMOLITION PLANS
8	OVSP	OVERALL SITE PLAN
9-10	GM1-GM2	GEOMETRIC PLANS
11-12	GR1-GR2	GRADING PLANS
13-14	UT1-UT2	UTILITY PLANS
15-18	SE1-SE4	SOIL EROSION & SEDIMENT CONTROL PLAN
19-20	S1-S2	SPECIFICATIONS
21-26	D1-D6	DETAILS
27	EDE	EXISTING DRAINAGE EXHIBIT
28	PDE	PROPOSED DRAINAGE EXHIBIT
29	SRM	MWRD SEWER ROUTING MAP
30	EXH-R	MAINTENANCE & MONITORING EXHIBIT

**LOCATION MAP**



**KEY MAP**



**O'HARE LOGISTICS CENTER 19  
DES PLAINES, IL**

Rosemont Office  
9575 W. Higgins Road, Suite 700  
Rosemont, Illinois 60018  
Phone: (847) 696-4060



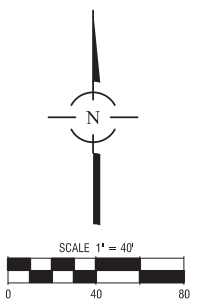
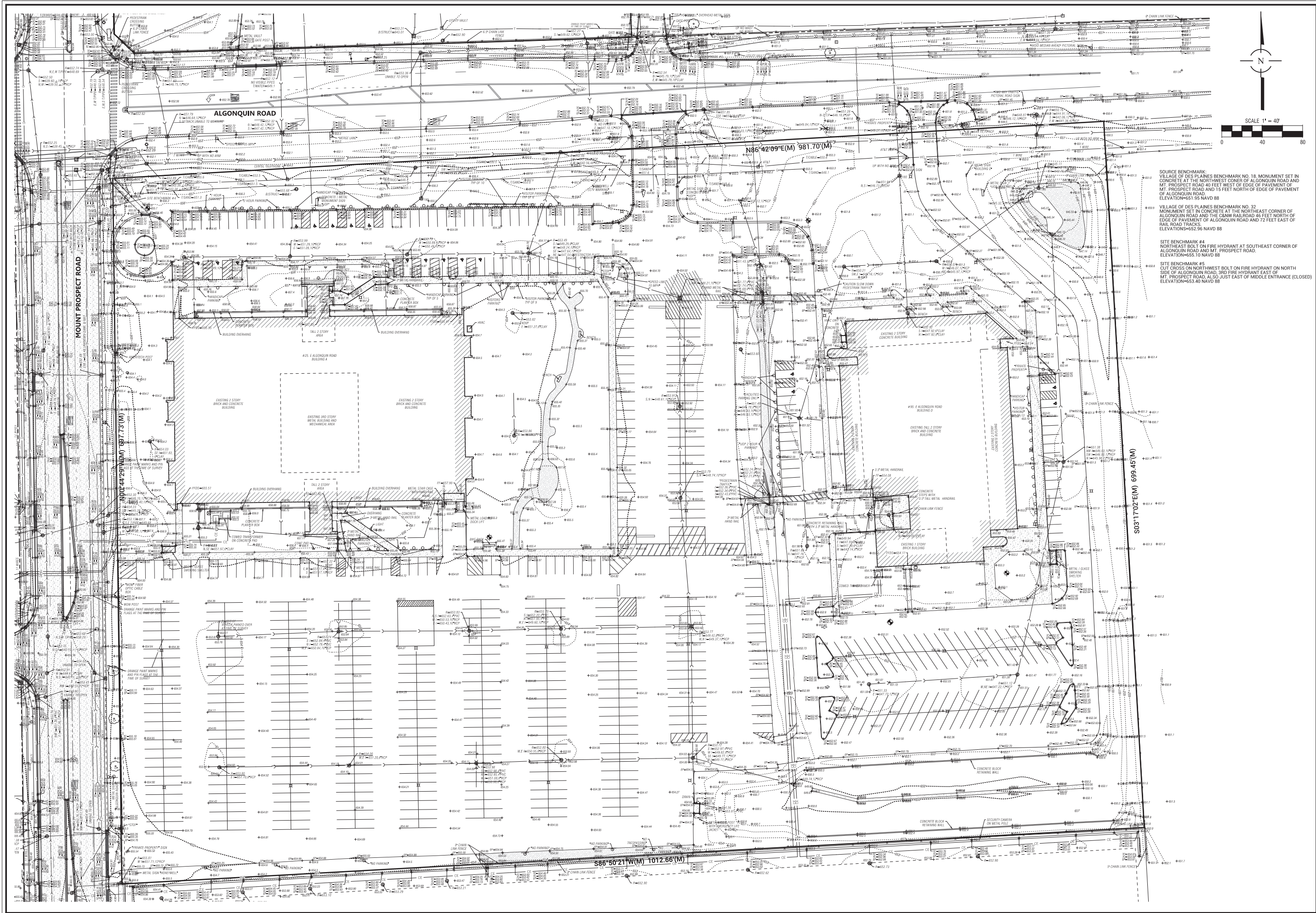
FILENAME:  
9697.09-SOUTH-TITLE

DATE:  
07/18/25

JOB NO.  
9697.09

SHEET  
**C1**

1 OF 30



SOURCE BENCHMARK:  
 VILLAGE OF DES PLAINES BENCHMARK NO. 18. MONUMENT SET IN CONCRETE AT THE NORTHWEST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD 40 FEET WEST OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 15 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD. ELEVATION=651.95 NAVD 88

VILLAGE OF DES PLAINES BENCHMARK NO. 32. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF ALGONQUIN ROAD AND THE CN&W RAILROAD 46 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 72 FEET EAST OF RAIL ROAD TRACKS. ELEVATION=652.96 NAVD 88

SITE BENCHMARK #4. NORTHEAST BOLT ON FIRE HYDRANT AT SOUTHEAST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD. ELEVATION=655.10 NAVD 88

SITE BENCHMARK #5. CUT CROSS ON NORTH-WEST BOLT ON FIRE HYDRANT ON NORTH SIDE OF ALGONQUIN ROAD, 3RD FIRE HYDRANT EAST OF MT. PROSPECT ROAD, ALSO JUST EAST OF MIDDLE ENTRANCE (CLOSED). ELEVATION=653.40 NAVD 88

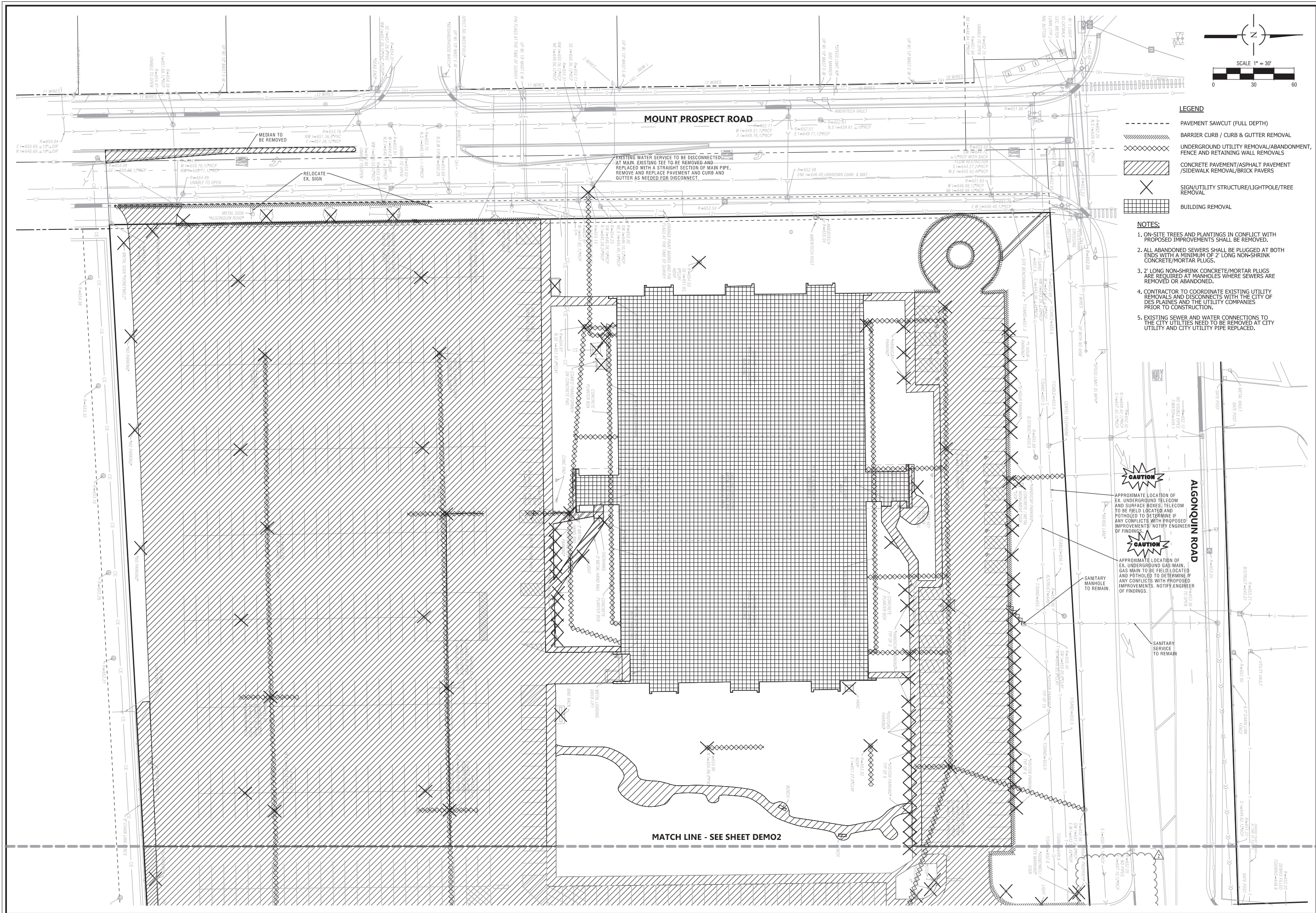
NO.	DATE	REMARKS

NO.	DATE	REMARKS

OVERALL EXISTING CONDITIONS PLAN  
**O'HARE LOGISTICS CENTER 19**  
 PROJECT LOCATION



FILENAME: 9697.09-OVEC
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>OVEC</b> 3 OF 30



- LEGEND**
- PAVEMENT SAWCUT (FULL DEPTH)
  - ||||| BARRIER CURB / CURB & GUTTER REMOVAL
  - XXXXX UNDERGROUND UTILITY REMOVAL/ABANDONMENT, FENCE AND RETAINING WALL REMOVALS
  - ▨ CONCRETE PAVEMENT/ASPHALT PAVEMENT /SIDEWALK REMOVAL/BRICK PAVERS
  - ⊗ SIGN/UTILITY STRUCTURE/LIGHTPOLE/TREE REMOVAL
  - ▧ BUILDING REMOVAL

- NOTES:**
1. ON-SITE TREES AND PLANTINGS IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED.
  2. ALL ABANDONED SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS.
  3. 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS ARE REQUIRED AT MANHOLES WHERE SEWERS ARE REMOVED OR ABANDONED.
  4. CONTRACTOR TO COORDINATE EXISTING UTILITY REMOVALS AND DISCONNECTS WITH THE CITY OF DES PLAINES AND THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
  5. EXISTING SEWER AND WATER CONNECTIONS TO THE CITY UTILITIES NEED TO BE REMOVED AT CITY UTILITY AND CITY UTILITY PIPE REPLACED.

NO.	DATE	REMARKS

PER CITY OF DES PLAINES	PER NWRD	REMARKS
5	10/03/25	

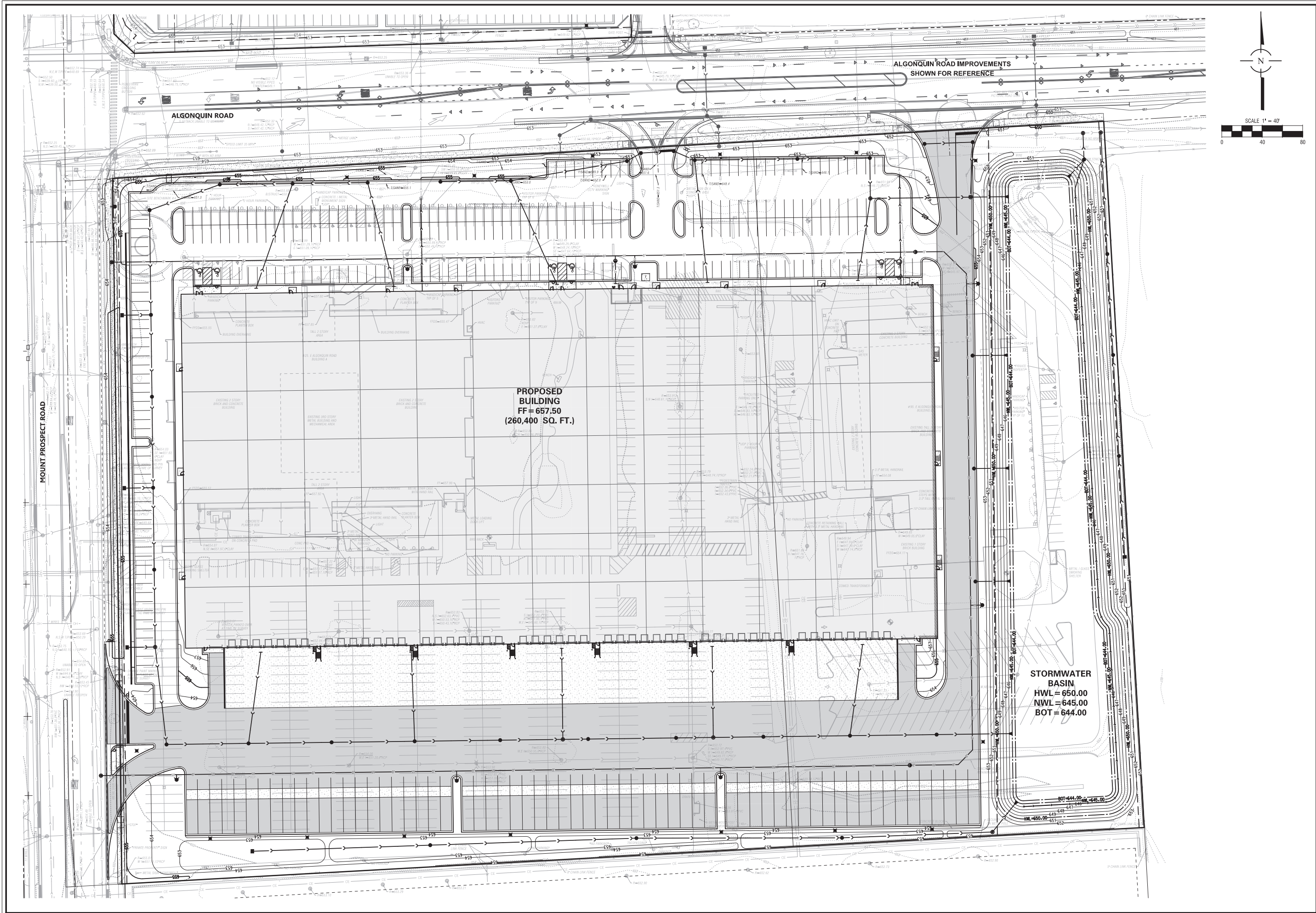
**DEMOLITION PLAN - 1**

**O'HARE LOGISTICS CENTER 19**  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 9697.09-DEMO1
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>DEM01</b> 6 OF 30





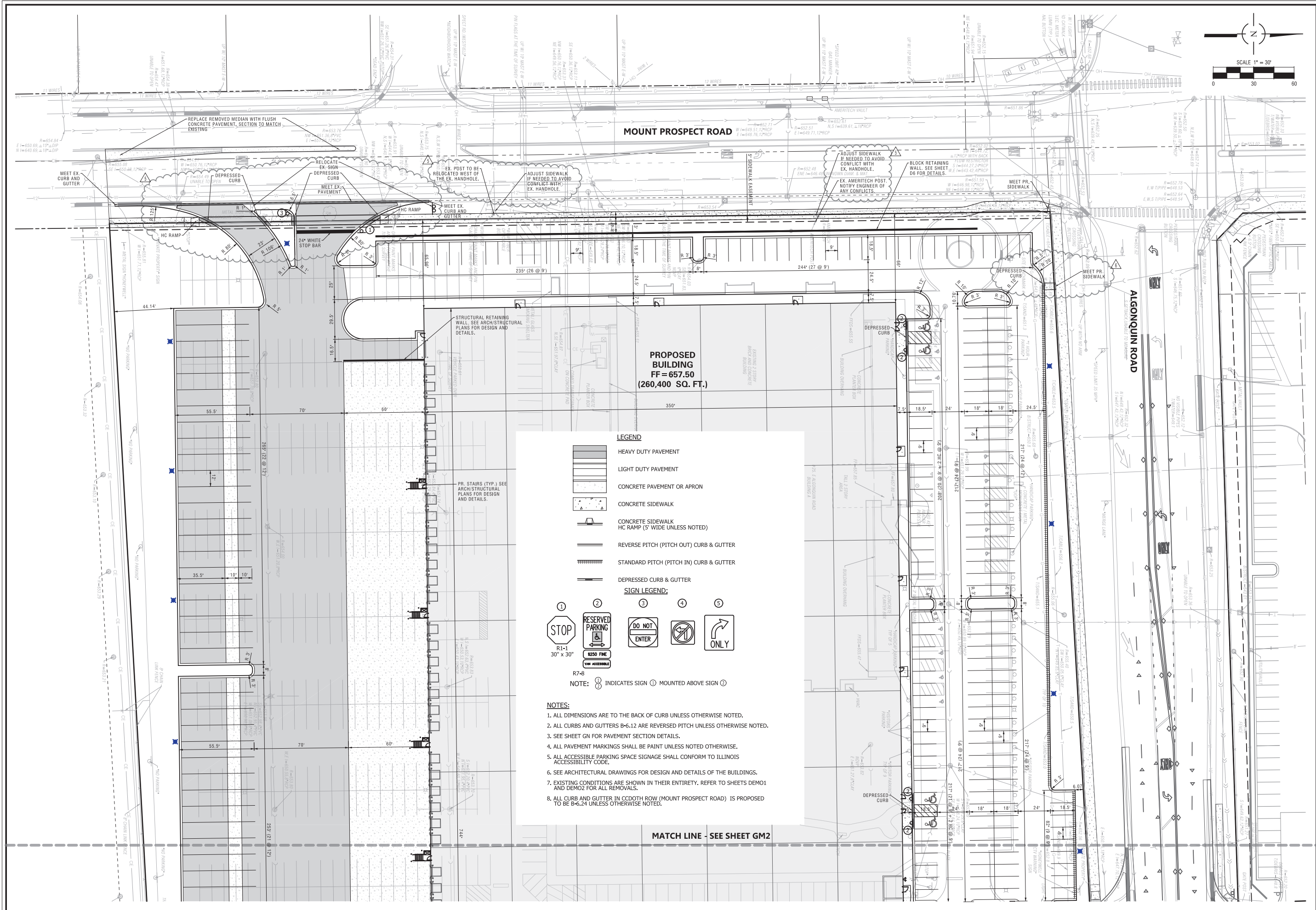
NO.	DATE	REMARKS
3	11/12/25	PER REFERRED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS

**OVERALL SITE PLAN**  
**O'HARE LOGISTICS CENTER 19**  
**PROJECT LOCATION**

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

FILENAME: 9697.09-OVSP
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>OVSP</b> 8 OF 30



NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
3	11/12/25	PER SEEFRIED
2	10/03/25	PER HWARD
1	08/13/25	PER CITY OF DES PLAINES

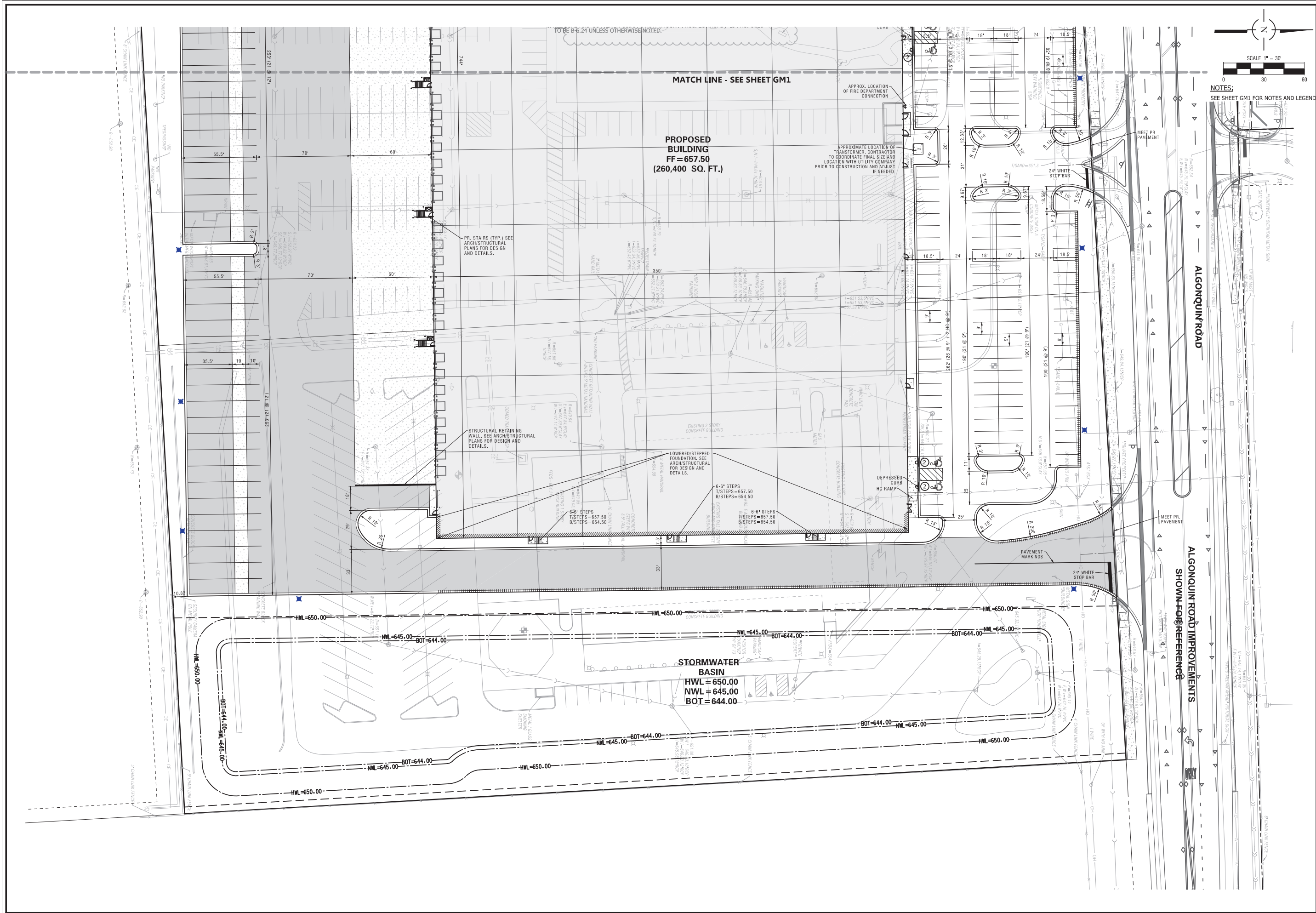
NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
3	11/12/25	PER SEEFRIED
2	10/03/25	PER HWARD
1	08/13/25	PER CITY OF DES PLAINES

**GEOMETRIC PLAN - 1**

**O'HARE LOGISTICS CENTER 19**  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 9697.09-GM1
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>GM1</b> 9 OF 30



NOTES:  
SEE SHEET GM1 FOR NOTES AND LEGEND

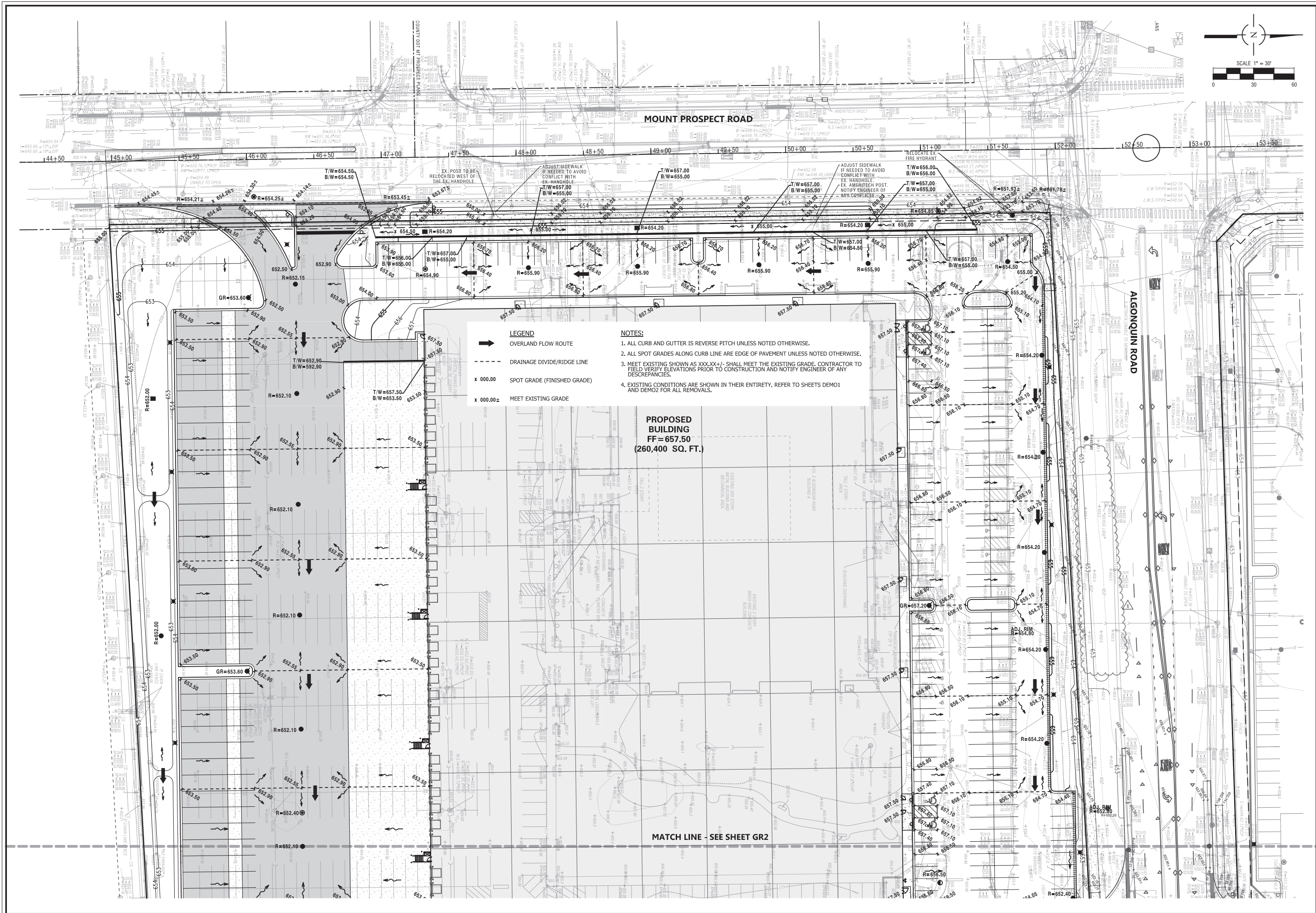
NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
3	11/12/25	PER REFERRED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
3	11/12/25	PER REFERRED
1	08/13/25	PER CITY OF DES PLAINES

**GEOMETRIC PLAN - 2**  
**O'HARE LOGISTICS CENTER 19**  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 9697.09-GM2
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>GM2</b> 10 OF 30



NO.	DATE	REMARKS
6	02/18/26	PER CITY OF DES PLAINES
5	01/06/26	PER CITY OF DES PLAINES
4	11/26/25	PER SEERFIELD
3	11/12/25	PER SEERFIELD
2	10/03/25	PER HWRD
1	08/13/25	PER CITY OF DES PLAINES

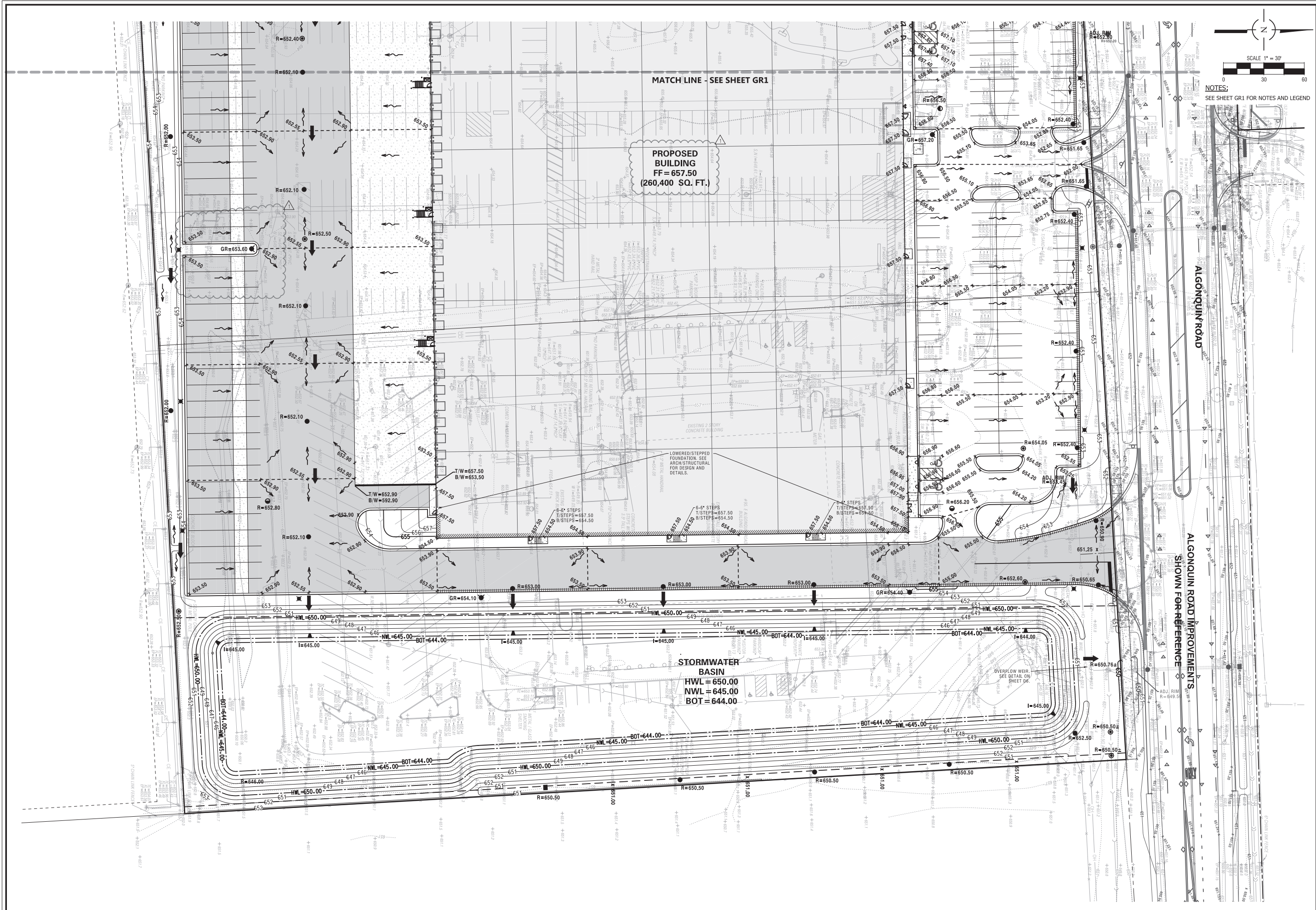
NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
4	11/26/25	PER SEERFIELD
3	11/12/25	PER SEERFIELD
2	10/03/25	PER HWRD
1	08/13/25	PER CITY OF DES PLAINES

**GRADING PLAN - 1**

**O'HARE LOGISTICS CENTER 19**  
PROJECT LOCATION

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 9697.09-GR1
DATE: 07/18/25
JOB NO. 9697.09
SHEET <b>GR1</b>
11 OF 30



NOTES:  
SEE SHEET GR1 FOR NOTES AND LEGEND

NO.	DATE	REMARKS
4	11/26/25	PER REFERRED
3	11/12/25	PER REFERRED
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS

**GRADING PLAN - 2**  
**O'HARE LOGISTICS CENTER 19**  
**PROJECT LOCATION**

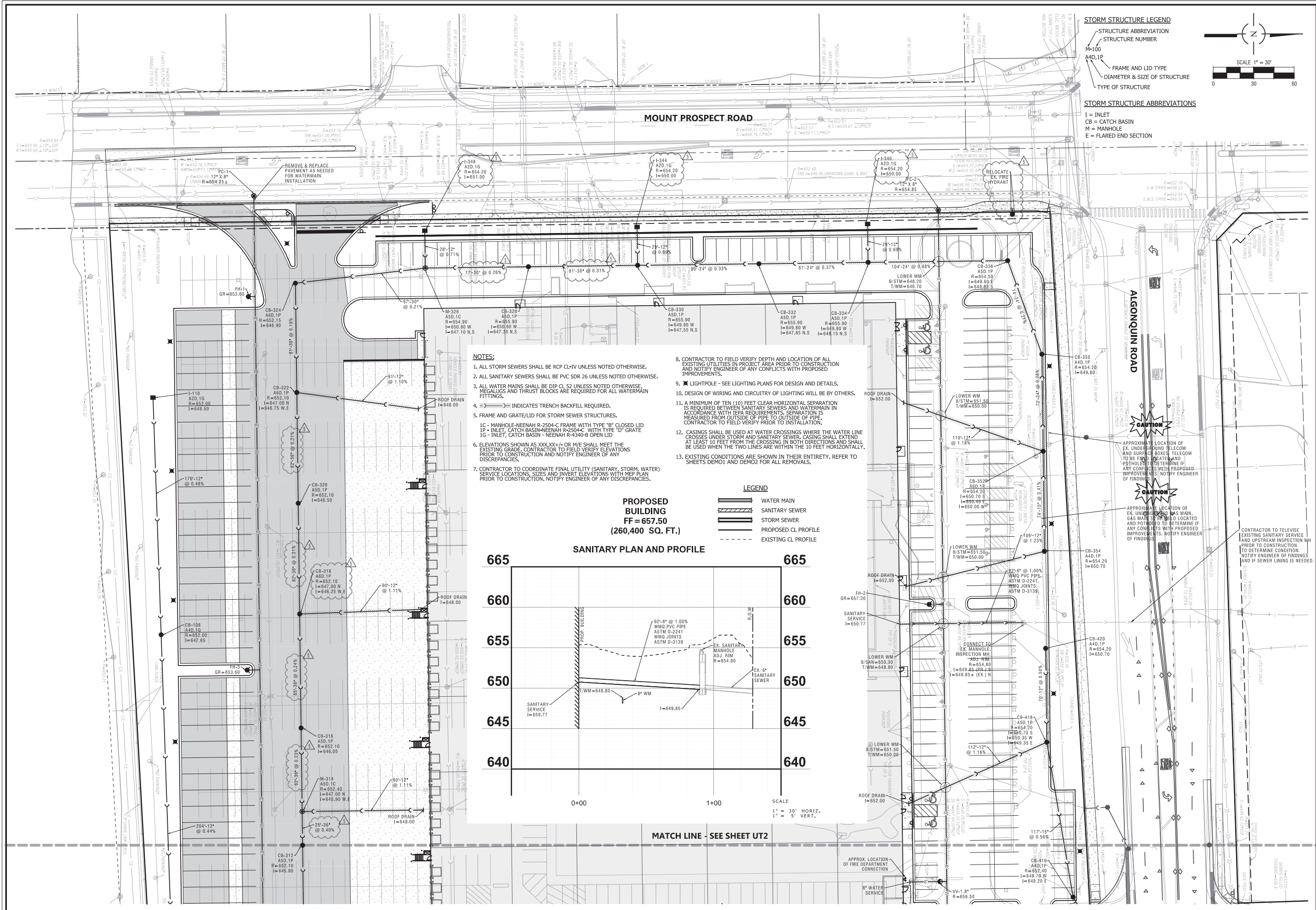


FILENAME:  
9697.09-GR2

DATE:  
07/18/25

JOB NO.  
9697.09

SHEET  
**GR2**  
12 OF 30



**STORM STRUCTURE LEGEND**

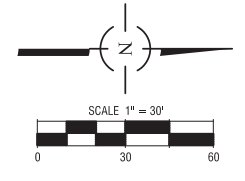
STRUCTURE ABBREVIATION  
STRUCTURE NUMBER

M-100  
A4D.1P

FRAME AND LID TYPE  
DIAMETER & SIZE OF STRUCTURE  
TYPE OF STRUCTURE

**STORM STRUCTURE ABBREVIATIONS**

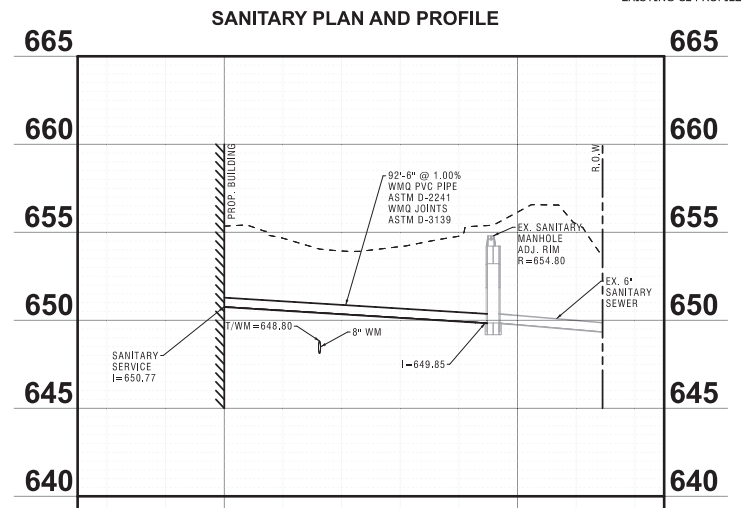
I = INLET  
CB = CATCH BASIN  
M = MANHOLE  
E = FLARED END SECTION



- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-V UNLESS NOTED OTHERWISE.
  2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
  3. ALL WATER MAINS SHALL BE DIP CL 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
  4. [Symbol] INDICATES TRENCH BACKFILL REQUIRED.
  5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES.  
1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID IP - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "D" GRATE 1G - INLET, CATCH BASIN - NEENAH R-4340-B OPEN LID
  6. ELEVATIONS SHOWN AS XXX.XX +/- OR M/E SHALL MEET THE EXISTING GRADE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  7. CONTRACTOR TO COORDINATE FINAL UTILITY (SANITARY, STORM, WATER) SERVICE LOCATIONS, SIZES AND INVERT ELEVATIONS WITH MEP PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
  8. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS WITH PROPOSED IMPROVEMENTS.
  9. LIGHTPOLE - SEE LIGHTING PLANS FOR DESIGN AND DETAILS.
  10. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
  11. A MINIMUM OF TEN (10) FEET CLEAR HORIZONTAL SEPARATION IS REQUIRED BETWEEN SANITARY SEWERS AND WATERMAIN IN ACCORDANCE WITH IEPA REQUIREMENTS. SEPARATION IS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALLATION.
  12. CASINGS SHALL BE USED AT WATER CROSSINGS WHERE THE WATER LINE CROSSES UNDER STORM AND SANITARY SEWER. CASING SHALL EXTEND AT LEAST 10 FEET FROM THE CROSSING IN BOTH DIRECTIONS AND SHALL BE USED WHEN THE TWO LINES ARE WITHIN THE 10 FEET HORIZONTALLY.
  13. EXISTING CONDITIONS ARE SHOWN IN THEIR ENTIRETY. REFER TO SHEETS DEMO1 AND DEMO2 FOR ALL REMOVALS.

**PROPOSED BUILDING**  
FF = 657.50  
(260,400 SQ. FT.)

- LEGEND**
- [Symbol] WATER MAIN
  - [Symbol] SANITARY SEWER
  - [Symbol] STORM SEWER
  - [Symbol] PROPOSED CL PROFILE
  - [Symbol] EXISTING CL PROFILE



MATCH LINE - SEE SHEET UT2

NO.	DATE	REMARKS
5	01/06/26	PER CITY OF DES PLAINES
4	11/26/25	PER SEERFER
3	11/12/25	PER SEERFER
2	10/03/25	PER HWRD
1	08/13/25	PER CITY OF DES PLAINES

**UTILITY PLAN - 1**

**O'HARE LOGISTICS CENTER 19**  
PROJECT LOCATION

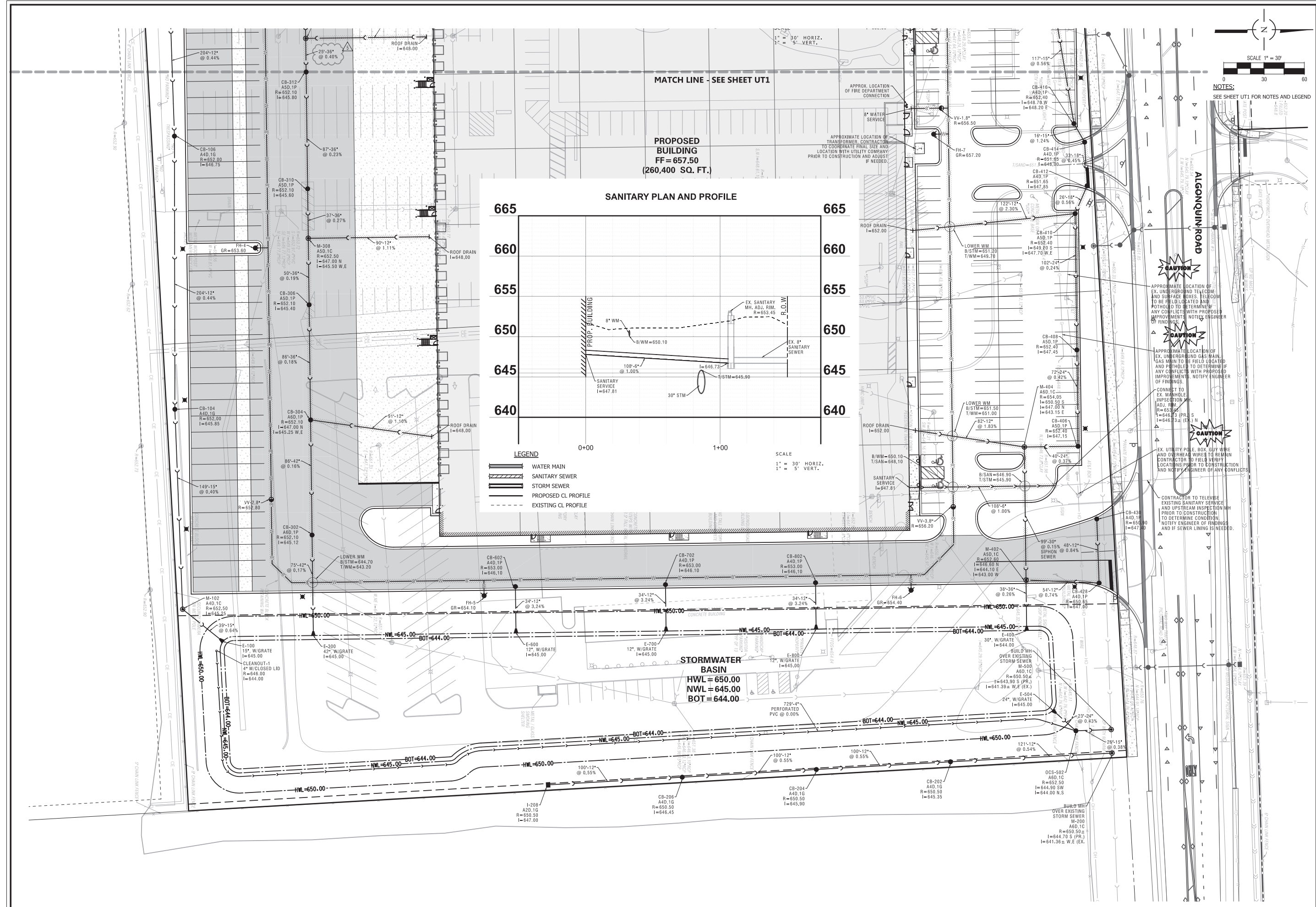
**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME:  
9697.09-UT1

DATE:  
07/18/25

JOB NO.  
9697.09

SHEET  
**UT1**  
13 OF 30



NO.	DATE	REMARKS
4	11/26/25	PER SEERFERD
3	11/12/25	PER SEERFERD
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
<b>UTILITY PLAN - 2</b>		
<b>O'HARE LOGISTICS CENTER 19</b>		
<b>PROJECT LOCATION</b>		

<b>FILENAME:</b> 9697.09-UT2
<b>DATE:</b> 07/18/25
<b>JOB NO.:</b> 9697.09
<b>SHEET:</b> <b>UT2</b>
14 OF 30



**PUBLIC WORKS AND  
ENGINEERING DEPARTMENT**

1420 Miner Street  
Des Plaines, IL 60016  
P: 847.391.5390  
desplaines.org

**MEMORANDUM**

Date: January 27, 2026  
To: Jonathan Stytz, Senior Planner  
From: John La Berg, P.E., CFM, Civil engineer  
Cc: Becka Shipp, P.E. Assistant Director of Public Works and Engineering  
Subject: 25 & 95 East Algonquin Rd.

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Public Works and Engineering has reviewed the final plans and has approved them as long as the following have been approved first. MWRD, IDOT, Cook County Highway Dept, and IEPA permits. Show cross section between public sidewalk and private curb. Why are there catch basins located there? Why not just adjust public sidewalk elevation?

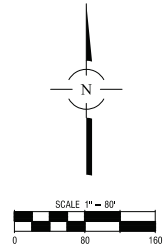
-Owner will need to provide the following to the city for us to create the looped water main maintenance agreement.

- Plat of Survey and legal description of the property
- The construction material, diameter, and linear feet for the proposed water main
- Description of any other improvements associated with the main that will be covered by the easement (e.g. pumps)
- Easement exhibit and legal description of the looped water main easement
- The construction material, diameter, and linear feet for the proposed water main
- Proof of ownership (if we have this or can get it). We can also research the deeds for the property.

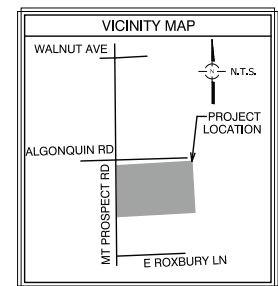
JL/jl

# FINAL PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 19

BEING A SUBDIVISION IN THE NORTH HALF OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 19,  
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SCALE: 1" = 80'  
BASIS OF BEARINGS:  
TRUE NORTH BASED ON GEODETIC  
OBSERVATION IL EAST ZONE  
IR = IRON ROD  
IP = IRON PIPE  
(M) = MEASURED  
(R) = RECORD



FINAL PLAT OF SUBDIVISION  
**O'HARE LOGISTICS CENTER 19**  
DES PLAINES, ILLINOIS



FILE NAME:	9697.09FINAL-SOUTH-01
DATE:	07/18/2025
JOB NO.	9697.09
SHEET	1 OF 3

NO.	DATE	REMARKS
02/12/24		REVISED PER CITY COMMENTS
12/23/25		REVISED PER COMMENTS
11/24/25		REVISED PER COMMENTS
09/17/25		UPDATED DIMENSIONS

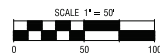
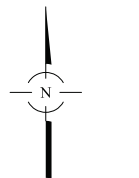
NO.	DATE	REMARKS

PREPARED FOR:  
SEFFRED INDUSTRIAL PROPERTIES  
8745 W. HIGGINS, SUITE 220  
CHICAGO, IL 60631

25 AND 95 E. ALGONQUIN ROAD  
EXISTING BOUNDARY INFORMATION

# FINAL PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 19

BEING A SUBDIVISION IN THE NORTH HALF OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 19,  
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SCALE 1" = 50'  
BASIS OF BEARINGS:  
TRUE NORTH BASED ON GEODETIC  
OBSERVATION ILLINOIS EAST ZONE  
BR = IRON ROD  
IP = IRON PIPE  
M = MEASURED  
R = RECORD



NO.	DATE	REMARKS
02/12/24		REVISED PER CITY COMMENTS
12/23/23		REVISED PER COMMENTS
11/24/23		REVISED PER COMMENTS
09/17/23		UPDATED DIMENSIONS

FINAL PLAT OF SUBDIVISION  
**O'HARE LOGISTICS CENTER 19**  
DES PLAINES, ILLINOIS



FILE NAME:	9697.09FINAL-SOUTH-01
DATE:	07/18/2025
JOB NO.	9697.09
SHEET	2 OF 3

25 AND 95 E. ALGONQUIN ROAD  
PROPOSED BOUNDARY INFORMATION

N:\Projects\9697\9697.09\_Schedule\SURVEY\9697.09FINAL\_SOUTH.dwg PROPOSED User:spaceco

# FINAL PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 19

BEING A SUBDIVISION IN THE NORTH HALF OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 19,  
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N.:  
09-19-300-010-0000  
09-19-300-012-0000

### OWNER'S CERTIFICATE

AN ILLINOIS LIMITED LIABILITY COMPANY, AS OWNER OF THE PROPERTY SHOWN AND COUNTY, ILLINOIS, ON DESCRIBED HEREON, HEREBY ADOPTS THIS PLAT OF SUBDIVISION ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES, DEDICATES THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE, AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON.

THIS IS TO ALSO CERTIFY THAT AS OWNER OF THE PROPERTY DESCRIBED AS AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIE:

CCSD 62  
MAINE TOWNSHIP HSD 207  
CAKTON COMMUNITY CODE DISTRICT NO. 535

IN WITNESS WHERE WE HAVE HEREUNDER SET OUR HANDS

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

### NOTARY PUBLIC CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_

OF \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH, GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC

### DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SURFACE WATERS INTO PUBLIC AREAS AND/OR DRAINAGE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIAL DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

OWNER: \_\_\_\_\_ REGISTERED PROFESSIONAL ENGINEER

Name: \_\_\_\_\_ Name: \_\_\_\_\_

Date: \_\_\_\_\_ Title: \_\_\_\_\_

(SEAL)

### CONSENT OF MORTGAGEE

\_\_\_\_\_ WHICH IS THE HOLDER OF A MORTGAGE DATED AS OF \_\_\_\_\_ 20\_\_\_\_ AND RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDER, ILLINOIS ON \_\_\_\_\_ 20\_\_\_\_ AS DOCUMENT NO. \_\_\_\_\_ ENCUMBERING THE PROPERTY DESCRIBED

ON THIS PLAT OF SUBDIVISION, HEREBY CONSENTS TO THE RECORDING OF THIS PLAT OF SUBDIVISION AND AGREES THAT ITS LIEN SHALL BE SUBJECT TO THE PROVISIONS OF THIS PLAT OF SUBDIVISION. IN WITNESS WHEREOF, THE UNDERSIGNED HAS CAUSED THIS CONSENT TO BE EXECUTED ON \_\_\_\_\_ 20\_\_\_\_.

ATTEST: \_\_\_\_\_ A \_\_\_\_\_

BY: \_\_\_\_\_

ITS: \_\_\_\_\_ ITS: \_\_\_\_\_

### MORTGAGEE'S NOTARY PUBLIC

STATE OF ILLINOIS )  
) SS.  
COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ THE \_\_\_\_\_ AND \_\_\_\_\_ THE \_\_\_\_\_

SECRETARY OF \_\_\_\_\_ A \_\_\_\_\_

WHICH INDIVIDUALS ARE KNOWN TO ME TO BE THE IDENTICAL PERSONS WHO SIGNED THE FOREGOING INSTRUMENT AS SUCH OFFICER OF THE CORPORATION AND IN BEHALF OF SAID CORPORATION, AND THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, AND AS THE FREE AND VOLUNTARY ACT AND DEED OF THE CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNATURE OF NOTARY

SEAL

MY COMMISSION EXPIRES: \_\_\_\_\_

PREPARED FOR:  
SEAFRIED INDUSTRIAL PROPERTIES  
8745 W. HIGGINS, SUITE 220  
CHICAGO, IL 60631

AFTER RECORDING SEND TO:  
SPACECO INC.  
915 WEST HIGGINS ROAD  
SUITE 700  
ROSEMONT, ILLINOIS 60018

### MAYOR AND CITY COUNCIL CERTIFICATE

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_ MAYOR

ATTEST: \_\_\_\_\_ CITY CLERK

### PLANNING AND ZONING BOARD CERTIFICATE

APPROVED BY THE CITY PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_ CHAIRMAN

### DIRECTOR OF FINANCE CERTIFICATE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

### DIRECTOR OF FINANCE CERTIFICATE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATE: \_\_\_\_\_

### DIRECTOR OF FINANCE

DIRECTOR OF FINANCE

### CITY DIRECTOR OF PUBLIC WORKS AND ENGINEERING CERTIFICATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_ DIRECTOR OF PUBLIC WORKS AND ENGINEERING

### EASEMENT FOR PUBLIC UTILITIES

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED. PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR PUBLIC UTILITIES" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

### EASEMENT FOR STORM WATER DRAINAGE

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, AND TO, FOR THE USE AND BENEFIT OF, THE OWNERS OF ALL OF THE LOTS IN THIS SUBDIVISION FOR THE SOLE PURPOSE OF STORM WATER DRAINAGE, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM WATER DRAINAGE" ON THIS SUBDIVISION PLAT. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE," AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE DICTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF. TREES, SHRUBS, FENCES, AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES. EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM WATER DRAINAGE" LOCATED ON IT SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE "EASEMENT FOR STORM WATER DRAINAGE" AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNERS OF LOTS ON WHICH ANY "EASEMENT FOR STORM WATER DRAINAGE" IS LOCATED SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM WATER DRAINAGE" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES.

### EASEMENT FOR STORM SEWER

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED. PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM SEWER" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY.

### SIDEWALK EASEMENT PROVISIONS:

## TO BE PROVIDED

### UTILITY EASEMENTS

AN EASEMENT FOR SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, NATURAL GAS, AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

COMMONWEALTH Edison COMPANY

APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

AT&T, ILLINOIS BELL TELEPHONE CO (AMERITECH)

APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NORTHERN ILLINOIS GAS COMPANY (NICOR)

APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COMCAST

APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ASTOUND

APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PUBLIC UTILITY EASEMENTS PROVIDED SHALL BE FOR THE USE OF MUNICIPAL SEWER AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES FOR ANY CABLE TELEVISION FRANCHISE GRANTED BY THE CITY, AND OTHER MUNICIPAL USES.

### RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER DETENTION AREA

1. THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORM WATER DETENTION AREA" SHALL BE CONTINUOUSLY MAINTAINED IN A FIRST CLASS MANNER BY OWNERS OF LOTS 1 AND 2 (THE "DETENTION AREA LOTS") AND AN EASEMENT ON, UNDER AND ABOVE THE STORM WATER DETENTION AREA IS HEREBY GRANTED TO AND FOR THE USE AND BENEFIT OF ALL OF THE LOTS IN THIS SUBDIVISION FOR THE SOLE PURPOSE OF STORM WATER DETENTION AND DRAINAGE.

2. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN THE STORM WATER DETENTION AREA NOR SHALL ANY CONSTRUCTION OF ANY KIND WHATSOEVER BE SITED OR PERMITTED TO EXIST WITHIN THE STORM WATER DETENTION AREA THAT MIGHT MATERIALLY IMPERE STORM WATER DRAINAGE THEREIN OR MATERIALLY REDUCE THE STORM WATER DETENTION CAPACITY THEREOF. TREES, SHRUBS, FENCES AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN THE STORM WATER DETENTION AREA ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"). EACH OWNER OF A DETENTION AREA LOT SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF HIS LOT LOCATED WITHIN THE STORM WATER DETENTION AREA AND SHALL KEEP SUCH GRASS IN A NEAT AND TRIMMED CONDITION.

3. IN THE EVENT THE CITY DETERMINES, IN ITS SOLE AND ABSOLUTE DISCRETION, THAT PRIOR MAINTENANCE OF THE STORM WATER DETENTION AREA IS NOT PERFORMED AT ANY TIME, THE CITY, AFTER TEN (10) DAYS PRIOR WRITTEN NOTICE TO THE OWNERS OF THE DETENTION AREA LOTS, MAY, BUT SHALL NOT BE OBLIGATED TO, ENTER UPON ANY OR ALL OF THE DETENTION AREA LOTS FOR THE PURPOSE OF PERFORMING MAINTENANCE WORK ON AND TO THE STORM WATER DETENTION AREA.

4. IN THE EVENT THAT THE CITY SHALL CAUSE TO BE PERFORMED ANY WORK PURSUANT TO THESE PARAGRAPHS, THE CITY SHALL HAVE THE RIGHT TO CHARGE THE OWNERS OF THE DETENTION AREA LOTS AN AMOUNT SUFFICIENT TO REPAIR THE ENTIRE COST OF SUCH WORK OR ACTION, INCLUDING ADMINISTRATIVE COSTS, EITHER BEFORE OR AFTER SUCH COSTS INCURRED. IF THE AMOUNT SO CHARGED IS NOT PAID BY THE OWNERS OF THE DETENTION AREA LOTS WITHIN THIRTY (30) DAYS FOLLOWING THE WRITING BY THE CITY FOR SUCH PAYMENT, SUCH CHARGE, TOGETHER WITH INTEREST AND COSTS OF COLLECTION, SHALL BECOME A LIEN UPON THE DETENTION AREA LOTS AND THE CITY SHALL HAVE THE RIGHT TO COLLECT SUCH CHARGE, WITH INTEREST AND COSTS, AND TO ENFORCE SUCH LIEN AS IN FIDELICLOSURE PROCEEDINGS AS PERMITTED BY LAW.

5. NOTHING IN THESE PARAGRAPHS SHALL BE CONSTRUED TO CONSTITUTE A DEDICATION OF ANY PORTION OF THE STORM WATER DETENTION AREA OR OF THE DETENTION AREA LOTS TO, OR AN ACCEPTANCE THEREOF BY, THE CITY.

6. THE CITY SHALL BE UNDER NO OBLIGATION TO EXERCISE THE RIGHTS GRANTED IN THESE PARAGRAPHS EXCEPT AS IT SHALL DETERMINE TO BE IN ITS BEST INTEREST; NO FAILURE TO EXERCISE AT ANY TIME ANY RIGHT HEREIN GRANTED TO THE CITY SHALL BE CONSTRUED AS A WAIVER OF THAT OR ANY OTHER RIGHTS.

7. THESE COVENANTS SHALL RUN WITH THE LAND IN THE SUBDIVISION SHOWN ON THIS PLAT, AND SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE OWNERS OF ALL LOTS OF RECORD THEREIN, THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND GRANTEEES AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM. ENFORCEMENT OF THESE COVENANTS MAY BE SOUGHT BY THE OWNERS OF ANY LOTS OF RECORD IN THIS SUBDIVISION, ANY PERSON WITH AN INTEREST IN ANY OF SAID LOTS OF RECORD, OR THE CITY OF DES PLAINES BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT, EITHER TO RESTRAIN VIOLATION, TO COMPLY AFFIRMATIVE ACTION, OR TO RECOVER DAMAGES, AND AGAINST THE LAND TO ENFORCE ANY LIEN CREATED BY THESE COVENANTS.

### ILLINOIS DEPARTMENT OF TRANSPORTATION ACCEPTANCE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S POLICY ON PERMITS FOR ACCESS ROADSWAYS TO STATE HIGHWAYS WILL BE REQUIRED BY THE DEPARTMENT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_ 20\_\_\_\_

JOSE RIOS, P.E.  
REGION ONE ENGINEER

### ACCESS NOTE:

THERE SHALL BE AT MOST ONE (1) DIRECT VEHICULAR ACCESS POINT AND ONE (1) RESTRICTED MOUNT-IN, RIGHT-CUT VEHICULAR ACCESS POINT ALONG IL ROUTE 62 (ALGONQUIN ROAD) SERVING LOT 1, AS DIRECTED HEREON.

ALL OTHER VEHICULAR ACCESS TO IL ROUTE 62 (ALGONQUIN ROAD) SHALL BE VIA INTERNAL CIRCULATION.

### COOK COUNTY HIGHWAY DEPARTMENT CERTIFICATE

STATE OF ILLINOIS )  
) SS.  
COUNTY OF COOK )

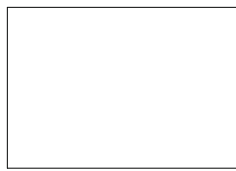
THIS PLAT HAS BEEN APPROVED BY THE COOK COUNTY DEPARTMENT OF TRANSPORTATION AND HIGHWAYS WITH RESPECT TO ROADWAY ACCESS PURSUANT TO 765 ILCS 205/2. HOWEVER, A HIGHWAY PERMIT, CONFORMING TO THE STANDARDS OF THE COOK COUNTY DEPARTMENT OF TRANSPORTATION AND HIGHWAYS IS REQUIRED BY THE OWNER OF THE PROPERTY FOR THIS ACCESS.

### SUPERINTENDENT OF TRANSPORTATION AND HIGHWAYS

COOK COUNTY, ILLINOIS



COOK COUNTY CLERK STAMP



COOK COUNTY RECORDER'S STICKER

### PROPERTY DESCRIPTION:

PARCEL 1:

A PARCEL OF LAND IN THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE SOUTH 618.00 FEET OF THE NORTH 1/2 OF SAID SOUTHWEST FRACTIONAL 1/4 AND LYING WEST OF A LINE DRAWN PARALLEL WITH AND 348.0 FEET WEST OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID SOUTHWEST FRACTIONAL 1/4, A DISTANCE OF 884.97 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST FRACTIONAL 1/4, TO A POINT ON THE SOUTH LINE OF THE AFORESAID NORTH 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, A DISTANCE OF 815.07 FEET WEST OF THE AFORESAID EAST LINE, EXCEPTING THAT PART AS DEEDED TO THE COUNTY OF COOK BY DEED RECORDED MAY 22, 1984 AS DOCUMENT 27096931, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

A PARCEL OF LAND IN THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: THE EAST 348 FEET OF THAT PART OF THE NORTH 1/2 OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: THE EAST 348 FEET OF THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER OF SAID SECTION 19, AFORESAID, LYING NORTH OF THE SOUTH 618.00 FEET OF THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER, AND LYING WEST OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID SOUTHWEST FRACTIONAL 1/4, A DISTANCE OF 884.97 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, TO A POINT ON THE SOUTH LINE OF THE AFORESAID NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER, A DISTANCE OF 815.07 FEET WEST OF THE AFORESAID EAST LINE, IN COOK COUNTY, ILLINOIS.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
) SS.  
COUNTY OF COOK )

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT WE HAVE SURVEYED AND DEDICATED THE PROPERTY AS HEREON DESCRIBED, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

WE FURTHER DECLARE THAT STEEL RE-INFORCING RODS (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT CORNERS IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF DES PLAINES CITY CODE; THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN.

TOTAL GROSS PROPERTY SURVEYED CONTAINS 69,293 SQUARE FEET, OR 15,985 ACRES, MORE OR LESS.

WE FURTHER DECLARE THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL NUMBER 17030221UJ AND 17030221UJ WITH AN EFFECTIVE DATE OF 08/01/15, 2008.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2026, IN ROSEMONT, ILLINOIS.

## FOR REVIEW PURPOSES ONLY

REBECCA Y. POPPEK, P.L.L.C., No. 035-3642  
LICENSE EXPIRES: 11-20-2026  
poppek@spacecoinc.com

25 AND 95 E. ALGONQUIN ROAD

FINAL PLAT OF SUBDIVISION  
O'HARE LOGISTICS CENTER 19  
DES PLAINES, ILLINOIS

Spaceco  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME:  
9697.09FINAL-SOUTH-01

DATE:  
07/18/2025

JOB NO.  
9697.09





SHEET

3 OF 3

MEMORANDUM

Date: March 6, 2026

To: Planning and Zoning Board (PZB)

From: Jonathan Mendel, AICP, Assistant Director of Community & Economic Development   
Jonathan Stytz, AICP, Senior Planner   
Jeff Rogers, AICP, Director of Community & Economic Development   
Jack Tierney, Management Analyst 

Subject: Text Amendments to the City Code, Title 12 Zoning regarding regulations for off-street parking, accessory uses related to EV readiness and drive-through facility operation and layout design regulations – Case #26-007-TA (Citywide)

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**Issue:** Consideration of text amendments modifying regulations of the Zoning Ordinance applicable to the installation and location of electric vehicle charging off-street parking spaces and electric vehicle charging supply equipment. Additionally, the proposed text amendments clarify the operation and site design regulations for drive-through facilities.

**Background**

The City's zoning code regulates and controls the use and development of land within the City of Des Plaines and is Title 12 of the City Code of Des Plaines.

**Electric vehicle charging parking and supply equipment regulations**

Currently, there are numerous sections of the zoning code that implicitly permit existing or new off-street parking spaces to incorporate charging supply equipment for charging electric vehicles. Additionally, the building and electrical codes also implicitly permit the installation of interior or exterior building-mounted electric charging supply equipment. Despite these numerous implicit permissions, staff recommend making the permissions more explicit within targeted portions of the zoning code.

**Refining drive-through facility operation, layout and queuing regulations**

Over the years, using the current drive-through facility layout and operations regulations in City Code Section 12-9-6, staff determined needed layout and operational code changes such as explicitly stating that layout design must be sufficient to accommodate operational needs, minimum queuing length, and explicitly requiring an escape lane exit from the queuing lane.

**Proposed Amendments**

The intention of these amendments is to: (i) more explicitly state requirements for electric vehicle charging parking spaces and supply equipment placement; (ii) address gaps in the drive-through regulations; and (iii) clean up other portions of the Zoning Ordinance that require additional clarification. The proposed amendments seek to adjust Title 12, Chapters 7, 8, 9, and 13 of the Zoning Code, which are described in more detail below and in the attached Proposed Amendments.

**CHAPTER 7 DISTRICTS and CHAPTER 8 ACCESSORY, TEMPORARY, AND SPECIFIC USE REGULATIONS**

The following amendments intend to explicitly identify electric vehicle supply equipment, as currently defined in Section 12-13-3 of the Zoning Ordinance, as a permitted obstruction in all required yards and allow accessory uses and structures in the C-7 district through a conditional use permit. The proposed amendments in Section 12-7-1.C are as follows:

**12-7-1: GENERAL DISTRICT REGULATIONS:**

C. Permitted Obstruction In Required Yards: The following structures and uses shall be permitted in the following required yards:

\* \* \*

	Required Yards			
	Front	Side	Rear	Corner Side <sup>1</sup>
Driveways <sup>5,4</sup>	P	P	P	P
* * *				
<b><u>Electric Vehicle Supply Equipment:</u></b>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Refer to section 12-8-17 of this title for specific regulations</u></b>				
* * *				
Recreational Equipment <sup>2,3</sup>	<u>NP</u>	<u>P</u>	<u>P</u>	<u>NP</u>

\* \* \*

Notes:

1. Corner side yard regulations shall only apply within the R-1, R-2, R-3 and R-4 Districts.
2. There is no limit to the number of recreational equipment items allowed on any lot. However, any recreational equipment that adds impervious surface will count towards the maximum rear yard coverage for properties zoned R-1.
3. Accessory Auto Filling Station Canopies do not have to follow the bulk regulations set forth in section 8-1.C. of this title; provided, however, Accessory Auto Filling Station Canopies may not exceed 25 feet in height.
4. All driveways must comply with the applicable regulations in Section 12-9-6 .

*Staff Commentary:* Staff recommend amending the permitted obstructions table to explicitly permit electric vehicle supply equipment within a minimum required yard for a given property within a given zoning district. For example, this would permit a R-1-zoned detached single-family property to place a stand-alone electric vehicle charging supply pedestal along a driveway within a required 25-foot front yard setback. This could provide the occupant the flexibility to place such equipment in a manner most advantageous to their particular needs.

**12-7-3: COMMERCIAL DISTRICTS REGULATIONS:**

K. Commercial Use Matrix:

TABLE 3: COMMERCIAL DISTRICTS USE MATRIX

P = Permitted use; C = Conditional use permit required

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
Accessory uses and structures	P	P	P	P	P	P	<u>C</u>

*Staff Commentary:* Adding accessory uses and structures as a conditional use in the C-7 district, where they are currently prohibited adds use flexibility to a high-profile zoning district but retains public review and scrutiny of specific implementation through a public hearing review process.

**CHAPTER 8 ACCESSORY, TEMPORARY, AND SPECIFIC USE REGULATIONS**

The following amendments are a completely new subsection intended to explicitly identify electric vehicle supply equipment bulk and placement regulations. The proposed amendment adds the new Section 12-8-17 as follows:

**12-8-17: ELECTRIC VEHICLE SUPPLY EQUIPMENT**

**Electric vehicle supply equipment is permitted in all zoning districts, subject to the regulations set forth above and the following requirements:**

- A. Quantity: In any district, electric vehicle supply equipment shall be allowed in addition to the total quantity of accessory structures otherwise permitted by Section 12-8-1 as follows:**
  - 1. Detached Single-family and Two-Family Residences are permitted one electric vehicle supply equipment pedestal for each dwelling unit.**
  - 2. All other uses are permitted multiple electric vehicle supply equipment pedestals provided that the number of electric vehicle charging spaces do not exceed five percent of the total off-street parking spaces.**
- B. Height Requirement: In any non-residential district or for any non-residential use, electric vehicle supply equipment within any required yard shall not exceed eight feet in height. For residential districts and uses, electrical vehicle supply equipment cannot exceed four feet in height.**
- C. Minimum Setback: Electric vehicle supply equipment shall be set back a minimum of five feet from any lot line.**
- D. Location of Equipment: All electric vehicle supply equipment and appurtenances thereto shall be located adjacent to a compliant electric vehicle charging space. All electrical service lines shall be placed underground.**
- E. Protection: Electric vehicle supply equipment shall be protected from vehicle movements by barrier curbing, steel bollards, or other adequate protection.**
- F. Signage & Illumination: Any signage embedded within electric vehicle supply equipment is subject to the sign regulations of this title. Signs, advertising, and illumination of electric vehicle supply equipment is not permissible for residential districts and uses.**

**G. Landscaping: The installation of electric vehicle supply equipment shall not exempt the parking facility from minimum interior and perimeter landscaping requirements of this title. Electric vehicle supply equipment installed for residential uses or in residential districts shall be improved with a minimum two-foot-wide landscape bed around its entire base.**

**H. Maintenance: Electric vehicle supply equipment shall be maintained in a good and safe condition at all times. Every damaged or missing element of any electric vehicle supply equipment shall be repaired or replaced immediately.**

**I. Accessibility (ADA Compliance): Where electric vehicle charging stations are provided, electric vehicle charging station stalls shall comply with current Federal Americans with Disabilities Act (ADA) requirements, Illinois Accessibility Code regulations, and all other applicable accessibility laws, rules, and regulations. Accessible electric vehicle charging station stalls shall provide an accessible route to the entrance of the primary use and/or the public right-of-way.**

*Staff Commentary:* The proposed amendments clarify and make explicit many of the current regulations for electric vehicle parking spaces and charging equipment placement.

## **CHAPTER 9 OFF STREET PARKING AND LOADING FACILITIES**

The following amendments intend to: (i) clarify the need to provide off-street parking and loading facilities necessary for the safe and compliant operation of uses regardless of the existing standards; (ii) expand and clarify specific standards for drive-through facilities; (iii) adjust and clarify surfacing and striping standards; (iv) adjust and expand regulations for electric vehicle charging parking spaces and reference new standards for electric vehicle charging supply equipment in Section 12-8-17; (v) add a specific note related to compliance of State of Illinois law when in conflict with the Zoning Ordinance; and (vi) incorporate miscellaneous adjustments related to off-street loading spaces and land-bank parking.

### **12-9-2: GENERAL REQUIREMENTS:**

\* \* \*

**I. Regardless of the minimum off street parking and loading requirements of Title 12, Chapter 9, all uses must provide parking and loading facilities in a quantity necessary for the safe and compliant operation of the subject land use(s).**

\* \* \*

### **12-9-7: OFF STREET PARKING REQUIREMENTS:**

The parking and loading requirements applicable in each district are set forth below, **except as exempted by State of Illinois law:**

\* \* \*

*Staff Commentary:* The above two text amendments make the implicit explicit in the City's zoning code. The first is a new subsection to Section 12-9-2 explicitly states that regardless of the zoning code's minimum parking requirements, any given property/use operator must provide parking sufficient to accommodate their particular use and operation. The second explicitly states the City's zoning code minimum off-street parking requirements are mandated unless exempted/preempted by an applicable State of Illinois law. This need to be explicit arises from current State of Illinois laws (SB 2111) approved in December 2025 and effective June 2026 preempting the City's ability to require minimum off-street residential and most commercial parking requirements within ½ mile of a commuter train station and public bus routes with a 15 minute or less headways. This applies to a sizable portion of the City of Des Plaines.

#### 12-9-4: STACKING SPECIFIC REQUIREMENTS FOR DRIVE-THROUGH FACILITIES:

- A. Required Stacking Spaces:** Every drive-through facility shall provide sufficient off-street stacking spaces to accommodate operations while preventing queues from extending into the public right-of-way, but in no case shall there be fewer than six (6) stacking spaces per facility as measured backward from the menu board, ~~plus one stacking space per waiting area provided.~~ The stacking spaces shall be designed ~~so~~ to not interfere with the ingress and egress of the off street parking provided on the site. (~~Ord. Z-8-98, 9-21-1998~~)
- B. Required Drive-Through Escape Exit Lane:** All drive-through facilities shall include an exit lane between the ordering point and pick-up window that is accessible from all drive-through lanes. The exit lane shall be a minimum of 12 feet in width and designed to not interfere with the ingress and egress of the off street parking provided on the site.

*Staff Commentary:* Staff proposes these text amendments to refine and further calibrate the specific zoning code drive-through facilities regulations. The current regulations have some blind spots regarding escape lanes, minimum drive-through queue length and general need to explicitly state the desire to prevent drive-through facility queueing into adjacent public rights-of-way. The above minor but crucial additions to the drive-through facility operational and site layout regulations will provide clear direction

#### 12-9-6: SPECIFICATIONS FOR OFF STREET PARKING AND OUTSIDE STORAGE AREAS

\* \* \*

##### A. Surfacing And Striping:

- 1.** All off street parking areas, including around the perimeter and interior landscaped islands, and access driveways, shall be fully improved with a hard surface pavement (consisting of a continuous combination concrete curb and gutter, type B-6.12 as specified in Illinois department of transportation, bureau of design, highway standard 2130) as required by the city building code. The curb and gutter shall be located a minimum of three and one-half feet (3<sup>1</sup>/<sub>2</sub>') from any adjacent property line or right of way line.
- 2.** Striping of the surface to define each parking space shall be provided and visible at all times. **Except when accessory to a single-family residential use,** ~~e~~Electric vehicle charging spaces shall be clearly identified through pavement markings, striping, and ~~or~~ symbols indicating their use for charging. Such markings shall be maintained in a visible and legible condition and shall comply with all applicable federal, state, and local regulations. Mobility impaired accessible spaces shall be marked in accordance with Section 12-9-8 of this title.
- 3.** Upon a change in occupancy of any unit within or the transfer of ownership of a non-residentially zoned property, all outside storage areas located on the property shall be modified to meet the following standards: (i) the design and maintenance of the outside storage area must allow for adequate ingress and egress; and (ii) the outside storage area must be fully improved with a hard surface pavement (consisting of a continuous combination concrete curb and gutter located a minimum of three and one-half feet from any adjacent property line or right of way line). No certificate of occupancy will be issued by the city until the outside storage areas comply with this subsection D of this section.

- B. Electric Vehicle Charging Spaces: Electric vehicle charging spaces, **whether standard or mobility impaired accessible off-street parking spaces,** are subject to the same dimension and setback requirements as all other parking spaces, **and must also comply with the specifications below:**

~~provided, however, that mobility impaired accessible parking spaces have priority over electric vehicle charging spaces in proximity and accessible routes to building entrances. A mobility impaired accessible parking space may also serve as an electric vehicle charging space; provided, however, that the minimum number of mobility impaired parking spaces for the facility must first be met by non-charging spaces.~~

The following specifications shall apply to electric vehicle charging spaces:

- ~~1. Electric vehicle charging spaces must be striped with a symbol and lettering to indicate their reservation for charging, and may have a sign not to exceed 1.5 square feet in area designating such reservation mounted to a wall or freestanding post. An electric vehicle charging space that is also a mobility impaired accessible space must fully comply with the specification requirements for accessible spaces.~~
- ~~2. Electric vehicle supply equipment may be located adjacent to the electric vehicle charging spaces. Charging ports shall not exceed eight feet in height.~~
- ~~3. Signage embedded within charging ports is subject to the sign regulations of this title.~~
- ~~4. The installation of electric vehicle supply equipment shall not exempt the parking facility from minimum interior and perimeter landscaping requirements of this title.~~

- 1. Electric vehicle charging spaces shall count toward the minimum parking requirements; provided, however, that no more than five percent of the required off-street parking spaces are utilized for electric vehicle charging spaces.**
- 2. Mobility impaired accessible parking spaces have priority over electric vehicle charging spaces in proximity and accessible routes to building entrances. A mobility impaired accessible parking space may also serve as an electric vehicle charging space; provided, however, that the minimum number of mobility-impaired parking spaces for the facility must first be met by non-charging spaces.**
- 3. All electric vehicle charging equipment associated with an electric vehicle charging space shall comply with all regulations in Section 12-8-17 of this title.**

## 12-9-9: OFF STREET LOADING REQUIREMENTS

\* \* \*

5. Use:
  - a. No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities ~~provided in any residential or commercial district.~~
  - b. Space allocated to any off street loading space shall not be used to satisfy the space requirements for any off street parking facilities or portions thereof.

*Staff Commentary:* Staff proposes to explicitly state the current zoning code's implicit requirements for certain parking space striping and use of loading facilities.

## CHAPTER 13 DEFINITIONS

The following amendments would apply to the zoning code Electric Vehicle Charging Space definition.

### 12-13-3: DEFINITION OF TERMS:

For the purposes of this title, the following terms shall have the following meanings:

\* \* \*

**ELECTRIC VEHICLE CHARGING SPACE:** A marked parking space in a public or private off-street parking facility that provides for the charging of electric vehicles. ~~Electric vehicle charging spaces may fulfill up to five percent of an off street parking requirement and may be adjacent to electric vehicle supply equipment. "Electric Vehicle Charging Space" does not include off street parking directly adjacent to private residential driveways or in private residential garages, where charging technology may also be installed.~~

\* \* \*

*Staff Commentary:* Staff proposes removing specific location and use regulations from the definition as definitions are not the place in a zoning code for use/bulk/location requirements. Consistent with professional best practice, they must be placed elsewhere in the zoning code’s applicable regulatory sections.

**Standards for Text Amendments:**

Consideration of the following standards included in Section 12-3-7.E. of the City Code is required when formulating a recommendation to amend the text of the Zoning Ordinance. Both the PZB & City Council may use the justifications below as their rationale, adopt their own, or reject the amendments based upon these points, however consideration should be based upon sound legislative discretion rather than any one standard.

- 1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the city council;**

The 2019 Comprehensive Plan generally encourages regular (re)examination of our land use regulations to modernize and clarify the zoning code’s use and interpretation. The proposed amendments provide these benefits at the individual property, neighborhood, community-wide levels.

- 2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development;**

The proposed amendments desire clarification and greater calibration of electric vehicle charging equipment and parking regulations and implementation throughout the community. This same intent and execution is embodied in the proposed amendments to the accessory structure/use and drive-through facility regulations.

- 3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;**

The proposed amendments provide clarity for the implementation of private infrastructure and accessory uses/structures.

- 4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction.**

Most of the proposed amendments simply propose clarification and greater calibration of primarily implicitly permitted activities, such as electric vehicle parking and equipment and drive-through facilities. The amendments related to accessory structures is a broad change to the current regulatory scheme but needed to provide more appropriately calibrated accessory structure regulations for a given land use and/or zoning district intensity.

**5. Whether the proposed amendment reflects responsible standards for development and growth.**

The proposed amendments certainly reflect responsible regulation of development and growth as they provide greater clarity and flexibility for existing land uses which currently are quite inflexible and/or not clearly stated.

**PZB Procedure and Recommended Conditions:** Per Section 12-3-7.D.3 of the Code, the PZB has the authority to recommend approval or approval with modification of the proposed text amendments to the City Council. Per Section 12-3-7.D.4 of the Code, City Council has final authority regarding whether to adopt the proposed text amendments to the Zoning Ordinance.

**Attachments:**

Attachment 1 – Proposed Amendments

# Attachment 1 – Proposed Amendments

## 12-7-1: GENERAL DISTRICT REGULATIONS:

\* \* \*

C. Permitted Obstruction In Required Yards: The following structures and uses shall be permitted in the following required yards:

\* \* \*

	Required Yards			
	Front	Side	Rear	Corner Side <sup>1</sup>
Driveways <sup>54</sup>	P	P	P	P
* * *				
<b><u>Electric Vehicle Supply Equipment:</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>
<b><u>Refer to section 12-8-17 of this title for specific regulations</u></b>				
* * *				
Recreational Equipment <sup>2</sup>	<b><u>NP</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>NP</u></b>

\* \* \*

Notes:

1. Corner side yard regulations shall only apply within the R-1, R-2, R-3 and R-4 Districts.
2. There is no limit to the number of recreational equipment items allowed on any lot. However, any recreational equipment that adds impervious surface will count towards the maximum rear yard coverage for properties zoned R-1.
3. Accessory Auto Filling Station Canopies do not have to follow the bulk regulations set forth in section 8-1.C. of this title; provided, however, Accessory Auto Filling Station Canopies may not exceed 25 feet in height.
4. All driveways must comply with the applicable regulations in Section [12-9-6](#) .

\* \* \*

**Bold/underlined** text = proposed new text; ~~struck-through text~~ = proposed omitted text

# Attachment 1 – Proposed Amendments

## 12-7-3: COMMERCIAL DISTRICTS REGULATIONS:

\* \* \*

K. Commercial Use Matrix:

TABLE 3: COMMERCIAL DISTRICTS USE MATRIX

P = Permitted use; C = Conditional use permit required

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
Accessory uses and structures	P	P	P	P	P	P	<u>C</u>

\* \* \*

## 12-8-17: ELECTRIC VEHICLE SUPPLY EQUIPMENT

Electric vehicle supply equipment is permitted in all zoning districts, subject to the regulations set forth above and the following requirements:

A. Quantity: In any district, electric vehicle supply equipment shall be allowed in addition to the total quantity of accessory structures otherwise permitted by Section 12-8-1 as follows:

1. Detached Single-family and Two-Family Residences are permitted one electric vehicle supply equipment pedestal for each dwelling unit.
2. All other uses are permitted multiple electric vehicle supply equipment pedestals provided that the number of electric vehicle charging spaces do not exceed five percent of the total off-street parking spaces.

B. Height Requirement: In any non-residential district or for any non-residential use, electric vehicle supply equipment within any required yard shall not exceed eight feet in height. For residential districts and uses, electrical vehicle supply equipment cannot exceed four feet in height.

C. Minimum Setback: Electric vehicle supply equipment shall be set back a minimum of five feet from any lot line.

D. Location of Equipment: All electric vehicle supply equipment and appurtenances thereto shall be located adjacent to a compliant electric vehicle charging space. All electrical service lines shall be placed underground.

E. Protection: Electric vehicle supply equipment shall be protected from vehicle movements by barrier curbing, steel bollards, or other adequate protection.

F. Signage & Illumination: Any signage embedded within electric vehicle supply equipment is subject to the sign regulations of this title. Signs, advertising, and

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illumination of electric vehicle supply equipment is not permissible for residential districts and uses.

G. Landscaping: The installation of electric vehicle supply equipment shall not exempt the parking facility from minimum interior and perimeter landscaping requirements of this title. Electric vehicle supply equipment installed for residential uses or in residential districts shall be improved with a minimum two-foot-wide landscape bed around its entire base.

H. Maintenance: Electric vehicle supply equipment shall be maintained in a good and safe condition at all times. Every damaged or missing element of any electric vehicle supply equipment shall be repaired or replaced immediately.

I. Accessibility (ADA Compliance): Where electric vehicle charging stations are provided, electric vehicle charging station stalls shall comply with current Federal Americans with Disabilities Act (ADA) requirements, Illinois Accessibility Code regulations, and all other applicable accessibility laws, rules, and regulations. Accessible electric vehicle charging station stalls shall provide an accessible route to the entrance of the primary use and/or the public right-of-way.

\* \* \*

## 12-9-2: GENERAL REQUIREMENTS:

\* \* \*

I. Regardless of the minimum off street parking and loading requirements of Title 12, Chapter 9, all uses must provide parking and loading facilities in a quantity necessary for the safe and compliant operation of the subject land use(s).

\* \* \*

## 12-9-7: OFF STREET PARKING REQUIREMENTS:

The parking and loading requirements applicable in each district are set forth below, except as exempted by State of Illinois law:

\* \* \*

## 12-9-4: ~~STACKING~~ SPECIFIC REQUIREMENTS FOR DRIVE-THROUGH FACILITIES:

A. Required Stacking Spaces: Every drive-through facility shall provide sufficient off-street stacking spaces to accommodate operations while preventing queues from extending into the public right-of-way, but in no case shall there be fewer than six (6) stacking spaces per facility as measured backward from the menu board, ~~plus one stacking space per waiting area provided.~~ The stacking spaces shall be designed so to

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not interfere with the ingress and egress of the off street parking provided on the site. (Ord. Z-8-98, 9-21-1998)

- B. Required Drive-Through Escape Exit Lane: All drive-through facilities shall include an exit lane between the ordering point and pick-up window that is accessible from all drive-through lanes. The exit lane shall be a minimum of 12 feet in width and designed to not interfere with the ingress and egress of the off street parking provided on the site.**

\* \* \*

## 12-9-6: SPECIFICATIONS FOR OFF STREET PARKING AND OUTSIDE STORAGE AREAS

\* \* \*

### A. Surfacing And Striping:

- 1.** All off street parking areas, including around the perimeter and interior landscaped islands, and access driveways, shall be fully improved with a hard surface pavement (consisting of a continuous combination concrete curb and gutter, type B-6.12 as specified in Illinois department of transportation, bureau of design, highway standard 2130) as required by the city building code. The curb and gutter shall be located a minimum of three and one-half feet (3<sup>1/2</sup>') from any adjacent property line or right of way line.
- 2.** Striping of the surface to define each parking space shall be provided and visible at all times. **Except when accessory to a single-family residential use, electric vehicle charging spaces shall be clearly identified through pavement markings, striping, and/or symbols indicating their use for charging. Such markings shall be maintained in a visible and legible condition and shall comply with all applicable federal, state, and local regulations. Mobility impaired accessible spaces shall be marked in accordance with Section 12-9-8 of this title.**
- 3.** Upon a change in occupancy of any unit within or the transfer of ownership of a non-residentially zoned property, all outside storage areas located on the property shall be modified to meet the following standards: (i) the design and maintenance of the outside storage area must allow for adequate ingress and egress; and (ii) the outside storage area must be fully improved with a hard surface pavement (consisting of a continuous combination concrete curb and gutter located a minimum of three and one-half feet from any adjacent property line or right of way line). No certificate of occupancy will be issued by the city until the outside storage areas comply with this subsection D of this section.

- B. Electric Vehicle Charging Spaces: Electric vehicle charging spaces, **whether standard or mobility impaired accessible off-street parking spaces,** are subject to the same dimension and setback requirements as all other parking spaces, **and must also comply with the specifications below;** ~~provided, however, that mobility impaired accessible parking spaces have priority over electric vehicle charging spaces in proximity and~~

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~~accessible routes to building entrances. A mobility impaired accessible parking space may also serve as an electric vehicle charging space; provided, however, that the minimum number of mobility impaired parking spaces for the facility must first be met by non-charging spaces.~~

~~The following specifications shall apply to electric vehicle charging spaces:~~

- ~~1. Electric vehicle charging spaces must be striped with a symbol and lettering to indicate their reservation for charging, and may have a sign not to exceed 1.5 square feet in area designating such reservation mounted to a wall or freestanding post. An electric vehicle charging space that is also a mobility impaired accessible space must fully comply with the specification requirements for accessible spaces.~~
- ~~2. Electric vehicle supply equipment may be located adjacent to the electric vehicle charging spaces. Charging ports shall not exceed eight feet in height.~~
- ~~3. Signage embedded within charging ports is subject to the sign regulations of this title.~~
- ~~4. The installation of electric vehicle supply equipment shall not exempt the parking facility from minimum interior and perimeter landscaping requirements of this title.~~

**1. Electric vehicle charging spaces shall count toward the minimum parking requirements; provided, however, that no more than five percent of the required off-street parking spaces are utilized for electric vehicle charging spaces.**

**2. Mobility impaired accessible parking spaces have priority over electric vehicle charging spaces in proximity and accessible routes to building entrances. A mobility impaired accessible parking space may also serve as an electric vehicle charging space; provided, however, that the minimum number of mobility-impaired parking spaces for the facility must first be met by non-charging spaces.**

**3. All electric vehicle charging equipment associated with an electric vehicle charging space shall comply with all regulations in Section 12-8-17 of this title.**

\* \* \*

## 12-9-9: OFF STREET LOADING REQUIREMENTS

\* \* \*

5. Use:
  - a. No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities ~~provided in any residential or commercial district.~~
  - b. Space allocated to any off street loading space shall not be used to satisfy the space requirements for any off street parking facilities or portions thereof.

\* \* \*

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## **12-13-3: DEFINITION OF TERMS:**

For the purposes of this title, the following terms shall have the following meanings:

\* \* \*

**ELECTRIC VEHICLE CHARGING SPACE:** A marked parking space in a public or private off-street parking facility that provides for the charging of electric vehicles. ~~Electric vehicle charging spaces may fulfill up to five percent of an off-street parking requirement and may be adjacent to electric vehicle supply equipment. "Electric Vehicle Charging Space" does not include off-street parking directly adjacent to private residential driveways or in private residential garages, where charging technology may also be installed.~~

\* \* \*

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