

Planning and Zoning Board Agenda August 26, 2025 Room 102 – 7:00 P.M.

Call to Order and Roll Call

Approval of Minutes: August 12, 2025 PZB Meeting

Public Comment: For matters not on the agenda

General Communications: August 18, 2025 City Council meeting results:

- 1634 E. Oakton St. – CU for Trade Contractor
- Text Amendment regarding rock and gravel use for public utilities
- 570 Northwest Hwy. – CU for Body Art Establishment

Administrative Decisions: 25-048-V – 2009 Fargo Ave – Minor Variation to vary the maximum 4-foot-tall 50% open fence height in a front yard in Section 12-8-2.A.2 permitting a 6-foot-tall solid fence within the front yard of a double frontage lot not abutting an arterial street. – Approved

Pending Applications:

1. **Address:** 1173 Elmhurst Road

Case Number: 25-040-CU

The petitioner requests a conditional use to allow a commercially zoned assembly use in the C-3 General Commercial district, and any other variations, waivers, and zoning relief as may be necessary. **Continued from 8/12/25**

PIN: 08-24-102-013-0000

Petitioner/Owner: 1173 S. Elmhurst Rd LLC (Representative: Hukam Rawat, 1173 Elmhurst Road, Des Plaines, IL 60016)

2. **Address:** 1055 S. Mount Prospect Road & 30 E. Algonquin Road

Case Number: 25-044-TPLAT

The petitioner requests a Tentative Plat of Subdivision to split the existing lot into two lots of record.

PINs: 09-19-101-005-0000

Petitioner: Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

Owner: UOP LLC, P.O. Box 71970, Phoenix, AZ 85050

3. **Address:** 25 and 95 E. Algonquin Road

Case Number: 24-045-TPLAT

The petitioner is requesting a Tentative Plat of Subdivision to consolidate the existing two lots into one lot of record.

PINs: 09-19-300-010-0000; 09-19-300-012-0000

Owner: Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

Petitioner: UOP LLC, P.O. Box 71970, Phoenix, AZ 85050

Adjournment

Next Agenda: Next meeting is Tuesday, September 9, 2025.

Persons with disabilities who require certain accommodations in order to observe or participate in a public meeting or have questions about the accessibility of the public meeting should contact the ADA Coordinator at least 48 hours (or two business days) in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 1420 Miner St., Des Plaines, IL; by telephone at (847) 391-5486; or by email at hr@desplainesil.gov. Notices of this meeting were posted in accordance with the requirements of 5 ILCS 120/1 et. Seq. (Open Meetings Act).



DES PLAINES PLANNING AND ZONING BOARD MEETING
August 12, 2025
MINUTES

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, August 12, 2025, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chairman Szabo called the meeting to order at 7:00 p.m. and a roll call was established.

PRESENT: Catalano, Weaver, Fowler, Zadrozny, Veremis & Szabo
ABSENT: None
ALSO PRESENT: Jonathan Stytz, Senior Planner
Samantha Redman, Senior Planner
Jonathan Mendel, Assistant Director of CED

A quorum was present.

APPROVAL OF MINUTES

The draft July 22, 2025 PZB minutes were reviewed by the PZB.

Member Catalano moved and Member Fowler seconded a motion to approve the July 22, 2025 PZB meeting minutes

AYES: Catalano, Fowler, Zadrozny, Weaver, Veremis, Fallico & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

PUBLIC COMMENT ON NON-AGENDA ITEM

There was no public comment.

GENERAL COMMUNICATIONS

Assistant Director Mendel detailed the City Council's approval of the 581 E. Golf Road day care Conditional Use Ordinance Second Reading. This was on the Consent Agenda and approval without further discussion.

ADMINISTRATIVE DECISIONS

25-043-V – 554 Arlington Ave – Minor Variation to replace an existing detached garage located 0 feet from the rear property line with a new detached garage in the same location, where a minimum 5-foot-setback is required – Approved

Case No. 25-038-V
Case No. 25-040-CU
Case No. 25-042-TA

Major Variations
Conditional Use
Text Amendment

555 Howard Avenue
1173 Elmhurst Road
Citywide

PENDING APPLICATIONS

Chairman Szabo introduced the cases on the agenda.

Addresses: 1173 Elmhurst Road **Case Number:** 25-040-CU

The petitioner requests a conditional use to allow a commercially zoned assembly use in the C-3 General Commercial district, and any other variations, waivers, and zoning relief as may be necessary. Petitioner requested continuance to the August 26, 2025 PZB meeting.

PIN: 08-24-102-013-0000

Petitioner/Owner: 1173 S. Elmhurst Rd LLC (Representative: Hukam Rawat, 1173 Elmhurst Road, Des Plaines, IL 60016)

Petitioner requests a continuance to the August 26, 2025 PZB meeting

Chairman Szabo asked if there was any discussion and there was none.

Member Weaver moved and Member Zadrozny seconded a motion to approve the continuance request to the August 26, 2025 meeting.

AYES: Catalano, Fowler, Zadrozny, Weaver, Fallico, Veremis & Szabo

NAYS: None

ABSTAIN: None

MOTION CARRIED

Address: 555 Howard Avenue **Case Number:** 25-038-V

The petitioner requests major variations to reduce the minimum parking lot and parkway landscaping requirements for a future industrial warehouse use in the M-2 General Manufacturing district, and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-30-400-032-0000 and 09-30-400-002-0000

Petitioner/Owner: Bridge Point Des Plaines LLC (Representative: Jonathan Pozerycki, 9525 W. Bryn Mawr Avenue, Suite 700, Rosemont, IL 60018)

Chairman Szabo swore-in the petitioner team members that may give testimony.

Curt Pascoe, Bridge Construction, (representing the petitioner) outlined his company's history and the details of the nature of their request for various site and parking lot landscaping major variations as outlined in their request submittal as outlined in the meeting agenda packet.

Member Fowler asked how reducing the size of would be considered a hardship.

Curt Pascoe stated that reducing the building because of the easement would cause a hardship not of their making.

Member Weaver asked if the building is designed for general manufacturing as well as logistics and warehousing.

Curt Pascoe stated this building is designed to accommodate a wide range of industrial/manufacturing and logistics uses.

Case No. 25-038-V
Case No. 25-040-CU
Case No. 25-042-TA

Major Variations
Conditional Use
Text Amendment

555 Howard Avenue
1173 Elmhurst Road
Citywide

Senior Planner Jonathan Stytz presented the staff analysis.

Issue: The petitioner requests major variations to reduce the required parkway and parking lot landscaping requirements on the subject property in the M-2 General Manufacturing district at 555 Howard Avenue.

Ward Number: #5, Alderman Thomas Merlin

Existing Zoning: M-2, General Manufacturing District

Existing Land Uses: Vacant Lot (former industrial building)

Surrounding Zoning: North: M-2, General Manufacturing District
South: M-2, General Manufacturing District
East: R-1, Single Family Residential District
West: M-2, General Manufacturing District

Surrounding Land Uses: North: Industrial buildings (Manufacturing)
South: Industrial buildings (Manufacturing)
East: Single Family Residences (Residential)
West: Industrial building (Manufacturing)

Street Classification: Wolf Road is a minor arterial street under Illinois Department of Transportation (IDOT) jurisdiction and Howard Avenue is a local street under City of Des Plaines jurisdiction.

Comprehensive Plan: The Future Land Use map designates this property as industrial.

Property/Zoning History: The subject property was annexed into the City in 1958 as vacant land. It was developed around 1961 with an industrial building and off-street parking areas off Wolf Road¹. The original building was expanded around 1981 and later a second building was added. There is an existing 82.5-foot public utility easement established in 1960 that runs along the entire north property line as illustrated on the attached ALTA/NSPS Land Title Survey, which does not permit the installation of trees or shrubs within the easement boundaries. The subject property has since been purchased by the petitioner and has been razed to make room for a new industrial building. A recent subdivision process was completed to consolidate the two existing lots into one lot of record, which was approved by City Council on July 7, 2025 through Resolution R-138-25.

Major Variations

Request Summary: *Overview*

¹ Historic Aerials. <https://www.historicaerials.com/location/41.625/-87.875/T1890/16>. Retrieved August 5, 2025.

The proposed development on the subject property will be comprised of a 225,604-square-foot industrial building with 64 exterior truck docks, 18 trailer parking spaces, and 199 car parking stalls as described in the attached Project Narrative and illustrated in the attached Geometric Plan. The Geometric Plan illustrates that all of the Howard Avenue southern right-of-way and a majority of the proposed north passenger vehicle parking area is located within the 82.5-foot public utility easement limiting the landscape improvements in these areas.

Due to the northern public utility easement and the space constraints created by the proposed development, the petitioner requests multiple variations to reduce the amount of parkway and parking lot landscaping required as noted in the attached Petitioner's Responses to Standards and listed below.

Requested Variations

Below is a summary of the requirements for each section and denotes where variations are requested for the proposed industrial development:

- A major variation from Section 12-10-7 of the Zoning Ordinance to reduce the required number of parkway trees from 40 to 9;
- A major variation from Section 12-10-8.A.1 of the Zoning Ordinance to reduce the required number of trees in the interior parking lot landscape areas from 33 to 31; and
- Major variations from Section 12-10-8.B of the Zoning Ordinance to:
 - Reduce the required number of shade trees in the perimeter parking lot landscape areas from 72 to 8; and
 - Reduce the required number of shrubs in the perimeter parking lot landscape areas from 412 to 81.

Parkway Landscaping Requirements

Required landscaping improvements in the parkway include the installation of shade and ornamental trees—which shall be placed 40 feet apart for 100 percent of the yard length abutting a street—and turf for all non-paved areas. Groundcover materials and shrub plantings are not required but if they are proposed they must comply with specific height standards and cannot obstruct or interfere with the use of sidewalks or on-street parking areas. The proposal includes the installation of grasses in the north parkway along Howard Avenue, natural turf throughout both parkways, and some shade trees in the east parkway along Wolf Road, as noted in the

Parkway Landscaping (Section 12-10-7)		
Regulation	Required	Proposed
Shade and Ornamental trees shall be placed 40 FT apart for the entire yard length abutting a street	40	9*

****A major variation is required for the number of parkway trees proposed.***

Parking Lot Landscaping Requirements

Parking lot landscaping regulations consist of interior and perimeter parking lot improvements. The table below identifies the required improvements for these landscape areas and how the proposal complies with these standards:

- Perimeter Parking Lot Landscaping: Pursuant to Section 12-10-8.B, a minimum five-foot-wide landscape area shall be installed in the space between the parking spaces and property lines for all parking lots located within a required yard and/or within 20 feet of a lot line.
- Interior Parking Lot Landscaping: Pursuant to Section 12-10-8.A.1, not less than five percent of the interior of a parking lot shall be devoted to landscaping, excluding landscaped areas located along the perimeter of a parking lot beyond the curb or edge of pavement of the lot. These landscape areas must be: (i) located at the end of every parking row and after every 30 parking spaces; (ii) no less than eight feet in width; and (iii) no less than 100 square feet in area.

Perimeter Parking Lot Landscaping (Section 12-10-8.B)		
Regulation	Required	Proposed
One shade tree shall be placed 40 FT apart for the entire perimeter landscape area	72	8*
One shrub shall be placed three feet apart for a minimum of 75% of the yard length	412	81*
Interior Parking Lot Landscaping (Section 12-10-8.A)		
Regulation	Required	Proposed
No less than 5% of the interior parking lot shall be improved with landscaping	3,403 SF	3,403 SF
One shade tree is required for every 100 SF of interior parking lot landscape area	33	31*

****Major Variations are required the number of shade trees and shrubs.***

As illustrated in the attached Landscape Plan, the perimeter landscape areas contain a variety of shade, evergreen, and ornamental trees, with the minority consisting of required shade trees. Additional evergreen and ornamental trees have been proposed in the perimeter parking lot areas in lieu of more shade trees and shrubs. The proposal includes a variety of shrubs along the north, west, and east building elevations with some shade, evergreen, and ornamental trees near the loading dock area. Areas not improved with plantings, surfaces, and buildings, are identified to be improved with natural turf groundcover.

Consideration of Alternatives

Given that the subject property is being redeveloped, there are some alternatives to consider:

- Reduction in the amount of off-street parking spaces: No specific user has been identified at this time. However, the building is designed for use by common industrial and manufacturing uses such as distribution centers, warehousing, and wholesaling. Pursuant to Section 12-9-7 of the Zoning Ordinance, these types of uses require one off-street parking space for every 1,500 square feet of gross floor area. Given the proposed building size, a total of 151 off-street parking spaces are required. There are 199 car spaces proposed, allowing for a reduction of these spaces and more space for required shade trees and shrubs.
- Reduction in the amount of semitruck parking spaces: There are currently 18 semitruck off-street parking spaces in addition to the 68 loading dock spaces proposed with the building. Similar to car off-street parking spaces, a reduction in the existing semitruck parking spaces would provide additional room for more shade tree and shrub plantings with less cost to the developer/petitioner.
- Reduction in the size of the proposed building: This option would allow for a reconfiguration of the site and/or provide much needed space for additional landscaping, specifically required shade trees and shrubs. While smaller, the building itself could still be utilized for a variety of industrial or manufacturing uses permitting a reasonable use of the lot.

Standards for Variation: The following is a discussion of standards for variations from Section 12-3-6(H) of the Zoning Ordinance. Rationale for how the proposed use would satisfy the standards as provided below and in the petitioner's response to standards. The PZB may use this rationale toward its recommendation, amend it, or may make up its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: It is acknowledged that the existing 82.5-foot public utility easement at the north of the subject property with its planting restrictions does limit improvements for a portion of the subject property, which could be construed as a hardship or practical difficulty for the property owner. However, the proposed building on the subject property is expansive—covering almost half of the total property area—which, in addition to required pavement areas, greatly limits the amount of space available to install landscape improvements, arguably more so than the utility easement. The size and positioning of the proposed building could be reduced and/or reconfigured to provide additional space for the necessary landscaping improvements and adequate screening from neighboring uses. Nonetheless, the PZB shall decide.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Comment: The subject property is neither irregular nor substandard in shape and size and does not contain exceptional topographical features. However, the large public utility easement at the north and its specific planting restrictions is a unique physical feature for this site and the neighboring properties located south of Howard Avenue. That said, it should be noted that neighboring properties along the south side of Howard Avenue do contain trees and shrubs in the parkway and perimeter parking lot areas. In addition, the subject property, prior to demolition and grading of the site, contained various trees and larger foliage at its northwest corner. As such, the PZB may ask for additional information regarding the restrictions of the public utility easement and why trees and shrubs were permitted on site and on the neighboring properties.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: While the location, dimensions, and size of the aforementioned northern public utility easement of the subject property are not the result of a known action by the current owner or previous owners, the property was purchased with these attributes. In addition, the proposed development can and should be designed so as to consider all applicable code requirements, including landscaping, to meet the intent of the Zoning Ordinance. Since the subject property is near single family residences and industrial uses are known for more intense and disturbing operations, additional considerations for the development of the site should be taken into account. Nonetheless, see the attached Petitioner's Responses to Standards.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Comment: Carrying out the strict letter of this code for parkway and parking lot landscaping does not necessarily deprive the property owner of substantial rights but rather requires the proposed development on the subject property to be scaled appropriately to comply with all zoning regulations and minimize adverse effects on surrounding properties.

While properties in the M-2 General Manufacturing district are zoned for a variety of different industrial/manufacturing uses, the Zoning Ordinance prescribes a greater abundance of landscaping improvements on these sites so that the more intense operations conducted on site are better screened and adverse effects are reduced. Requiring a new development to be designed to meet the landscape requirements does not, in and of itself, infringe on the property owner's rights or prevent the owner from reasonably utilizing the subject property. While some relief may be warranted given the planting restrictions along the north of the property, the PZB shall consider the extent to which relief of the aforementioned landscape requirements should be granted.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Comment: Granting all variations to the extent requested may be construed as a special privilege given that the new development can be designed to better comply with the landscaping regulations even with the existing northern easement restrictions. The petitioner has amended the landscape plan to place some additional required trees in the parking lot interior and perimeter along the north building elevation and sporadically throughout the remainder of the site, which has lessened the degree of a portion of the variation requests. In addition, efforts have been made to intensify the landscape improvements along the east parking area to better screen the proposed development from the residences across Wolf Road. However, these efforts are greatly limited by the existing site design and building size and does not create ample room for the number of shrubs and large shade trees to be installed. The PZB should consider whether the extent of the requested variations are warranted or if adjustments should be made by the developer to lessen the relief needed.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

Comment: The 2019 Comprehensive Plan discusses the pursuit of promoting the redevelopment of industrial areas and new manufacturing-related businesses. While no specific tenant has been identified at this time, the proposed development is designed for a variety of different types of industrial uses, which aligns with the Comprehensive Plan. While the Comprehensive Plan discusses landscaping holistically in comparison to the specific intent

of the Zoning Ordinance, it does focus on utilizing landscaping and screening installations in a way to beautify and enhance properties throughout the city, especially along major corridors. Nonetheless, the PZB shall decide.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: The *Consideration of Alternatives* section above identifies viable alternatives to the extent of the variations being requested by the petitioner. While staff have discussed options with the petitioner, the petitioner has requested approval of the landscape variations with the current site layout. Given the multiple alternatives available to the petitioner, the PZB may wish to ask why certain alternative designs are not feasible.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The variation requests may not, in staff's opinion, be the minimum measure of relief to address the petitioner's concerns given the development design options available to the developer. Instead, the reconfiguration or size reduction of proposed building on the subject property would better utilize the available lot area for landscaping and meet the applicable city ordinances all while minimizing adverse effects on surrounding properties.

PZB Procedure and Recommended Conditions: Under Section 12-3-6.G.2.b (Procedure for Review and Decision of Major Variations) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve or deny the requests for major variations. Consideration of the requests should be based on a review of the information presented by the petitioner and the findings made above, as specified in Section 12-3-6.H (Standards for Variation) of the Zoning Ordinance.

If the PZB recommends and City Council ultimately approves the requests, staff recommends the following conditions.

Conditions of Approval:

1. The Landscape Plan shall be revised to add a continuous wood mulch landscape bed along the entire perimeter of the north parking area and drive aisle with a variety of grass and perennial plantings not less than 36 inches in height at maturity.
2. The Landscape Plan shall be revised to add a dense and continuous evergreen hedge along the east side of the loading dock area in conformance with Section 12-10-11 of the Zoning Ordinance to ensure the loading dock area is completely screened from view of the street and residences.
3. Prior to the issuance of a business registration for any uses, all landscaping improvements must be installed in compliance with Chapter 10 Landscaping and Screening of the Zoning Ordinance.

Chairman Szabo asked for comments from the PZB members.

Member Weaver asked when the petitioner was made aware of easement and landscaping requirements.

Senior Planner Stytz stated that the easement and landscaping requirements were explained in early 2024 during the tentative plat of subdivision process.

Member Weaver stated, based on staff's statement, that a petitioner would have the easement and landscaping requirements very early in the process.

Member Weaver asked the staff if the north façade of the proposed building was moved further south, then how much would the building's area be reduced?

Senior Planner Stytz stated staff did not perform this analysis and that the petitioner could address this question.

Member Weaver stated the intent with their question is to address staff's suggested alternative methods for compliance. He also stated he wishes to know how that affects the size of the proposed building.

Curt Pascoe stated that his firm was aware of the easement early in the process. He also stated that reducing the area of the proposed building to provide the site area to provide compliant landscaping would result in the significant and uneconomic reduction in the proposed building's size.

Member Weaver asked the Petitioner about their justification for 199 vehicle parking when that is much more than required.

Curt Pascoe stated that the number is intended to accommodate tenants with a higher employee count in order to provide more future use and occupancy flexibility.

Member Fallico stated that there are about 49 extra vehicle parking spaces and whether reducing the number of parking spaces would provide more area for site and parking landscaping.

Curt Pascoe stated that removing parking along the Howard Street frontage is possible in the easement, but no additional trees or shrubs could be installed within the easement.

Member Fallico asked staff if more landscaping such as alternative landscaping could be planted within the easement instead of trees.

Senior Planner Stytz stated grasses and perennials could be planted in this easement and the Petitioner proposes doing this.

Curt Pascoe stated they are proposing extensive landscaping along Howard Ave.

Member Veremis asked where the evergreen trees are proposed.

Curt Pascoe stated that the evergreen trees are adjacent to Wolf Rd and in the NW and SW corners of the site.

Member Fowler stated it would be more understandable to focus landscaping onto the Wolf Rd side of the property which faces the residential on the east side of Wolf Rd.

Curt Pascoe stated they are planning to move as much landscaping to the Wolf Rd frontage as possible.

Case No. 25-038-V
Case No. 25-040-CU
Case No. 25-042-TA

Major Variations
Conditional Use
Text Amendment

555 Howard Avenue
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Citywide

Senior Planner Stytz stated the minimum landscaping buffer requirements.

Chairman Szabo if there is a landscaping expert attending tonight.

Kathryn Talty (Petitioner's landscape architect) was present and sworn in.

Chairman Szabo asked if the tree restrictions within the easement may be due to root invasion.

Kathryn Talty stated that the easement restriction is universal. To comply with the easement and the zoning code requirements, they are proposing to plant tall grasses in the easement and relocating as many evergreen trees along the Wolf Rd frontage.

Member Veremis asked if there has been any communication from residents to the City or the Petitioner.

Senior Planner stated there have been no comments directed to staff.

Member Weaver asked if existing trees in the easement are nonconforming throughout the other portions of the easement's ROW east and west of the subject property.

Senior Planner Stytz stated he is unaware of whether landscaping in the easement outside of this subject property were formally permitted or not.

Andrew Scott (Attorney for the Petitioner) asked that the PZB consider the third recommended condition be reconsidered to permit more time for business registration, in the event additional time is needed outside of the planting season. For instance, allowing a tenant to occupy the building in winter before the site landscaping is completed and approved.

Curt Pascoe stated there doesn't appear to be parkway trees within the parkway on the east side of the Wolf Rd ROW. He stated they could plant trees within the east side of the Wolf Rd ROW.

Asst. Dir Jonathan Mendel stated that PZB should be cautious regarding this suggestion from the Petitioner as this idea has not been reviewed by the City's PWE Dept and/or IDOT.

Curt Pascoe agreed that such a planting scheme would need to be guided by surveying for underground utilities and review/approval by applicable government agencies. Alternatively, they could plant more foundation landscaping within the east side of the subject site plan.

Member Fallico asked the Petitioner about the evergreen trees throughout the site, and if there is an intent to create an evergreen screening hedge.

Senior Planner Stytz stated the intent is to plant an evergreen opaque screen in that area of the site and the PZB could require more is so desired through a condition of approval.

There were no additional comments or questions from the PZB or comments from the public.

Member Weaver made a motion to recommend approval of the major variations for site landscaping and staff generated conditions of approval with an amended sentence to the proposed third recommended condition of approval stating, "unless applicable winter weather conditions would necessitate a delay in plantings".

Member Fowler asked to place an additional timeframe limitation on the amended third condition of approval. There was discussion among the Petitioner, PZB and Asst Dir Mendel also provided discussion.

Case No. 25-038-V Major Variations 555 Howard Avenue
Case No. 25-040-CU Conditional Use 1173 Elmhurst Road
Case No. 25-042-TA Text Amendment Citywide

The PZB decided that “late Spring time” would be satisfactory and further amended the third condition of approval “unless applicable winter weather conditions would necessitate a delay in plantings but no later than June 21”.

Member Weaver moved and Member Catalano seconded a motion to recommend approval of the major variations, with the two staff generated conditions of approval and the amended language for the third condition of approval to state, “unless applicable winter weather conditions would necessitate a delay in plantings no later than June 21st.”

AYES: Catalano, Fowler, Zadrozny, Weaver, Veremis & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

Chairman Szabo introduced the next case on the agenda. Senior Planner Redman provided the staff report for this item.

Address: Citywide **Case Number:** 25-042-TA

The petitioner requests text amendments to the Zoning Ordinance related to applicability of Section 12-3-11 Building Design Standards and permitted materials for single-family and two-family residential.

Petitioner: City of Des Plaines

Chairman Szabo directed meeting to Senior Planner Sam Redman and she presented the staff analysis.

Issue: Consider Zoning Ordinance amendments to amend Section 12-3-11 to modify the applicability requirements for single-family and two-family residences, and other minor clean-up of text in this section.

Background

At its April 22, 2025 meeting, the Planning and Zoning Board (PZB) discussed Section 12-3-11, Building Design Review Standards, which regulates the appearance of buildings within the City. Based on this discussion, the Board directed staff to prepare amendments to improve requirements. The following proposed amendments are devoted to single-family and two-family residential buildings.

As discussed at the meeting, under the current code, additions exceeding 15 percent of the existing floor area or changes to any street-facing elevation require the entire building to comply with these standards. For example, a home clad with siding with a larger than 15% addition would be required to add a masonry material on all elevations. For older homes, particularly those built before the standards were adopted, meeting the masonry requirement can create significant structural and financial challenges. Many homeowners recently have preferred to expand and improve their homes rather than move to larger, newer houses in other communities. For the City of Des Plaines, this creates a positive feedback loop that fosters community cohesion, neighborhood stability, and ongoing reinvestment

Minor variations have provided a path to allow these projects to proceed, but creates an additional process and do not have a guarantee of approval. Between 2023 and 2025, twenty-three minor variations related to these requirements were reviewed, primarily involving additions or renovations to single-family detached homes. Most were approved, often with conditions designed to promote harmonious integration with the existing structure and neighborhood. All requests must demonstrate hardship to the satisfaction of the Zoning Administrator. An additional benefit of the proposed amendments is a potential reduction in zoning caseload, allowing planning staff to devote more time and resources to other priorities.

Overview of Existing Building Design Review Standards for Single Family Residences

The Building Design Review standards generally regulate four things on a building: entrances, windows/transparency, blank walls, and exterior building facade materials. Below summarizes the various components of the code related to single family residences, although the code more broadly applies to most building types.

Applicability

The Building Design Review Standards do not apply to every building permit or development review, but apply in the below circumstances:

1. New construction of a principal structure
2. Appearance altering renovations to the front or corner facades of a principal structure; and
3. Additions to principal structures resulting in greater than fifteen percent (15%) change of gross floor area.

Materials

An emphasis on encouraging masonry materials is prevalent in this section of the Zoning Ordinance. Single-family detached houses have the following requirements:

- Single Story: 100% face brick, natural stone, or anchored or adhered masonry veneer on all exterior elevations
- Multi Story:
 - Ground story and street facing elevations: 100% face brick on all ground floor and first floor street facing elevations.
 - Ground story and not street-facing elevation: Face brick a minimum of eight feet (8') from the top of foundation. Natural stone, face brick, and anchored or adhered masonry veneer permitted on the remaining portion of the not street-facing ground story elevations above eight feet (8') from top of foundation.
 - Upper story: Ground story materials, plus painted or stained wood, vinyl siding, or fiber cement board

Transparency and Blank Wall Requirements

A minimum amount of window or glass area—referred to as *transparency*—is required on street-facing façades. The intent of this code section is to prevent blank, monotonous walls facing streets. For single-family detached houses, 15% of the street-facing facades must include transparency. In addition, there are limits on the amount of blank walls (i.e. windowless areas) allowed.

Building Design Review Process

Building design review standards are typically enforced during building permit reviews. Zoning Staff review permits for both new construction and additions that trigger the applicability requirements for the Building Design Review standards. The Staff Design Review Committee reviews any new permit submitted where these standards are applicable. The “Zoning Administrator” has historically been the Director of Community and Economic Development, although occasionally it has been designated to another staff member when this position is vacant.

Minor variations may be granted in two scenarios: (1) for single-family detached homes, the Zoning Administrator may approve the variation directly; and (2) for all other building types, the Zoning Administrator may grant the variation with a recommendation from the Staff Design Review Committee. When a variation is approved, conditions may be attached, such as requiring specific substitute materials or colors, or limiting the variation to certain portions of the building. The Zoning Administrator may also approve a reduced version of the requested relief. For example, if an applicant requests that an entire building addition be clad in vinyl siding, the variation may allow vinyl on non-street-facing elevations while requiring masonry on the front elevation.

Proposed Amendments

Staff proposes amending the applicability provisions for single-family and two-family residential buildings to ensure that only significant alterations are required to meet the Building Design Standards. Currently standards apply to all building types; however, the amendments divide applicability into two separate categories, as a single-family or two-family residential dwelling is a different scale of project than other types of developments.

1. **Detached Single-Family Residential and Two-Family Residential Dwellings**
 - a. **Construction of a new principal structure; and**
 - b. Additions to principal structures resulting in greater than a ~~fifteen percent (15%)~~ **fifty percent 50%** change of ~~gross~~ **conditioned** floor area.
2. **All Others**
 - a. **Construction of a new principal structure;**
 - b. **Appearance altering renovations to the front or corner facades of a principal structure.**
 - c. **Additions to principal structures resulting in greater than a fifteen percent 15% change of ~~gross~~ conditioned floor area as defined by the City of Des Plaines building code.**

Rationale for Amendments

Under the proposed language, the Building Design Standards would apply to new houses or to projects that substantially increase building size, defined as more than 50 percent, with two-family dwellings (duplexes) explicitly added to ensure consistency with other sections of the Zoning Ordinance. The change from “gross” to “conditioned” floor area further refines applicability by

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Case No. 25-040-CU
Case No. 25-042-TA

Major Variations
Conditional Use
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focusing on enclosed, climate-controlled space. This adjustment prevents the standards from being triggered by improvements such as porches, decks, or small additions like sunrooms, which are not true living space and typically do not meaningfully alter a building's overall design.

Staff also recommends removing the requirement that any alteration to a front or corner façade must comply with the Building Design Standards. Common examples include the addition of a new open front porch to a house that previously lacked one, or the reconfiguration of window placements to align with interior floor plan renovations. Under current regulations, such changes trigger either full compliance or the need for a minor variation request.

This requirement is not reflective of the existing conditions of residential properties in the city. Cook County data shows that only 33.6 percent of residential buildings in Des Plaines are full masonry, while 40.7 percent are a mix of wood and masonry and 24.8 percent are entirely wood.² For many homeowners, meeting masonry requirements in these situations can be prohibitively expensive, discouraging reinvestment in the housing stock. In addition, these requirements can unintentionally compromise the integrity of historic architectural styles by encouraging alterations that could be incompatible with a building's original design or materials.

Together, these amendments are intended to focus design review on projects that truly reshape a building's scale or appearance, while removing regulatory barriers that can impose unnecessary costs. In the context of rising interest rates for new mortgages and ongoing housing affordability concerns, this approach supports home improvement and neighborhood reinvestment without compromising the City's design objectives.

Finally, staff suggest a few minor clean-up amendments. In particular, the below section of code appeared to unintentionally omit other permitted masonry types of multi-story/level single family houses. The amendment expands the allowable materials to include the other masonry types permitted on single-story houses.

Standards for Text Amendments:

The following is a discussion of standards for zoning amendments from Section 12-3-7.E. of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided. The PZB may use the statements below as its rationale or adopt its own.

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the city council;

The 2019 Comprehensive Plan calls for modernizing development regulations to reflect the existing character of the community, promote a harmonious appearance, and remove unnecessary barriers to property reinvestment. The proposed amendments directly support these goals by refining the applicability of the Building Design Standards so they are triggered only by substantial changes to a building's size or form, rather than by minor improvements. This approach aligns with the Comprehensive Plan's emphasis on maintaining neighborhood

² [Cook County Assessor's Office "Residential Property Characteristics" Data, Updated May 11, 2022,](https://datacatalog.cookcountyil.gov/stories/s/p2kt-hk36)
<https://datacatalog.cookcountyil.gov/stories/s/p2kt-hk36>

character while encouraging property owners to invest in and improve their homes. The amendments advance the Plan's objective of fostering high-quality, context-sensitive development that is both feasible for property owners and beneficial to the broader community.

2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development;

The proposed amendment is compatible with current conditions and aligns with the overall character of existing development within the City. The current housing stock is not uniformly constructed with the materials currently required, and these standards can create unnecessary cost barriers for homeowners seeking to repair, renovate, or expand their homes. By focusing applicability on projects that substantially change building size, the amendments preserve the City's overall character while removing barriers to common residential improvements and additions.

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;

All proposed amendments are not anticipated to negatively impact public facilities and available services.

4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and

The amendments are intended to lessen regulatory restrictions and encourage reinvestment in residential properties, which can have a positive effect on property values over time. By removing unnecessary triggers for full compliance with the Building Design Standards, the amendments make it more feasible for property owners to undertake improvements that enhance the functionality, appearance, and marketability of their homes. The focus on substantial alterations, rather than minor projects such as porches, decks, or small additions, preserves the City's design objectives while reducing the risk of discouraging desirable investment in the housing stock.

5. Whether the proposed amendment reflects responsible standards for development and growth.

By refining applicability to substantial changes in building size, the amendments ensure that review resources are directed toward projects with the greatest potential to affect neighborhood character. At the same time, they remove regulatory barriers that can impose unnecessary costs, discourage reinvestment, or lead to alterations incompatible with historic architectural styles. This balanced approach supports orderly growth, maintains community character, and promotes long-term housing affordability.

PZB Procedure and Recommended Conditions: Under Section 12-3-7.C.3 of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve with modifications, or deny the above-mentioned amendments. City Council has final authority on the proposal.

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Senior Planner Redman provided several examples of properties that have received minor variations related to the section being amended.

Chairman Szabo stated that he is receptive to the proposed text amendments, provided the existing material requirements still apply to new construction in order to maintain 'quality' exterior materials. He stated an example of another community that includes new housing with predominantly siding and communicated dislike of this material and style.

Chairman Szabo asked about one of the examples in the staff presentation and whether the owner could have been persuaded by staff to add brick on the building.

Senior Planner Redman clarified that with the minor variation process, staff reviews the neighborhood context when deciding a minor variation request. The front area comprised of a mixture of siding and masonry was pre-existing, the minor variation was granted for a rear addition.

Member Weaver asked with the current regulation if the addition must comply if it is over 15%.

Member Fowler asked for clarification if 15% triggers the requirement, but 50% does not.

Senior Planner Redman stated currently 15% is the threshold for requiring compliance with these standards, but the proposed change to this section of the ordinance would state that an addition of 50% or more would trigger these requirements.

Member Fallico asked if a fire sprinkler is required if it is an over 50% addition.

Senior Planner Redman stated the project would need to follow building regulations as that is a building code issue, not a zoning issue.

Senior Planner Redman believes the 50% threshold is similar to new construction, in the sense that it is a more substantial modification to the building than the current 15% requirement.

Asst. Dir. Mendel stated it is greater than 50% expansion of the entire floor area of the subject property.

Chairman Szabo asked how staff arrived at 50% as the new threshold.

Senior Planner Redman state it is a round number and most similar to new construction as a substantial alteration to a building.

Member Weaver states that that 50% is a common round number to use and a reasonable order of magnitude.

Member Fowler asked if a minor variation is still available and 50% seems reasonable and staff would review a minor variation in context with the adjacent neighborhood character.

Senior Planner Redman stated there is still the ability to request a minor variation which is reviewed administratively

Chairman Szabo stated he believes 50% is too high and allows for too much variability and potential for 'inappropriate' use of materials.

Member Veremis asked what other municipalities require and whether garages are included in these calculations.

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Senior Planner Redman stated staff did not research surrounding communities ordinances extensively, but staff does know that several comparable communities have an appointed design review entity that reviews proposals on a case-by-case basis. Additionally, attached garages are part of this applicability calculation.

Member Fowler asked if a house with a breezeway to an attached garage counts as part of the principal building.

Staff stated that this would count as an attached garage and would be subject to the existing standards.

Senior Planner Stytz reiterated that the lot coverage still applies and staff feels the proposed “greater than 50%” standard for building design review applicability is a reasonable threshold.

Chairman Szabo asked for any public comment and there was none.

Member Weaver moved and Member Fowler seconded a motion to recommend City Council approval of the requested text amendments as proposed.

AYES: Catalano, Fowler, Zadrozny, Weaver, Veremis & Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

ADJOURNMENT

Chairman Szabo adjourned the meeting by affirmative voice vote at 8:16 p.m.

Sincerely,
Jonathan Mendel, CED Assistant Director/Recording Secretary
cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners



MEMORANDUM

Date: August 22, 2025
To: Planning and Zoning Board (PZB)
From: Jonathan Stytz, AICP, Senior Planner JS
Cc: Jonathan Mendel, AICP, Assistant Director of Community and Economic Development
Jeff Rogers, AICP, Director of Community and Economic Development JR
Subject: Consideration of a Conditional Use for a Commercially Zoned Assembly Use at 1173 Elmhurst Road, Case #25-040-CU

Issue: The petitioner requests a conditional use for a Commercially Zoned Assembly Use on the subject property in the C-3 General Commercial district.

Petitioner/Owner: 1173 S. Elmhurst Rd LLC (Representative: Hukam Rawat, 1173 Elmhurst Road, Des Plaines, IL 60016)
Case Number: #25-040-CU
PIN: 08-24-102-013-0000
Ward Number: #8, Alderman Mike Charewicz
Existing Zoning: C-3, General Commercial
Existing Land Use: Shopping Center with Off-Street Parking Area
Surrounding Zoning: North: C-3, General Commercial District (City of Des Plaines)
South: C-3, General Commercial District (City of Des Plaines)
East: R-3, Townhouse Residential District (City of Des Plaines)
West: B3, Community Shopping District (Village of Mount Prospect)
Surrounding Land Uses: North: Medical Office/Pharmacy (commercial) and Food Pantry (commercial)
South: Shopping Center (commercial)
East: Townhouses (residential)
West: Vacant Lot
Street Classification: Elmhurst Road is classified as an Other Principal Arterial road under the Illinois Department of Transportation (IDOT) jurisdiction.
Comprehensive Plan: The Comprehensive Plan designates this site as commercial.

Property/Zoning History: The subject property was annexed into the City in 1973 as a commercial building with an off-street parking area¹. Today, the subject property consists of a commercial shopping center building with four tenant spaces addressed 1167-1173 Elmhurst Road. While there have been no entitlements associated with 1173 Elmhurst Road, there have been two entitlements associated with the subject property: (i) a conditional use for a commercial driving school at 1169 Elmhurst Road, approved March 31, 2010 by Ordinance Z-4-10; and (ii) a conditional use for a Class B restaurant at 1167 Elmhurst Road, approved May 17, 2010 by Ordinance Z-11-10. The commercial driving school business has since been replaced by a retail goods establishment. However, the Class B restaurant is still in operation today.

CONDITIONAL USE

Request Description:

Overview

The petitioner requests a conditional use to operate a Commercially Zoned Assembly Use as described in the attached Project Narrative. A Commercially Zoned Assembly Use, as defined below, is a conditional use in the C-3 district.

COMMERCIALLY ZONED ASSEMBLY USES: A use that is primarily for the purpose of the assembly of people, which can contain a combination of uses that take place in both principal and accessory structures. Such uses include: commercial theater, banquet halls, nightclubs, church, synagogue, temple, meeting house, mosque, or other place of worship. For allowable accessory uses, refer to the specific land uses defined in this chapter. Such uses shall adhere to the off street parking requirements under "assembly uses" (Section 12-13-3 of the Zoning Ordinance).

The subject property consists of one 15,088-square foot interior lot located along the east side of Elmhurst Road near the Elmhurst Road/Holiday Lane intersection. It is currently developed with a four-tenant commercial building with an improved off-street parking area as illustrated on the attached Plat of Survey. The proposed Commercially Zoned Assembly Use would occupy the far south tenant space of the building—addressed as 1173 Elmhurst Road—with one main entry point in the front of the building facing Elmhurst Road.

Proposed Operations

Based on the attached Project Narrative, this space would be available to rent as a meeting or event space daily for up to six hours beginning at 12:00 P.M. All proposed gatherings must end by 10:30 P.M. daily. The petitioner intends to have a maximum of 48 patrons and six staff members in this space at a given time, with the number of staff members contingent on the size of the assembly. The petitioner has noted that no food or beverages will be provided for this space, but patrons can bring their own food and beverage items with the exception of alcohol, which is not permitted at any time. It is also noted that the Rasoi Restaurant located in the shopping center building on site and operated by the petitioner will, if requested, provide food and non-alcoholic beverages in proper containers. However, staff have recommended a condition that Rasoi Restaurant shall only cater events occurring at this Commercially Zoned Assembly use in compliance with Title 5 (Public Health and Safety) of the City Code of Des Plaines, Illinois.

¹ <https://www.historicaerials.com/location/41.625/-87.875/T1890/16>. Retrieved July 31, 2025.

Floor Plan and Elevations

The existing 1,224-square-foot one-story tenant space at 1173 Elmhurst Road consists of a large open area with a single restroom, mechanical room, and two storage rooms tucked in the back of the space as illustrated in the attached Existing and Proposed Floor Plan. The proposal maintains much of the current layout with some remodeling including the replacement of the single restroom with two single stall restrooms and shifting of one storage area to the rear building wall. The large front area will remain as is and will be used for tables and chairs related to the future meetings and/or events. There is no plan to enlarge or alter the existing perimeter walls of the existing tenant space. See the attached Existing and Proposed Floor Plan for additional details.

Access and Circulation

There is a single 31.5-foot-wide two-way travel access point for the subject property from Elmhurst Road, which is bisected by a pole sign as illustrated in the attached Site and Context Photos. Section 12-9-6 of the Zoning Ordinance requires drive aisles to be a minimum of 22 feet in width for two-way travel and the existing curb cut is compliant. While the existing curb cut will remain as is without any changes, the petitioner has proposed replacing the existing pole sign with a new pole sign located in line with the north row of parking spaces as noted on the attached Site Plan to address access and circulation concerns on the subject property. Staff have recommended a condition requiring the existing pole sign to be replaced with a new sign located outside of the drive aisle and in compliance with all applicable sign regulations.

Off-Street Parking

Sections 12-9-7 and 12-9-8 of the Zoning Ordinance govern the number of off-street standard and accessible parking spaces required based on the property’s uses. While there is a standard off-street parking requirement for shopping centers, it is noted in the commercially zoned assembly uses definition that assembly uses shall conform with a specific off-street parking requirement for assembly uses. The applicable off-street parking regulations and required number of spaces for the subject property are summarized in the table below.

Required Off-Street Parking Calculations		
Use	Parking Regulation	# of Required Spaces
Shopping Centers	3 spaces for every 1,000 SF of gross floor area	13 spaces
Assembly Use (Banquet Hall)	1 space for every 200 SF of gross activity area	5 spaces
Total Number of Required Off-Street Spaces		18 spaces

Based on the attached Site Plan, a total of 22 spaces, including two accessible spaces, are available on the subject property. The accessible spaces are proposed at the southwest corner of the building but are not dimensioned. The remaining spaces comply with Section 12-9-6 of the Ordinance as required. Staff recommend a condition requiring the resurfacing and re-striping of the existing parking area in compliance with City Code Title 12, Chapter 9 Off-Street Parking and Loading Facilities to ensure that off-street spaces and drive aisles are clearly marked and will not be blocked at any time for any reason.

Landscaping and Screening

The existing property effectively has no site landscaping and the attached Site Plan does not show any proposed landscape improvements on the subject property, which is not compliant with City Code Title 12, Chapter 10 Landscaping and Screening. However, as part of the conditional use request, staff have recommended a condition of approval to address the intensification of uses on site and bring the property more in conformance including a landscape buffer, pole sign landscaping, and parking lot landscaping:

- Landscape Buffer: The subject property directly abuts a residential property to the east requiring a landscape buffer in conformance with Section 12-10-9 of the Zoning Ordinance. A C-3-zoned property abutting a residential district or use must provide a minimum five-foot-wide landscape buffer containing shade trees planted every 30 feet, a solid eight-foot-tall fence, and turf or other ground cover along 100 percent of the property boundary that abuts the residential district.
- Pole Sign Landscaping: The current pole sign location is not ideal for the current uses on site and should be relocated outside of the drive aisle area to better accommodate the proposed assembly use, which will generate additional traffic and require better site access than what is currently available. All pole and monument signs require a minimum three-foot-wide landscape bed around its base populated with shrubs and perennials.
- Parking Lot Landscaping: While the paved parking lot is existing, the intensification of uses on the subject property warrants landscaping improvements to this area. Section 12-10-8 of the Zoning Ordinance requires landscaping improvements for both the interior and perimeter of the parking lot. However, given the limited space available on site for these improvements, an eight-foot-wide interior parking lot landscape bed should be installed at the western end of both parking rows on site with the required improvements identified in Section 12-10-8.

Standards for Conditional Use: Conditional Use requests are subject to the standards set forth in Section 12-3- 4(E) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the attached Petitioner Responses to Standards. For its rationale, the Board may use the responses provided as written, modify them, or adopt its own.

1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed operations in the tenant space are classified under a banquet hall/meeting room. These types of services are included as Commercially Zoned Assembly uses, which require a Conditional Use as specified in Section 12-7-3.K of the Zoning Ordinance for properties in the C-3 District.

2. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

Comment: The Comprehensive Plan designates this property as *commercial* land use, which includes retail, office, and service-oriented uses that primarily serve day-to-day needs of local residents. That proposed assembly use is consistent with the objectives of the Comprehensive Plan. Nonetheless, the PZB should decide.

- 3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:**

Comment: The proposed use is consistent with the high intensity commercial character of the surrounding Elmhurst Road neighborhood.

- 4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:**

Comment: The proposed assembly use activities will occur on site, which, depending on its operation, may not be disturbing or hazardous to surrounding uses, since the proposed operations are limited to six hours in length starting at 12:00 P.M. to 10:30 P.M. to minimize any disturbances during early and late hours of the day.

- 5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:**

Comment: The subject property is adequately served by essential public facilities and services. Given that the proposed use will be located within the existing shopping center building, staff do not have concerns that this use will impact the essential public facilities and services that are currently serving the subject property.

- 6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:**

Comment: The current shopping center does not necessarily create a burden on public facilities and is not detrimental to the economic well-being of the community. While there is no indication that the proposed assembly use will have negative economic impact on the community or create the need for additional City services, considerations should be made regarding parking, access, and circulation for this type of use to ensure that the single property access point and off-street parking area are sufficient for both the assembly and shopping center use.

- 7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:**

Comment: There is no indication that the proposed assembly use activities will create excessive smoke fumes, glare, and odors. However, there are noise and traffic impacts that can be attributed to assembly uses and should be thoroughly considered prior to the approval of this use despite there being code compliant parking supply on the property. Nonetheless, the PZB shall decide.

- 8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:**

Comment: The proposal utilizes the existing curb cut on the subject property and existing off-street parking area to not increase any interferences with traffic on surrounding public thoroughfares. The proposed improvements to the existing drive aisle and the off-street parking area will assist in more efficient traffic movements on site and therefore have fewer potential impacts on Elmhurst Road. However, the location and design of the existing pole sign bisects the single drive aisle and interferes with traffic access and circulation. The replacement of this sign with a new sign located in line with the north parking row would alleviate these concerns and improve the accessibility and circulation of the site.

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The proposal would not cause the destruction, loss, or damage of any natural, scenic, or historic features of major importance. The building and site were already developed for commercial use.

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: This proposal with the aforementioned adjustments will meet all other requirements of the Zoning Ordinance for the C-3 General Commercial District.

PZB Procedure and Recommended Conditions: Under Section 12-3-4.D (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve or deny requested Commercially Zoned Assembly use. Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4.E (Standards for Conditional Use) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the requests, staff recommends the following conditions.

Conditions of Approval:

1. The Rasoi Restaurant shall only cater events occurring at this Commercially Zoned Assembly use in compliance with Title 5 (Public Health and Safety) of the City Code of Des Plaines, Illinois.
2. The existing pole sign must be removed and replaced by a new compliant shopping center sign located at the end of the north parking row in compliance with all City codes.
3. The existing off-street parking area is resurfaced and re-striped to clearly show all designated parking spaces and drive aisles in conformance with City Code Title 12, Chapter 9 Off-Street Parking and Loading Facilities.
4. Prior to business registration for the assembly use, the following landscaping improvements must be installed on the subject property in compliance with City Code Title 12, Chapter 10 Landscaping and Screening:
 - a. An interior parking lot landscape bed shall be installed between each parking row and the west property line;
 - b. A minimum 3-foot-wide landscape bed shall be installed around the base of the new ground sign with shrubs and perennials; and
 - c. A minimum five-foot-wide landscape buffer area between the existing building and the east property line must be installed for 100 percent of the east property line.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: Photos of Existing Conditions
- Attachment 4: Plat of Survey
- Attachment 5: Petitioner's Responses to Standards
- Attachment 6: Project Narrative
- Attachment 7: Site Plan
- Attachment 8: Floor Plan and Elevations



83

83

Elmhurst Rd

Elmhurst Rd

Holiday Ln

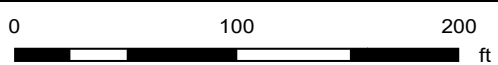
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1167-1173



Print Date: 8/22/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



1173 Elmhurst Rd – Public Notice Sign Along Elmhurst Road



1173 Elmhurst Rd – Existing Parking Area and Pole Sign



1173 Elmhurst Rd – Front of Building, Facing Tenant Space



1173 Elmhurst Rd – Facing West at Property Entrance

**REVISED
RESPONSE TO STANDARDS FOR
CONDITIONAL USE**

1. We propose to use the space as a meeting and event room. Our goal market will be for groups to hold seminars and individuals to host events such as showers, birthday parties, celebrations, etc. We currently plan to limit the size of groups to 48 or less. Groups may bring their own food and drink, but no alcohol shall be allowed. The contemplated use is C-3 and handicapped striping parking as required will be added.

2. The use is consistent with other businesses located in the same zoning classification and will provide the community with an option for parties and meetings. The business will provide options to businesses and residents to hold parties and meetings, and is similar to other existing businesses that provide meetings space, such as hotels, banquet halls and restaurants, but ideally suited to smaller groups and at a cheaper price point.

3. The site is located in a strip shopping center and the façade and space are consistent with other surrounding spaces. All functions will begin no earlier than noon. South of the property is another strip mall and north of the property is currently vacant.

4. The site is located in a commercial strip along a portion of Elmhurst Road that is all commercial. There is no residential property abutting the property except for houses facing the rear of the site.

5. The site is located on Elmhurst Road, a four-lane street with easy access. Pace Bus service also serves the site. The proposed use will not require any improvements of the public way or negatively affect police, fire and other Village services.

6. The proposed use will not require the operation of any special machinery and will not create excessive noise or noxious odors.

7. The site has a driveway onto Elmhurst Road and on-site parking. The use is not expected to increase traffic nor adversely affect the residential property to the east. There is currently a monument sign on Elmhurst Road.


8. The proposed use does not alter the existing building or site.

9. The use complies with all zoning requirements.

10. The proposed use is in conformance with all addition regulations set forth in regulations specific to the conditional use.

Dated: ~~June~~ ^{Aug} 6, 2025

1173 ELMHURST RD. INC.

By: 
Its President

**REVISED
PROJECT NARRATIVE
FOR
1173 ELMHURST ROAD**

We believe there is an unmet need for a reasonably priced meeting space for small groups in Des Plaines. We will offer an alternative to pricey hotel meeting rooms and restaurant spaces. For small groups of 48 or less, this will provide a cheaper alternative. Our target groups include business seminars, small bridal showers, birthday parties, retirement parties, and family reunions.

The space will be freshly painted, and the washroom updated. New tables chairs and tables will be purchased.

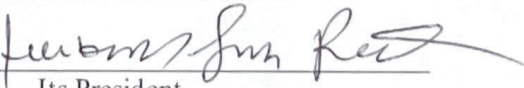
The improvements to the exterior space will consist of new signage on windows. No upgrade to parking lot and landscaping are planned.

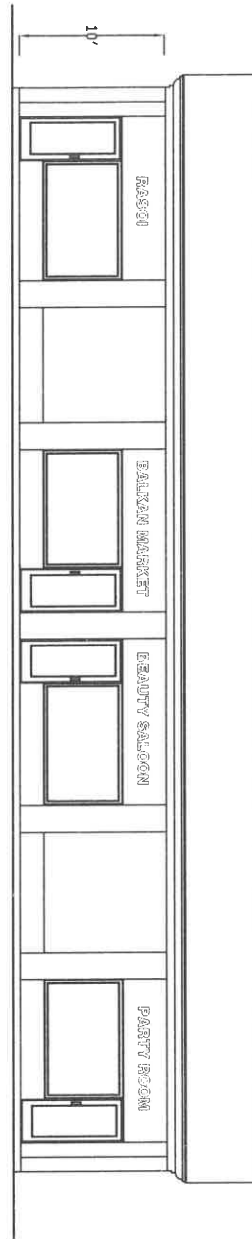
We will offer space for rental for up to six hours. The space will be available to rent beginning at 12:00 P.M. All events must end by 10:30 P.M.

No food or beverages will be provided but individuals may supply their own, except alcoholic beverages will not be allowed. Rasoi Restaurant, if requested, will provide food and non-alcoholic beverages by delivery of food in proper containers with all safety protocols followed.

We expect the staff will vary from 2 to six depending on the size and staff of the event. The site will be available for use seven days a week.

1173 ELMHURST RD. INC.

By: 
Its President



FRONT ELEVATION

SCALE: 1/4"=1'

CODES APPLIED
THE CITY OF DES PLAINS BUILDING CODES,
AMENDMENTS AND ORDINANCES
2015 INTERNATIONAL BUILDING CODE
2014 NATIONAL ELECTRICAL CODE

STORE SIGN WILL REQUIRE A SEPARATE PERMIT
SIGN FABRICATOR TO APPLY AND OBTAIN THE SAME.
CATERED FOOD ONLY,
NO PREMISES FOOD PREPARED.

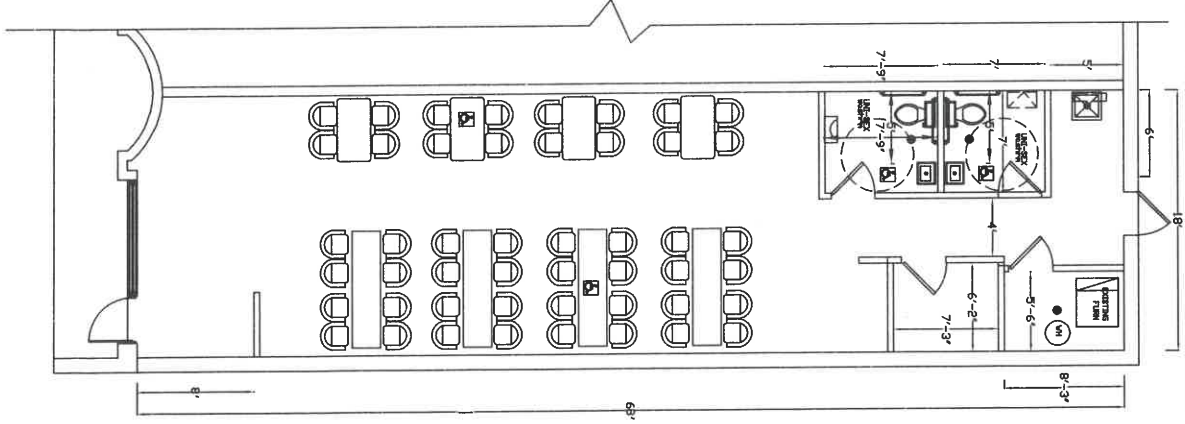
DINING
MAXIMUM
48 PERSONS

1220 SF



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'



2

DESIGNED BY	CHK
DRAWN BY	SK
PROJECT NO.	25382
DATE	06/05/25

NO.	REVISION	DATE

PARTY ROOM
1187 S. KIMMUNST ROAD
DES PLAINS IL 60016

Suber F Zimmerwala & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite # 202
Roseville, IL 60172
PH: 647.651-0472
DESIGN FIRM LIC. NO. 184.004467

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designer.

**EXISTING
FLOOR PLAN**

SCALE: 1/4"=1'

EXISTING BUILDING—KEY PLAN

79'

74'-6"

66'-0"

1220 sq ft

1

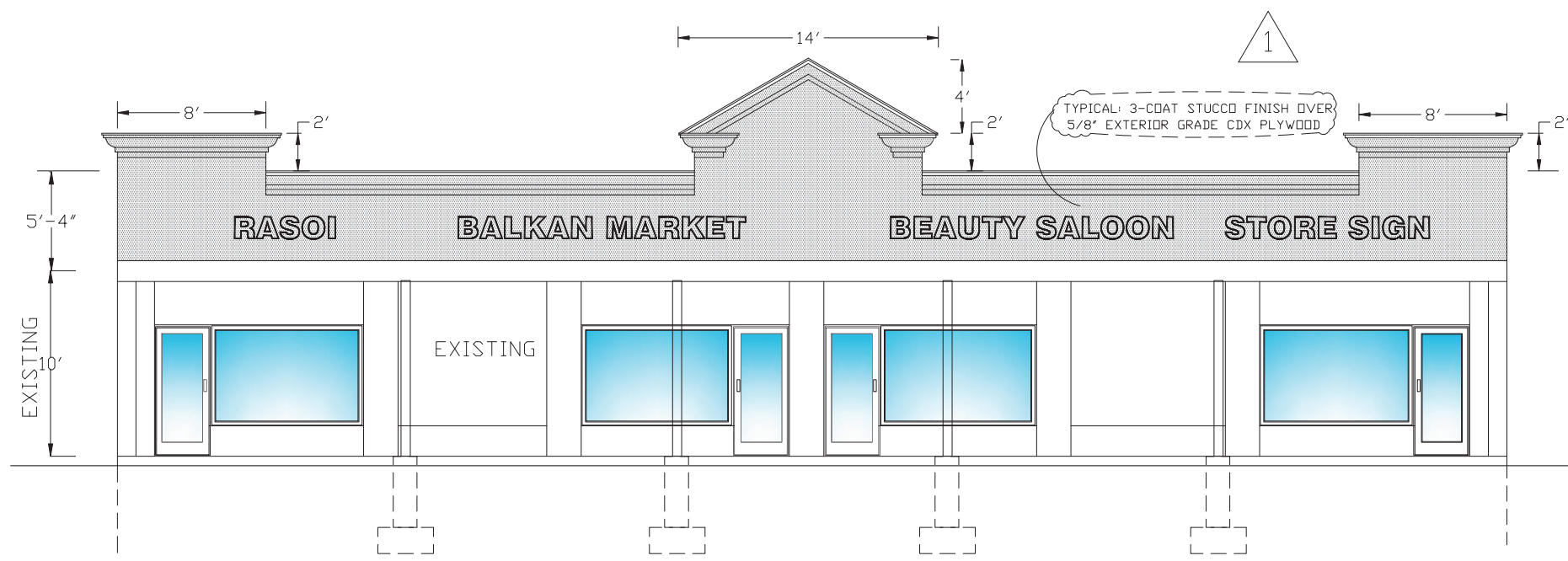
NO.	REVISION	DATE

PARTY ROOM
1187 S. KIMMURST ROAD
DES PLAINS, IL 60016

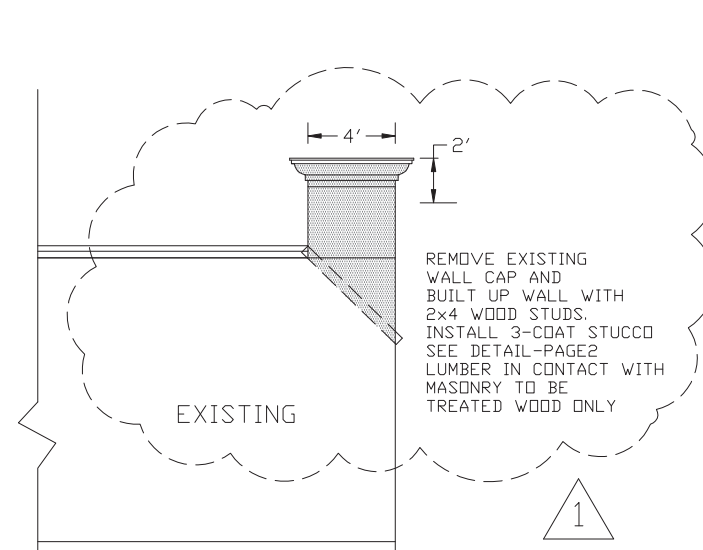
Suber F Zimmerwala & Associates
ARCHITECTS & PLANNERS
12888 Hill Ln. 18400007
333 N. Irving Park Road, Suite # 202
ROSELLE, ILL. 60172
PH: 647 851-0472
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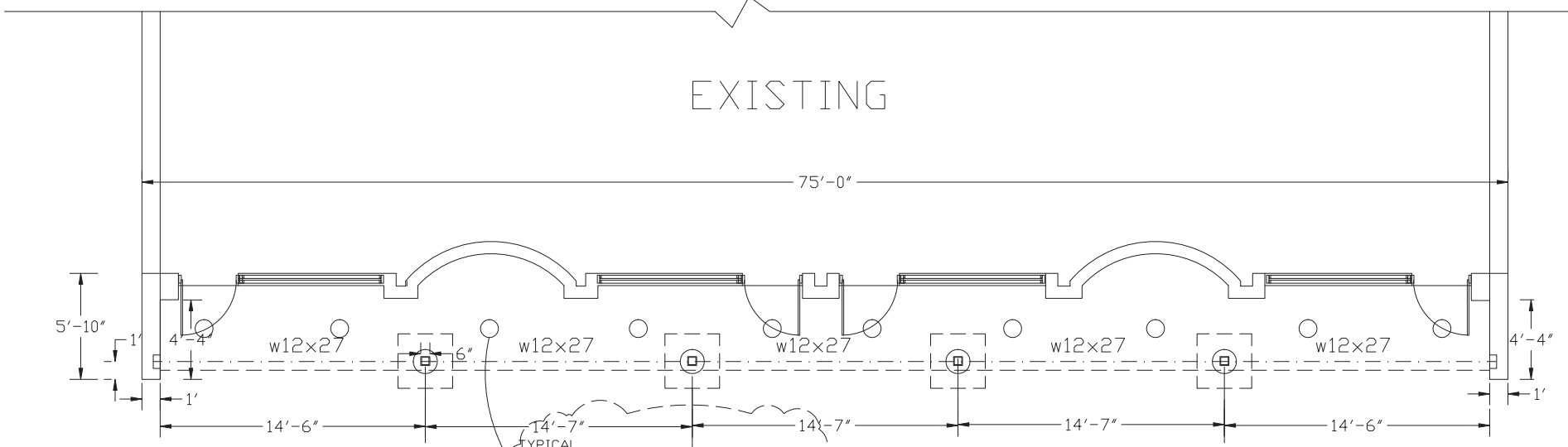
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FRONT ELEVATION
SCALE: 1/4"=1'

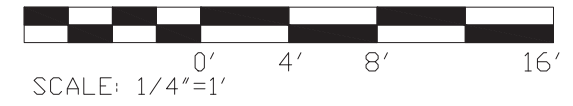


SIDE ELEVATION



FLOOR PLAN

Design Loads:
ROOF = 30# LL 15# DL
WIND LOAD = 115mph

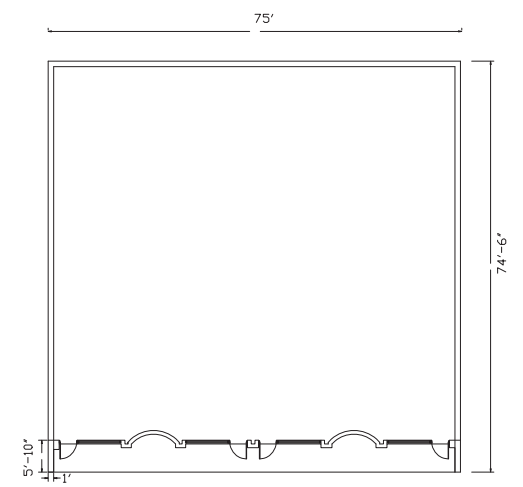


STORE SIGN WILL REQUIRE A SEPARATE PERMIT SIGN FABRICATOR TO APPLY AND OBTAIN THE SAME.

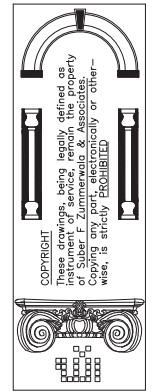
CODES APPLIED
THE CITY OF DES PLAINS BUILDING CODES, AMENDMENTS AND ORDINANCES
2015 INTERNATIONAL BUILDING CODE
2014 NATIONAL ELECTRICAL(NEC) CODE

DRAWING INDEX

NO.	DESCRIPTION
1	FLOOR PLAN & ELEVATIONS
2	DETAILS



EXISTING BUILDING-KEY PLAN
SCALE: 1/16"=1'

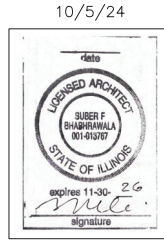


Suber F. Zimmerwala & Associates
ARCHITECTS
333 W. IRVING PARK ROAD, SUITE # 202
ROSEVILLE, ILLINOIS 60172
PH: 847.951-0472
DESIGN FIRM LIC. NO. 184-004407

FACADE IMPROVEMENT
1167 S. ELMHURST ROAD
DES PLAINS IL 60016

NO.	REVISION	DATE
1	PER BLDG DPT REVIEW	10/5/24

DRAWN BY: MK
CHECKED BY: SZ
PROJECT NO: 24360
DATE: 05/15/24



DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
 ALL WORK SHALL MEET ALL APPLICABLE CODES AND ORDINANCES OF
 DES PLAINS, ILLINOIS

CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS.
 THIS CONSTRUCTION DOCUMENT HAS BEEN PREPARED BASED ON SOIL BEARING CAPACITY OF 1500 P.S.F.
 IT IS THE RESPONSIBILITY OF OWNER/CONTRACTOR TO INFORM THE ARCHITECT IF THE SOIL CAPACITY
 DIFFERS.
 BUILD OUT WALLS AND CEILINGS AS REQUIRED FOR ALL MECHANICAL AND PLUMBING RUNS.

EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF FACE BRICK, SHEATHING AT SIDING, OR CONCRETE. INTERIOR
 DIMENSIONS ARE TO THE WOOD STUDS. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE
 TO SCALED DIMENSIONS FROM THE BLUEPRINT.

OWNER AND ARCHITECT SHALL NOT BE HELD LIBABLE FOR INJURY INCURRED BY CONTRACTOR
 OR CREW, AND SHALL REMAIN HARMLESS THROUGHOUT THE COURSE OF WORK.

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES,
 THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST
 CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. ANY DISCREPANCY
 IN DRAWINGS OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE
 PROCEEDING WITH ANY WORK.

ALL CONTRACTORS MUST CARRY PUBLIC LIABILITY AND WORKMAN'S COMPENSATION INSURANCE
 TO THE SATISFACTION OF THE OWNER.

ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES
 AND MUST BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARDS AND TO THE
 SATISFACTION OF THE OWNER AND ARCHITECT. ANY AND ALL SUBSTITUTIONS EQUAL OR BETTER
 SHALL BE APPROVED BY THE ARCHITECT

WHEN CONSTRUCTION HAS COMMENCED AND A CONDITION IS FOUND TO EXIST WHICH WAS UNKNOWN
 OR UNFORSEEN, IT IS THE CONTRACTORS' RESPONSIBILITY TO NOTIFY THE OWNER AND THE
 ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

ALL MATERIALS SHALL BE SAFELY ORGANIZED IN SUCH A WAY AS TO INFLECT MINIMUM DAMAGE,
 OVERNIGHT AND WEEKENDS ESPECIALLY. EACH TRADE SHALL BE RESPONSIBLE FOR
 REMOVING THEIR OWN DEBRIS FROM THE SITE TO MAINTAIN A NEAT, ORDERLY CONSTRUCTION
 AREA.

ALL WORK SHALL BE GUARENTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL
 COMPLETION.

CONTRACTORS TO VERIFY ALL MATERIALS AND INSTALL THE SAME AS PER
 MANUFACTURERS PRINTED INSTRUCTIONS. ALL MATERIALS AND BUILDING COMPONENTS
 SHALL BE NEW, UNID.

CONTRACTORS TO BE FULLY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS
 PROCEDURES AND CONDITIONS INCLUDING ALL OSHA AND SAFETY REQUIREMENTS.

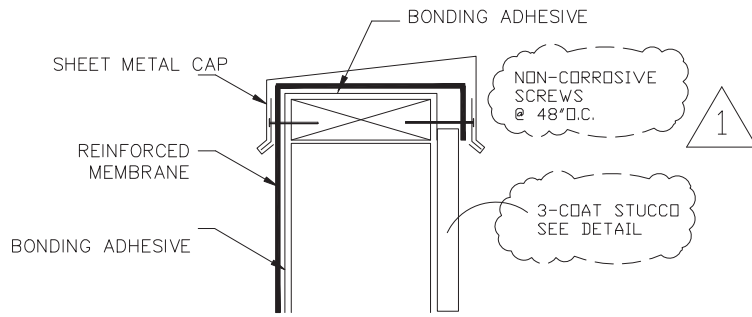
CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE
 IN EXCESS OF DESIGN LOADS SHOWN ON PLANS.

CONTRACTORS SHALL STRICTLY ADHERE TO ALL APPLICABLE LAWS, CODES AND
 ORDINANCES.

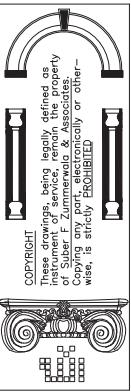
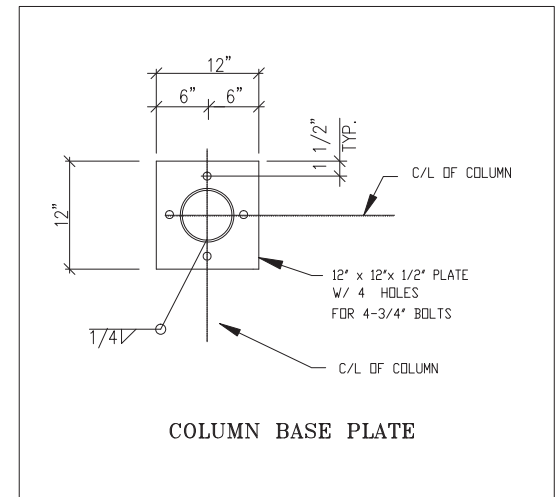
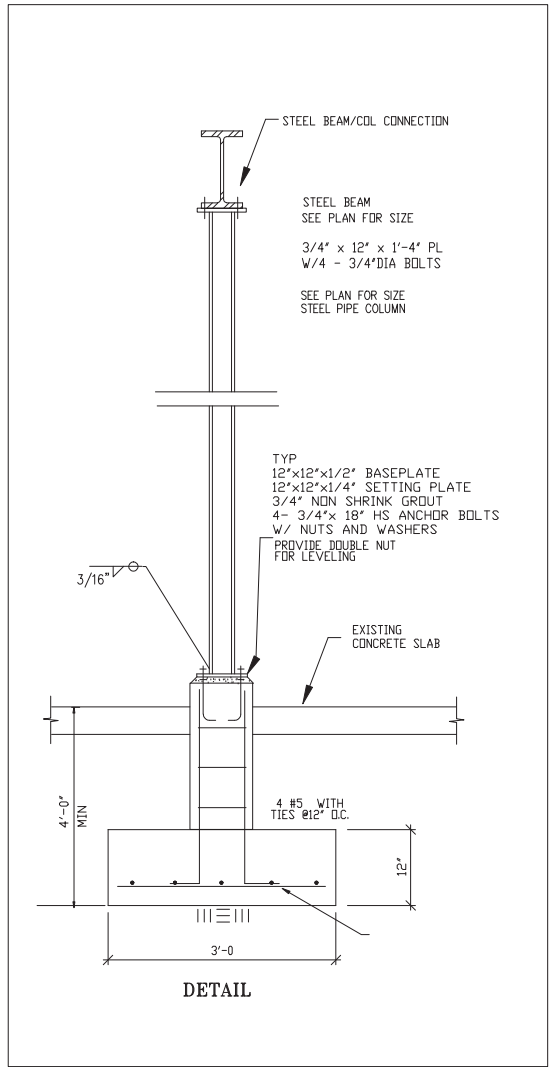
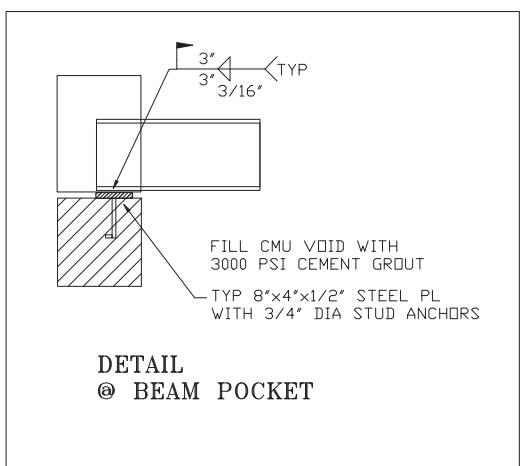
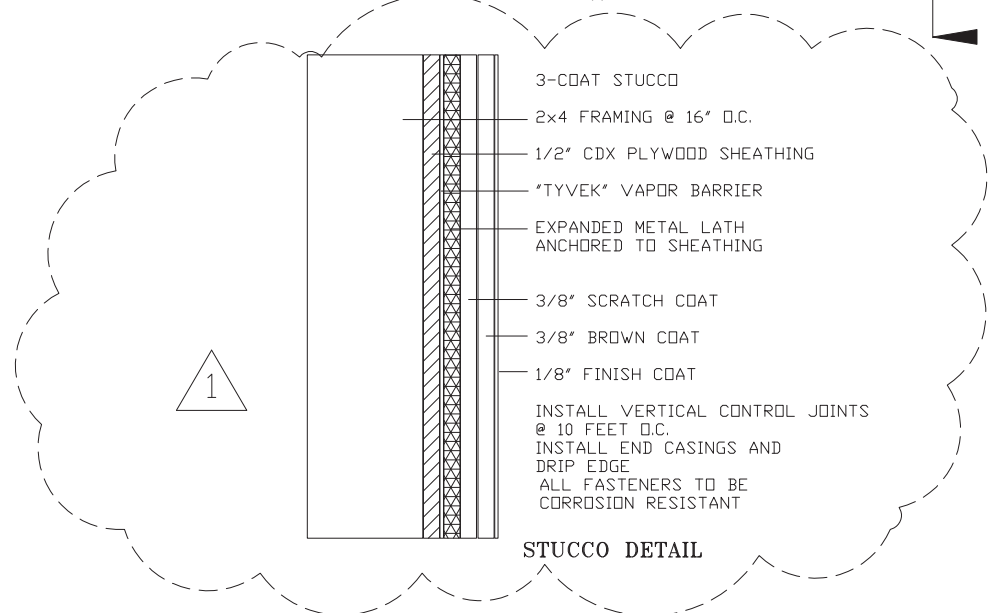
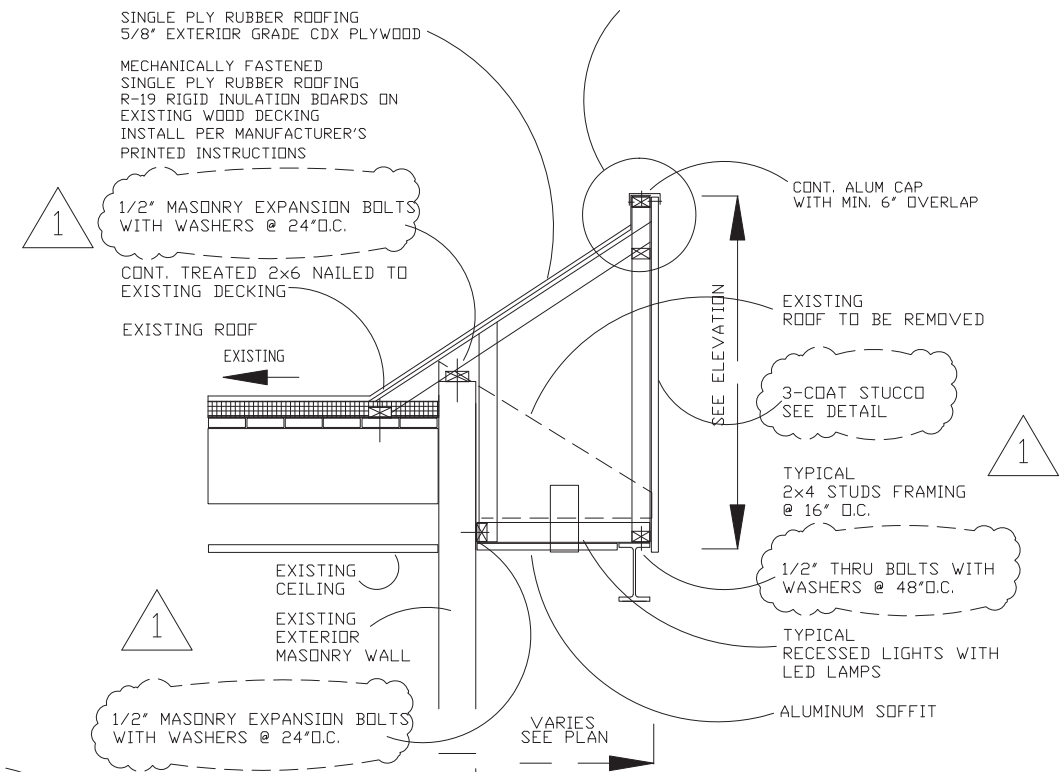
All concrete footings are designed to bear on minimum soil
 pressure of 1500 p.s.f. and shall be placed on firm,
 undisturbed soil 3'-6" minimum below grade.

All concrete shall attain a 28 day compressive strength of 3000psi

ALL LUMBER IN CONTACT WITH
 MASONRY SHALL BE TREATED
 WOOD ONLY.
 ALL FASTENERS TO BE
 NON-CORROSSIVE TYPE ONLY.



CAP FLASHING TERMINATION



Suber F. Zimmerwala & Associates
 ARCHITECTS
 333 W. Irving Park Road, Suite # 202
 Rose Hill, IL 60017-2
 PH: 847.951-0472
 DESIGN FIRM LIC. NO. 184-004407

FACADE IMPROVEMENT
 1167 S. ELMHURST ROAD
 DES PLAINS IL 60016

NO.	REVISION	DATE
1	PER BLDG DPT REVIEW	10/5/24

DRAWN BY: MK
 CHECKED BY: SZ
 PROJECT NO: 24360
 DATE: 05/15/24



MEMORANDUM

Date: August 22, 2025

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Consideration of a Tentative Plat of Subdivision at 1055 S. Mount Prospect Road and 30 E. Algonquin Road, Case #25-044-TPLAT

Issue: The applicant requests a Tentative Plat of Subdivision to split the existing lot into two lots of record.

Applicant: Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

Owner: UOP LLC, P.O. Box 71970, Phoenix, AZ 85050

Case Number: 24-044-TPLAT

PIN: 09-19-101-005-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: M-3 Special Manufacturing District

Existing Land Use: Office building and parking lot

Surrounding Zoning: North: R-1 Single Family Residential District
South: M-2 General Manufacturing District
East: M-3 Special Manufacturing District
West: M-3 Special Manufacturing District

Surrounding Land Use: North: Single Family Residences (Residential)
South: Office Building (Commercial)
East: Laboratory/Manufacturing (Industrial)
West: Office Building (Commercial)

Street Classification: Mount Prospect Road is a major collector under Cook County jurisdiction and Algonquin Road is a major collector under Illinois Department of Transportation (IDOT) jurisdiction.

Comprehensive Plan: The subject property is illustrated as an *industrial* land use on the Future Land Use map in the 2019 Comprehensive Plan.

Zoning/Property History: As illustrated in the attached ALTA/NSPS Land Title Survey, the subject property was improved with two separate office buildings, each with its own off-street parking area and street address. The northern building addressed as 1055 S. Mount Prospect Road has since been demolished and replaced with turf, but the off-street parking area still remains. In contrast, the two-story, 26,454-square-foot office building and off-street parking area at the south portion of the site addressed as 30 E. Algonquin Road still remain as illustrated in the attached ALTA/NSPS Land Title Survey.

TENTATIVE PLAT OF SUBDIVISION

Request Description: *Overview*
 The applicant requests splitting the existing site into two lots of record and redeveloping each with a new speculative industrial building, loading docks, off-street trailer storage spaces, and off-street car parking spaces described in the attached Project Narrative and illustrated on the attached Preliminary Site Improvement Plans. Section 13-1-2 of the Subdivision Regulations requires a subdivision or consolidation of a zoning lot or lots in a nonresidential zoned area and that are not a lot of record. As such, the applicant requests a tentative plat, which is the first part of the process noted in Section 13-2-2 of the Subdivision Regulations.

The proposal includes the subdivision of the existing lot into a 9.150-acre north lot (Lot 1) and 9.624-acre south lot (Lot 2), with a total subdivision area of 18.77 acres. The attached Tentative Plat of O’Hare Logistics Center 17 and 18 Subdivision shows the locations, boundaries, and sizes of the proposed subdivision lots. The table below provides an overview of the proposed site improvements for each proposed lot in the subdivision.

Proposed Lot Improvements					
<i>Lot ID</i>	<i>Lot Area</i>	<i>Building Area</i>	<i># of Docks</i>	<i># of Parking Spaces</i>	<i># of Trailer Storage Spaces</i>
Lot 1	398,556 SF	75,360 SF	17	92	9
Lot 2	419,257 SF	166,320 SF	35	172	32
Totals	817,813 SF	241,680 SF	52	264	41

This request is related to a separate subdivision request by the same applicant to consolidate two lots located directly across Algonquin Road at 25 and 95 E. Algonquin Road into one lot of record for a new speculative industrial building.

Building Lines and Easements

Section 12-7-4.H of the Zoning Ordinance requires properties in the M-3 Special Manufacturing district to accommodate 60-foot front, side, and rear building lines for each of the two proposed lots, which will be added and labeled on the final plat. There is no minimum lot width for the M-3 district. However, there is a minimum lot area requirement of 5 acres, which is met by both lots in the proposed subdivision as identified on the attached Tentative Plat. In addition, both of the proposed lots will meet the minimum 125-foot lot depth requirement stated in Section 13-2-5.R of the Subdivision Regulations. Note that Lot 1 will be an interior lot with its front yard on the west property line along Mount Prospect Road and Lot 2 will be corner lot with its front yard on the south property line along Algonquin Road.

The subdivision plat shows the following easements: (i) an existing 160-foot-wide blanket easement along the north property line of the proposed subdivision including an existing 70-foot-wide stormwater drainage easement and existing 15-foot-wide sewer easement; (ii) a 30-foot-wide temporary maintenance easement near the northeast portion of the proposed subdivision including a 10-foot-wide private sanitary sewer easement, both to be vacated; (iii) a 40-foot-wide ingress and egress easement in the northwest corner of the proposed subdivision along Mount Prospect Road to be vacated; (iv) a 10-foot-wide private watermain easement at the northeast corner of Lot 2 of the proposed subdivision; (v) a new 5-foot-wide public utility easement along the east (rear) property line of Lot 1 of the proposed subdivision; (vi) a new 5-foot-wide public utility easement along the north (rear) property line of Lot 2 of the subdivision; and (vii) a 5-foot-wide sidewalk easement on the west property line.

Utility Poles, Cables, and Structures; Utility Easements

Section 13-2-2.E of the Subdivision Regulations requires that the tentative approval of utility easements by all privately owned utility companies shall be indicated via written correspondence either via “will-serve” letters or lettered on the plat. The attached Private Utility Company Will Serve Letters are provided in conformance with this regulation. The plat indicates the location of all public utilities and the size of the public storm sewer and water mains. In addition, the private utilities such as electric, gas, water, and storm sewer are shown in compliance with Section 13-2-2.G of the Subdivision Regulations.

Subdivision Process, Required Public Improvements

Although the applicant’s request is for a Tentative Plat only at this time, the Board and public may benefit from understanding the requirements of a Final Plat, which is the second step in the subdivision approval process. The steps for Final Plat are articulated in Sections 13-2-4 through 13-2-8 of the Subdivision Regulations and requires engineering plans that must be approved by PWE. Tentative Plat approval does not require submittal of engineering plans. However, the applicant has provided the attached Preliminary Site Improvement Plans. While the engineering review is more detailed for plans at the Final Plat stage, as those are accompanied by civil drawings, the PWE Department has provided brief comments in the attached PWE Department Memo based on the submittal.

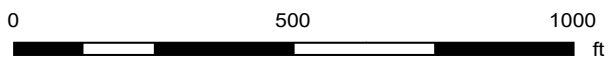
PZB Procedure and Recommended Conditions: Under Section 13-2-3 (Planning and Zoning Board’s Procedure) of the Subdivision Regulations, the PZB has the final authority to approve, approve with conditions, or deny the Tentative Plat request. If PZB decides to approve the request, staff recommend the following condition:

1. That all building setbacks for the M-3 Special Manufacturing district noted in Section 12-7-4.H of the Zoning Ordinance are added and labeled on the Final Plat in accordance with Section 13-2-5.F of the Subdivision Regulations.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Excerpt of Preliminary Site Improvement Plans¹
- Attachment 7: Public Works and Engineering (PWE) Department Memo
- Attachment 8: Tentative Plat of Subdivision

¹ Full copies available upon request to the Community and Economic Development department.



Print Date: 8/22/2025

Notes

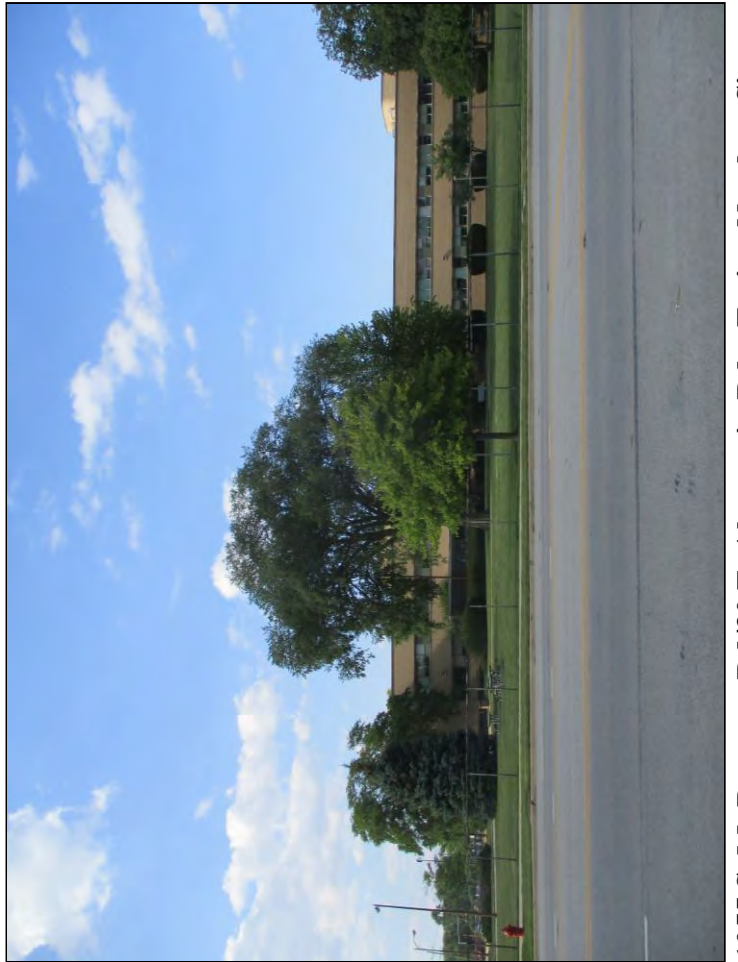
Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Public Notice Sign



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Front of Building



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Facing North at Site



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Side of Building



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Parking Area #1



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – West Entrance

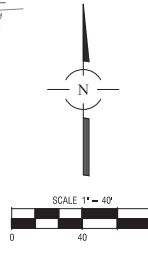
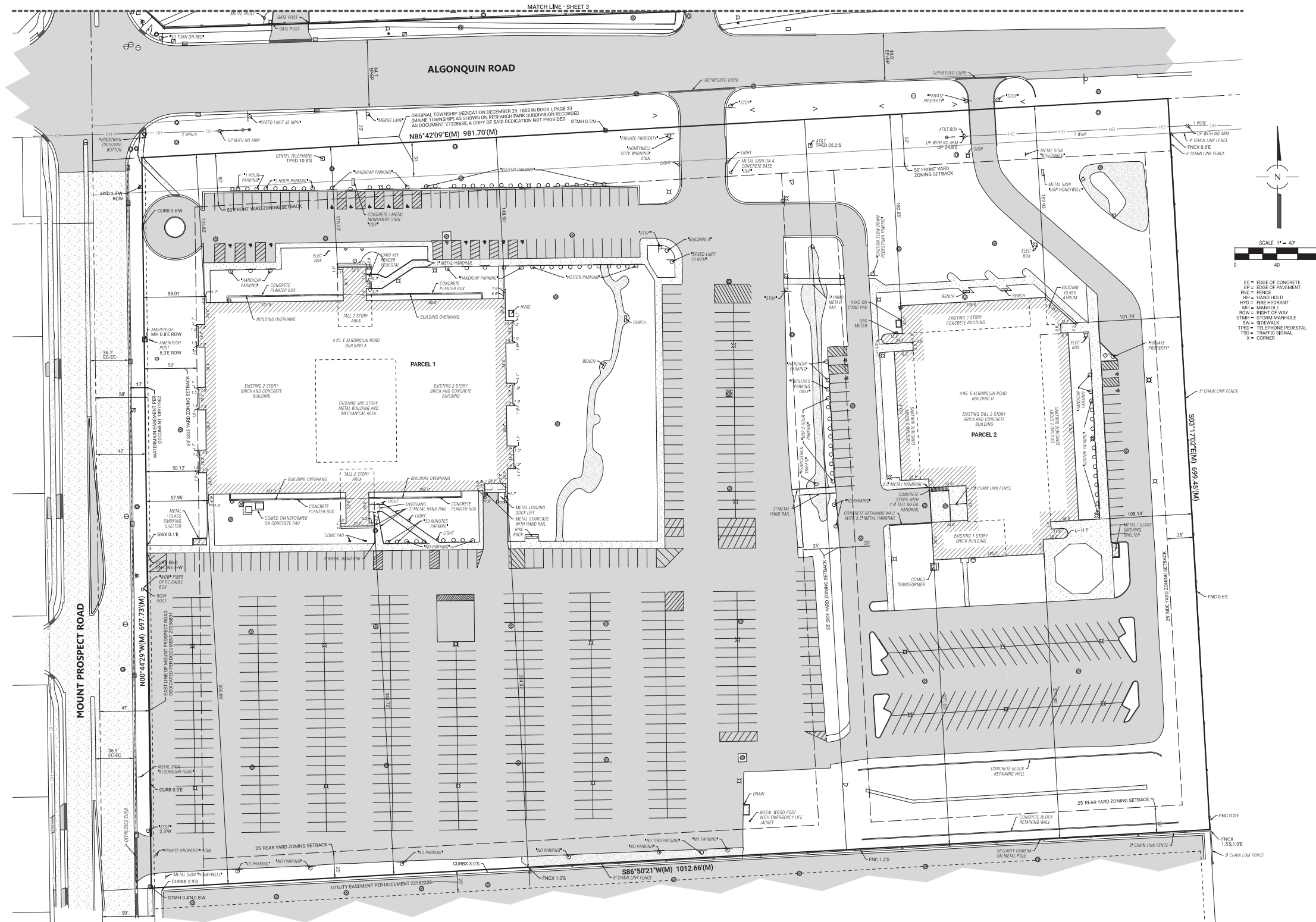


1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Parking Area #2



1055 S. Mt Prospect Rd/30 E. Algonquin Rd – Rear of Property

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



- ED = EDGE OF CONCRETE
- EP = EDGE OF PAVEMENT
- FNC = FENCE
- HH = HAND HOLD
- HYD = FIRE HYDRANT
- MH = MANHOLE
- ROW = RIGHT OF WAY
- STMH = STORM MANHOLE
- SW = SIDEWALK
- TPEL = TELEPHONE PEDESTAL
- TSO = TRAFFIC SIGNAL
- X = CORNER

PARCEL 1 ZONING:
 THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY HAVE BEEN LISTED HEREON BASED ON ZONING AND SITE REQUIREMENTS SUMMARY PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED DECEMBER 2, 2024. PZR SITE NUMBER: 1767401. (TABLE A, ITEM 6A)

EXISTING ZONING: M2 (GENERAL MANUFACTURING)
 FROM SETBACK, ADJACENT MANUFACTURING, NOT ON A MAJOR THOROUGHFARE: 50 FEET (REQUIRED); ADJACENT OTHER, OR ON MAJOR THOROUGHFARE: 65 FEET
 SIDE / REAR SETBACK, ADJACENT MANUFACTURING: 25 FEET; ADJACENT OTHER: 50 FEET (25 FEET REQUIRED)
 MAXIMUM BUILDING HEIGHT: 60 FEET; 40 FEET WHEN WITHIN 120 FEET ABUTTING RESIDENTIAL ZONE
 BUILDING SITE AREA: NONE REQUIRED
 MAXIMUM BUILDING COVERAGE: 70%
 PARKING SPACE FORMULA:
 WAREHOUSING AND WHOLESALES: 1 SPACE FOR EVERY 1,500 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% WAREHOUSE AREA FOR ALL BUILDINGS)
 (247,179 / 1,500 = 165)
 OFFICE: 1 SPACE FOR EVERY 250 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% OFFICE AREA FOR ALL BUILDINGS)
 (27,484 / 250 = 110)
 275 TOTAL PARKING SPACES REQUIRED

LEGEND	
	STORM SEWER
	SEWER
	GAS
	ELECTRIC
	TELEPHONE
	CABLE TV
	FIRE HYDRANT
	MANHOLE
	STORM MANHOLE
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
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	STORM MANHOLE
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	CORNER
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	FENCE
	HAND HOLD
	FIRE HYDRANT
	MANHOLE
	STORM MANHOLE
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL
	CORNER
	EDGE OF CONCRETE
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	TRAFFIC SIGNAL
	CORNER
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	FENCE
	HAND HOLD
	FIRE HYDRANT
	MANHOLE



Project Narrative
1055 S. Mount Prospect Road

Seefried Properties desires to redevelop the unused office building at 1055 S Mount Prospect Road into a two parcel, two building speculative industrial campus. The parcels will be split along the traffic signal along Mount Prospect Rd opposite the Vetter operation. The north parcel shall contain a 75,360 square foot building that will be 32' clear with 92 possible car parking positions, 2 drive in doors, 17 possible dock positions, and 9 trailer parking positions. The south parcel shall contain a 166,320 square foot building that will be 36' clear with 172 possible car parking positions, 2 drive in doors, 35 possible dock positions, and 32 trailer parking positions. The buildings shall be made of concrete precast walls and glass designed with first class industrial aesthetic features like textured reveals and overlapped panels to create depth, undulating heights, glass openings and entrance features, and complementary paint schemes. The facilities will be designed to attract world class occupiers eager to operate business out of this desirable industrial location within the city. The speculative nature of the project means there are no tenants in the space currently and thus means the facilities will be shown as empty buildings to start and designed with optimal flexibility for any possible tenant.



June 2nd, 2025

Susan March
Seefried Industrial Properties, Inc
8745 W Higgins Rd Suite 220, Chicago, IL 60631

WILL SERVE LETTER

Dear Susan March,

This letter is in response to your request for information on the availability of AT&T services for a proposed commercial project in Des Plaines at the following addresses

- 25 Algonquin rd
- 95 E Algonquin rd
- 1055 S Mt. Prospect Rd

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed commercial development but an acknowledgment that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

Kolade Fajimi (Engineer)
Senior Specialist OSP Design Engineer
Access Construction & Engineering Midwest

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com



June 20, 2025

Ms. Susan March
Seefried Industrial Properties, Inc
8745 W Higgins Rd.
Suite 220
Chicago, IL 60631

Re: A Will Serve letter for a new commercial project at 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016.

Dear Ms. Susan March:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Maurice Allen at cell +1 (630) 210-5916 or email at Maurice_Allen2@cable.comcast.com with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,



Robert L. Schuller Jr.
Central Division Director of Construction
(224) 229-5863

July 8, 2025
Susan March
847-921-5537
Susanmarch@seefriedproperties.com
Seefried Industrial Properties, Inc
8745 W Higgins Rd Suite 220, Chicago, IL 60631

Gas Availability for the Proposed: 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016

To whom it may concern,

This letter will serve as Nicor Gas' intention to provide service to the above, proposed new construction project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Kelly Turner, at start up in order to coordinate the gas service/main installation timetable. I can be reached at 630-605-1586 or by email at kturner@southernco.com.

If you have any additional questions, please let me know.

Sincerely,

Kelly Turner

New Business Construction Consultant
Customer Development, Nicor Gas

08/13/2025

**1055 S Mount Prospect RD.
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 1055 S Mount Prospect RD., Des Plaines,
IL 60016**

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely
DCC | Field Representative
ComEd | An Exelon Corporation
847-846-1074

08/13/2025

**30 E Algonquin RD
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 30 E Algonquin RD. Des Plaines, IL
60016**

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely
DCC | Field Representative
ComEd | An Exelon Corporation
847-846-1074

NOTES:
UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.
LAST DATE OF FIELD WORK: OCTOBER 19, 2023

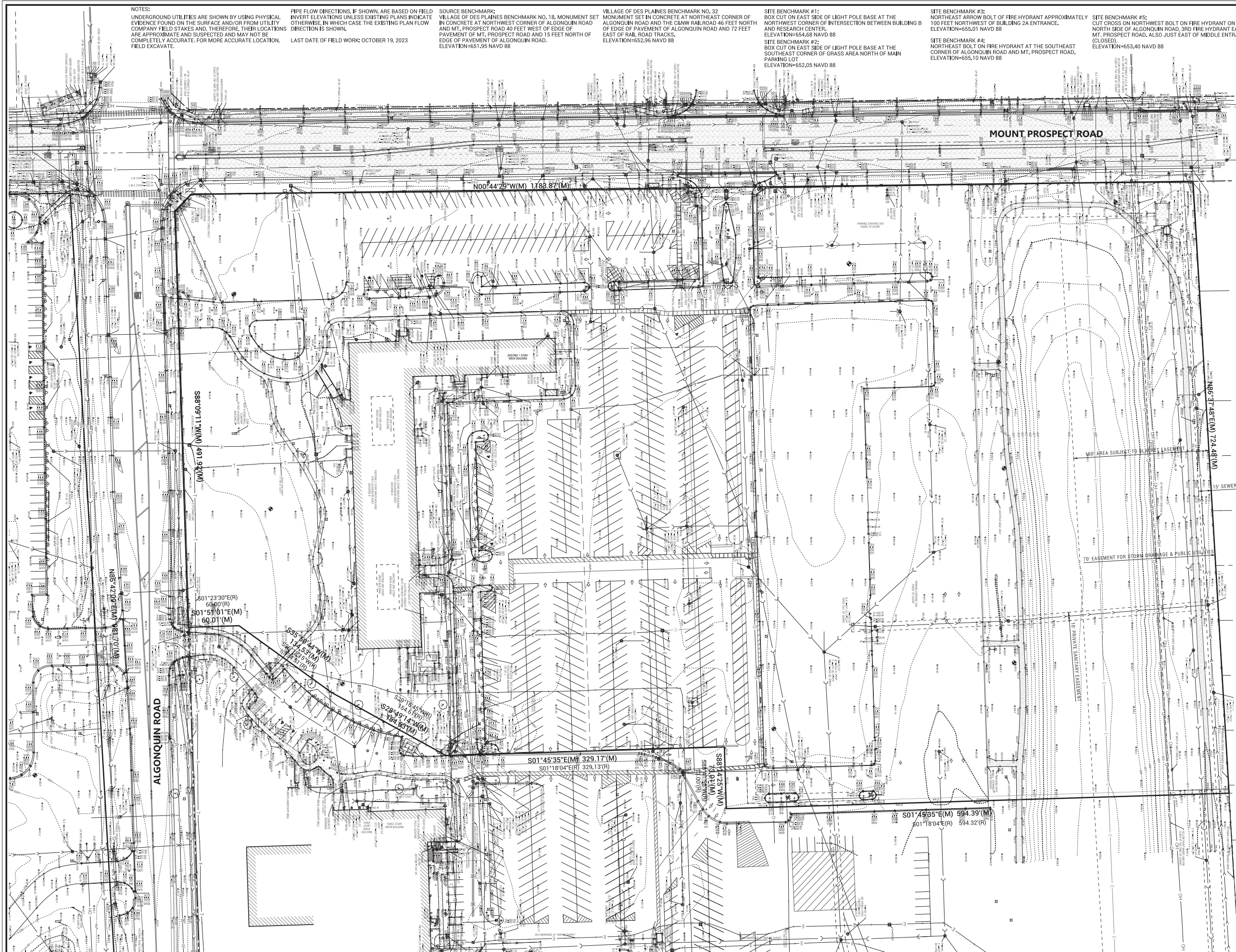
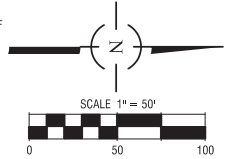
SOURCE BENCHMARK:
VILLAGE OF DES PLAINES BENCHMARK NO. 18, MONUMENT SET IN CONCRETE AT NORTHWEST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD 40 FEET WEST OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 15 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD.
ELEVATION=651.95 NAVD 88

VILLAGE OF DES PLAINES BENCHMARK NO. 32
MONUMENT SET IN CONCRETE AT NORTHEAST CORNER OF ALGONQUIN ROAD AND THE C&NW RAILROAD 46 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 72 FEET EAST OF RAIL ROAD TRACKS.
ELEVATION=652.96 NAVD 88

SITE BENCHMARK #1:
BOX CUT ON EAST SIDE OF LIGHT POLE BASE AT THE NORTHWEST CORNER OF INTERSECTION BETWEEN BUILDING AND RESEARCH CENTER.
ELEVATION=654.68 NAVD 88
SITE BENCHMARK #2:
BOX CUT ON EAST SIDE OF LIGHT POLE BASE AT THE SOUTHEAST CORNER OF GRASS AREA NORTH OF MAIN PARKING LOT.
ELEVATION=652.05 NAVD 88

SITE BENCHMARK #3:
NORTHEAST ARROW BOLT OF FIRE HYDRANT APPROXIMATELY 100 FEET NORTHWEST OF BUILDING 2A ENTRANCE.
ELEVATION=655.01 NAVD 88
SITE BENCHMARK #4:
NORTHEAST BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD.
ELEVATION=655.10 NAVD 88

SITE BENCHMARK #5:
CUT CROSS ON NORTHWEST BOLT ON FIRE HYDRANT ON NORTH SIDE OF ALGONQUIN ROAD, 3RD FIRE HYDRANT EAST OF MT. PROSPECT ROAD, ALSO JUST EAST OF MIDDLE ENTRANCE (CLOSED).
ELEVATION=653.40 NAVD 88



LEGEND

	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRE ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	EDGE OF WATER
	WETLAND LIMITS
	AIR CONDITIONING UNIT
	HAND HOLE
	TRAFFIC SIGNAL BOX
	TRAFFIC SIGNAL
	ELECTRIC METER
	LIGHT POLE
	GUY WIRE ANCHOR
	LANDSCAPE LIGHT/FLOOD LIGHT
	UTILITY POLE
	ELECTRIC PEDESTAL
	ELECTRIC MANHOLE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	CABLE MANHOLE
	GAS METER
	GAS VALVE
	GAS MANHOLE
	COMBINATION MANHOLE
	SANITARY MANHOLE
	GRATE TRAP
	CLEANOUT
	DOWNSPOUT
	STORM MANHOLE
	CATCHER
	CATCH BASIN
	FLARED END SECTION
	INLET
	AUXILIARY VALVE
	BUFFALO BOX
	SHAMESE CONNECTION/AUTO SPRINKLER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WELL
	VALVE AND VAULT
	MAILBOX
	SIGN
	FLAG POLE
	SATELLITE DISH
	UNDERSIZED PEDESTAL
	UNDERSIZED MANHOLE
	STONE
	RIGHT OF WAY MONUMENT
	PK RAIL/MS RAIL
	RAILROAD SPIKE
	IRON ROD
	IRON PIPE
	CROSS
	CONCRETE MONUMENT
	DISC
	BORING
	TEST PIT
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	WINDOW WELL
	ASPHALT
	CONCRETE
	GRAVEL
	BRICK
	CONTOUR
	SPOT ELEVATION

OVERALL EXISTING CONDITIONS PLAN

O'HARE LOGISTICS CENTER 17 & 18
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

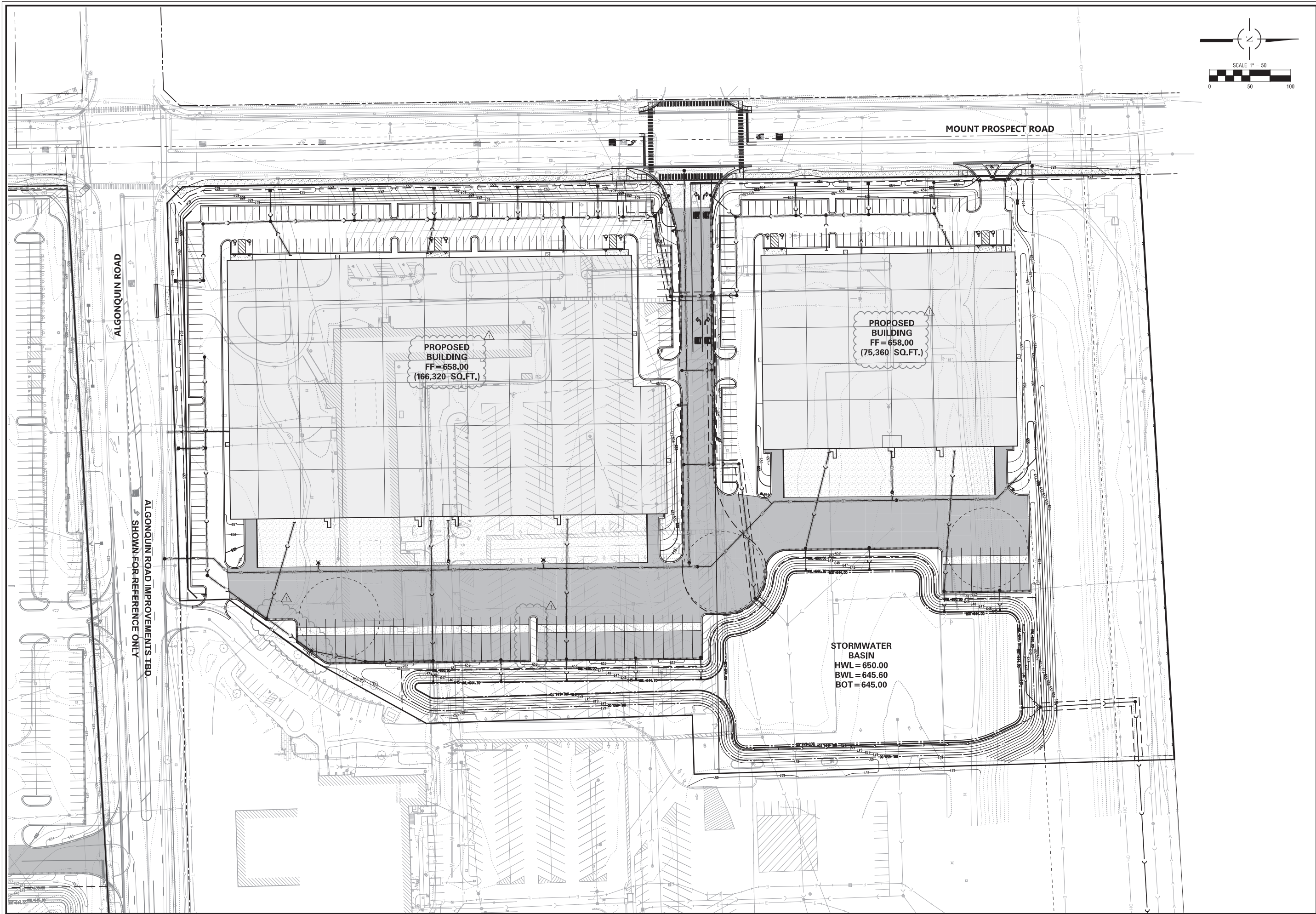
NO.	DATE	REMARKS

FILENAME:
9697.09-NORTH-OVEC

DATE:
07/18/25

JOB NO.
9697.09

SHEET
OVEC
3 OF 33



NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

OVERALL SITE PLAN
O'HARE LOGISTICS CENTER 17 & 18
 PROJECT LOCATION

Spaceco
 Civil Engineering & Surveying
 Rosemont, IL - Morris, IL - Indianapolis, IN
 spacecoinc.com

FILENAME: 9697.09-NORTH-OVSP
DATE: 07/18/25
JOB NO. 9697.09
SHEET OVSP 10 OF 33

LEGEND

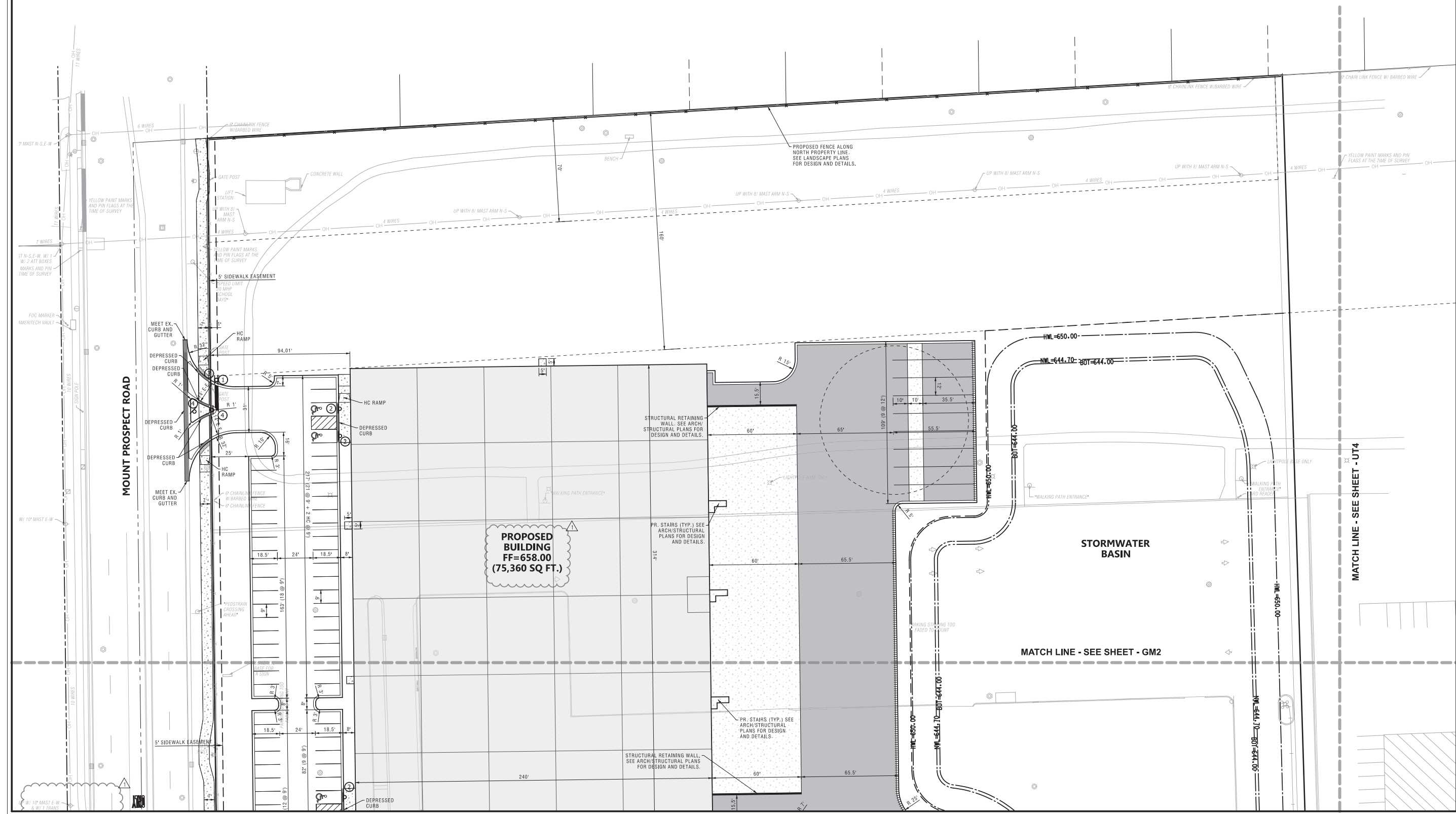
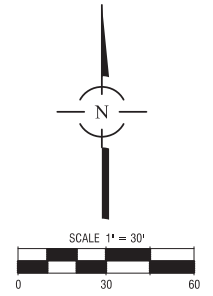
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	CONCRETE PAVEMENT OR APRON
	CONCRETE SIDEWALK
	CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
	REVERSE PITCH (PITCH OUT) CURB & GUTTER
	STANDARD PITCH (PITCH IN) CURB & GUTTER
	DEPRESSED CURB & GUTTER

SIGN LEGEND:

①	②	③	④
R1-1 30" x 30"	R250 FINE VIA ACCESSIBLE R7-8		

NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS B-6.12 ARE REVERSED PITCH UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT UNLESS NOTED OTHERWISE.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS



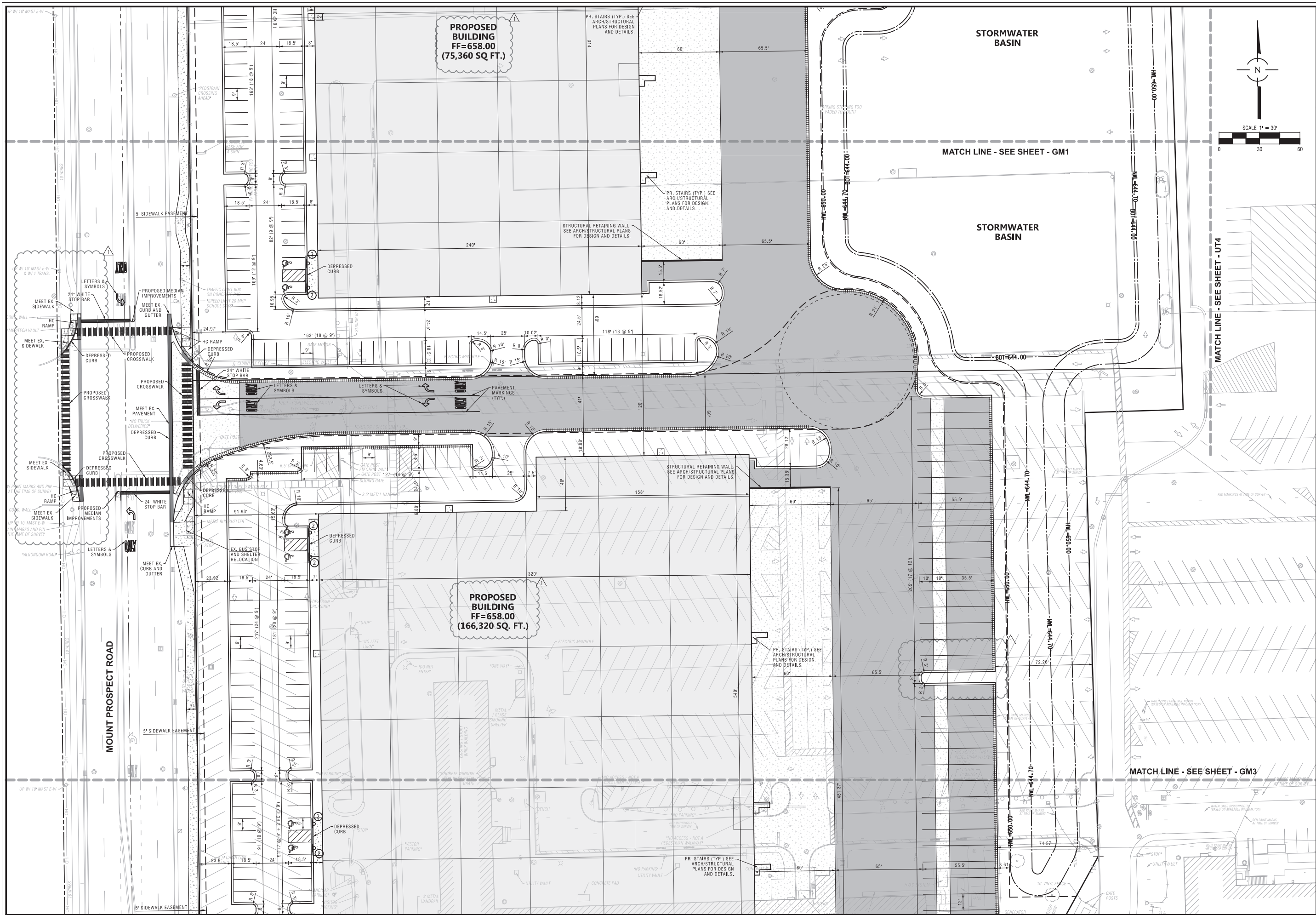
NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

GEOMETRIC PLAN - 1

O'HARE LOGISTICS CENTER 17 & 18
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME: 1161102-NORTH-GM1
DATE: 07/18/25
JOB NO. 9697.09
SHEET **GM1** OF 33



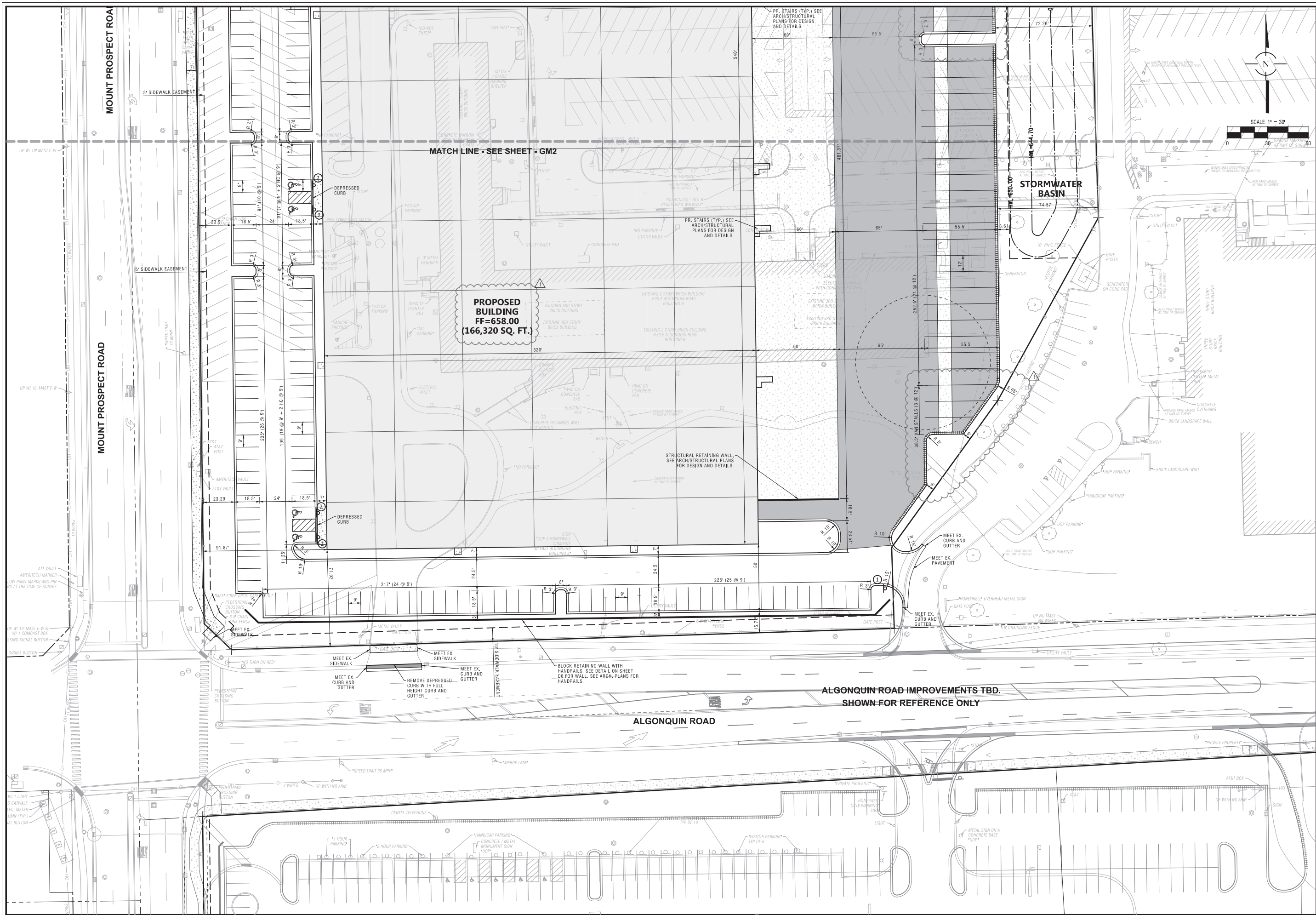
NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

GEOMETRIC PLAN - 2
O'HARE LOGISTICS CENTER 17 & 18
 PROJECT LOCATION

Spaceco
 Civil Engineering & Surveying
 Rosemont, IL - Morris, IL - Indianapolis, IN
 spacecoinc.com

FILENAME: 1161102-NORTH-GM2
 DATE: 07/18/25
 JOB NO. 9697.09
 SHEET **GM2**
 12 OF 33

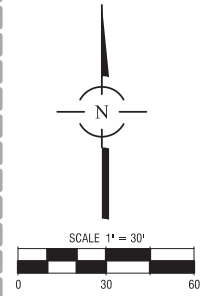
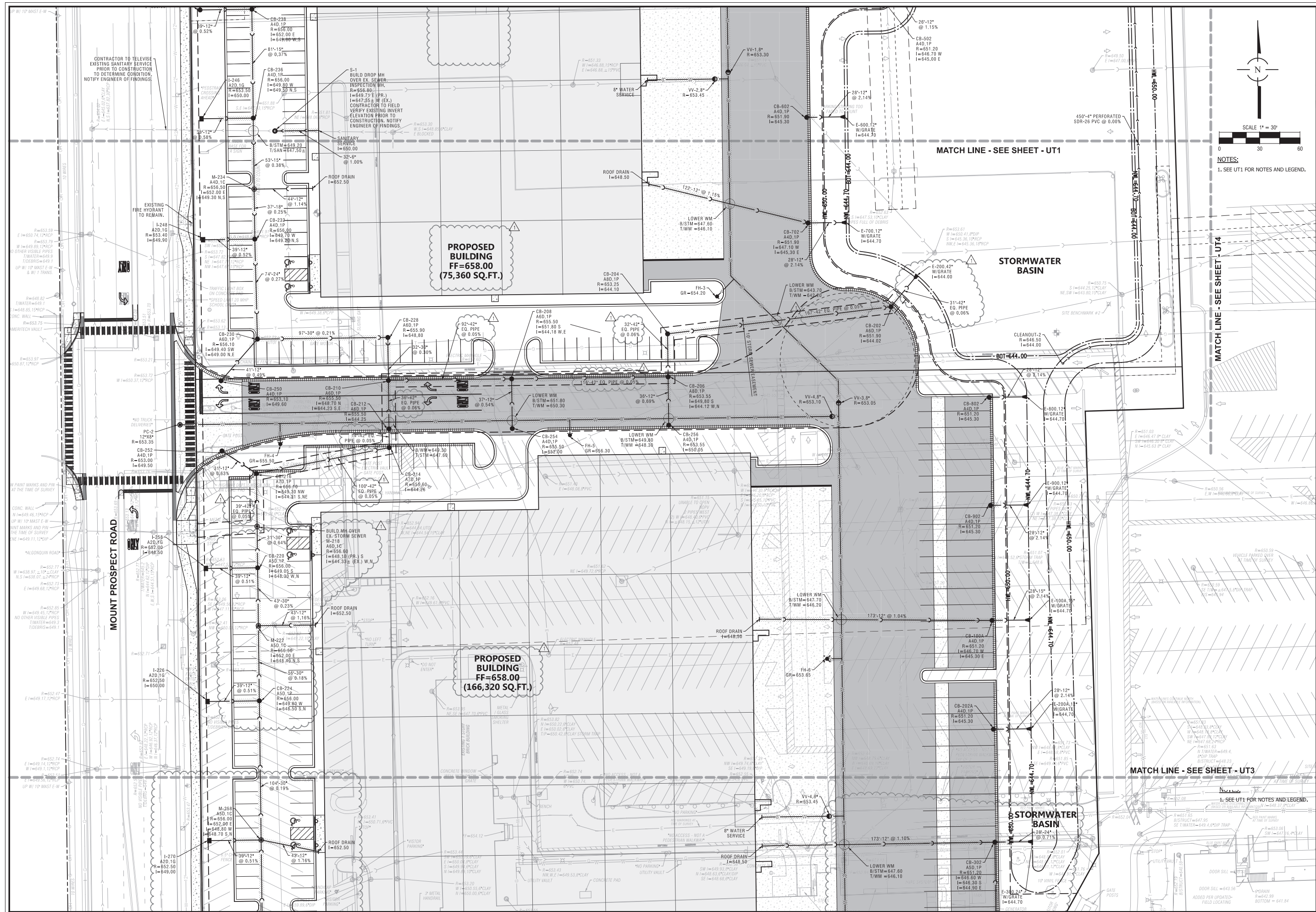


PER CITY OF DES PLAINES		REMARKS	
NO.	DATE	NO.	DATE
1	08/13/25		

GEOMETRIC PLAN - 3	
O'HARE LOGISTICS CENTER 17 & 18	
PROJECT LOCATION	

Spaceco Civil Engineering & Surveying	Rosemont, IL - Morris, IL - Indianapolis, IN
	spacecoinc.com

FILENAME: 1161L02-NORTH-GM3
DATE: 07/18/25
JOB NO. 9697.09
SHEET GM3 13 OF 33



NOTES:
1. SEE UT1 FOR NOTES AND LEGEND.

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

UTILITY PLAN - 2

O'HARE LOGISTICS CENTER 17 & 18

PROJECT LOCATION

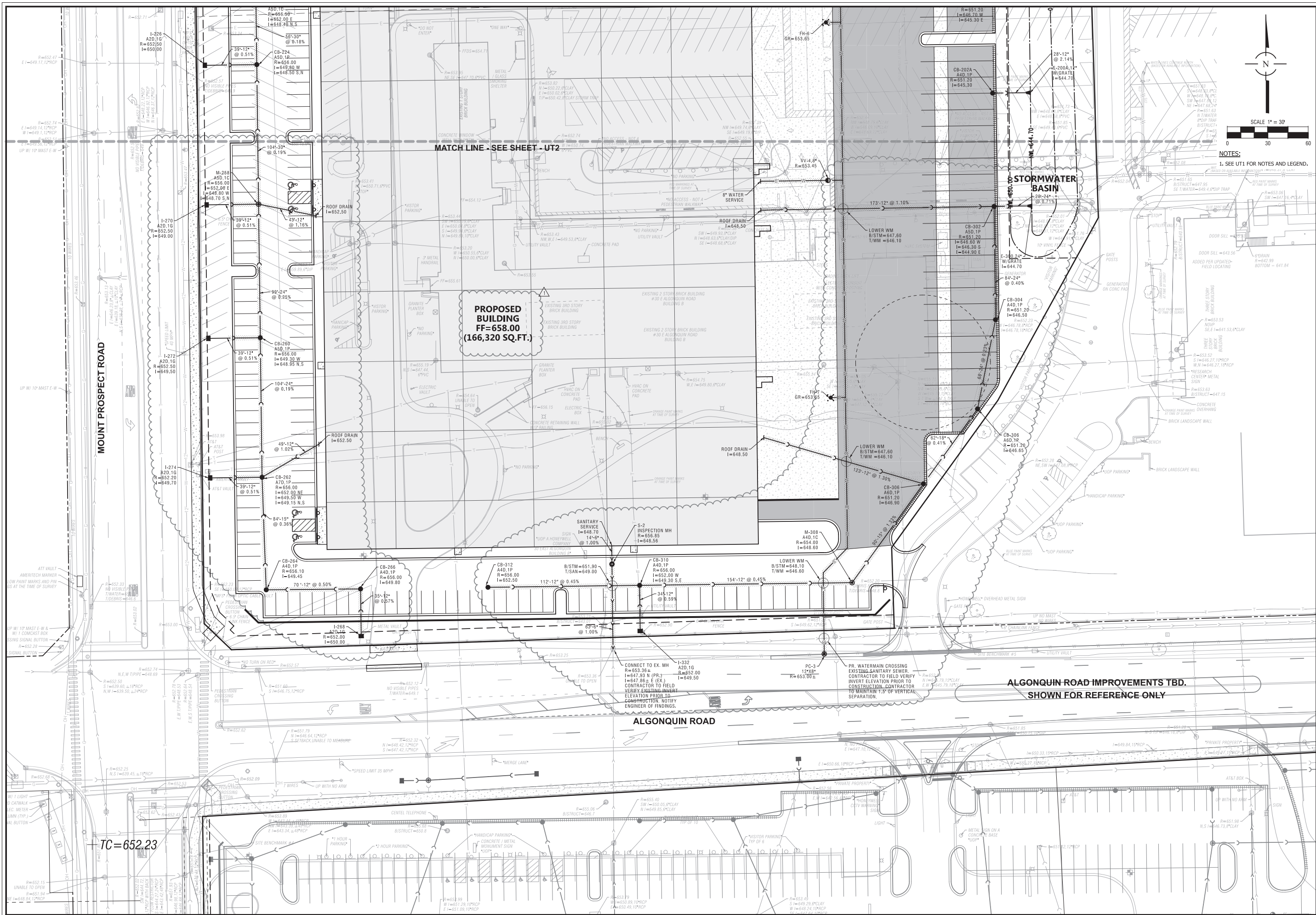
Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME:
1161102-NORTH-UT2

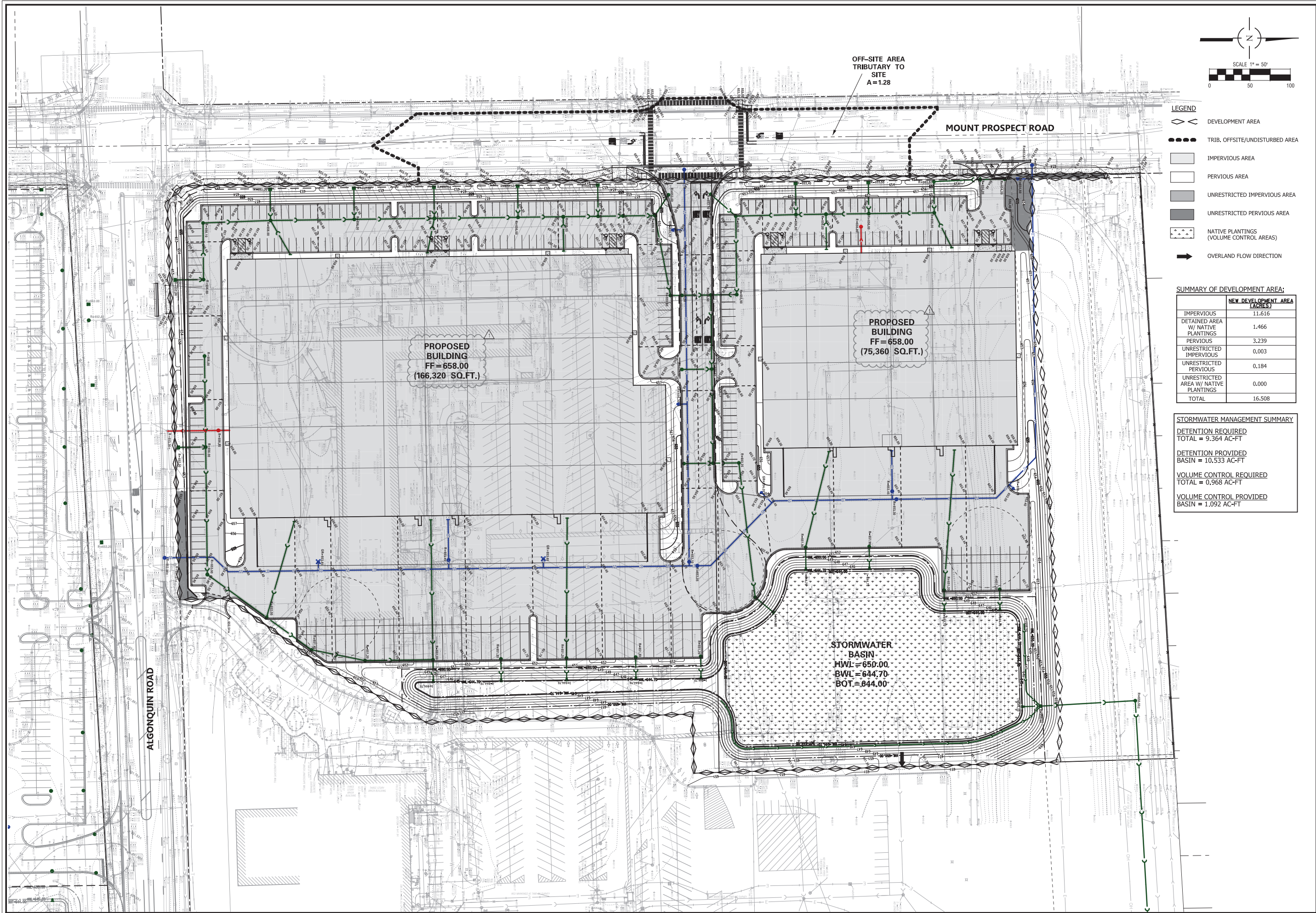
DATE:
07/18/25

JOB NO.
9697.09

SHEET
UT2
18 OF 33



NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES



LEGEND

- DEVELOPMENT AREA
- TRIB. OFFSITE/UNDISTURBED AREA
- IMPERVIOUS AREA
- PERVIOUS AREA
- UNRESTRICTED IMPERVIOUS AREA
- UNRESTRICTED PERVIOUS AREA
- NATIVE PLANTINGS (VOLUME CONTROL AREAS)
- OVERLAND FLOW DIRECTION

SUMMARY OF DEVELOPMENT AREA:

	NEW DEVELOPMENT AREA (ACRES)
IMPERVIOUS	11.616
DETAINED AREA W/ NATIVE PLANTINGS	1.466
PERVIOUS	3.239
UNRESTRICTED IMPERVIOUS	0.003
UNRESTRICTED PERVIOUS	0.184
UNRESTRICTED AREA W/ NATIVE PLANTINGS	0.000
TOTAL	16.508

STORMWATER MANAGEMENT SUMMARY

DETENTION REQUIRED
TOTAL = 9,364 AC-FT

DETENTION PROVIDED
BASIN = 10,533 AC-FT

VOLUME CONTROL REQUIRED
TOTAL = 0,968 AC-FT

VOLUME CONTROL PROVIDED
BASIN = 1,092 AC-FT

PROPOSED DRAINAGE EXHIBIT

O'HARE LOGISTICS CENTER 17 & 18
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME: 9697.09-NORTH-PDE	NO.	DATE	REMARKS
DATE: 07/18/25	1	08/13/25	PER CITY OF DES PLAINES
JOB NO. 9697.09			
SHEET PDE			
32 OF 33			

MEMORANDUM

Date: July 30, 2025
To: Jonathan Stytz, Senior Planner
From: John La Berg, P.E., CFM, Civil engineer
Cc: Becka Shipp, P.E. Assistant Director of Public Works and Engineering
Subject: 1055 S. Mt. Prospect Rd.

Public Works and Engineering has reviewed the preliminary plans and has the following general comments:

- This project will require the following permits: IEPA, MWRD, IDOT, and Cook County Highway Dept.
- Will need separate agreement with building owner about maintenance of looped water main.
- If the detention pond is flat then wetland plantings will be required.
- Existing sewer and water connections to the city utilities need to be removed at city utility and city utility pipe replaced.
- City water mains fronting this development on both the Mt. Prospect Rd. and Algonquin Rd. frontages will need to be replaced (with 12" Ductile Iron) in their entirety funded by the developer. The water main in Mt. Prospect Rd. shall be connected to the proposed 12" water main south of Algonquin Rd.
- Need grading and drainage plan.
- JL/jl

THIS IS A TENTATIVE PLAT,
OF NO LEGAL EFFECT AND
NOT TO BE RECORDED

TENTATIVE PLAT OF SUBDIVISION

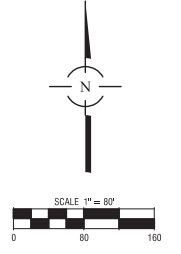
OWNER/SUBDIVIDER: SEEFRIED INDUSTRIAL PROPERTIES
8745 WEST HIGGINS ROAD
SUITE 220
CHICAGO, ILLINOIS 60631

SURVEYOR: SPACECO INC.
8675 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

ENGINEERING: SPACECO INC.
8675 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

CURRENT ZONING DISTRICT: M-3 SPECIAL MANUFACTURING
PROPOSED ZONING DISTRICT: M-3 SPECIAL MANUFACTURING

ADDRESS: 1555 MOUNT PROSPECT ROAD
DES PLAINES, ILLINOIS 60016
78 E ALGONQUIN ROAD
DES PLAINES, ILLINOIS 60016



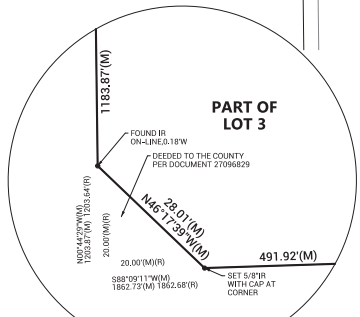
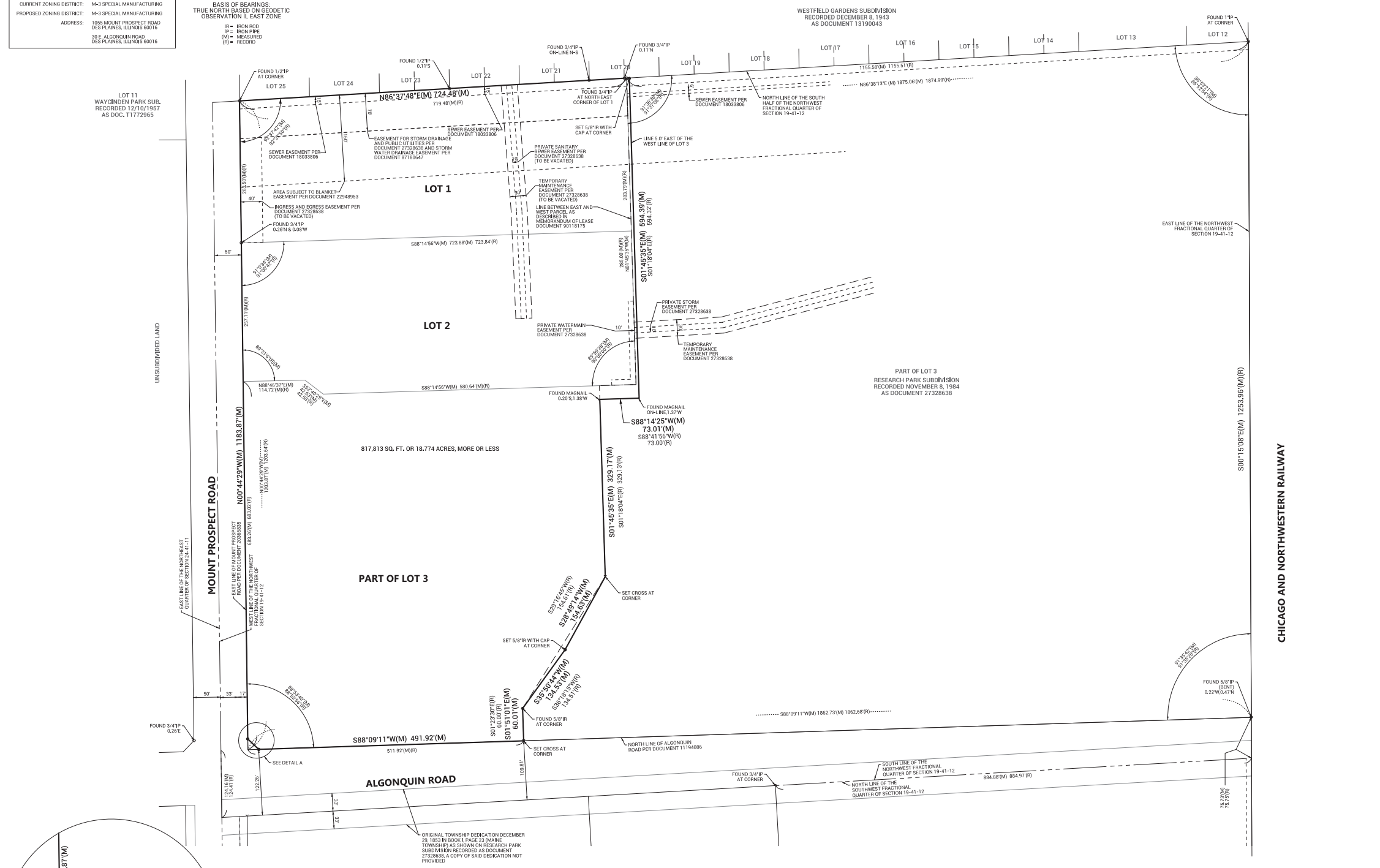
TENTATIVE PLAT OF SUBDIVISION

O'HARE LOGISTICS CENTER 17 & 18

EXISTING BOUNDARY INFORMATION

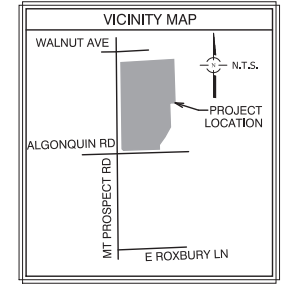
PROPERTY DESCRIPTION:

THAT PART OF LOTS 1, 2 AND 3 EXCEPT THAT PART OF LOT 3 AS DEEDED TO THE COUNTY OF COOK BY DEED RECORDED MAY 22, 1984 AS DOCUMENT 27096829 IN RESEARCH PARK SUBDIVISION OF THE SOUTH ONE-HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 41 NORTH RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THAT PORTION THEREOF LYING SOUTH OF THE NORTH LINE OF ALGONQUIN ROAD AS DEDICATED BY DOCUMENT 11194086 RECORDED JANUARY 30, 1983 AND EXCEPT THE WEST 50.00 FEET THEREOF DEDICATED FOR THE EAST ONE-HALF OF MOUNT PROSPECT ROAD ACCORDING TO THE PLAT OF SAID RESEARCH PARK SUBDIVISION RECORDED NOVEMBER 8, 1984 AS DOCUMENT 27238638 LYING WEST OF A LINE DESCRIBED AS FOLLOWS BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID LOT 3 WITH A LINE 5.0 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID LOT 3; THENCE SOUTH 01 DEGREES 18 MINUTES 04 SECONDS EAST ALONG SAID LAST DESCRIBED PARALLEL LINE 594.32 FEET; THENCE SOUTH 88 DEGREES 41 MINUTES 54 SECONDS WEST AT RIGHT ANGLES TO SAID LAST DESCRIBED LINE 73.00 FEET; THENCE SOUTH 01 DEGREES 18 MINUTES 04 SECONDS EAST 329.13 FEET; THENCE SOUTH 28 DEGREES 18 MINUTES 48 SECONDS WEST 154.81 FEET; THENCE SOUTH 36 DEGREES 18 MINUTES 15 SECONDS WEST 134.51 FEET; THENCE SOUTH 01 DEGREES 23 MINUTES 30 SECONDS EAST 60.00 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 3, S11.92 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 3, IN COOK COUNTY, ILLINOIS.



PREPARED FOR: SEEFRIED INDUSTRIAL PROPERTIES
8745 W. HIGGINS, SUITE 220
CHICAGO, IL 60631

DETAIL A
SCALE: 1" = 20'



NO.	DATE	CITY COMMENTS	REMARKS
1	08/13/25		

TENTATIVE PLAT OF SUBDIVISION
O'HARE LOGISTICS CENTER 17 & 18
DES PLAINES, ILLINOIS



FILENAME: 9697.091ENT - NORTH-01
DATE: 07/18/2025
JOB NO. 9697.09
SHEET

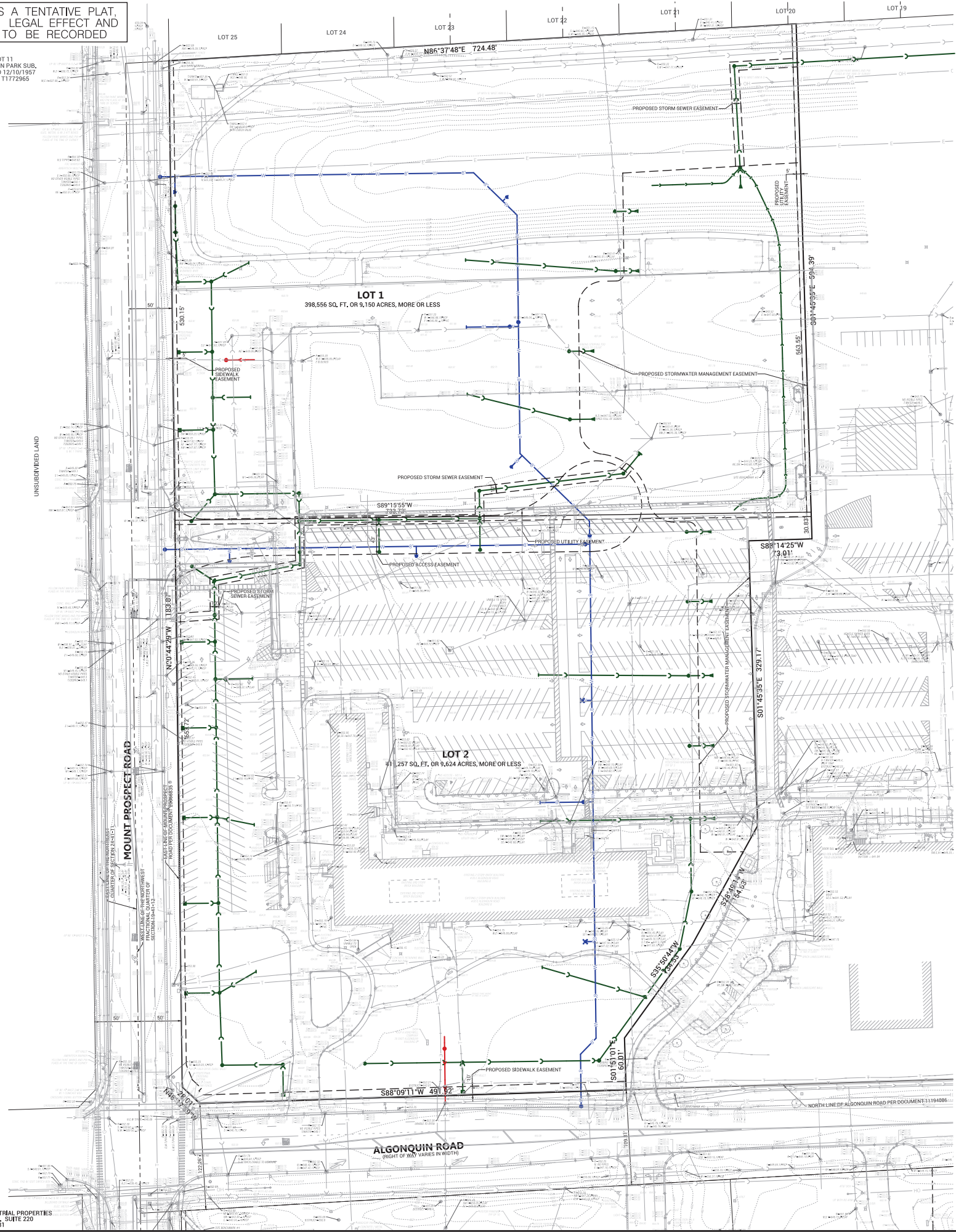
THIS IS A TENTATIVE PLAT,
OF NO LEGAL EFFECT AND
NOT TO BE RECORDED

P.I.N.:
09-19-101-005-0000

LOT 11
WAYCROFTEN PARK SUB,
RECORDED 12/10/1957
AS DOC. 11772965

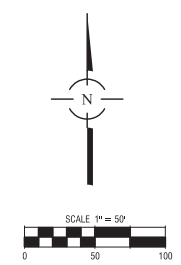
PREPARED FOR:
SEEFRIED INDUSTRIAL PROPERTIES
8745 W. HIGGINS, SUITE 220
CHICAGO, IL 60631

Project: 9697/9697/09-Subdiv SURVEY 9697/09/TENTATIVE_NORTH.dwg Proposed User: jek@skidmore



TENTATIVE PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 17 & 18

PROPOSED BOUNDARY INFORMATION



BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION IL EAST ZONE

- (B) = IRON ROD
- (R) = IRON PIPE
- (M) = MEASURED
- (R) = RECORDED

TENTATIVE PLAT OF SUBDIVISION

OWNER/SUBDIVIDER: SEEFRIED INDUSTRIAL PROPERTIES
8745 WEST HIGGINS ROAD
SUITE 220
CHICAGO, ILLINOIS 60631

SURVEYOR: SPACECO INC.
8575 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

ENGINEERING: SPACECO INC.
8575 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

CURRENT ZONING DISTRICT: M-3 SPECIAL MANUFACTURING
PROPOSED ZONING DISTRICT: M-3 SPECIAL MANUFACTURING

ADDRESS: 1065 MOUNT PROSPECT ROAD
DES PLAINES, ILLINOIS 60016
30 E. ALGONQUIN ROAD
DES PLAINES, ILLINOIS 60016

NO.	DATE	REMARKS
1	08/17/25	CITY COMMENTS

TENTATIVE PLAT OF SUBDIVISION
O'HARE LOGISTICS CENTER 17 & 18
DES PLAINES, ILLINOIS



FILENAME: 9697/09/TENT-NORTH-01
DATE: 07/18/2025
JOB NO. 9697/09
SHEET 2 OF 2

MEMORANDUM

Date: August 22, 2025

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Consideration of a Tentative Plat of Subdivision at 25 and 95 E. Algonquin Road, Case #24-045-TPLAT

Issue: The applicant requests a Tentative Plat of Subdivision to consolidate the existing two lots into one lot of record.

Applicant: Seefried Properties (Representative: Doug Houser, 8745 W. Higgins Road, Suite 220, Chicago, IL 60631)

Owner: UOP LLC, P.O. Box 71970, Phoenix, AZ 85050

Case Number: 24-045-TPLAT

PINs: 09-19-300-010-0000; 09-19-300-012-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: M-2 General Manufacturing District (*both properties*)

Existing Land Use: Office building and parking lot (*both properties*)

Surrounding Zoning: North: M-3 Special Manufacturing District
South: M-2 General Manufacturing District
East: M-2 General Manufacturing District
West: R-1 Single Family Residential District

Surrounding Land Use: North: Office Building (Commercial)
South: Multi-tenant Industrial Building (Manufacturing)
East: Industrial Building (Manufacturing)
West: Single Family Residences (Residential)

Street Classification: Algonquin Road is a major collector under the Illinois Department of Transportation (IDOT) jurisdiction and Mount Prospect Road is a major collector under Cook County jurisdiction.

Comprehensive Plan: The subject properties are both illustrated as *industrial* land uses on the Future Land Use map in the 2019 Comprehensive Plan.

Zoning/Property History: The subject properties described below are both located in the M-2 General Manufacturing district and are currently under the ownership of UOP LLC. However, the property owner intends to sell both properties to the applicant. Both properties are developed—each with a two-story building and a surface parking area—as illustrated on the attached ALTA/NSPS Land Title Survey.

Current Property Information		
Address	PIN	Lot Size
25 E. Algonquin Road	09-19-300-010-0000	505,249 SF (11.59 acres)
95 E. Algonquin Road	09-19-300-012-0000	238,188 SF (5.46 acres)

TENTATIVE PLAT OF SUBDIVISION

Request Description: *Overview*
The applicant requests consolidating and redeveloping both sites with a new 260,400-square-foot speculative industrial building with 45 loading docks, 63 off-street trailer storage spaces, and 300 off-street car parking spaces as described in the attached Project Narrative and illustrated in the attached Preliminary Site Improvement Plans. Section 13-1-2 of the Subdivision Regulations requires a subdivision or consolidation of a zoning lot or lots in a nonresidential zoned area and that are not a lot of record. As such, the applicant requests a tentative plat, which is the first part of the process noted in Section 13-2-2 of the Subdivision Regulations.

The proposal includes the consolidation of the two existing lots into one 15.98-acre lot. The attached Tentative Plat of O’Hare Logistics Center 19 Subdivision shows the location, boundary, and size of the proposed consolidated lot. The plat also notes the previously dedicated areas along the Algonquin Road and Mount Prospect Road rights-of-way for roadway purposes. This request is related to a separate subdivision request by the same applicant to split the existing single lot located directly north across Algonquin Road at 1055 S. Mount Prospect Road/30 E. Algonquin Road into two new lots for two new speculative industrial buildings.

Building Lines and Easements
Section 12-7-4.H of the Zoning Ordinance requires properties in the M-2 General Manufacturing district to accommodate the required 65-foot front building line and 25-foot side and rear building lines for the proposed lot, which will be added and labeled on the final plat. Note that Lot 1 will be a corner lot with its front yard on the west property line along Mount Prospect Road. There is no minimum lot width or lot area required for the M-2 district. However, the proposed lot will meet the minimum 125-foot lot depth requirement.

The subdivision plat shows the following easements: (i) a new 5-foot-wide sidewalk easement along the west property line abutting Mount Prospect Road; (ii) a new 5-foot-wide public utility easement along the east (rear) property line; (iii) an existing 20-foot-wide utility easement along the south property line; and (iv) an existing 17-foot watermain easement along the west property line of the proposed subdivision.

Utility Poles, Cables, and Structures; Utility Easements

Section 13-2-2.E of the Subdivision Regulations requires that the tentative approval of utility easements by all privately owned utility companies shall be indicated via written correspondence either via “will-serve” letters or lettered on the plat. The attached Private Utility Company Will Serve Letters for AT&T, Nicor, ComEd, and Comcast are provided in conformance with this regulation. The plat indicates the location of all public utilities and the size of the public storm sewer and water mains. In addition, the private utilities such as electric, gas, water, and storm sewer are also shown in compliance with Section 13-2-2.G of the Subdivision Regulations.

Subdivision Process, Required Public Improvements

Although the applicant’s request is for a Tentative Plat only at this time, the Board and public may benefit from understanding the requirements of a Final Plat, which is the second step in the subdivision approval process. The steps for Final Plat are articulated in Sections 13-2-4 through 13-2-8 of the Subdivision Regulations and requires engineering plans that must be approved by PWE. Tentative Plat approval does not require submittal of final engineering plans. However, the applicant has provided the attached Preliminary Site Improvement Plans. While the engineering review is more detailed for plans at the Final Plat stage, as those are accompanied by civil drawings, the PWE Department has provided brief comments in the attached PWE Department Memo based on the submittal.

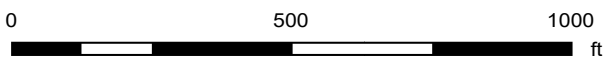
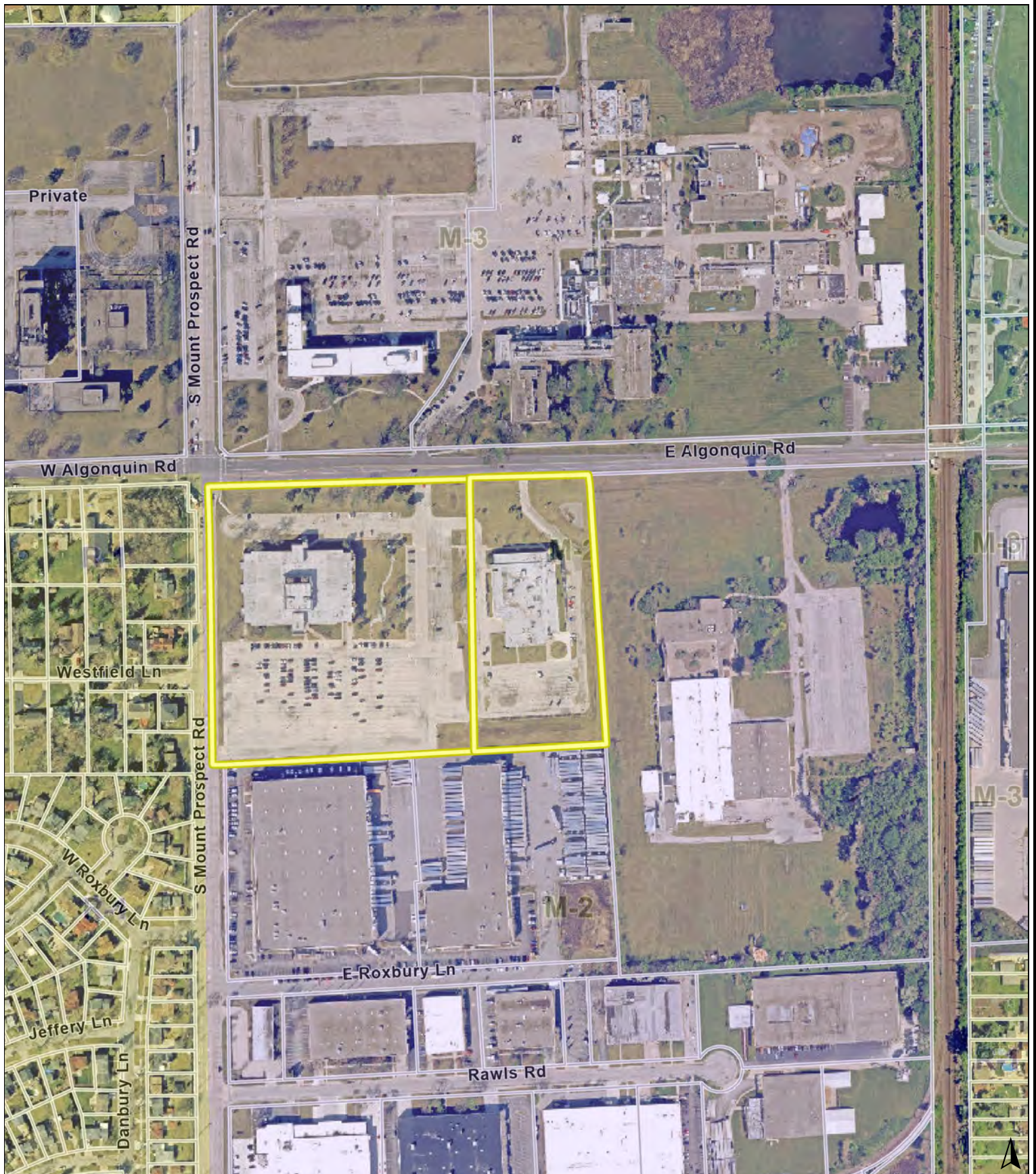
PZB Procedure and Recommended Conditions: Under Section 13-2-3 (Planning and Zoning Board’s Procedure) of the Subdivision Regulations, the PZB has the final authority to approve, approve with conditions, or deny the Tentative Plat request. If PZB decides to approve the request, staff recommend the following condition:

1. That all building setbacks for the M-2 Special Manufacturing district pursuant to Section 12-7-4.H of the Zoning Ordinance are added and labeled on the Final Plat in accordance with Section 13-2-5.F of the Subdivision Regulations.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Excerpt of Preliminary Site Improvement Plans¹
- Attachment 7: Public Works and Engineering (PWE) Department Memo
- Attachment 8: Tentative Plat of Subdivision

¹ Full copies available upon request to the Community and Economic Development department.



Print Date: 8/22/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



25 and 95 E. Algonquin Rd – Public Notice Sign



25 and 95 E. Algonquin Rd – West Side of Building



25 and 95 E. Algonquin Rd – Facing South from Algonquin Road



25 and 95 E. Algonquin Rd – Facing East at Rear Parking Area



25 and 95 E. Algonquin Rd – Front of Building



25 and 95 E. Algonquin Rd – Facing East at Front Parking Area

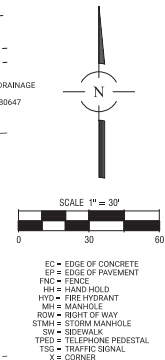
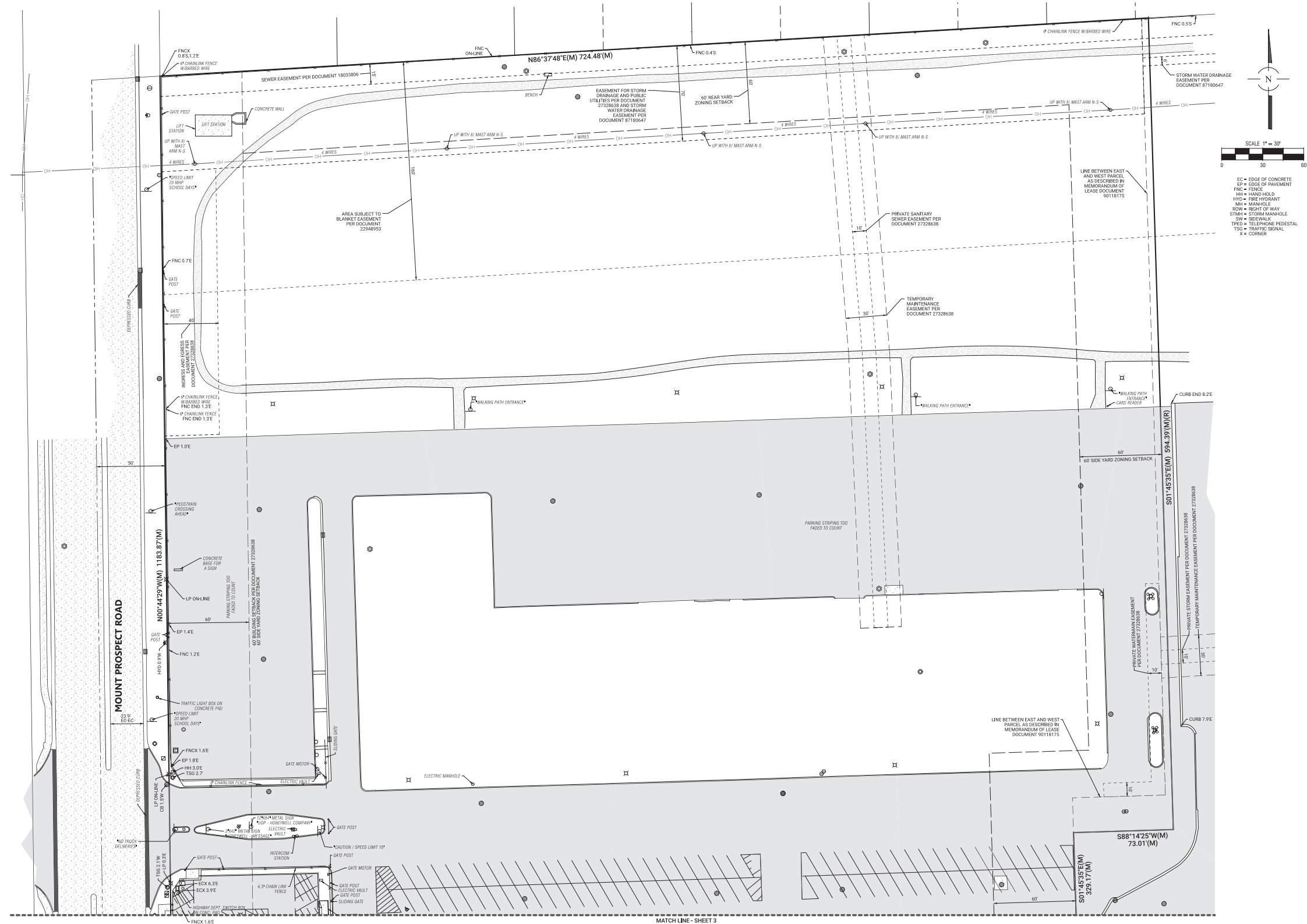


25 and 95 E. Algonquin Rd – Facing West along Algonquin Road



25 and 95 E. Algonquin Rd – North Entrance to Parking Area

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



NO.	DATE	REMARKS
1	12/05/24	ZONING REPORT

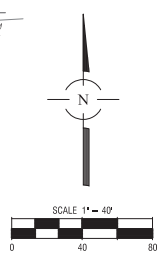
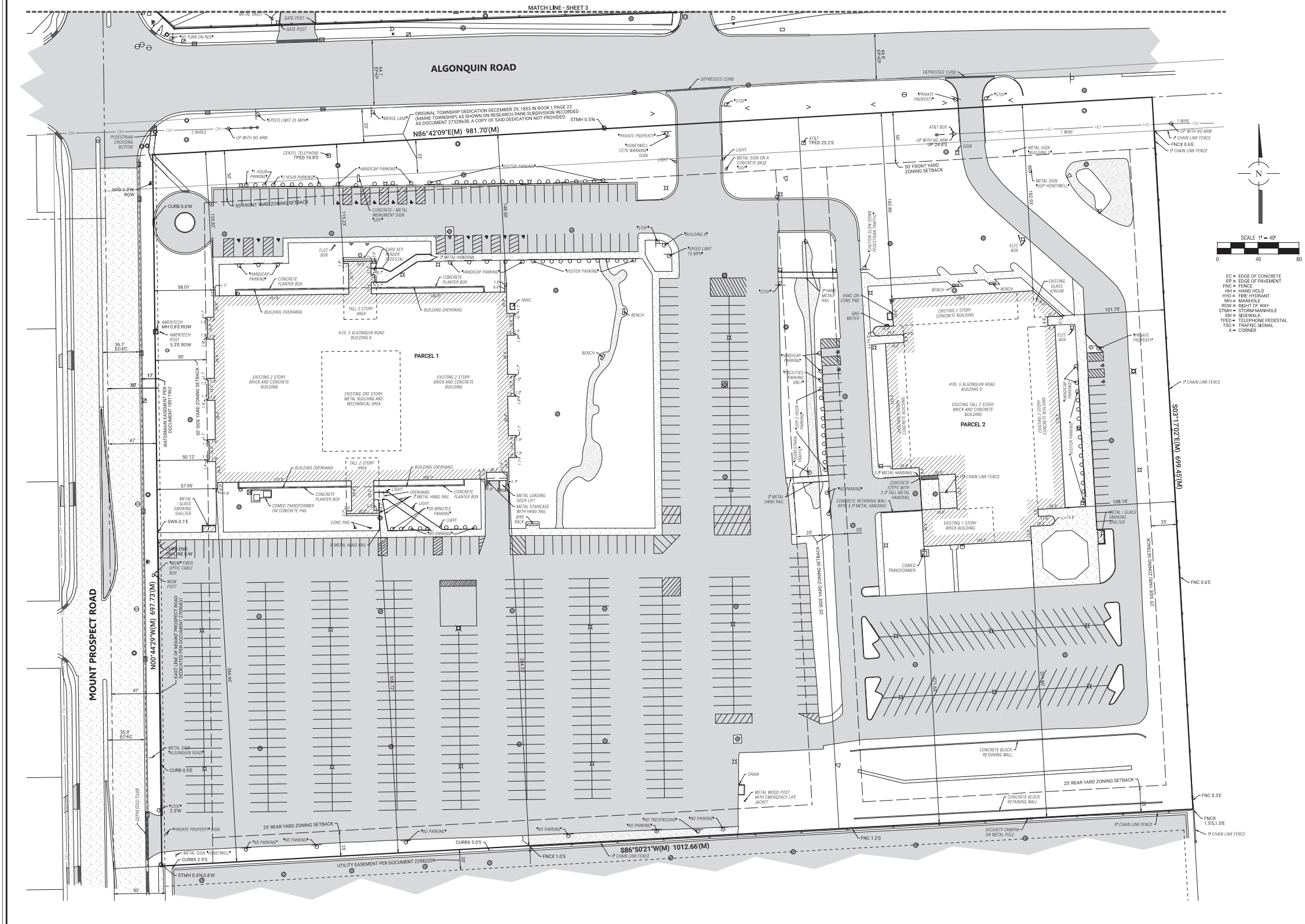
ALTA/NSPS LAND TITLE SURVEY
25, 30 & 95 EAST ALGONQUIN ROAD
 DES PLAINES, ILLINOIS

Spaceco
 Civil Engineering & Surveying
 Rosemont, IL - Morris, IL - Indianapolis, IN
 spacecoinc.com

FILENAME: 9697.09ALTA-01
DATE: 11/14/2024
JOB NO. 9697.09
SHEET 2 OF 4

LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	CATV
	OH
	F0
	F1
	F2
	F3
	F4
	F5
	F6
	F7
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A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



- ED = EDGE OF CONCRETE
- EP = EDGE OF PAVEMENT
- FNC = FENCE
- HH = HAND HOLE
- HYD = FIRE HYDRANT
- MH = MANHOLE
- ROW = RIGHT OF WAY
- STMH = STORM MANHOLE
- SW = SIDEWALK
- TPEL = TELEPHONE PEDESTAL
- TSO = TRAFFIC SIGNAL
- X = CORNER

**PARCEL 1
PARKING COUNT**

HANDICAP 13	1
MOTORCYCLE 2	474
TOTAL	489

PARCEL 1 ZONING:
 THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY HAVE BEEN LISTED HEREON BASED ON ZONING AND SITE REQUIREMENTS SUMMARY PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED DECEMBER 2, 2024. PZR SITE NUMBER: 1767401. (TABLE A, ITEM 6A)

EXISTING ZONING: M2 (GENERAL MANUFACTURING)
 FRONT SETBACK: ADJACENT MANUFACTURING, NOT ON A MAJOR THOROUGHFARE: 50 FEET (REQUIRED); ADJACENT OTHER OR ON MAJOR THOROUGHFARE: 65 FEET
 SIDE / REAR SETBACK: ADJACENT MANUFACTURING: 25 FEET; ADJACENT OTHER: 50 FEET (25 FEET REQUIRED)
 MAXIMUM BUILDING HEIGHT: 60 FEET; 40 FEET WHEN WITHIN 120 FEET ABUTTING RESIDENTIAL ZONE
 BUILDING SITE AREA: NONE REQUIRED
 MAXIMUM BUILDING COVERAGE: 70%
 PARKING SPACE FORMULA:
 WAREHOUSING AND WHOLESALES: 1 SPACE FOR EVERY 1,500 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% WAREHOUSE AREA FOR ALL BUILDINGS)
 (247,179 / 1,500 = 165)
 OFFICE: 1 SPACE FOR EVERY 250 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% OFFICE AREA FOR ALL BUILDINGS)
 (27,464 / 250 = 110)
275 TOTAL PARKING SPACES REQUIRED

LEGEND

	STORM SEWER		AIR CONDITIONING UNIT		GAS MAINLINE		FIRE HYDRANT
	SANITARY SEWER		ANTENNA TOWER		GAS METER		FIRE HYDRANT WITH VALVE
	COMBINED SEWER		ANTENNA TOWER WITH BASE		GAS METER WITH VALVE		FIRE HYDRANT WITH VALVE AND CAP
	WATER MAIN		ANTENNA TOWER WITH BASE AND GUY WIRES		GAS METER WITH VALVE AND CAP		FIRE HYDRANT WITH VALVE AND CAP AND HOSE
	ELECTRIC LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS		GAS METER WITH VALVE AND CAP AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE
	TELEPHONE LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE
	FIBER OPTIC LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE
	CITY UTILITY LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE
	OVERHEAD ELECTRIC LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE
	OVERHEAD TELEPHONE LINE		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE
	OVERHEAD ELECTRIC LINE WITH CROSS-ARMS		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE
	OVERHEAD TELEPHONE LINE WITH CROSS-ARMS		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE
	OVERHEAD ELECTRIC LINE WITH CROSS-ARMS AND GUY WIRES		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE
	OVERHEAD TELEPHONE LINE WITH CROSS-ARMS AND GUY WIRES		ANTENNA TOWER WITH BASE AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES AND CROSS-ARMS AND GUY WIRES		GAS METER WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE		FIRE HYDRANT WITH VALVE AND CAP AND HOSE AND NOZZLE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE AND HOSE

**PARCEL 2
PARKING COUNT**

HANDICAP 4	1
MOTORCYCLE 0	0
REGULAR 119	119
TOTAL	123

PARCEL 2 ZONING:
 THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY HAVE BEEN LISTED HEREON BASED ON ZONING AND SITE REQUIREMENTS SUMMARY PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED DECEMBER 2, 2024. PZR SITE NUMBER: 1767401. (TABLE A, ITEM 6A)

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 SIDE / REAR SETBACK: ADJACENT MANUFACTURING: 25 FEET; ADJACENT OTHER: 50 FEET (25 FEET REQUIRED)
 MAXIMUM BUILDING HEIGHT: 60 FEET; 40 FEET WHEN WITHIN 120 FEET ABUTTING RESIDENTIAL ZONE
 BUILDING SITE AREA: NONE REQUIRED
 MAXIMUM BUILDING COVERAGE: 70%
 PARKING SPACE FORMULA:
 WAREHOUSING AND WHOLESALES: 1 SPACE FOR EVERY 1,500 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% WAREHOUSE AREA FOR ALL BUILDINGS)
 (247,179 / 1,500 = 165)
 OFFICE: 1 SPACE FOR EVERY 250 SQUARE FEET OF GROSS FLOOR AREA (ESTIMATED 10% OFFICE AREA FOR ALL BUILDINGS)
 (27,464 / 250 = 110)
275 TOTAL PARKING SPACES REQUIRED

NO.	DATE	REMARKS
1	12/05/24	ZONING REPORT

ALTA/NSPS LAND TITLE SURVEY
25, 30 & 95 EAST ALGONQUIN ROAD
DES PLAINES, ILLINOIS



FILENAME: 9697.09ALTA-01
DATE: 11/14/2024
JOB NO. 9697.09
SHEET 4 OF 4



Project Narrative
25 & 95 E. Algonquin Road

Seefried Properties desires to redevelop the unused 2 office buildings at 25 & 95 E. Algonquin Road into a single parcel, speculative industrial building. The parcel shall contain a 260,400 square foot building that will be 36' clear with 300 possible car parking positions, 2 drive in doors, 45 possible dock positions, and 63 trailer parking positions. The building shall be made of concrete precast walls and glass designed with first class industrial aesthetic features like textured reveals and overlapped panels to create depth, undulating heights, glass openings and entrance features, and complementary paint schemes. The facility will be designed to attract world class occupiers eager to operate business out of this desirable industrial location within the city. The speculative nature of the project means there are no tenants in the space currently and thus means the facilities will be shown as empty buildings to start and designed with optimal flexibility for any possible tenant.



June 2nd, 2025

Susan March
Seefried Industrial Properties, Inc
8745 W Higgins Rd Suite 220, Chicago, IL 60631

WILL SERVE LETTER

Dear Susan March,

This letter is in response to your request for information on the availability of AT&T services for a proposed commercial project in Des Plaines at the following addresses

- 25 Algonquin rd
- 95 E Algonquin rd
- 1055 S Mt. Prospect Rd

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed commercial development but an acknowledgment that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

Kolade Fajimi (Engineer)
Senior Specialist OSP Design Engineer
Access Construction & Engineering Midwest

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com



June 20, 2025

Ms. Susan March
Seefried Industrial Properties, Inc
8745 W Higgins Rd.
Suite 220
Chicago, IL 60631

Re: A Will Serve letter for a new commercial project at 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016.

Dear Ms. Susan March:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Maurice Allen at cell +1 (630) 210-5916 or email at Maurice_Allen2@cable.comcast.com with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,



Robert L. Schuller Jr.
Central Division Director of Construction
(224) 229-5863

July 8, 2025
Susan March
847-921-5537
Susanmarch@seefriedproperties.com
Seefried Industrial Properties, Inc
8745 W Higgins Rd Suite 220, Chicago, IL 60631

Gas Availability for the Proposed: 25 & 95 E Algonquin, 1055 S Mt. Prospect Rd, Des Plaines, IL 60016

To whom it may concern,

This letter will serve as Nicor Gas' intention to provide service to the above, proposed new construction project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Kelly Turner, at start up in order to coordinate the gas service/main installation timetable. I can be reached at 630-605-1586 or by email at kturner@southernco.com.

If you have any additional questions, please let me know.

Sincerely,

Kelly Turner

New Business Construction Consultant
Customer Development, Nicor Gas

08/7/2025

**25 E Algonquin RD
Des Plaines, IL 60016**

**Request for Electrical Service Letter – 25 E Algonquin RD. Des Plaines, IL
60016**

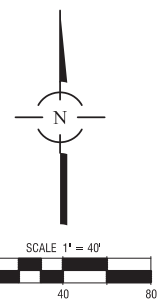
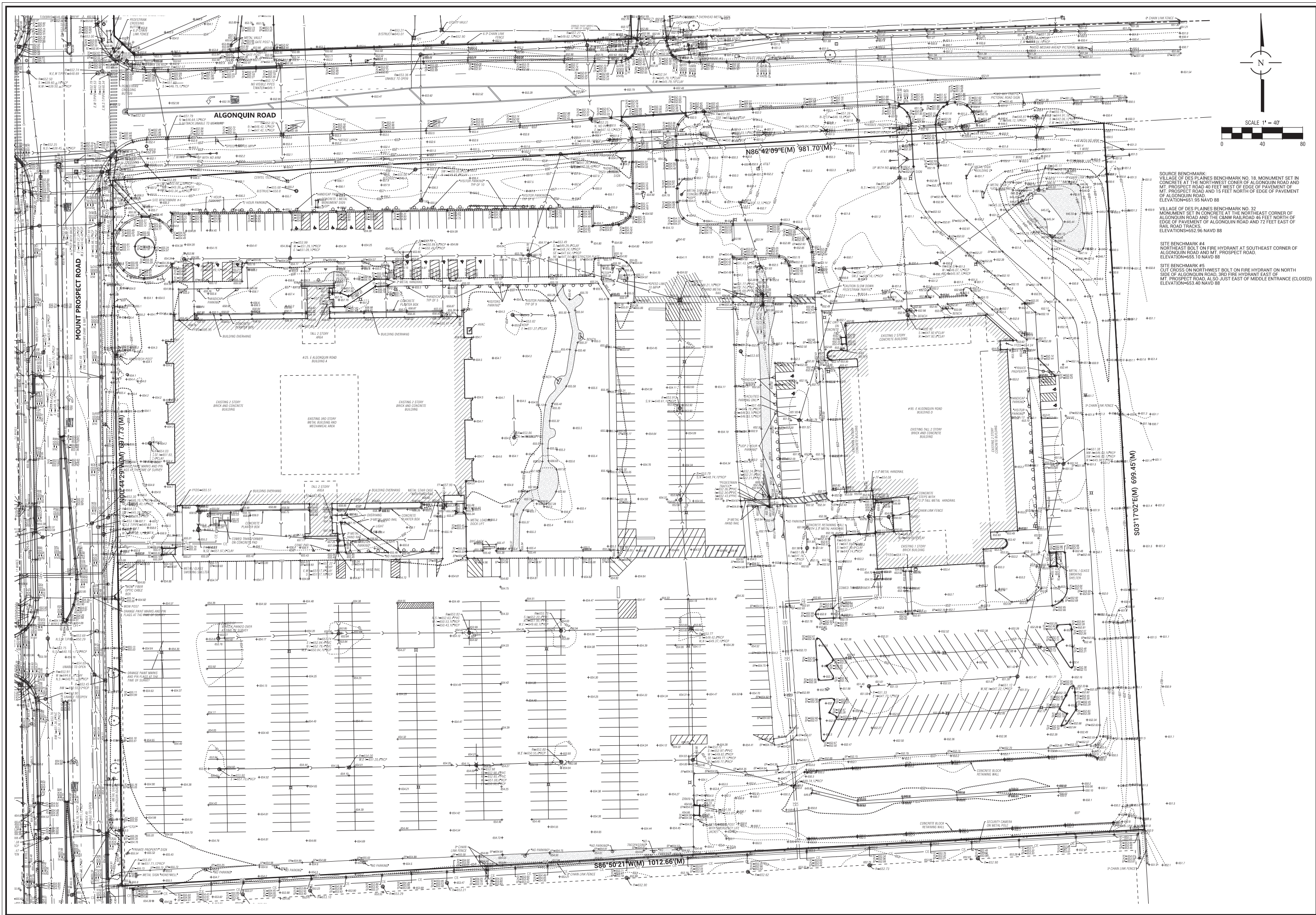
This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 847-846-1074.

Thanks,

Martin

Martin Conneely
DCC | Field Representative
ComEd | An Exelon Corporation
847-846-1074



SOURCE BENCHMARK:
 VILLAGE OF DES PLAINES BENCHMARK NO. 18. MONUMENT SET IN CONCRETE AT THE NORTHWEST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD 40 FEET WEST OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 15 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD. ELEVATION=651.95 NAVD 88

VILLAGE OF DES PLAINES BENCHMARK NO. 32. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF ALGONQUIN ROAD AND THE CN&W RAILROAD 46 FEET NORTH OF EDGE OF PAVEMENT OF ALGONQUIN ROAD AND 72 FEET EAST OF RAIL ROAD TRACKS. ELEVATIONS=652.96 NAVD 88

SITE BENCHMARK #4. NORTHEAST BOLT ON FIRE HYDRANT AT SOUTHEAST CORNER OF ALGONQUIN ROAD AND MT. PROSPECT ROAD. ELEVATION=655.10 NAVD 88

SITE BENCHMARK #5. CUT CROSS ON NORTH-WEST BOLT ON FIRE HYDRANT ON NORTH SIDE OF ALGONQUIN ROAD, 3RD FIRE HYDRANT EAST OF MT. PROSPECT ROAD, ALSO JUST EAST OF MIDDLE ENTRANCE (CLOSED). ELEVATION=653.40 NAVD 88

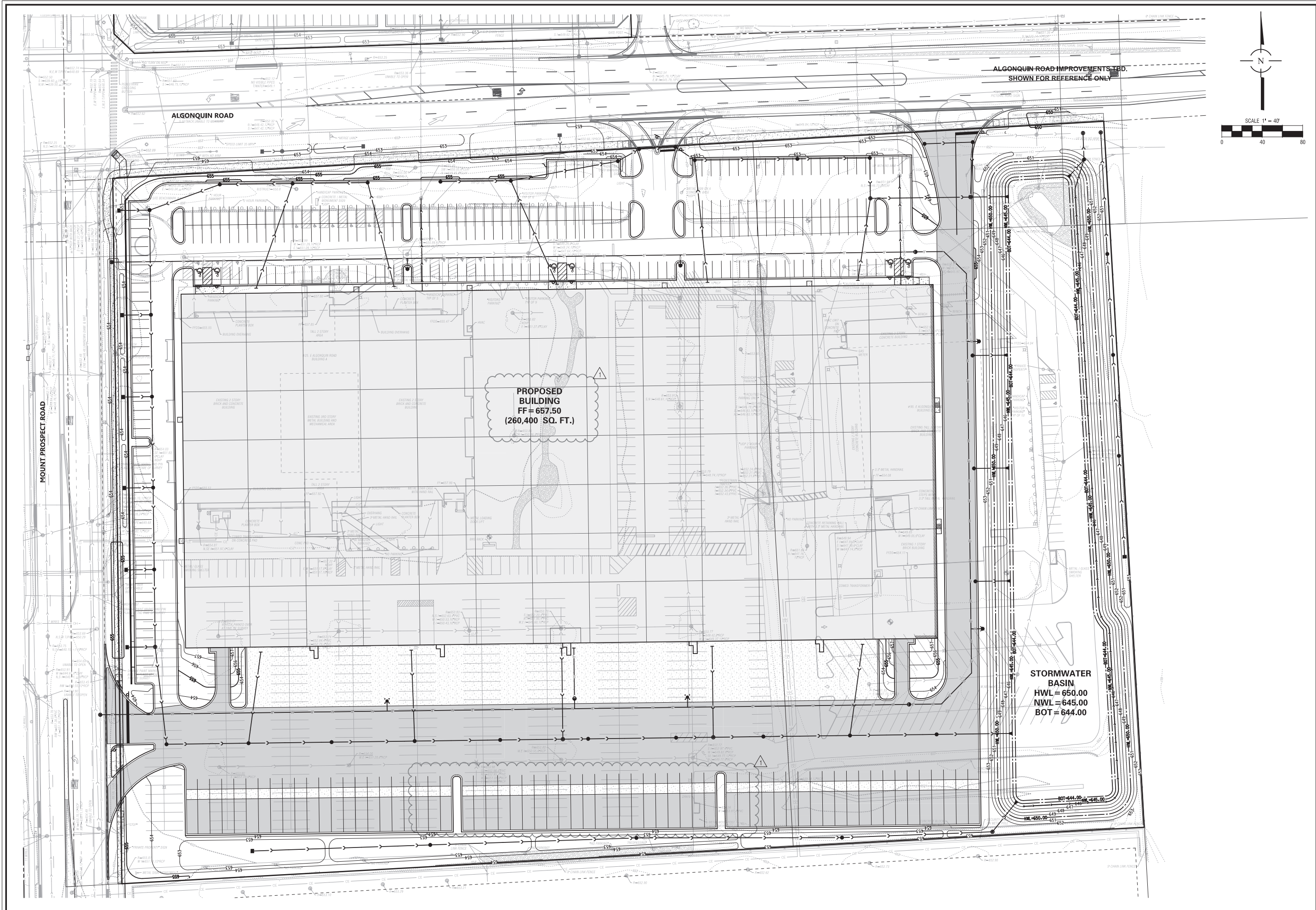
NO.	DATE	REMARKS

NO.	DATE	REMARKS

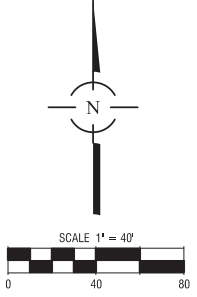
OVERALL EXISTING CONDITIONS PLAN
O'HARE LOGISTICS CENTER 19
 PROJECT LOCATION

Spaceco
 Civil Engineering & Surveying
 Rosemont, IL - Morris, IL - Indianapolis, IN
 spacecoinc.com

FILENAME: 9697.09-OVEC
DATE: 07/18/25
JOB NO. 9697.09
SHEET OVEC 3 OF 29



ALGONQUIN ROAD IMPROVEMENTS, LTD.
SHOWN FOR REFERENCE ONLY



PROPOSED BUILDING
FF = 667.50
(260,400 SQ. FT.)

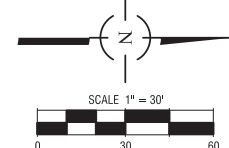
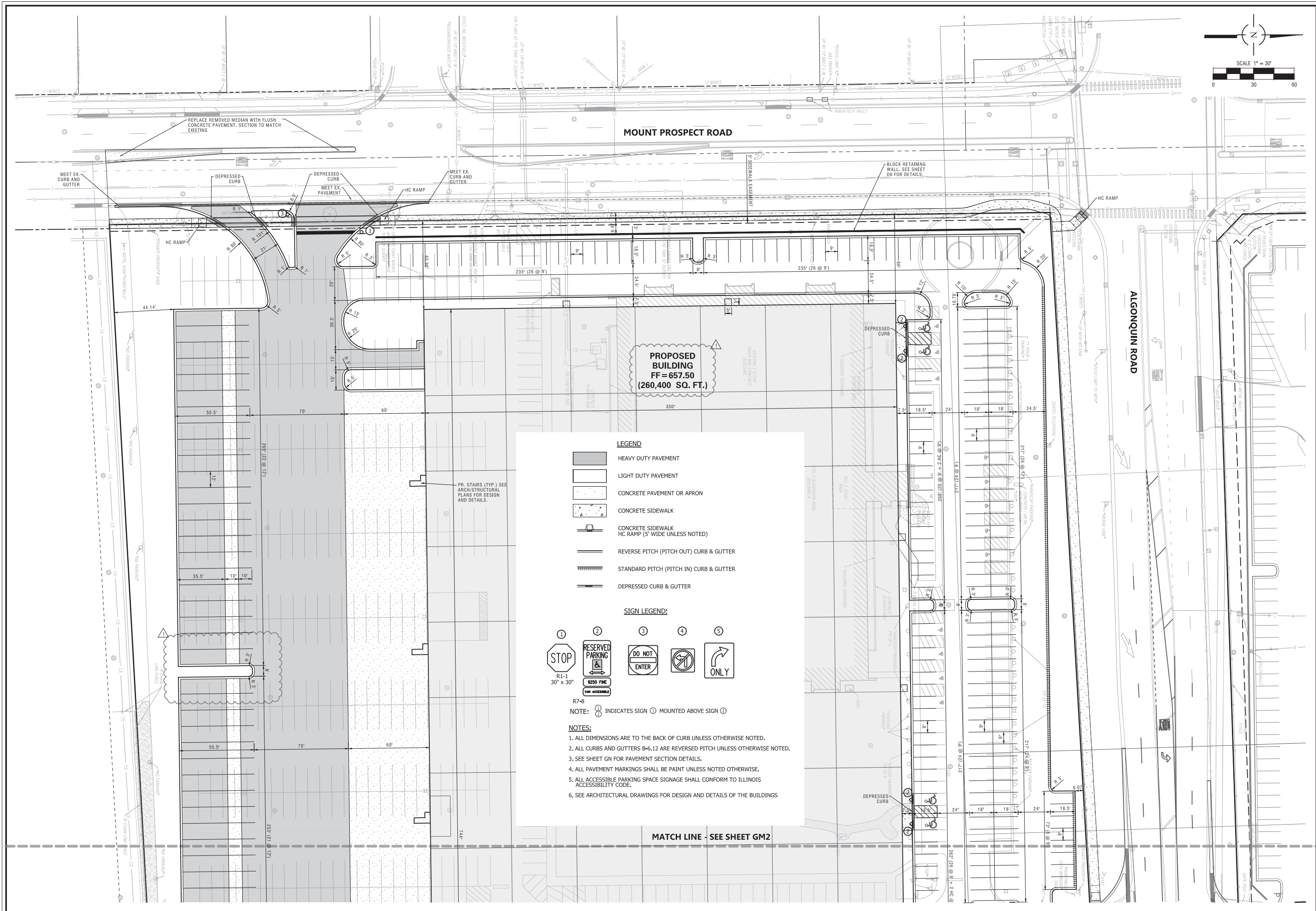
STORMWATER BASIN
HWL = 650.00
NWL = 645.00
BOT = 644.00

NO.	DATE	PER CITY OF DES PLAINES	REMARKS
1	08/13/25		

OVERALL SITE PLAN
O'HARE LOGISTICS CENTER 19
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME:	9697.09-OVSP
DATE:	07/18/25
JOB NO.:	9697.09
SHEET:	OVSP
	8 OF 29



MOUNT PROSPECT ROAD

ALGONQUIN ROAD

PROPOSED BUILDING
FF = 657.50
(260,400 SQ. FT.)

- LEGEND**
- HEAVY DUTY PAVEMENT
 - LIGHT DUTY PAVEMENT
 - CONCRETE PAVEMENT OR APRON
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK
HC RAMP (5' WIDE UNLESS NOTED)
 - REVERSE PITCH (PITCH OUT) CURB & GUTTER
 - STANDARD PITCH (PITCH IN) CURB & GUTTER
 - DEPRESSED CURB & GUTTER
- SIGN LEGEND:**
- STOP
R1-1
30" x 30"
 - RESERVED PARKING
R250 FINE
VIA ACCESSIBLE
 - DO NOT ENTER
 - NO LEFT TURN
 - ONLY
- NOTE:** INDICATES SIGN MOUNTED ABOVE SIGN
- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS R-6.12 ARE REVERSED PITCH UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT UNLESS NOTED OTHERWISE.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS

MATCH LINE - SEE SHEET GM2

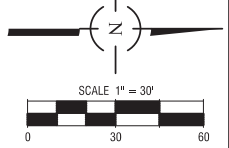
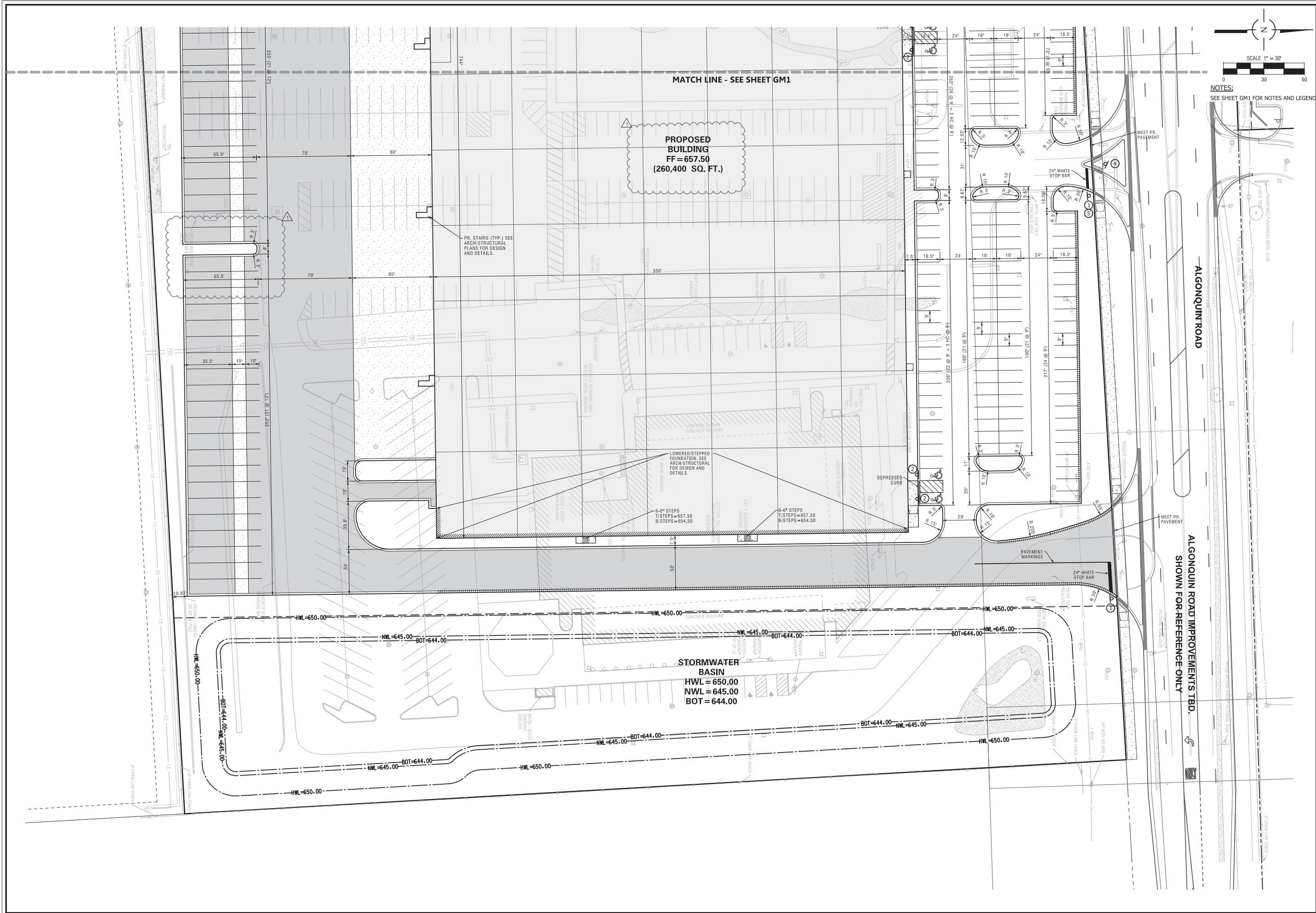
GEOMETRIC PLAN - 1

O'HARE LOGISTICS CENTER 19
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

FILENAME: 9697.09-GM1
DATE: 07/18/25
JOB NO. 9697.09
SHEET **GM1**
9 OF 29



NOTES:
SEE SHEET GM1 FOR NOTES AND LEGEND

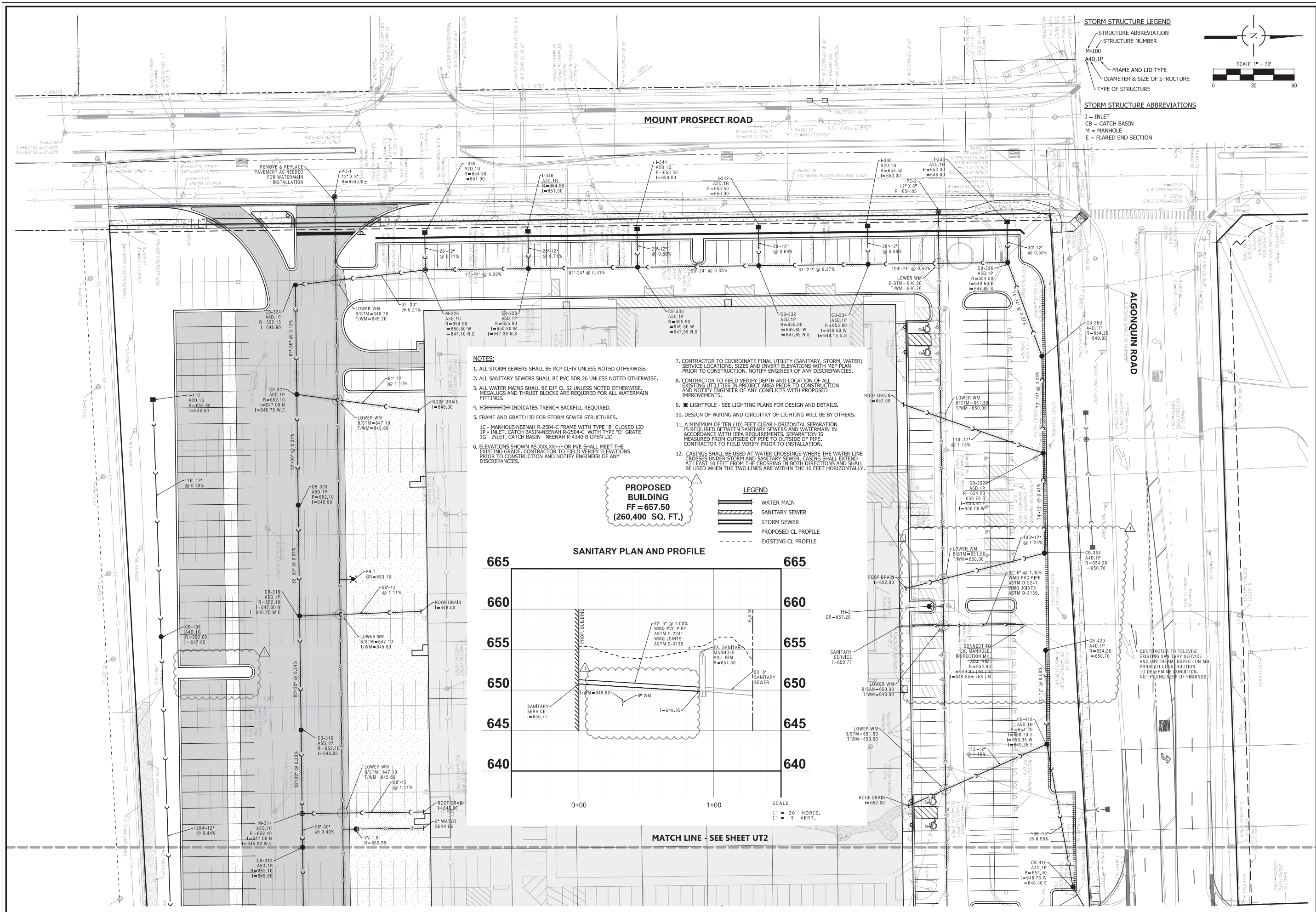
NO.	DATE	REMARKS
1	08/17/25	PER CITY OF DES PLAINES

NO.	DATE	REMARKS

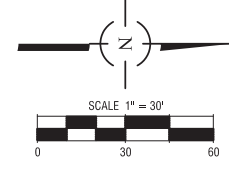
GEOMETRIC PLAN - 2
O'HARE LOGISTICS CENTER 19
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME: 9697.09-GM2
DATE: 07/18/25
JOB NO. 9697.09
SHEET GM2 10 OF 29



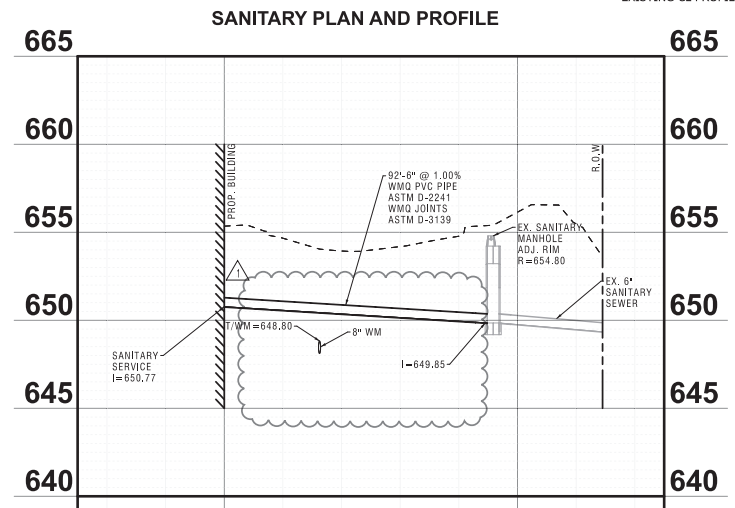
- STORM STRUCTURE LEGEND**
- STRUCTURE ABBREVIATION
 - STRUCTURE NUMBER
 - M-100
 - A4D.1P
 - FRAME AND LID TYPE
 - DIAMETER & SIZE OF STRUCTURE
 - TYPE OF STRUCTURE
- STORM STRUCTURE ABBREVIATIONS**
- I = INLET
 - CB = CATCH BASIN
 - M = MANHOLE
 - E = FLARED END SECTION



- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-V UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 3. ALL WATER MAINS SHALL BE DIP CL 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 4. [Symbol] INDICATES TRENCH BACKFILL REQUIRED.
 5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES.
 6. ELEVATIONS SHOWN AS XXX.XX +/- OR M/E SHALL MEET THE EXISTING GRADE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 7. CONTRACTOR TO COORDINATE FINAL UTILITY (SANITARY, STORM, WATER) SERVICE LOCATIONS, SIZES AND INVERT ELEVATIONS WITH MEP PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
 8. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES IN PROJECT AREA PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS WITH PROPOSED IMPROVEMENTS.
 9. [Symbol] LIGHTPOLE - SEE LIGHTING PLANS FOR DESIGN AND DETAILS.
 10. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
 11. A MINIMUM OF TEN (10) FEET CLEAR HORIZONTAL SEPARATION IS REQUIRED BETWEEN SANITARY SEWERS AND WATERMAIN IN ACCORDANCE WITH IEPA REQUIREMENTS. SEPARATION IS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALLATION.
 12. CASINGS SHALL BE USED AT WATER CROSSINGS WHERE THE WATER LINE CROSSES UNDER STORM AND SANITARY SEWER. CASING SHALL EXTEND AT LEAST 10 FEET FROM THE CROSSINGS IN BOTH DIRECTIONS AND SHALL BE USED WHEN THE TWO LINES ARE WITHIN THE 10 FEET HORIZONTALLY.

PROPOSED BUILDING
 FF = 657.50
 (260,400 SQ. FT.)

- LEGEND**
- [Symbol] WATER MAIN
 - [Symbol] SANITARY SEWER
 - [Symbol] STORM SEWER
 - [Symbol] PROPOSED CL PROFILE
 - [Symbol] EXISTING CL PROFILE



MATCH LINE - SEE SHEET UT2

SCALE
 1" = 30' HORIZ.
 1" = 5' VERT.

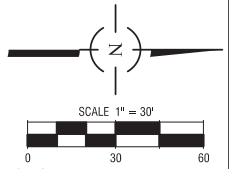
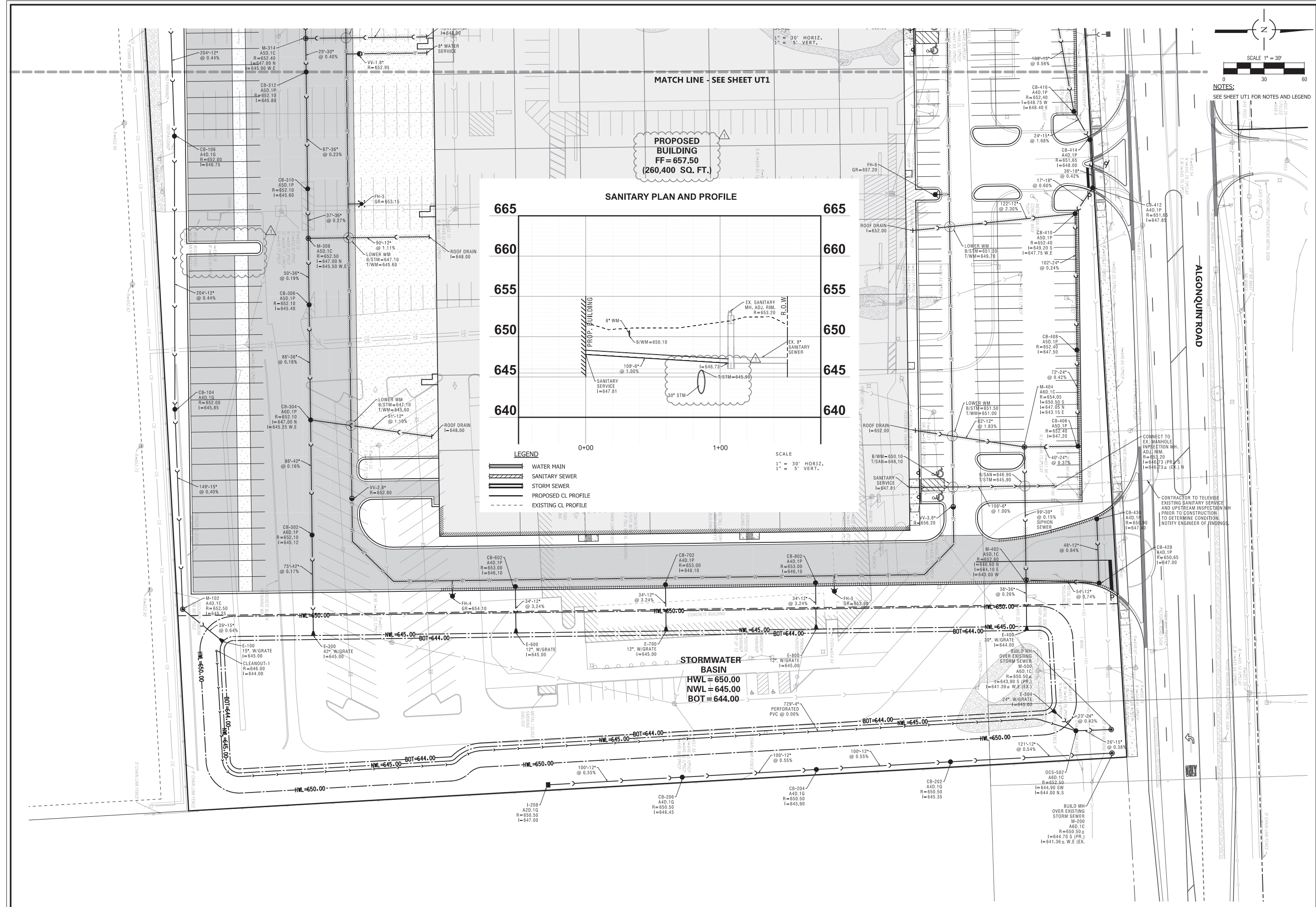
REMARKS		REMARKS	
NO.	DATE	NO.	DATE
1	08/17/25		

UTILITY PLAN - 1

O'HARE LOGISTICS CENTER 19
 PROJECT LOCATION

Spaceco
 Civil Engineering & Surveying
 Rosemont, IL - Morris, IL - Indianapolis, IN
 spacecoinc.com

FILENAME: 9697.09-UT1
 DATE: 07/18/25
 JOB NO. 9697.09
 SHEET UT1
 13 OF 29



NO.	DATE	REMARKS
1	08/17/25	PER CITY OF DES PLAINES

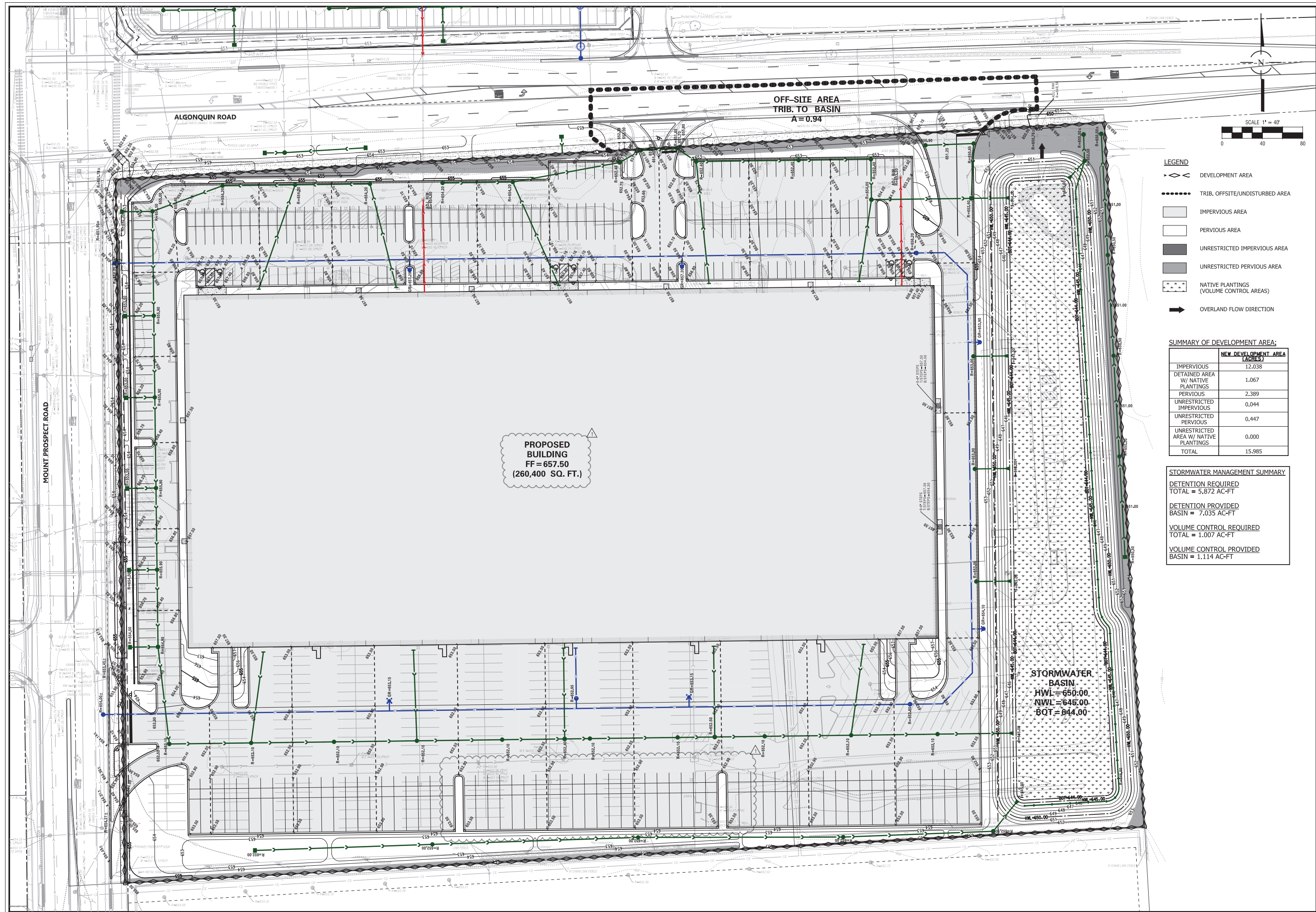
NO.	DATE	REMARKS
1	08/17/25	PER CITY OF DES PLAINES

UTILITY PLAN - 2

O'HARE LOGISTICS CENTER 19
PROJECT LOCATION

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME: 9697.09-UT2
DATE: 07/18/25
JOB NO. 9697.09
SHEET UT2 14 OF 29



LEGEND

- DEVELOPMENT AREA
- TRIB. OFFSITE/UNDISTURBED AREA
- IMPERVIOUS AREA
- PERVIOUS AREA
- UNRESTRICTED IMPERVIOUS AREA
- UNRESTRICTED PERVIOUS AREA
- NATIVE PLANTINGS (VOLUME CONTROL AREAS)
- OVERLAND FLOW DIRECTION

SUMMARY OF DEVELOPMENT AREA:

	NEW DEVELOPMENT AREA (ACRES)
IMPERVIOUS	12.038
DETAINED AREA W/ NATIVE PLANTINGS	1.067
PERVIOUS	2.389
UNRESTRICTED IMPERVIOUS	0.044
UNRESTRICTED PERVIOUS	0.447
UNRESTRICTED AREA W/ NATIVE PLANTINGS	0.000
TOTAL	15.985

STORMWATER MANAGEMENT SUMMARY

DETENTION REQUIRED	TOTAL = 5,872 AC-FT
DETENTION PROVIDED	BASIN = 7,035 AC-FT
VOLUME CONTROL REQUIRED	TOTAL = 1.007 AC-FT
VOLUME CONTROL PROVIDED	BASIN = 1.114 AC-FT

NO.	DATE	REMARKS
1	08/13/25	PER CITY OF DES PLAINES

PROPOSED DRAINAGE EXHIBIT
O'HARE LOGISTICS CENTER 19
PROJECT LOCATION



FILENAME:	9697.09-PDE
DATE:	07/18/25
JOB NO.	9697.09
SHEET	PDE
	28 OF 29



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplainesil.gov

MEMORANDUM

Date: July 29, 2025

To: Jonathan Stytz, Senior Planner

From: John La Berg, P.E., CFM, Civil engineer

Cc: Becka Shipp, P.E. Assistant Director of Public Works and Engineering

Subject: 25 and 95 East Algonquin Rd.

Public Works and Engineering has reviewed the preliminary plans and has the following general comments:

- This project will require the following permits: IEPA, MWRD, IDOT, and Cook County Highway Dept.
- Will need separate agreement with building owner about maintenance of looped water main.
- If the detention pond is flat wetland plantings will be required.
- Existing sewer and water connections to the city utilities need to be removed at city utility and city utility pipe replaced.
- City water mains fronting this development on both the Mt. Prospect Rd. and Algonquin Rd. frontages may need to be replaced in their entirety funded by the developer.

JL/jl

THIS IS A TENTATIVE PLAT,
OF NO LEGAL EFFECT AND
NOT TO BE RECORDED

TENTATIVE PLAT OF SUBDIVISION

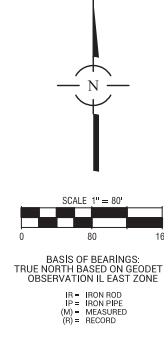
OWNER/SUBOWNER: SEEFRIED INDUSTRIAL PROPERTIES
8745 WEST HIGGINS ROAD
SUITE 220
CHICAGO, ILLINOIS 60631

SURVEYOR: SPACECO INC.
9574 WEST HIGGINS ROAD
SUITE 100
ROSEMONT, ILLINOIS 60018

ENGINEERING: SPACECO INC.
9574 WEST HIGGINS ROAD
SUITE 100
ROSEMONT, ILLINOIS 60018

CURRENT ZONING DISTRICT: M-2 GENERAL MANUFACTURING
PROPOSED ZONING DISTRICT: M-2 GENERAL MANUFACTURING

ADDRESS: 25 AND 95 EAST ALGONQUIN ROAD
DES PLAINES, ILLINOIS 60016



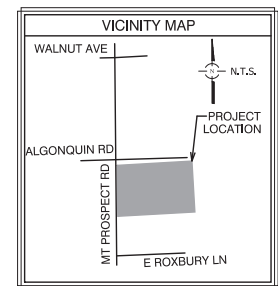
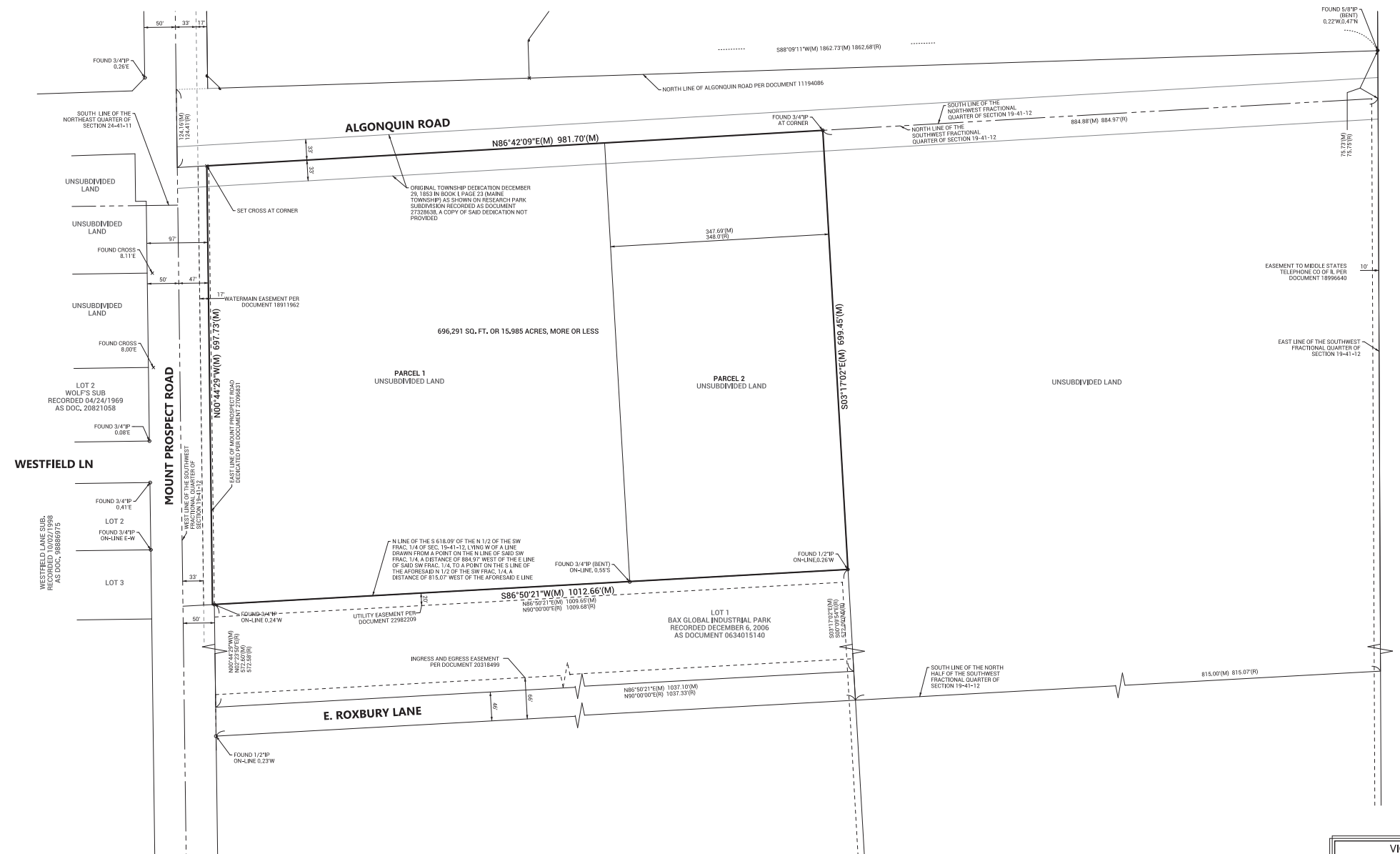
TENTATIVE PLAT OF SUBDIVISION O'HARE LOGISTICS CENTER 19 EXISTING BOUNDARY INFORMATION

P.I.N.:
09-19-300-010-0000
09-19-300-012-0000

PROPERTY DESCRIPTION:

PARCEL 1:
A PARCEL OF LAND IN THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE SOUTH 618.09 FEET OF THE NORTH 1/2 OF SAID SOUTHWEST FRACTIONAL 1/4, AND LYING WEST OF A LINE DRAWN PARALLEL WITH AND 348.0 FEET WEST OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID SOUTHWEST FRACTIONAL 1/4, A DISTANCE OF 884.97 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST FRACTIONAL 1/4, TO A POINT ON THE SOUTH LINE OF THE AFORESAID NORTH 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, A DISTANCE OF 815.07 FEET WEST OF THE AFORESAID EAST LINE, (EXCEPTING THAT PART AS DEEDED TO THE COUNTY OF COOK BY DEED RECORDED MAY 22, 1984 AS DOCUMENT 2709623), IN COOK COUNTY, ILLINOIS.

PARCEL 2:
A PARCEL OF LAND IN THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: THE EAST 348 FEET OF THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER OF SAID SECTION 19 AFORESAID, LYING NORTH OF THE SOUTH 618.09 FEET OF THE NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER, AND LYING WEST OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, A DISTANCE OF 884.97 FEET WEST OF THE EAST LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, TO A POINT ON THE SOUTH LINE OF THE AFORESAID NORTH 1/2 OF THE SOUTHWEST FRACTIONAL QUARTER, A DISTANCE OF 815.07 FEET WEST OF THE AFORESAID EAST LINE, IN COOK COUNTY, ILLINOIS.



NO.	DATE	CITY COMMENTS	REMARKS
1	08/13/25		

TENTATIVE PLAT OF SUBDIVISION
O'HARE LOGISTICS CENTER 19
DES PLAINES, ILLINOIS

Spaceco
Civil Engineering & Surveying
Rosemont, IL - Morris, IL - Indianapolis, IN
spacecoinc.com

FILENAME:
9697.09TENT-SOUTH-01

DATE:
07/18/2025

JOB NO.
9697.09

SHEET
1 OF 2

PREPARED FOR:
SEEFRIED INDUSTRIAL PROPERTIES
8745 W. HIGGINS, SUITE 220
CHICAGO, IL 60631

THIS IS A TENTATIVE PLAT,
OF NO LEGAL EFFECT AND
NOT TO BE RECORDED

TENTATIVE PLAT OF SUBDIVISION

OWNER/SUBDIVIDER: SEEFRIED INDUSTRIAL PROPERTIES
8745 WEST HIGGINS ROAD
CHICAGO, ILLINOIS 60631

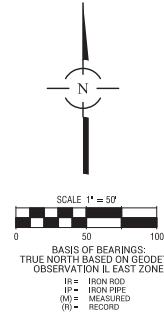
SURVEYOR: SPACECO INC.
8575 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

ENGINEERING: SPACECO INC.
8575 WEST HIGGINS ROAD
SUITE 700
ROSEMONT, ILLINOIS 60018

CURRENT ZONING DISTRICT: M-2 GENERAL MANUFACTURING

PROPOSED ZONING DISTRICT: M-2 GENERAL MANUFACTURING

ADDRESS: 28 AND 95 EAST ALGONQUIN ROAD
DES PLAINES, ILLINOIS 60015

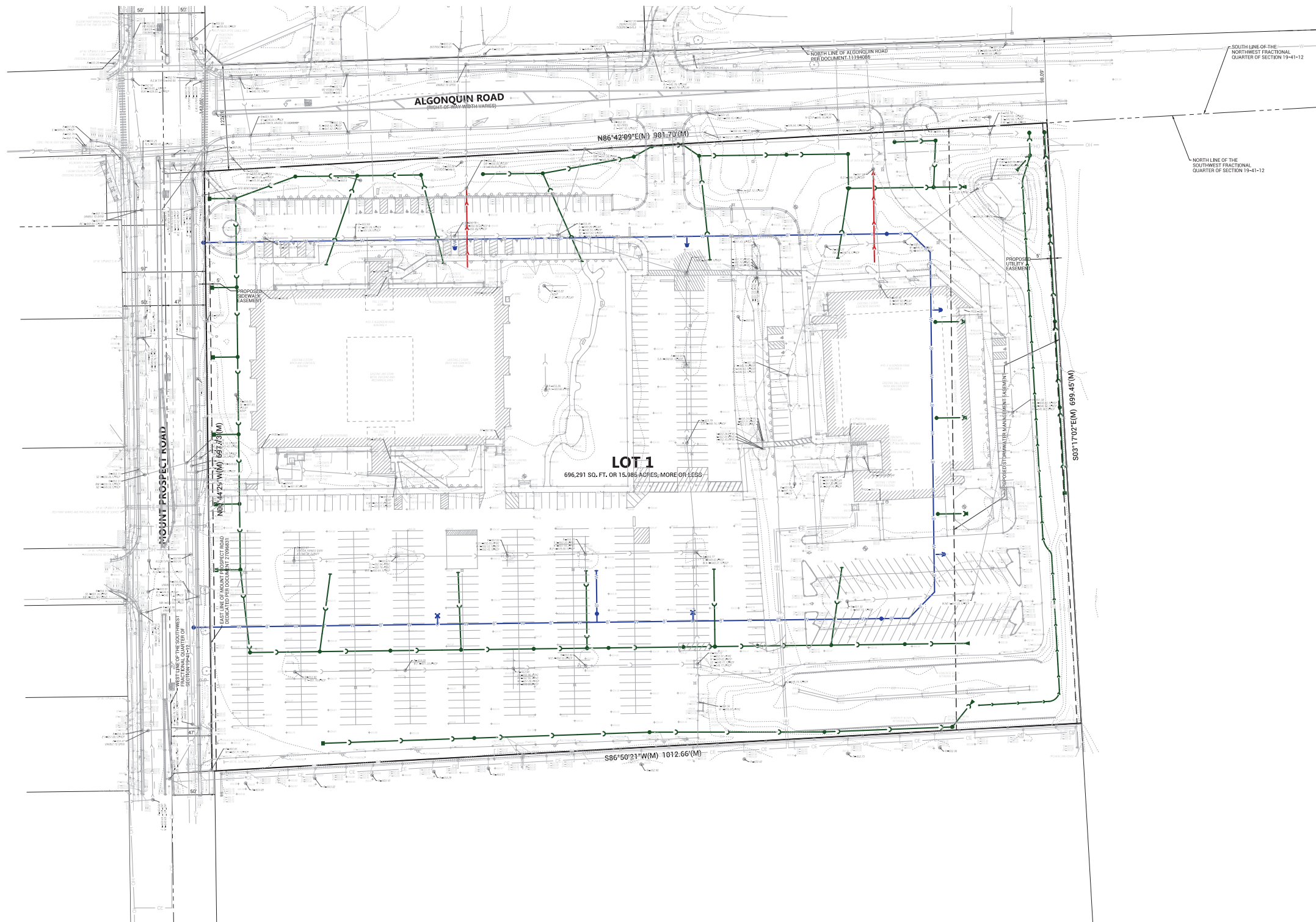


TENTATIVE PLAT OF SUBDIVISION

O'HARE LOGISTICS CENTER 19

PROPOSED BOUNDARY INFORMATION

P.I.N.:
09-19-300-010-0000
09-19-300-012-0000



PREPARED FOR:
SEEFRIED INDUSTRIAL PROPERTIES
8745 W. HIGGINS, SUITE 220
CHICAGO, IL 60631

NO.	DATE	REMARKS
1	08/13/25	CITY COMMENTS

TENTATIVE PLAT OF SUBDIVISION
O'HARE LOGISTICS CENTER 19
DES PLAINES, ILLINOIS



FILENAME:
9697.09TENT-SOUTH-01

DATE:
07/18/2025

JOB NO.
9697.09

SHEET