

## Planning and Zoning Board Agenda

May 27, 2025

Room 102 – 7:00 P.M.

### Call to Order and Roll Call

**Approval of Minutes:** May 13, 2025

**Public Comment:** For matters not on the agenda

**General Communications:** May 19, 2025 City Council vote to reconsider 2200 E. Golf Rd Assisted Living Facility

**Administrative Decisions:** 25-023-VAR - 1641 Ash Street - Minor Variation for fence – Denied

### Pending Applications:

**1. Address:** 555 Howard Rd **Case Number:** 25-021-FPLAT

The petitioner requests a Final Plat of Subdivision to consolidate the existing two lots into one lot of record.

**PINs:** 09-30-400-002-0000; 09-30-400-032-0000

**Petitioner/Owner:** Doug Klein, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

**2. Addresses:** 9535, 9575, 9585, and 9600 East Golf Road **PZB Workshop**

The Planning and Zoning Board will be hosting a workshop for a proposed development at the former Fisherman's Dude Ranch property on the south side of Golf Road just east of I-294.

The property owner and developer, Napleton, proposes to develop an approximately 12-acre site with multi-family and townhouse residential buildings. The developer and team will provide an overview of their preliminary concepts, answer questions, and collect feedback about this development.

The workshop is for informational purposes only. No formal petition for development approvals will be considered, nor will any formal decisions or recommendations be made at this workshop. Details can be found at [desplainesil.gov/workshops](http://desplainesil.gov/workshops).

**PINs:** 09-16-201-011-0000, 09-16-201-014-0000, 09-16-201-013-0000, 09-16-201-016-0000, 09-16-201-015-0000, 09-16-201-003-0000, 09-15-100-033-0000, 09-15-100-032-0000, 09-15-100-035-0000

**Applicant/Owner:** EFN Des Plaines Property LLC, One Oakbrook Terr., Ste 600, Oakbrook Terrace, IL 60181

### Adjournment

**Next Agenda:** Next meeting is Tuesday, June 10, 2025.

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.



**DES PLAINES PLANNING AND ZONING BOARD MEETING  
MAY 13, 2025  
MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, May 13, 2025, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chairman Szabo called the meeting to order at 7:00 p.m. and a roll call was established.

PRESENT: Catalano, Fowler, Zadrozny, Weaver, Szabo  
ABSENT: Veremis  
ALSO PRESENT: Jonathan Stytz, Senior Planner  
Jonathan Mendel, Assistant Director of Community & Economic Development

A quorum was present.

**APPROVAL OF MINUTES**

A motion was made by Board Member Fowler, seconded by Board Member Catalano to approve the meeting minutes of April 8, 2025.

AYES: Catalano, Fowler, Zadrozny, Weaver, Szabo  
NAYS: None  
ABSTAIN: None

A motion was made by Board Member Zadrozny, seconded by Board Member Catalano to approve the meeting minutes of April 22, 2025.

AYES: Catalano, Fowler, Zadrozny, Weaver, Szabo  
NAYS: None  
ABSTAIN: None

\*\*\*MOTION CARRIED\*\*\*

**PUBLIC COMMENT ON NON-AGENDA ITEM**

There was no public comment.

## **GENERAL COMMUNICATIONS**

Assistant Director Mendel outlined the results of the City Council May 5, 2025 regarding the first readings for the 2200 E. Golf Road and 1244 Brown Street cases.

Mr. Mendel stated that 2200 E. Golf Road was effectively denied by means of a failed motion to approve, but the 1244 Brown Street request was approved and would be returning for second reading on the May 19, 2025 City Council agenda.

Chair Szabo asked Mr. Mendel to reaffirm that the 2200 E. Golf Road Assisted Living Facility was denied. Mr. Mendel stated that this is correct.

Member Fowler asked if this project is dead with this denial. Mr. Mendel stated that the request ends with that denial.

Member Fowler asked if there is a way for it to go back to the City Council. Mr. Mendel stated that under Robert's Rules of Order a reconsideration of City Council vote could be asked at the next City Council meeting on May 19, 2025.

Member Fowler asked if there is a scenario in which it would return to PZB. Mr. Mendel stated that this would only be if there was substantive change to the request.

## **ADMINISTRATIVE DECISIONS**

Chairman Szabo stated the list of administrative decisions:

- (25-019-LA) 1761 Junior Terrace – Retain Existing Brick Pavers in ROW – Approved pending compliance with code enforcement violations elsewhere on the property.
- (25-026-VAR) 1864 Welwyn Avenue – Minor Variation for Exterior Building Materials for a Single Family Detached Residence - Approved

**PENDING APPLICATIONS**

1. **Address:** 969 Elmhurst Road Unit 2A

**Case Number:** 25-018-CU

The petitioner requests a Conditional Use for a Commercially Zoned Assembly use and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 08-24-100-024-0000

**Petitioner:** Ermek Nurbaev, Kyrgyz Kino USA LLC, 969 Elmhurst Road Unit 2A, Des Plaines, IL 60016

**Owner:** Gulpat LLC, 8421 N McVicker Ave, Morton Grove, IL 60053

Chairman Szabo introduced the case on the agenda.

Petitioner Ermek Nurbaev gave a presentation outlining the request.

Member Weaver asked if the business for-profit or non-profit. Mr. Nurbaev states it is for-profit.

Member Weaver why is the business only open until 5 pm and not open on any evenings or weekends. Mr. Nurbaev stated they are looking to expand to evening hours and change if approved. Then they will consult with their landlord.

Member Weaver asked if they have 24 hour access to their tenant space. Mr. Nurbaev stated they do but want to understand the outcome of this zoning request before they consult with their landlord.

Member Zadrozny asked if the room with 8 seats is sufficient. Mr. Nurbaev wants this small space for business activity related to specific cultural movies for private small group screening.

Member Fowler asked if this business operated elsewhere.

Ermek Nurbaev stated this is the only one.

Chair Szabo stated there are no additional Board questions and asked Mr. Mendel to present the staff report.

Assistant Director Jonathan Mendel presented the staff report and analysis.

**Case Number:** 25-016-CU

**PINs:** 08-24-100-024

**Ward:** #8, Alderman Mike Charewicz

**Existing Zoning:** C-3, General Commercial District

- Existing Land Use:** Multi-tenant commercial building
- Surrounding Zoning:** North: C-3, General Commercial District  
South: C-3, General Commercial District  
East: R-3, Townhouse Residential District  
West: Village of Mount Prospect
- Surrounding Land Use:** North: Multi-tenant commercial building  
South: Multi-tenant commercial building  
East: Multi-Family buildings  
West: Commercial buildings in the Village of Mount Prospect
- Street Classification:** Elmhurst Road is classified as a major road under IDOT jurisdiction
- Comprehensive Plan:** “Commercial” is the use illustrated in the Comprehensive Plan.
- Project Overview:** The petitioner, Kyrgyz Kino USA, LLC, has leased the subject tenant space within this multi-tenant commercial services building. The petitioner wishes to operate a community center assembly use facility in Unit 2A of this building. No proposed expansions or exterior alterations are proposed for the building. All proposed uses will be located inside the building. Refer to the “Floor Plan” attachment.
- Zoning/Property History:** Based on aerial imagery, the subject property was developed in the mid-1980s and has been a commercially zoned since its development.
- Project Description:** Petitioner proposes a community entertainment center/theater primarily serving the local Kyrgyzstani community. They plan to offer a variety of cultural events including live theater performances, film screenings, interactive entertainment experiences, live stage shows and classes for theater and film training.
- Proposed Operations*  
The proposal primarily operates Monday-Friday from 10 a.m. to 5 p.m. when they provide the various entertainment outlined in their Narrative. They plan to cater to families, young professionals and cultural enthusiasts. They estimate about 30 visitors at a given time in the proposed tenant space.
- The petitioner proposes this use to provide a platform for diverse artists and performers, strengthen community engagement with interactive events, boost local businesses by attracting more visitors to this part of Des Plaines and create job opportunities.
- The subject space is 2,100 sq. ft. and divided into individual spaces in which activities would be conducted. There are 44 total fixed seats and 362 sq. ft. of office space.

### CONDITIONAL USE

#### **Request Description:**

The proposed commercial theater/community center is a commercially zoned assembly use as defined below requiring a conditional use in the C-3, General Commercial District:

*COMMERCIALLY ZONED ASSEMBLY USES: A use that is primarily for the purpose of the assembly of people, which can contain a combination of uses that take place in both principal and accessory structures. Such uses include: commercial theater, banquet halls, nightclubs, church, synagogue, temple, meeting house, mosque, or other place of worship. For allowable accessory uses, refer to the specific land uses defined in this chapter. Such uses shall adhere to the off street parking requirements under "assembly uses". (Section 12-13-3 of the Zoning Ordinance).*

#### *Building Code Occupancy Requirements*

Occupying this space will require the following:

- As-built plans will be required. Include all information for existing mechanical, electrical and plumbing systems.
- Provide a full code analysis showing compliance with the International Building Code. Code Analysis should include the following:
  - Occupant load analysis
  - Exit capacity and exit access paths
  - Exit and emergency light locations
  - Construction type
  - Functions of rooms
  - Provide door hardware information for all existing doors
- The Illinois Plumbing Code will require an additional toilet room. The single user toilet room shall be accessible.
- Limiting the occupant load to under 50 occupants will keep the occupancy classification as a Group B.

The petitioner is aware of above which will be addressed during building permit/certificate of occupancy review as this is not directly germane to the Conditional Use process.

#### *Excessive Noise/Sound Generation*

Activities and operations of the proposed assembly use generating excessive noise/sound that escapes the subject property must comply with Sections 12-12-8 and 6-2-7 of the City's code. This could include, but not limited to, amplified bell ringing, calls to pray, processions, worship services' music and activities, etc.

#### *Off-Street Parking and Access*

Pursuant to Section 12-9-7 of the Des Plaines Zoning Ordinance, the minimum off-street parking requirement for the proposed Commercially Zoned Assembly and Office use and the existing Shopping Center use for the subject property:

Seating Type	Parking Requirement
Fixed Seating	<b><u>1 space for every 5 seats</u></b> in the main auditorium, sanctuary, nave or similar place of assembly and other rooms (gymnasiums, classrooms, offices) which are to be occupied simultaneously
No Affixed Seating	<b><u>1 space for every 60 square feet of floor area</u></b> in the main auditorium, sanctuary, nave or similar place of assembly and other rooms (gymnasiums, classrooms, offices) which are to be occupied simultaneously
Office	<b><u>1 space for every 250 square feet of gross floor area</u></b>
Shopping Centers	<b><u>3 spaces for every 1,000 square feet of gross floor area</u></b>

The attached Petitioner’s Floor Plan indicates fixed seating in the showrooms and two small office spaces and the subject property is a Shopping Center for parking calculation purposes and has an existing 37 parking spaces. The following chart outlines the collective parking requirements for to the existing subject property Shopping Center and the proposed Commercially Zoned Assembly Use and Office:

Shopping Center req = $(8,494 \text{ sq ft}/1000)*3 = 26$ <b>spaces required</b>
Existing tenant spaces (1A, 1B, 1C, 2B/C)
Proposed Comm. assembly & office space = <b>11 spaces required</b>
(1 space/5 seats and 1/250 sq ft office)
<b>Total on-site spaces = 37</b>
<b>Total required as proposed = 37 spaces (26+11)</b>
<b>Compliant: 37 existing; 37 required</b>

The parking requirement for the proposed uses and the existing uses in the subject property comply with Section 12-9-7 (Off Street Parking Requirements).

**Standards for Conditional Use**

The following is a discussion of standards for conditional uses from Section 12-3-4.E of the Zoning Ordinance. Rationale for how the proposed amendments may or may not satisfy the standards is provided below and in the petitioner’s response to standards. The PZB may use this rationale toward its recommendation, or the Board may make up its own.

- 1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:**

The Petitioner’s Response to Standards for Conditional Use provides their response to this standard.

- 2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:**

The Petitioner’s Response to Standards for Conditional Use provides their response to this standard.

*Staff Comments:* The proposed use is in accordance with the objectives of the Comprehensive Plan.

**3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: The proposed assembly use is relatively small at 2,200 sq. ft. and may not create noticeable external impacts.

**4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: Staff did not identify any specific concerns regarding this use in this location.

**5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: Staff believe the proposed use is adequately served with essential public facilities and services.

**6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: The proposed use is not anticipated to create a burden on public facilities.

**7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: All activities are proposed to occur inside the building within the relatively small tenant space.

**8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

Staff Comments: Vehicular access will continue to be provided from the existing full-access curb cut to Elmhurst Road and there is unlikely to be any noticeable change to traffic patterns to/from the subject property.

**9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

*Staff Comments:* The subject property is within an existing building and thus would not result in the loss or damage of natural, scenic, or historic features. No new development is proposed for this site.

**10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:**

The Petitioner's Response to Standards for Conditional Use provides their response to this standard.

*Staff Comments:* The proposed use complies with other zoning ordinance requirements.

**PZB Procedure and Recommended Conditions:**

Conditional Use

Pursuant to Sections 12-3-4(E) of the Zoning Ordinance, the PZB may vote to *recommend* the City Council approve, approve with conditions, or deny the conditional use. The City Council has final authority over both requests.

**Suggested Conditions of Approval**

1. A special event license must be obtained by the Petitioner from the Community and Economic Development Department for any activities or events held by the petitioner on the 969 Elmhurst Rd. property but located outside the building.
2. Unless a private parking agreement is executed with adjacent properties, the Petitioner shall not direct any employees or visitors to park in any areas outside of the subject property.

Member Zadrozny asked if there is any food or alcohol provided. Mr. Nurbaev stated no food or alcohol sales are planned.

Chairman Szabo opened public comment. No members of the public came forward.

Chairman Szabo closed the public hearing and entertained a motion regarding the case.

A motion was made by Member Weaver and seconded by Member Fowler to recommend approval of the conditional use to the City Council, with conditions drafted by staff.

AYES: Weaver, Fowler, Zadrozny, Catalano, Szabo

NAYS: None

ABSTAIN: None

**\*\*\*MOTION CARRIED\*\*\***

2. Addresses: 30, 36, and 40 N. Des Plaines River Road Case Number: 25-020-V

The petitioner is requesting a major variation to reduce the minimum off-street parking spaces required on the subject property, and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-19-214-031-0000

**Petitioner:** Nsikak Idet, 30 N. Des Plaines River Road, Des Plaines, IL 60016

**Owner:** D.S. Patel, 3060 Landwehr Road, Northbrook, IL 60062

Chairman Szabo introduced the case on the agenda.

Petitioner Nsikak Idet presented their request.

Member Weaver asked if the petitioner's business is Mayen Global. Mr. Idet stated that it is.

Member Weaver asked if the Petitioner occupies space in the subject property. Mr. Idet stated he occupies one of the spaces, which has been vacant since the Fall of 2024.

Member Weaver asked for confirmation that Mr. Patel is the owner and the Petitioner is contracted to act on Mr. Patel's behalf. Mr. Idet confirmed that this is correct.

Senior Planner Jonathan Stytz presented the staff report and analysis.

**Case Number:** #25-020-V

**Ward Number:** #1, Alderman Margaret Chlebek

**Existing Zoning:** I-1, Institutional District

**Existing Land Uses:** Two Assembly Uses (commercial); Vacant Building

**Surrounding Zoning:** North: C-2, Limited Office Commercial District  
South: C-3, General Commercial District  
East: R-1, Single Family Residential District  
West: C-2, Limited Office Commercial District

**Surrounding Land Uses:** North: Office Building (commercial)  
South: Manufacturing (industrial)  
East: Cook County Forest Preserve (recreational)  
West: Office Building (commercial)

**Street Classification:** Des Plaines River Road is classified as an other principal arterial road under Illinois Department of Transportation (IDOT) jurisdiction.

**Comprehensive Plan:** Commercial Industrial Urban Mix is the designated use for the property.

**Property/Zoning History:** *Overview*

The subject property was annexed into the City in 1966 as a vacant piece of land. The property was developed around 1972 with two commercial buildings and small parking area off Des Plaines River Road<sup>1</sup>. The front commercial building contains two tenant spaces addressed east to west as 30 and 36 N. Des Plaines River Road and the rear building contains one tenant space addressed as 40 N. Des Plaines River Road, which is illustrated in the attached Subject Property Address Assignment completed in 2024.

*Previous Approval and Current Violations*

The subject property was originally zoned C-3 General Commercial. However, in 2017, an application to rezone the property to I-1 Institutional and approve multiple variations for a place of worship<sup>2</sup> was received from RCCG Foundation of Life INC (“RCCG”).

On November 6, 2017, City Council approved all requests through Ordinance Z-22-17 (attached) with the conditions that: (i) RCCG pays all applicable fees for building permits and related approvals; and (ii) that RCCG enters into a parking lease with the owner of a parcel adjacent to the subject property in adherence of the following:

- The parking lease shall be for the use of no less than 30 legal and Zoning Ordinance compliant off-street parking spaces during RCCG’s weekly worship services.
- The parking lease shall be in a form acceptable to City’s General Counsel and shall have a term no less than RCCG’s lease for the subject property.
- The parking lease shall remain in effect for the duration of RCCG’s occupation and use of the subject property as a place of worship.
- In the event the parking lease is terminated by either the lessor or RCCG, RCCG shall provide the City with evidence of a replacement lease within no less than 30 days.
- The subject property may not be used as a place of worship during any time period in which a valid parking lease is not in effect.

At this time, a parking lease with the adjacent property at 1455 E. Golf Road was carried out for the remaining 30 off-street parking spaces required. However, there have been recent changes on the subject property that have violated the existing ordinance as noted

<sup>1</sup> Historic Aerials. <https://www.historicaerials.com/location/41.625/-87.875/T1890/16>. Retrieved April 28, 2025.

<sup>2</sup> Now classified as a type of assembly use (for subject property it is an institutionally zoned assembly use).

below:

- RCCG has left the subject property and has been replaced by a new assembly use, which has begun operating on the subject property without a business license; and
- The previously executed parking lease with the 1455 E. Golf Road has been terminated and a new parking lease with a property adjacent to the subject property has not been established<sup>3</sup>; and
- A separate assembly use is operating on site without a business license.

### **Major Variation**

#### **Request Summary:**

##### *Overview*

As noted in the *Property/Zoning History* section above, Ordinance Z-22-17 approved a map amendment and several variations for the subject property for an assembly use with a condition that parking lease must be executed and maintained on a property adjacent to the subject property for the life of the assembly use. The Merriam-Webster dictionary<sup>4</sup> defines “*adjacent*” as “having a common endpoint or border” and the Des Plaines Zoning Ordinance utilizes this word in this fashion to describe objects that are next to or abut each other.

The original parking lease agreement with 1455 E. Golf Road met this requirement as this property shares the north property line and a portion of the west property line with the subject property. However, the current parking lease with the property at 1372 Redeker Road does not meet this requirement as it does not share a property boundary with the subject property. As such, the petitioner requests an amendment to Ordinance Z-22-17 to allow the parking lease requirement to be satisfied by a property that is not directly adjacent to the subject property, which requires a major variation.

##### *Existing and Proposed Floor Plans*

The subject property is an interior lot in the I-1 Institutional district, which consists of two commercial buildings and an off-street parking area. The table below and attached Floor Plans identify the existing uses operating on the site:

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<sup>3</sup> Note that the petitioner has provided a parking lease for the property at 1372 Redeker Road. However, this does not satisfy the condition in Ordinance Z-22-17 as this property is not adjacent to the subject property.

<sup>4</sup> <https://www.merriam-webster.com/dictionary/adjacent>. Retrieved April 29, 2025.

Property Address	Site Location	Use(s)	Floor Area	Floor Area Breakdown
30 N. Des Plaines River Road	Front Building (Tenant #1)	Assembly Use (Banquet Hall)	2,778 SF	<ul style="list-style-type: none"> <li>• 709 SF Reception Area</li> <li>• 671 SF Dining Area</li> <li>• 493 SF Kitchen</li> <li>• 248 SF Loading Area</li> <li>• 201 SF Storage Area</li> <li>• 49 SF Mechanical Room</li> <li>• 2 Single Stall Restrooms</li> </ul>
36 N. Des Plaines River Road	Front Building (Tenant #2)	Assembly Use (Place of Worship)	2,500 SF	<ul style="list-style-type: none"> <li>• 198 SF Reception Area</li> <li>• 82 SF Office Area</li> <li>• 1,965 SF Sanctuary</li> <li>• 20 SF Utility Room</li> <li>• 3 Single Stall Restrooms</li> </ul>
40 N. Des Plaines River Road	Rear Building (Tenant #3)	Vacant (former Office)	2,467 SF	<ul style="list-style-type: none"> <li>• 37 SF Foyer Area</li> <li>• 137 SF Reception Area</li> <li>• 192 SF Dining Area</li> <li>• 96 SF Break Room</li> <li>• 299 SF Conference Room</li> <li>• 87 SF Utility Room</li> <li>• 4 Offices totaling 610 SF</li> <li>• 2 Single Stall Restrooms</li> </ul>

*Uses and Business Operations*

Institutionally zoned assembly uses—including banquet halls and places of worship—are permitted uses in the I-1 district when the subject property fronts an arterial roadway as defined by the Illinois Department of Transportation (IDOT). Since Des Plaines River Road is classified as an *other principal arterial road*, both assembly uses are permitted by right. The proposed operations for both existing uses on the subject property are provided below based on the attached Project Narrative and discussions with the petitioner. The petitioner has confirmed the following:

- **30 N. Des Plaines River Road (Banquet Hall):** The banquet hall use is intended to operate Friday through Sunday from 9 AM to 12 AM and a maximum of 50 individuals will be on site at a given time. This venue will only serve food at this time but may elect to add liquor service in the future.
- **36 N. Des Plaines River Road (Place of Worship):** The place of worship will only operate on Sundays from 9 AM to 12 PM and a maximum of 30 individuals will be on site at

a given time. Currently, a single religious service will take place on site during the hours of operation on Sunday.

- **40 N. Des Plaines River Road (Vacant):** The rear building is currently vacant and cut off from power, but the petitioner is looking for potential tenants for this space.

*Off-Street Parking*

The subject property currently contains two separate assembly uses, which require the following minimum off-street parking spaces pursuant to Section 12-9-7 of the Zoning Ordinance depending on the type of assembly use. The table below identifies the off-street parking requirements for each existing use:

Use	Parking Calculation	Required Parking <sup>5</sup>
Community Centers, <b>Banquet Halls</b> , and Membership Organizations	1 space for every 200 square feet of gross activity area	9 spaces (1,628 SF / 200)
<b>Places of worship</b> and commercial theaters (with non-fixed/removable seating)	1 space shall be provided for every 60 square feet of floor area	38 spaces (2,245 SF / 60)
<b>Total Number of Off-Street Parking Spaces Required</b>		<b>47 spaces</b>

Please note that this table only includes the parking requirements for existing uses on the subject property. While Tenant 3 is currently vacant, additional off-street parking will be required for the new use. As an example, if a future office use occupies this space an additional five off-street parking spaces will be required based on the layout shown in the attached Floor Plans.

The attached Site Plan denotes a total of ten off-street parking spaces—including one accessible space—on the subject property, which results in a deficit of 37 spaces and requires a major variation.

*Off-Site Parking Lease*

The petitioner has an executed five year parking lease with the owner of Chicago Dial at 1372 Redeker Road (attached) to utilize 25 off-street parking spaces only on Sundays from 4 AM to 10 PM from November 6, 2022 to October 31, 2027. The Chicago Dial property is roughly 400 feet away from the subject property as measured with a straight line from the main entrance of the subject property to the nearest point of the Chicago Dial property. However, for a pedestrian, it would be closer to a distance of 550 feet along Redeker Road—with no walkway and heavy truck traffic—and a portion Des Plaines River Road to reach the subject property.

<sup>5</sup> The parking calculation excludes floor area devoted primarily to storage (up to 10 percent of the total building floor area), food preparation, bathroom, mechanical, hallways, stairwell, and elevator areas.

The Chicago Dial building is approximately 6,293 square feet in area and is occupied by a manufacturing use which requires a minimum of three off-street parking spaces<sup>6</sup>, including at least one accessible parking space. The original Floor and Parking Plan included with this parking lease indicated that there are a total of 42 off-street parking spaces on the subject property. However, a review of this plan with the application of off-street parking requirements confirmed that only 18 off-street spaces could be counted as noted below:

- Off-Site Spaces: The plan identifies 13 spaces located north of the Chicago Dial property on a separate property (9 Mary Street), which are not eligible to be counted. ***These were removed in the revised plan.***
- Tandem Spaces: The plan identifies 18 two-car-length tandem spaces along the south building elevation, which do not comply with Section 12-9-6 of the Zoning Ordinance requiring “each required off street parking space shall open directly upon an aisle or driveway in such a width and design as set forth below to provide safe and efficient means of vehicular access to such parking space.” ***These were adjusted in the revised plan to seven single spaces.***
- Accessible Spaces: The plan identifies two accessible parking spaces but neither space has the required unloading/loading space provided. ***The revised plan shows two accessible spaces sharing an unloading / loading space as required.***

Given the revisions identified above, this parking lease accommodates 18 of the remaining 37 off-street parking spaces required for the subject property, but only during a certain time period on Sundays for the place of worship use and it does not address parking for banquet events on Fridays and Saturdays.

#### *Consideration of Alternatives*

While the existing site development and configuration result in a substantial underutilization of the site, there are some alternatives to consider:

- Removal of one of the two buildings: This option would free up much needed space for off-street parking, access, and circulation purposes, which could accommodate the proposed assembly uses. While costly, this would help address many of the existing site issues.

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<sup>6</sup> Manufacturing uses require a minimum of one off-street parking space for every 1,500 square feet of gross floor area.

- Removal of one or both of the assembly uses: This option could allow for the replacement of intensive parking uses with those requiring less off-street parking requirements that better fit with the existing site conditions with potentially less cost to the petitioner.

**Standards for Variation:** The following is a discussion of standards for variations from Section 12-3-6(H) of the Zoning Ordinance. Rationale for how the proposed use would satisfy the standards as provided below and in the petitioner’s response to standards. The PZB may use this rationale toward its recommendation, amend it, or may make up its own.

**1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: The existing development on the subject property is expansive—covering almost half of the total property area—which greatly limits the types of uses that can be operated and the space available for related off-street parking, access, and circulation. The positioning of the two buildings on site is also not ideal as it creates an insufficient drive aisle width for two-way travel and provides a lot of dead pavement space that cannot be utilized for code-compliant off-street parking. The site layout as a whole does not lend itself to being accommodated for multiple uses, especially uses with more intensive parking, access, and circulation needs.

**2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Comment: The subject property is neither irregular nor substandard in shape nor contains exceptional topographical features. However, it is substantially substandard in size (15,197 square feet) for the I-1 district, which requires a minimum of two acres (87,120 square feet) of lot area. In addition, the existing structures on the subject property are nonconforming in relation to building coverage and front, side, and rear building setbacks. It can be argued that these conditions of the property limit the available space on the subject property for off-street parking and could require a major variation.

**3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: While the location, dimensions, size, and development of the subject property are not the result of a known action by the current owner, the property was purchased with these attributes. In addition, the assembly uses operating on the subject property are a direct result of the petitioner. Nonetheless, see the attached Petitioner’s Responses to Standards.

**4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

*Comment:* Carrying out the strict letter of this code for off-street parking does not necessarily deprive the property owner of substantial rights but rather requires the uses on the subject property to be scaled appropriately to match with the existing development on site. Many other properties in the I-1 district are substantially larger than the subject property, allowing for larger and more intensive parking uses without a need for parking variations. Many other I-1 district properties also have multiple access points, which allow for better circulation throughout the site, especially for uses that include a large influx of vehicles and pedestrians for extended periods of time. The subject property's attributes may not allow the petitioner as many options as for other I-1 zoned lots but does not prevent the petitioner from effectively utilizing the site if the major variation is not approved. Nonetheless, the PZB should decide.

**5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.**

*Comment:* Granting this variation to reduce the off-street parking requirement from 47 spaces to 10 spaces may be construed as a special privilege even with the aforementioned executed parking lease in place. The number and intensity of the uses on site could be determined to be too intensive given the smaller lot size and existing structures. While Ordinance Z-22-17 granted a variation for off-street parking, it was only in consideration of a single assembly use related to a place of worship. However, the current proposal includes two separate assembly uses—place of worship and banquet hall—which both require sufficient access, circulation, and off-street parking to operate effectively. Even with the proposed improvements provided on the attached Site Plan, the site conditions may not be adequate enough to support the two requested assembly uses, much less a future third user in the rear, currently vacant building. The PZB and City Council should consider whether the proposed site improvements and parking lease are sufficient for the proposed uses on the subject property and if a major variation request of this amount is appropriate.

**6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

*Comment:* The 2019 Comprehensive Plan discusses the pursuit of improving parking facilities in certain portions of the City—such as the downtown and Oakton and Elmhurst corridors—and incorporating parking reductions for multifamily residential developments. However, it does not discuss or promote parking reductions for institutional uses as requested by the petitioner. In addition, the intensification of uses and increased variation request for off-street parking do not represent a development or use that is in harmony with the Zoning Ordinance. Nonetheless, the PZB shall decide.

**7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

*Comment:* The *Consideration of Alternatives* section above identifies viable alternatives to the variation being requested by the petitioner. While staff have discussed these options with the petitioner, out of convenience the petitioner has requested approval of the off-street parking variation with the current site layout. Given the multiple alternatives available to the petitioner, the PZB may wish to ask why certain alternative designs are not feasible.

**8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

*Comment:* The variation request is not, in staff's opinion, the minimum measure of relief to address the petitioner's concerns given the site characteristics and the types of uses present on the site. Instead, the reconfiguration or removal of structures on the subject property would better utilize the available lot area for off-street parking and meet the applicable city ordinances all while minimizing adverse effects on surrounding properties.

**PZB Procedure and Recommended Conditions:** Under Section 12-3-6.G.2.b (Procedure for Review and Decision of Major Variations) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve or deny the request for a major variation. Consideration of the request should be based on a review of the information presented by the petitioner and the findings made above, as specified in Section 12-3-6.H (Standards for Variation) of the Zoning Ordinance.

If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions.

**Conditions of Approval:**

1. The entire off-street parking area on the subject property must be repaved and restriped in accordance with the approved Site Plan.
2. Excluding the pavement areas for the loading dock and emergency exit door, the entire area in between the east building elevation and east property line must be improved with landscaping including evergreen bushes, various shrubs, and perennials.
3. Prior to the issuance of business registrations for all uses, all active and proposed parking leases must be reviewed and approved by the City's legal staff. Parking leases must be active for the full extent of the assembly use's operation on the subject property. At no time shall there be less than the minimum number of off-street parking spaces available for all uses on the subject property.

Member Weaver asked staff if demolishing the third, rear building, would improve the site's use and functionality for vehicle circulation. Senior Planner Stytz stated removing the building would likely provide the site with more vehicle circulation, use, and functionality.

Member Weaver asked how long the current owner has owned this property. Mr. Idet stated Mr. Patel has owned it since 1995.

Member Weaver asked about the owner's obligation to the current tenants. Mr. Idet stated the owner is responsible to the current tenants as a landlord. The property's tax obligation is about \$40,000 and Mr. Idet stated he has worked to develop this property's productivity to overcome the tax burden costs.

Member Weaver asked if having the assembly uses reduces the tax burden. Mr. Idet stated that this could reduce the tax burden. He stated he wanted to maintain the current church tenant, which is only operating on Sundays. To do this, the petitioner has established parking agreements with Chicago Dial nearby and City Electric next door to provide parking to satisfy the City Code parking requirement.

Member Weaver stated there is a parking deficit even on Sundays. Mr. Idet stated he has had a parking agreement with 1455 E. Golf Road in the past with any adjacent property but has had to find another since this agreement expired. He states that it would cost \$30,000 every year to have shared parking with 1455 E. Golf Road, but that is not sustainable. Therefore, they needed to find another shared parking agreement. This would permit the property to attract office tenants. The applicant states that the current church use is possibly using less parking needs. Instead of shared parking at 1455 E. Golf Road, the petitioner created an agreement with Chicago Dial in 2022.

Member Weaver asked staff if the City Council 2017 approval parking was for 9 spaces on site and 30 spaces off-site on an adjacent property with a total of 39. Senior Planner Stytz confirmed Member Weaver's understanding of the 2017 approval.

Member Weaver stated that now the required parking is 47 spaces versus the 39 spaces in 2017. The number has gone up and the deficit has increased. The plan for off-site is now provides a deficit of 7 spaces. If we vote to recommend this request, we will lower the required parking. Senior Planner Stytz clarified that the variation would allow a reduction in the required off-street parking whether on-site or off-site.

Chairman Szabo asks the Petitioner if they've been using City Electric's parking and, if so, is there a formal parking agreement. Mr. Idet confirmed that they are using it, but only with a friendly informal agreement. We have a paid agreement with Chicago Dial to use their parking. The current request is to expand the effective use of the subject property for Monday-Friday instead of just on Sundays for with the current church tenant.

Senior Planner Stytz explained that formal off-site parking agreements have been required in order for staff to determine if there is ample parking supply on a site to supply both the on-site use and the off-site use.

Mr. Idet requests that if an office use is proposed that they will only accept applications from uses that can be accommodated with the on-site parking. He added that need to get this property into productive use due to interior property conditions that need repair.

Member Fowler asked which building needs interior repairs. Mr. Idet stated that building #3 in the rear need to be repaired.

Member Fowler asked if the petitioner had considered demolishing this building. Mr. Idet answered that they do not believe the demolition is necessary because the property is primarily in good condition. He added that there is still value and he believes the value could be emphasized.

Member Fowler asked if the petitioner would not accept tenants that would exceed the parking requirement on-site. Mr. Idet confirmed this statement.

Member Fowler asked if there are any uses operating during the week in tenant spaces #1 or #2. Mr. Idet stated he does not.

Member Weaver asked for clarification regarding the minimum off-street parking calculation for office uses. Senior Planner Stytz confirmed that the off-street parking calculation is one space for every 250 square feet of gross floor area regardless of the type of office. He also noted portions of the building, such as restrooms, hallways, and mechanical areas, that are not included in the parking calculation.

There was further discussion regarding off-street parking calculations and how the minimum off-street parking requirement could vary based on the uses on site.

Member Weaver asked for clarification regarding the subject of the major variation request, namely what would the PZB be forwarding a recommendation to City Council. Senior Planner Stytz confirmed that the major variation request is to reduce the number of required off-street parking spaces on site from 47 to 10.

There was further discussion regarding the major variation request before the PZB and the staff recommended condition requiring the remainder of the required off-street parking to be provided off-site on a neighboring property.

Chairman Szabo discussed the staggered times of the current uses on the subject property and questioned whether all 47 required spaces would be needed. He suggested that this approval could cover the existing uses and restrict the future user of Building #3 to require no more than five off-street parking spaces.

Member Weaver expressed concerns with that recommendation given that the nature of the uses can change without review of the PZB since these are permitted uses in the I-1 district.

Chairman Szabo asked for clarification that any change of use on the subject property would require a business registration. Senior Planner Stytz confirmed that a business registration would be required for any change of use and would be reviewed by staff for compliance.

There was further discussion on permitted uses versus conditional uses in relation to the existing uses on site and the PZB's ability to review future uses for the subject property. Senior Planner Stytz confirmed that the existing uses are permitted uses in the I-1 district—given that the subject

property abuts an arterial road—and would not be under the purview of PZB. However, any uses denoted as conditional uses such as a childcare center would be reviewed by the PZB and would include a site plan analysis for the proposed conditional use.

Assistant Director Mendal provided some additional clarity by discussing the logical nexus between the minimum off-street parking space requirement and permitted uses, allowing the PZB to encumber permitted uses based on the off-street parking deficit. He provided examples of this stating that the PZB could limit the scope of the variation for off-street parking to just these existing uses presented in this application or can encumber future permitted uses based on a set off-street parking space deficit for the subject property.

Chairman Szabo asked for public comment and swore in Kerry Levin who represents the property at 1455 E. Golf Road.

Mr. Levin outlined his history and experience with the subject property owner over time. He explained that they are not open on Sundays so if there is a concern related to off-street parking on Sundays, they could lease spaces to them. He stated his property has had problems with this property in the past that became difficult to enforce and management. Mr. Levin stated that the last negotiated parking agreement was for \$1,500 per month (\$18,000 per year). He noted the site is over-developed and the removal of the rear building would help alleviate off-street parking concerns. He further explained that the assembly uses on site are very parking intensive uses which exasperates the off-street parking issues. Mr. Levin noted alternatives available to the petitioner and his recommendation against this request. He noted that they currently lease parking spaces to Des Plaines Material.

Member Fowler asked how many parking spaces are currently being leased to the petitioner. Mr. Levin responded none.

Member Fowler asked if the \$18,000 per year is being paid currently. Mr. Levin stated that no agreement has been approved despite previous attempts to reach a parking agreement.

Member Fowler asked if there are currently individuals parking on 1455 E. Golf Road without permission. Mr. Levin responded yes.

Mr. Idet would like to work with Mr. Levin but would have to lease with Mr. Levin's property manager and this has not been executed.

There was further discussion about the private parties' ideas for negotiating a possible agreement.

Member Fowler asked Mr. Levin how many parking spaces would be available at 1455 E. Golf Road. Mr. Levin responded that it would depend on whether it would be just for Sundays or during the week. For Sunday mornings only, there would be up to 150 spaces could be available. During the week it will be closer to 30 spaces, but he would have to confirm given other parking leases that utilize this property.

Mr. Idet was looking for clarification on the number of available parking spaces at Chicago Dial.

Senior Planner Stytz referenced the Chicago Dial parking exhibit in the staff report confirming that there are only 18 spaces available on the Chicago Dial property. He explained that the previous parking exhibit provided for the Chicago Dial property counted spaces on the property to the north and included tandem spaces, which are not legal parking spaces.

Assistant Director Mendel outlined that this is not the appropriate venue for negotiation of the private meeting between the private parties and the PZB. The PZB or the petitioner can continue the request to permit the petitioner and other private parties time to negotiate parking agreements. Also, the PZB could review the request in front of them and make a recommendation conditioned that the agreements outlined by the petitioner that are formally executed.

Mr. Idet wanted to get this property in productive use. He noted that given the size of the current church, they do not need Chicago Dial for parking but are currently paying for the parking lease.

Szabo wants to see an executed written parking agreement from City Electric and noted that a continuance would likely be necessary to provide this document. Mr. Idet stated he could make this parking lease available. He also described an alternative option to work with Mr. Levin to get additional off-street parking spaces at 1455 E. Golf Road.

Chairman Szabo noted that there are others in the audience that wish to speak and asked if it is the petitioner's intention to request a continuance to the next PZB meeting. Mr. Idet responded that he wanted to let the audience member speak as he is the pastor of the existing church on site.

Chairman Szabo swore in Shola Olowookere who is the pastor of the existing church on site.

Mr. Olowookere states the church only has 30 members and many times patrons who come to the site have 3-4 people in one vehicle, resulting in only around 6-7 cars on a given Sunday between 9 am-12 pm. He noted that because of the code requirement, they need to enter into a parking lease with Chicago Dial. He confirmed that they do not currently park at 1455 E. Golf Road and do not have any operations on site outside of 9 am to 12 pm on Sundays. Mr. Olowookere explained that the previous church left because the rent was too high. He further noted that while they would be interested in working with Mr. Levin, the requested fee for the parking lease at 1455 E. Golf Road is too high.

Chairman Szabo swore in Michael Van Slambrouck who is the owner of the City Electric property at 6 N. Des Plaines River Road.

Mr. Van Slambrouck stated he had a parking lease with the first church on the subject property with specific maintenance provisions, but that did not go anywhere. About a year ago, he was approached by the Patels and tried to create another lease but it was not executed because the church disbanded. Mr. Van Slambrouck also noted that discussions for a new parking lease with City Electric need to be had with property ownership, not with current tenants as they do not have the ability to sublease. He noted that given the history with the subject property, they may not be interested in entering into a parking lease with his tenant.

Chairman Szabo asked if there was any additional public comment. No one responded.

Chairman Szabo asked the petitioner if he wished to conclude.

Mr. Idet outlined his appreciation of City of Des Plaines and how he is part of the general and business community. He is concerned about the imposition on a non-profit church and sublease the previous church's space. Mr. Idet reiterated his position regarding the request and his goal to make a difference in the community. He reiterated his desire to work with his neighbors to address the current parking issues. Mr. Idet stated his desire to seek a continuance for this case, or, if the PZB can recommend approval of the variation request, time to provide a parking lease with 1455 E. Golf Road or time to renegotiate after the lease ends for the current church use.

Chairman Szabo asking for clarification from the petitioner that he does desire a continuance. Mr. Idet initially responded yes but then added his desire for a final determination from the PZB.

Chairman Szabo responded that he can only request one or the other. Mr. Idet responded that he does want a final determination from the PZB tonight.

There was further discussion on the implications of continuing the request to allow for the furnishing of requested documentation or rendering a decision with the current application.

Assistant Director Mendel asked for procedural clarification on whether the Mr. Idet wants the PZB to act this evening on the request before them or does Mr. Idet want to continue this public hearing to a later date so he has time to clarify parking agreements. Mr. Idet responded that he wants the PZB to move forward as requested with a change to the condition for parking agreement adjacency to permit off-site parking on properties not physically adjacent to the subject property.

Member Catalano asked the petitioner if he is aware of the conditions of approval recommended by staff. Mr. Idet stated that he did not and requested that the conditions be read.

Senior Planner Stytz outlined and clarified, for the PZB and the Mr. Idet, the staff proposed conditions of approval. Mr. Idet reviewed and agreed to the staff proposed conditions of approval.

Member Fowler asked for clarity regarding condition #3 stating that the current condition language does not specify the number of parking leases required.

Chairman Szabo noted that the petitioner would need enough spaces to meet the requirement of 47 spaces as noted in the staff report.

Senior Planner Stytz further clarified that there is no number of parking leases specified since only one or a few parking leases only be required. However, the PZB does have the ability to adjust the language of the condition if they feel that additional clarity is needed.

Chairman Szabo stated that he feels the condition is clear.

Senior Planner Stytz further clarified that this condition also allows the petitioner to seek parking lease with properties not directly adjacent to the subject property, which is different from the original 2017 ordinance, which limited parking leases to properties adjacent to the subject property.

Member Weaver asked who will sign parking agreements, Mr. Patel or Maygen Global. Mr. Idet stated he will sign the parking agreements as a representative of the Maygen Global.

Member Weaver noted information he found online about the Maygen Global organization and asked why this organization is a building manager for Mr. Patel. Mr. Idet stated Mayen Global is in contract to purchase the subject property.

There was further discussion on Maygen Global and the petitioner's role on the subject property. Mr. Idet stated he is the property manager of the subject property and a director of Maygen Global.

Member Weaver pondered the reason for the property being rezoned to I-1 back in 2017 and noted that the site constraints today come from that earlier decision.

Mr. Van Slambrouck asked if the off-site properties with an agreement will be required to repave their own properties. Senior Planner Stytz clarified that the owners of the properties providing off-site parking to the petitioner would not have to repave or restripe their own parking areas.

Mr. Levin asked that condition #3 be for leases executed between property owners.

Senior Planner Stytz reiterated the actions available to the PZB on this request.

A motion was made by Member Zadrozny and seconded by Member Catalano to recommend denial of the major variation request.

Member Weaver asked for clarification if a yes vote is a vote to denial. Assistant Director Mendel stated the procedure, but then stated Member Zadrozny could rescind the denial recommendation and make a new motion to recommend approval.

Member Fowler stated that if all documentation were in place this could be a different decision.

Member Zadrozny rescinded his original motion and made a new motion, which was seconded by Member Catalano, to recommend approval of the major variation with the conditions as written.

AYES:	None
NAYS:	Catalano, Zadrozny, Weaver, Szabo
ABSTAIN:	Fowler

\*\*\*MOTION CARRIED\*\*\*

Assistant Director Mendel stated the motion fails and is an effective recommendation of denial.

## **ADJOURNMENT**

Chairman Szabo adjourned the meeting by affirmative voice vote at 8:56 p.m.

Sincerely,

Assistant Director Jonathan Mendel/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners

MEMORANDUM

Date: May 22, 2025

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development (CED) JR  
Jonathan Mendel, AICP, Assistant Director of CED JM

Subject: Final Plat of Subdivision at 555 Howard Avenue, Case #25-021-FPLAT (5<sup>th</sup> Ward)

**Issue:** The petitioner is requesting a Final Plat of Subdivision to consolidate two lots into one lot of record.

**Petitioner:** Doug Klein, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

**Owner:** Doug Klein, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

**Case Number:** 25-021-FPLAT

**PINs:** 09-30-400-002-0000; 09-30-400-032-0000

**Ward:** #5, Alderman Thomas Merlin

**Existing Zoning:** M-2, General Manufacturing District

**Existing Land Use:** Vacant lot (former industrial building)

**Surrounding Zoning:** North: M-2, General Manufacturing District  
South: M-2, General Manufacturing District  
East: R-1, Single Family Residential District  
West: M-2, General Manufacturing District

**Surrounding Land Use:** North: Industrial buildings (Manufacturing)  
South: Industrial buildings (Manufacturing)  
East: Single Family Residences (Residential)  
West: Industrial building (Manufacturing)

**Street Classification:** Wolf Road is a minor arterial street under Illinois Department of Transportation (IDOT) jurisdiction and Howard Avenue is a local street under City of Des Plaines jurisdiction.

**Comprehensive Plan:**

The Future Land Use map designates this property as industrial.

**Project Description:**

*Overview*

Petitioner Doug Klien, on behalf of Bridge Industrial, intends to consolidate the two existing parcels into one lot of record. The subject property is zoned M-2 General Manufacturing district and located at the southwest corner of the Wolf Road and Howard Avenue intersection and is comprised of two lots totaling approximately 11.77-acres. Approximately 789 feet of the north portion of the property extends to the centerline of Howard Avenue before stair-stepping down outside of the Howard Avenue right-of-way. The subject property was improved with two main structures totaling 291,031 square feet and multiple surface parking lots with access to both Wolf Road and Howard Avenue as illustrated in the attached ALTA/NSPS Land Title Survey. However, the applicant applied for and received a demolition permit in March 2025 to remove all existing improvements on the subject property including underground utilities. The demolition is in process as illustrated in the attached Site and Context Photos.

*Proposed Improvements*

The proposal includes the redevelopment of the subject property for a new Class A industrial building with surface parking areas as noted in the attached Project Narrative. The petitioner indicates that the proposed development will be constructed as either a speculative building or as a built-to-suit for a potential tenant. While the exact building size of the future development has not been finalized, the proposal does include the installation of: (i) a new 225,606-square foot industrial building with 64 truck docks and two drive-in doors; (ii) new off-street parking areas consisting of 193 automotive stalls and 19 trucks stalls; (iii) two new underground detention vaults for stormwater run-off; and (iv) curb cut and ADA improvements for the Wolf Road/Howard Avenue intersection as detailed in the attached Excerpt of Final Engineering Plans.

**FINAL PLAT OF SUBDIVISION**

**Request Description:**

*Overview*

The proposal includes the consolidation of the two existing lots into one 11.77-acre lot. The attached Final Plat of Bridge Point Des Plaines Subdivision shows the location, boundary, and size of the proposed consolidated lot. The plat also notes the dedication of the existing 789-foot-long by 40-foot-wide northwest corner of the subject property to the City of Des Plaines to provide a full 80 feet of right-of-way for roadway purposes.

*Building Lines and Easements*

The subdivision plat shows the following easements and building lines: (i) a new 65-foot front building setback line along Wolf Road where the proposed subdivision abuts the street; (ii) new 25-foot side building setback lines along the north and south side property lines of the proposed subdivision; (iii) a new 25-foot rear building setback line along the west boundary of the proposed subdivision; (iv) an 83-foot public utility easement and 82.5-foot perpetual right and easement for utilities across the northern portion of the subdivision; (v) a 10-foot ComEd easement along the west subdivision line; and (vi) a 15-foot public utility easement along the east subdivision line abutting Wolf Road.

*Subdivision Process, Required Public Improvements*

Chapter 13-3 of the Subdivision Regulations allows the City to require various right-of-way (ROW) improvements based on criteria such as traffic and effect on adjacent properties. Certain underground infrastructure is required to be installed to the standards required by Public Works and Engineering (PWE). Under Section 13-3-1, the developer is required to: (i) add new five-foot-wide sidewalk along both Wolf Road and Howard Avenue for the entire frontage of the proposed development; (ii) remove all old water services up to the city water main; and (iii) add a new looped public water main. The developer has provided PWE with an estimated cost of both private and public improvements totaling \$225,439, an amount for which PWE has approved as noted in the attached PWE Approval Letter.

**PZB Procedure and Recommended Conditions:**

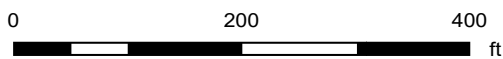
Under Section 13-2-7 (Approval of Final Plat by Planning and Zoning Board) of the Subdivision Regulations, the PZB has the authority to recommend the City Council approve, approve with conditions, or deny the Final Plat of Subdivision request at 555 Howard Avenue. City Council has the final authority on the request.

**Attachments:**

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: PWE Department Memo
- Attachment 7: Excerpt of Final Engineering Plans<sup>1</sup>
- Attachment 8: Final Plat of Subdivision

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<sup>1</sup> Full copies available upon request to the Community and Economic Development department.



Print Date: 8/6/2024

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



555 Howard Ave – Public Notice Sign Along Howard Ave



555 Howard Ave – North Property Line of Site Along Howard Ave



555 Howard Ave – Northeast Corner of Site at Wolf Rd/Howard Ave



555 Howard Ave – Northwest Corner of Site from Howard Ave

# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

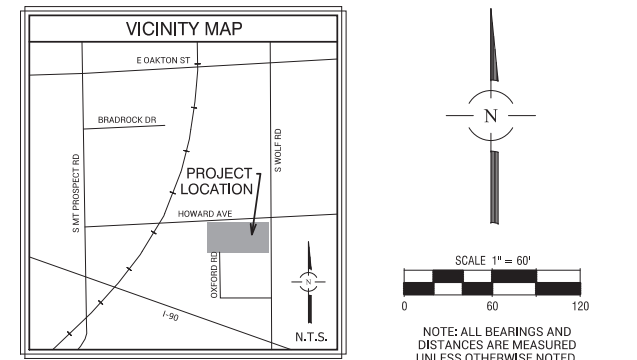
**PROPERTY DESCRIPTION:**  
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTHEAST 1/4 WITH A LINE THAT IS 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SAID WEST 1/2 OF THE SAID SOUTHEAST 1/4; THENCE SOUTH ALONG THE SAID PARALLEL LINE A DISTANCE OF 513.32 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST AT RIGHT ANGLES TO THE SAID PARALLEL LINE, A DISTANCE OF 1163.47 FEET, MORE OR LESS TO THE EAST RIGHT WAY OF LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE NORTH ALONG THE EAST LINE OF SAID RIGHT WAY OF LINE, A DISTANCE OF 1163.24 FEET, MORE OR LESS TO THE NORTH LINE OF THE SAID SOUTHEAST 1/4; THENCE EAST ALONG THE NORTH LINE OF THE SAID SOUTHEAST 1/4 A DISTANCE OF 1163.20 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**EXCEPTING THEREFROM:**  
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF A LINE 50.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID WEST 1/2 OF THE SAID SOUTHEAST 1/4; THENCE SOUTH 0 DEGREES 10 MINUTES 38 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 513.32 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 833.00 FEET TO THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT LAND, THENCE NORTH 87 DEGREES 44 MINUTES 20 SECONDS WEST 94.00 FEET; THENCE NORTHWESTERLY 294.334 FEET ALONG THE ARC OF A CIRCLE OF 277.94 FEET, CONVEX TO THE SOUTHWEST, TANGENT WITH THE LAST DESCRIBED COURSE WHOSE CHORD BEARS NORTH 57 DEGREES 24 MINUTES 04.5 SECONDS WEST, TO A POINT ON THE EAST RIGHT OF WAY LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE SOUTH 156.0 FEET ALONG SAID EAST LINE OF THE RIGHT OF WAY TO A POINT ON A LINE DRAWN SOUTH 69 DEGREES 49 MINUTES 22 SECONDS WEST THROUGH THE HEREIN DESIGNATED PLACE OF BEGINNING, THENCE NORTH 89 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 330.47 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**AND EXCEPTING THEREFROM:**  
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 WITH A LINE 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHEAST 1/4; THENCE SOUTH ALONG SAID PARALLEL LINE 75 FEET; THENCE NORTHWESTERLY TO A POINT ON THE SOUTH LINE OF THE NORTH 50 FEET OF SAID SOUTHEAST 1/4, 30 FEET (AS MEASURED ON SAID SOUTH LINE) WEST OF THE AFORESAID 50 FOOT PARALLEL LINE, THENCE WEST ON SAID SOUTH LINE TO A POINT 425 FEET WEST OF AND 50 FEET SOUTH OF THE NORTHWEST CORNER OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 (AS MEASURED ON THE NORTH LINE THEREOF AND ON A LINE AT RIGHT ANGLES THERETO); THENCE NORTH AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE TO THE SAID NORTH LINE; THENCE EAST ON SAID NORTH LINE, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

LEGEND							
	STORM SEWER		SANITARY SEWER		STREET LIGHT		BACK OF CURVE
	SANITARY SEWER		STORM MANHOLE		UTILITY POLE		BUILDING CORNER
	COMBINED SEWER		CATCH BASIN		TRAFFIC SIGNAL		CENTER
	INLET		FLARED END SECTION		SPRINKLER HEAD		BOUNDARY CORNER
	GAS MAIN		ELECTRIC MANHOLE		BOLLARD		EDGE OF PAVEMENT CORNER
	UNDERGROUND TELEPHONE LINE		TELEPHONE MANHOLE		MANHOLE		EDGE OF PAVEMENT CORNER
	UNDERGROUND ELECTRIC LINE		TELEPHONE SPRIG		SIGN		EDGE OF CONCRETE CORNER
	UNDERGROUND CITY LINE		ELECTRIC SPRIG		GAS MANHOLE		EDGE OF PAVEMENT CORNER
	DUCTED PIPES ON UTILITY POLES		CABLE TV IN/OUT		GAS VALVE		EDGE OF PAVEMENT CORNER
	FIBER OPTIC LINE		FIRE HYDRANT		GAS METER		EDGE OF PAVEMENT CORNER
	RAILROAD		VALVE AND VALVE INLET		GAS METER		EDGE OF PAVEMENT CORNER
	FENCE		WATER VALVE		GAS METER		EDGE OF PAVEMENT CORNER
	GROUNDWATER		INLET		GAS METER		EDGE OF PAVEMENT CORNER
	EDGE OF WATER		INLET		GAS METER		EDGE OF PAVEMENT CORNER
	WETLAND LIMITS		INLET		GAS METER		EDGE OF PAVEMENT CORNER
	WETLAND LIMITS		INLET		GAS METER		EDGE OF PAVEMENT CORNER

**NOTES:**  
 THIS SURVEY REFLECTS MATTERS OF TITLE AS LISTED ON A COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. FILE NO.: NCS-1062410-CHE WITH AN EFFECTIVE DATE: APRIL 06, 2021.  
 AS REQUIRED UNDER THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, EVIDENCE ON OR ABOVE THE SURFACE OF THE SURVEYED PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK, WHICH EVIDENCE MAY INDICATE UTILITIES LOCATED ON, OVER OR BENEATH THE SURVEYED PROPERTY HAS BEEN SHOWN HEREON.  
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.  
 BEARINGS SHOWN HEREON ARE BASED ON NAD83 ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2011 ADJUSTMENT) AND NAVD83 (GEOID 12B) UTILIZING GNSS EQUIPMENT AND REL-NET CORS RTK NETWORK.  
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN ADDITION TO THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS.  
 SPACECO, INC IS AN ILLINOIS PROFESSIONAL DESIGN FIRM REGISTERED UNDER LICENSE NUMBER 184-001157.  
 THE PROPERTY DESCRIPTION IN THE SURVEY IS THE SAME AS THE RECORD DESCRIPTION IN THE TITLE COMMITMENT.  
 THAT THE PROPERTY DESCRIPTION IN THE SURVEY AND THE RECORD DESCRIPTION IN THE TITLE COMMITMENT FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, GORES OR OVERLAPS.  
 THE SURVEYED PROPERTY HAS DIRECT ACCESS TO A PUBLIC RIGHT OF WAY, HOWARD STREET AND WOLF ROAD.



**NOTES (CONTINUED):**  
 NO CEMETERIES, GRAVESITE OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY. ADDITIONALLY, THIS SURVEYOR HAS NO PRIOR KNOWLEDGE OF CEMETERIES, GRAVESITE OR BURIAL GROUNDS BEING LOCATED ON THE SURVEYED PROPERTY.  
 TAX P.L.N.S. (PER TITLE COMMITMENT):  
 09-30-400-002-0000 VOL. 95  
 09-30-400-032-0000 VOL. 92  
 MONUMENTS WERE FOUND/SET AT THE PARCEL CORNERS AS SHOWN. (TABLE A ITEM 1)  
 ADDRESS FOR THE SURVEYED PROPERTY OBSERVED:  
 555 HOWARD AVENUE, (A/K/A 2000 WOLF),  
 555 HOWARD AVENUE  
 DES PLAINES, IL 60018  
 (TABLE A ITEM 2)  
 BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 17031021J MAP WITH AN EFFECTIVE DATE/MAP REVISED OF AUGUST 15, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) - AREA OF MINIMAL FLOOD HAZARD AS IDENTIFIED BY SAID F.I.R.M. MAP. (TABLE A ITEM 3)  
 PROPERTY SURVEYED CONTAINS 538,294 SQUARE FEET, OR 12,358 ACRES, MORE OR LESS. (TABLE A ITEM 4)  
 A ZONING REPORT CONTAINING CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY WAS PROVIDED TO THE SURVEYOR AS REQUIRED BY THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS EFFECTIVE 2/23/2021. SEE SHEET 2 OF 2. (TABLE A ITEM 5A)  
 THE EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL, EXTERIOR FOOTPRINT SQUARE FOOTAGES AND BUILDING HEIGHTS ARE SHOWN HEREON. (TABLE A ITEMS 7A, 7B, 7C)  
 SUBSTANTIAL FEATURES ARE SHOWN HEREON. (TABLE A ITEM 8)  
 THERE ARE A TOTAL OF 258 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY, 8 OF WHICH ARE MARKED HANDICAPPED AND 250 OF WHICH ARE FOR REGULAR PARKING. THIS COUNT IS SUSPECT DUE TO FADED STRIPING. (TABLE A ITEM 9)  
 NAME OF THE ADJOINERS SHOWN HEREON ARE CURRENT OWNERS AND/OR TAXPAYERS AS LISTED ON THE COOK COUNTY ASSESSOR'S WEBSITE ACCESSED ON MAY 5, 2021. (TABLE A ITEM 13)  
 THIS PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF HOWARD STREET AND WOLF ROAD IN DES PLAINES, IL. (TABLE A ITEM 14)  
 THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE A ITEM 16)  
 A CALL WAS MADE TO THE CITY OF DES PLAINES ENGINEERING DEPARTMENT, A MESSAGE WAS LEFT BUT NO RESPONSE. THIS SURVEYOR KNOWS OF NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (TABLE A ITEM 17)

**NOTES FROM TITLE COMMITMENT:**  
 3. PERPETUAL RIGHT TO PUT IN A 66 FOOT ROAD ACROSS THE NORTH 82 1/2 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD IN A NORTH AND SOUTH DIRECTION ON SAID PROPERTY AT A LOCATION THEREON AND IN A MANNER WHICH WILL NOT INTERFERE WITH THE OPERATION OF SAID RAILROAD. THE RIGHT OF WAY FOR SAID ROAD SHALL BE PLACED ON THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30 AS TO CONNECT WITH THE EXTENSION OF HOWARD STREET OR ANY OTHER STREET WHICH MAY BE BUILT ALONG AND PARALLEL TO THE NORTH LINE OF SAID RIGHT OF WAY ADJOINING THERETO. THE COST AND MAINTENANCE OF SAID ROAD TO BE BORNE BY THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS AS RESERVED IN DEED FROM WILLIAM D. GRAYDON AND OTHERS TO CHICAGO TITLE AND TRUST COMPANY, A CORPORATION OF ILLINOIS, AS TRUSTEE UNDER TRUST AGREEMENT DATED MARCH 24, 1954 AND KNOCK AS TRUST NUMBER 36724 DATED DECEMBER 12, 1955 AND FILED DECEMBER 15, 1955 AS LR160323. (SURVEYOR'S NOTE: THE NORTH 82 1/2 FEET OF THE SURVEYED PROPERTY IS SHOWN HEREON. THE LOCATION OF THE 66 FOOT NORTH/SOUTH ROAD IS NOT DEFINED WITHIN THE DOCUMENT, SEE THE DOCUMENT FOR DETAILS.)  
 4. PERPETUAL RIGHT AND EASEMENT TO CONSTRUCT, RECONSTRUCT, OPERATE AND MAINTAIN, IN ALONG UNDER AND ACROSS THE NORTH 25 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD IN A NORTH AND SOUTH DIRECTION ON SAID PROPERTY AT A LOCATION THEREON AND IN A MANNER WHICH WILL NOT INTERFERE WITH THE OPERATION OF SAID RAILROAD. THE RIGHT OF WAY FOR SAID ROAD SHALL BE PLACED ON THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30 AS TO CONNECT WITH THE EXTENSION OF HOWARD STREET OR ANY OTHER STREET WHICH MAY BE BUILT ALONG AND PARALLEL TO THE NORTH LINE OF SAID RIGHT OF WAY ADJOINING THERETO. THE COST AND MAINTENANCE OF SAID ROAD TO BE BORNE BY THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS AS RESERVED IN DEED FROM WILLIAM D. GRAYDON AND OTHERS TO CHICAGO TITLE AND TRUST COMPANY, A CORPORATION OF ILLINOIS, AS TRUSTEE UNDER TRUST AGREEMENT DATED MARCH 24, 1954 AND KNOCK AS TRUST NUMBER 36724 DATED DECEMBER 12, 1955 AND FILED DECEMBER 15, 1955 AS LR160323. (SURVEYOR'S NOTE: THE NORTH 25 FEET OF THE SURVEYED PROPERTY IS SHOWN HEREON. THE LOCATION OF THE 66 FOOT NORTH/SOUTH ROAD IS NOT DEFINED WITHIN THE DOCUMENT, SEE THE DOCUMENT FOR DETAILS.)  
 5. PERPETUAL RIGHT, PRIVILEGE AND EASEMENT TO CONSTRUCT, USE, RECONSTRUCT, RENEW, REPLACE, OPERATE, MAINTAIN, ALTER, REPAIR AND REMOVE THE 36 INCH PIPE EXISTING IN THE NORTH 82 1/2 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT FOR THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD, TOGETHER WITH THE PERPETUAL RIGHT, PRIVILEGE AND EASEMENT TO CONSTRUCT, USE, RECONSTRUCT, RENEW, REPLACE, OPERATE, MAINTAIN, ALTER, REPAIR AND REMOVE ANY ADDITIONAL PIPELINE OR PIPELINES FOR THE TRANSPORTATION OF GAS TOGETHER WITH SUCH DRIPLS, VALVES, FITTINGS, METERS AND OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE OPERATION OF GRANTEE THROUGH, UNDER ALONG AND ACROSS LAND TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE AFORESAID PREMISES AS CREATED BY PIPELINE EASEMENT AGREEMENT BY AND BETWEEN J. EMIL ANDERSON & SON, INC., AN ILLINOIS CORPORATION, AND CHICAGO DISTRICT PIPELINE COMPANY, AN ILLINOIS CORPORATION, ITS SUCCESSOR AND ASSIGNS, DATED AUGUST 29, 1960 AND FILED SEPTEMBER 26, 1960 AS LR184154. (FOR FURTHER PARTICULARS, SEE DOCUMENT)  
 6. GRANT FILED APRIL 26, 1963 AS LR2087903 MADE BY J. EMIL ANDERSON & SON, INC., A CORPORATION OF ILLINOIS, TO THE COMMONWEALTH EDISON COMPANY AND MIDDLE STATES TELEPHONE COMPANY, A CORPORATION OF ILLINOIS, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, THE RIGHT PERMISSION AND AUTHORITY TO CONSTRUCT, LAY, MAINTAIN, RELOCATE, RENEW AND REMOVE EQUIPMENT CONSISTING OF POLES, Poles, STRUCTURES, ANCHORS, GUYS, STUBS, WIRE AND UNDERGROUND CONDUITS, CABLES, CABLE POLES AND OTHER NEW ELECTRICAL FACILITIES TO BE USED FOR HEAT, LIGHT, POWER, TELEPHONE AND OTHER PURPOSES WITH THE RIGHT OF ACCESS TO THE SAME FOR THE MAINTENANCE THEREOF; ALSO TO TRIM OR CUT DOWN AND REMOVE FROM TIME TO TIME SUCH TREES, BUSHES AND SAPLINGS AS MAY BE REASONABLY REQUIRED IN CONNECTION WITH THE INSTALLATION AND MAINTENANCE OF SUCH FACILITIES IN UPON, UNDER AND ALONG THE WEST 10 FEET OF LAND. (FOR FURTHER PARTICULARS, SEE DOCUMENT)  
 7. EASEMENT FOR PUBLIC UTILITIES OVER THE NORTH 83 FEET AND THE EAST 15 FEET OF THE LAND AS DISCLOSED BY DEED EXECUTE BY J. EMIL ANDERSON & SON, INC., A CORPORATION OF ILLINOIS, CONVEYING TO ALUMAND BUILDING CORPORATION, AN ILLINOIS CORPORATION FILED APRIL 18, 1962 AS LR2029259. (FOR FURTHER PARTICULARS, SEE DOCUMENT)  
 8. EASEMENT OF PRIVATE STREET CONTAINED IN DEEDS FILED AS DOCUMENT NUMBERS LR209309, LR2118641, LR212361 AND LR2128247 AFFECTING THE WEST 66 FEET OF THE EAST 916 FEET OF THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 30, AND THE TERMS AND PROVISIONS CONTAINED THEREIN. (FOR FURTHER PARTICULARS, SEE DOCUMENT)  
 (SURVEYOR'S NOTE: SAID WEST 66 FEET OF THE EAST 916 FEET OF THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 30 IS SOUTH OF AND PARTIALLY ADJOINING THE SURVEYED PROPERTY AND IS SHOWN HEREON. SEE DOCUMENT FOR DETAILS.)

STATE OF ILLINOIS )  
 COUNTY OF COOK )  
 I, FIRST AMERICAN TITLE INSURANCE COMPANY  
 AND TO: BRIDGE INDUSTRIAL ACQUISITION, LLC  
 AND TO: NU-WAY INDUSTRIES, INC., AN ILLINOIS CORPORATION  
 AND TO: ASSOCIATED BANK, NATIONAL ASSOCIATION, A NATIONAL BANKING ASSOCIATION, ITS SUCCESSORS  
 AND/OR ASSIGNS  
 AND TO: BRIDGE POINT DES PLAINES, LLC, A DELAWARE LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 13, 14, 16, 17 and 19 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 15, 2021.

GIVEN UNDER MY HAND AND SEAL THIS 28th DAY OF May 2021 IN ROSEMONT, ILLINOIS.

*C. Brian Lounsbury*  
 C. BRIAN LOUNSBURY, P.L.S., No. 035-2841  
 LICENSE EXPIRES: 11-30-2022  
 blounsbury@spacecoinc.com

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

PREPARED FOR:  
 BRIDGE DEVELOPMENT PARTNERS  
 9525 W. BRYN MAWR AVENUE  
 SUITE 700  
 ROSEMONT, IL 60018

NEARMAP  
 AERIAL IMAGE  
 DATE OF IMAGE: 10-08-2020

REVISIONS:	DATE:
05/20/2021 COMMENTS	05/06/2021
05/28/2021 SHEET 2	JOB NO: 11332
06/21/2021 COMMENTS	FILENAME: 11332ALTA-01
	SHEET 1 OF 2



CONSULTING ENGINEERS  
 SITE DEVELOPMENT ENGINEERS  
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,  
 Rosemont, Illinois 60018  
 Phone: (847) 696-4060 Fax: (847) 696-4065





APRIL 9, 2025

Bridge Point Des Plaines (555 Howard Ave.) – Project Narrative

Bridge Industrial is redeveloping the property located at 555 Howard Ave. The current buildings on the property are obsolete and will be demolished to accommodate a new, high-end, class A industrial building on the property.

Bridge will redevelop this property as a 225,600 SF speculative building that will house anywhere from one to five tenants. The property will feature all underground detention. Car parking will be on the north and east sides of the building contain 199 parking spaces. 18 trailer parking positions will be built on the west side of the building. 64 docks and the truck court will be on the south side of the building.

Thank you!

Sincerely,

*Douglas S. Klein*

Doug Klein | Director, Development  
**Bridge Industrial**  
O 630 423 7478 | C 630 803 2575  
9525 W. Bryn Mawr Ave., Suite 700  
Rosemont, IL 60018  
[dklein@bridgeindustrial.com](mailto:dklein@bridgeindustrial.com)

  
[www.bridgeindustrial.com](http://www.bridgeindustrial.com)



August 6<sup>th</sup>, 2024

Jim Roggeman,  
ARCO/Murray

WILL SERVE LETTER

Dear Mr. Jim,

This letter is in response to your request for information on the availability of AT&T services at proposed 555 Howard Ave, Des Plaines new Development.

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed development at 555 Howard Ave, Des Plaines but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

**Kolade Fajimi (Engineer)**  
**Mgr Osp Plng & Eng Design**  
**ATO, Construction & Engineering-MW**

**AT&T**  
**1000 Commerce Dr,**  
**Oak Brook, IL 60523**  
**M 847-226-7885 | [kf129f@att.com](mailto:kf129f@att.com)**

ComEd  
1910 S. Briggs St  
Joliet, IL 60433

August 6, 2024

**ATTN. Jim Roggeman**  
**555 Howard Avenue, Des Plaines, IL 60018**

ComEd is the electric utility distribution company for your development at parcel 09-30-400-032-000 in Des Plaines, IL. ComEd will layout the design for your project upon receipt of completed site plans, load information, and advance engineering deposit. Additional utility easements may be required for the routing of ComEd power lines on your property. Charges may apply for any work, both on and off property, required to provide additional line capacity or new facilities, necessary to fulfill your power request. Please call ComEd's New Electric number at **866-639-3532** when you are ready to initiate the design process.

Please feel free to contact me at (779) 279-6899 if I may be of further assistance.

Sincerely,

Josh Zychal  
Engineering Tech  
Field Representative



August 2, 2024

Jim Roggeman  
Arco Murray  
3110 Woodcreek Dr  
Downers Grove, IL 60515

This letter shall serve as Nicor Gas' intention and availability to serve the proposed new construction project located in 555 Howard Ave Des Plaines, IL 60018. Nicor Gas will provide 200' of gas **main** per new customer/meter and 60' of **service** line per new customer/meter at no cost. If your project exceeds these footages, we will determine the cost to you based on an economic evaluation of the project, as well as any unusual condition which may apply, i.e. directional boring charges, etc.

Nicor requires that you complete specified improvements and obtain private property rights before providing service. Curbing established, required sleeves installed at paved intersections and under all pavements for new commercial services.

Private property rights must be obtained, and any easements, rights-of-way and underground utility lines must be staked and clearly marked. All necessary permits need approved prior to all service & gas main installations.

If you have any questions, please feel free to contact me at 779-227-4011.

Best regards,

*Jocelyn Hernandez*

New Business Construction Consultant



**PUBLIC WORKS AND  
ENGINEERING DEPARTMENT**

1420 Miner Street  
Des Plaines, IL 60016  
P: 847.391.5390  
desplaines.org

**MEMORANDUM**

Date: April 11, 2025

To: Jonathan Stytz, Senior Planner

From: John La Berg, P.E., CFM, Civil engineer

Subject: 555 Howard Ave Subdivision

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Public Works and Engineering has reviewed the final engineering plans and the EOPC for the above and has approved them as noted.

JL/jl

**KINDER MORGAN PIPELINE NOTIFICATION**  
 CONTRACTOR SHALL NOTIFY, MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT

EMAIL: mark\_thorson@kindermorgan.com

**DEVELOPER**

BRIDGE POINT DES PLAINES, LLC  
 9525 W. BRYN MAWR AVENUE, SUITE 700  
 ROSEMONT, ILLINOIS 60018  
 PHONE: 312-683-7230

**ARCHITECT**

CORNERSTONE ARCHITECTS LTD.  
 1152 SPRING LAKE DRIVE  
 ITASCA, ILLINOIS 60143  
 PHONE: 312-917-6225

CALL J.U.L.I.E. 1-800-892-0123

WITH THE FOLLOWING:  
 COUNTY COOK COUNTY  
 CITY, TOWNSHIP DES PLAINES  
 SEC. & 1/4 SEC. NO. S30, TWP 41N, R12E

**48 HOURS BEFORE YOU DIG.**  
 EXCLUDING SAT., SUN. & HOLIDAYS

**FINAL SITE IMPROVEMENT PLANS**  
 for

**555 HOWARD AVENUE**

**DES PLAINES, COOK COUNTY, ILLINOIS**

**PROJECT NO: 11332**

Approved again JL 4-11-25

**BENCHMARK**

ELEVATION:  
 DESCRIPTION: SEE SHEET C3.0 FOR BENCHMARK INFORMATION

**NOTE:**

SPACECO, INC. IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

IF YOU ARE CONSTRUCTING PUBLIC IMPROVEMENTS, INSPECTIONS ARE REQUIRED TO BE DONE BY PERSONNEL FROM THE CITY OF DES PLAINES PUBLIC WORKS AND ENGINEERING DEPARTMENT. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE PUBLIC WORKS AND ENGINEERING DEPARTMENT AT 847-391-5390, TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION OF PUBLIC IMPROVEMENTS TO ARRANGE FOR REQUIRED INSPECTION(S).

CITY STANDARDS SHALL SUPERSEDE ALL OTHERS. CONTACT ENGINEER OF RECORD FOR COORDINATION IF NECESSARY.

**MWRD JOB START NOTIFICATION**

CONTACT THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO 2 DAYS BEFORE STARTING WORK.

P: (708) 588-4055  
 E: WMOJOBSTART@MWRD.ORG

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or, that if drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains approved for use by the Director of Public Works and Engineering, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the construction of this project.

To the best of our knowledge and belief there is no regulatory floodplain/floodway, no special flood hazard areas, riparian areas, or wetlands located on or within 100' of the project site. The project site was previously developed and graded.



*Brett M. Duffy*  
 REGISTERED PROFESSIONAL ENGINEER

OWNER  
 BRIDGE POINT DES PLAINES, LLC  
 9525 W. BRYN MAWR AVENUE, SUITE 700  
 ROSEMONT, ILLINOIS 60018  
 PHONE: 312-683-7230

**REVISIONS**

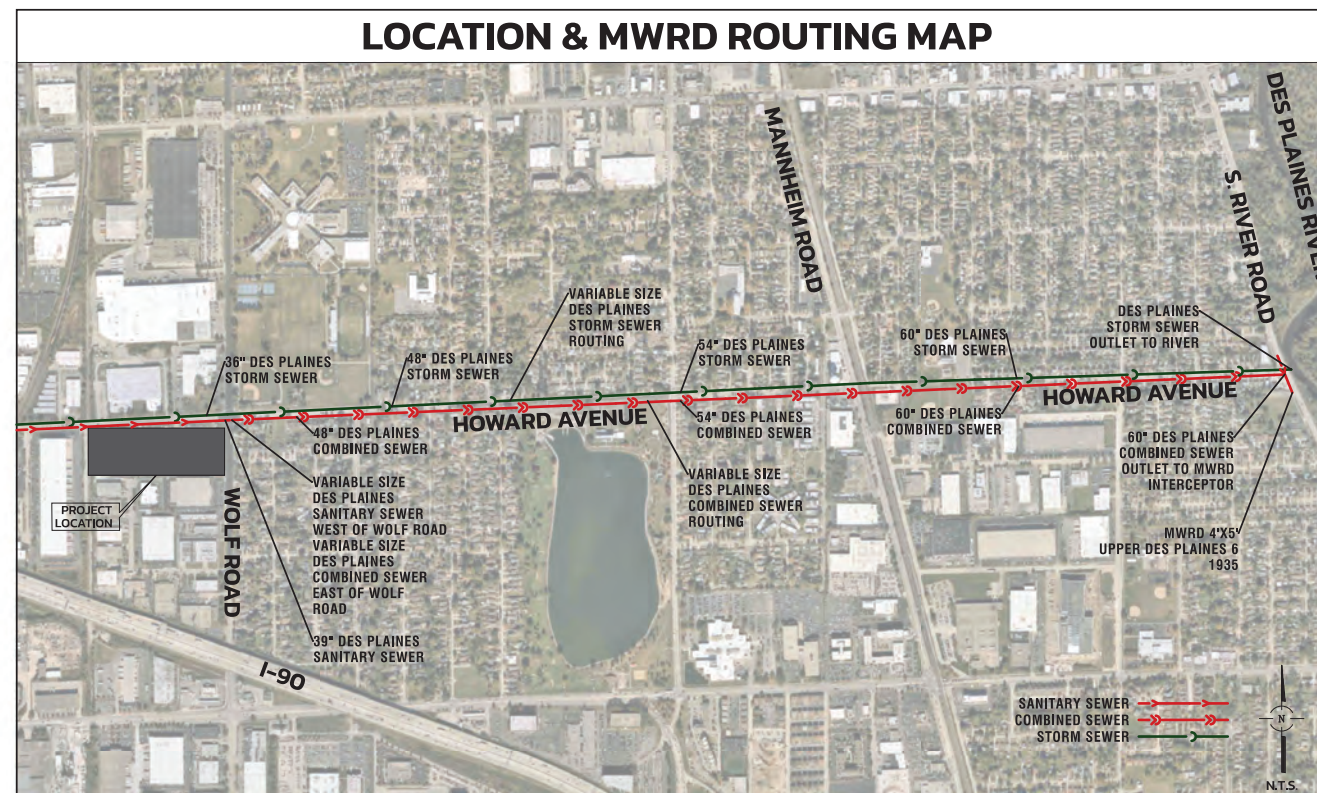
ORIGINAL PLAN DATE: DECEMBER 20, 2024

#	SHEET #	REMARKS	DATE
1	1,4,5,7,8,13-15	DES PLAINES AND MWRD COMMENT	02/14/25
2	4,8,11	KINDER MORGAN COMMENT	02/24/25
3	5-8,11,20	OWNER BUILDING REVISIONS	02/25/25
4	8	KINDER MORGAN COMMENT	03/05/25
5	6-8,11,17-20	STORM STORAGE REVISIONS	03/31/25

**INDEX**

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1.0	COVER SHEET
2	C2.0	TYPICAL SECTIONS & GENERAL NOTES
3	C3.0	EXISTING CONDITIONS PLAN
4	C4.0	DEMOLITION PLAN
5	C5.0	GEOMETRIC PLAN
6	C6.0	GRADING PLAN
7	C7.0	UTILITY PLAN
8	C7.1	UTILITY PROFILES
9-11	C8.0-C8.2	SOIL EROSION AND SEDIMENT CONTROL PLANS
12	C9.0	SPACECO SPECIFICATIONS
13	C9.1	MWRD SPECIFICATIONS
14-19	C10.0-C10.5	DETAILS
20	C11.0	MWRD DRAINAGE AND OPERATIONS & MAINTENANCE EXHIBIT
21-23	C12.0-C12.2	TRAFFIC SIGNAL MODIFICATION PLAN WOLF RD AND HOWARD ST
24-25	C13.0-C13.1	ADA RAMP DETAILS

**LOCATION & MWRD ROUTING MAP**



*Brett M. Duffy* 03/31/2025 DATE  
 ENGINEER  
 BRETT M. DUFFY, P.E.  
 ILLINOIS REGISTRATION NO.: 062-053198  
 EXPIRATION DATE: 11/30/2025

PROFESSIONAL DESIGN FIRM NO.: 184-001157  
 EXPIRATION DATE: 04/30/2025  
 THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER



555 HOWARD AVENUE  
 DES PLAINES, ILLINOIS

Rosemont Office  
 9575 W. Higgins Road, Suite 700  
 Rosemont, Illinois 60018  
 Phone: (847) 696-4060

**Spaceco**  
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 spacecoinc.com

FILENAME:  
 11332TITILE

DATE:  
 12/20/2024

JOB NO.  
 11332

SHEET  
**C1.0**  
 1 OF 25

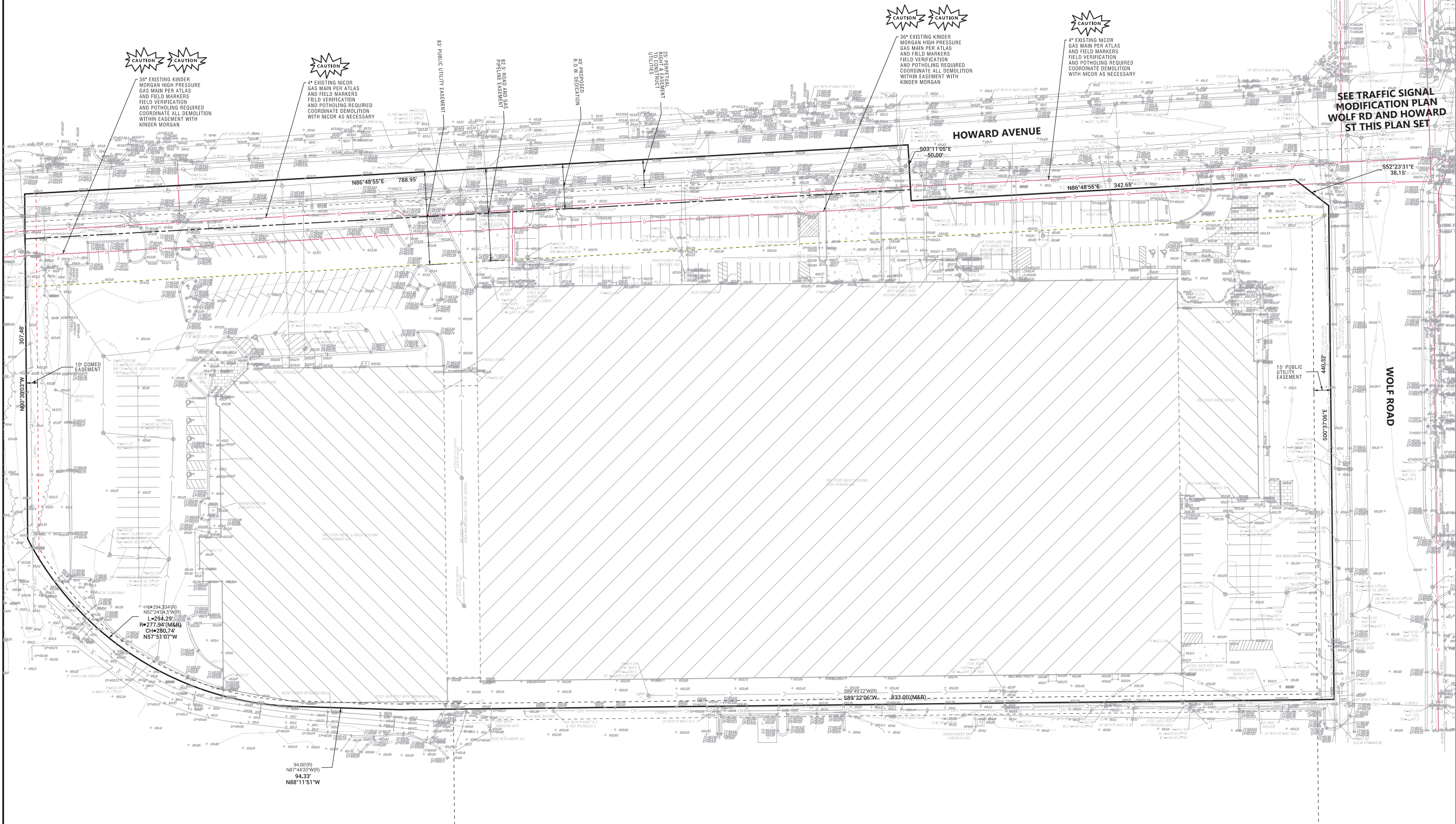
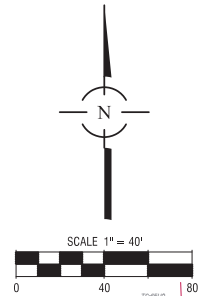
**SOURCE BENCHMARK:**  
CITY OF DES PLAINES BENCHMARK SYSTEM  
BENCHMARK NO. 34  
MONUMENT SET IN CONCRETE AT SOUTHWEST CORNER OF HOWARD AVENUE AND THE C&NW RAILROAD 5' SOUTH OF EDGE OF PAVEMENT OF HOWARD AND 117' WEST OF RAILROAD TRACKS.  
ELEVATION = 653.75 NAVD88

**SITE BENCHMARK #1:**  
BOX CUT WITH CROSS AT THE SOUTHWEST CORNER OF A CONCRETE WATER METER WITH AUTO SPRINKLER +/-300' WEST OF THE NORTHEAST CORNER OF THE SURVEYED PROPERTY  
ELEVATION = 652.04 NAVD88

**SITE BENCHMARK #2:**  
ARROW BOLT OF FIRE HYDRANT +/-150' NORTH OF THE SOUTHEAST PROPERTY CORNER OF THE SURVEYED PROPERTY.  
ELEVATION = 653.57 NAVD88

**SITE BENCHMARK #3:**  
CUT BOX ON EAST SIDE OF CONCRETE LIGHT POLE BASE AT THE NORTHEAST CORNER OF OXFORD ROAD.  
ELEVATION = 654.43 NAVD88

LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRES ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	EDGE OF WATER
	WETLAND LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	B BOX
	AUXILIARY VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	MAILBOX
	SIDWALK
	UNDERSIZED MANHOLE
	RIGHT-OF-WAY MONUMENT
	DISC
	IRON STEEL ROD
	IRON PIPE
	CUT CROSS
	PK 1/4\"/>
	RAILROAD SPIKE
	FLAG POLE
	LANDSCAPE LIGHT
	BACK OF CURB
	BUILDING CORNER
	CATCH BASIN CENTER
	CONTAINER CORNER
	EDGE OF CONCRETE CORNER
	EDGE OF PAVEMENT CORNER
	EDGE OF PAVEMENT CORNER
	GAS MARKER
	GAS VALVE
	POST INDICATOR VALVE
	SANITARY MANHOLE
	UTILITY POLE
	WALL CORNER
	WALK
	ASPHALT
	CONCRETE
	GRAVEL



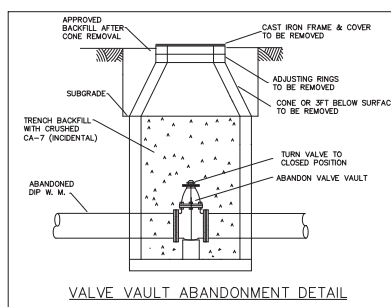
NO.	DATE	REMARKS

**EXISTING CONDITIONS PLAN**

**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

**Spaceco**  
Civil Engineering & Surveying  
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spacecoinc.com

FILENAME: 11332ET  
DATE: 12/20/2024  
JOB NO. 11332  
SHEET **C3.0** OF 25



**KINDER MORGAN PIPELINE NOTES:**

1. CONTRACTOR SHALL NOTIFY, MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT EMAIL: MARK\_THORSON@KINDERMORGAN.COM
2. CONTRACTOR SHALL SUBMIT KINDER MORGAN ENCROACHMENT INFORMATION FORM AS NECESSARY, AND AS REQUIRED BY UTILITY OWNER
3. NO BLASTING NEAR THE PIPELINE ALLOWED

**CONSTRUCTION NOTE FOR TRENCH OPEN CUT ACROSS PIPELINE:**  
NO MECHANICAL EQUIPMENT IS ALLOWED WITHIN 3 FT OF THE PIPELINE. ALL TRENCHING AROUND THE TOLERANCE ZONE AROUND PIPELINE SHALL BE APPROVED BY THE DAMAGE PREVENTION SUPERVISOR. ANY EXCAVATION WITHIN THE TOLERANCE ZONE SHALL BE BY HYDROVAC, HAND DIGGING, OR OTHER SOFT DIGGING TECHNIQUES. THE CONTRACTOR MUST REACH OUT TO THE KINDER MORGAN, INC. DAMAGE PREVENTION SUPERVISOR, TO ENSURE A COMPANY REPRESENTATIVE IS ON SITE DURING THE PROJECT. ANY SOIL REMOVED DURING CONSTRUCTION MAY NOT BE STORED WITHIN THE PIPELINE ROW.

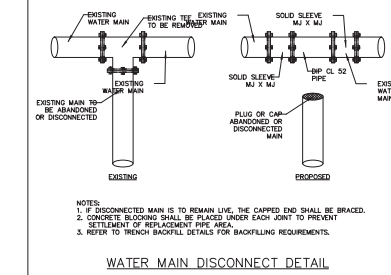
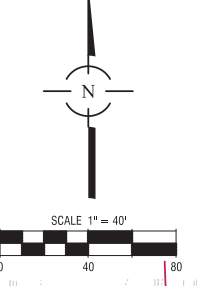
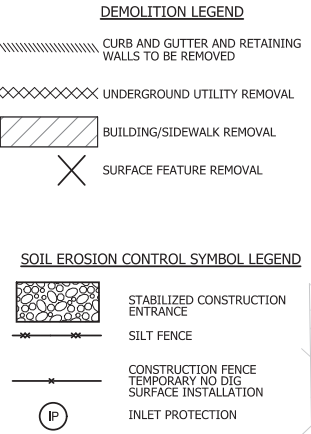
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**NOTES:**

1. COOK COUNTY EPA PERMIT (OR WAIVER OF PERMIT) MAY BE REQUIRED. THIS IS A PROPERTY OWNER'S RESPONSIBILITY TO PURSUE, AND COULD RESULT IN SUBSTANTIAL PENALTIES FROM COOK COUNTY IF NOT ACQUIRED. THE CITY OF DES PLAINES IS NOT RESPONSIBLE FOR A PROPERTY OWNER'S FAILURE TO COMPLY WITH THIS REQUIREMENT. MORE INFORMATION IS AVAILABLE AT: <http://www.epa.gov/oaar/oagps/permits/>
2. CUT-OFF FROM CITY WATER SERVICES (WITH PAYMENT OF \$350 FEE), CONTACT PUBLIC WORKS TO REQUEST WATER METER, WATER SERVICE, AND SEWER CUT-OFF AT 847-391-5466
3. REMOVAL/ABANDONMENT OF DRY UTILITY SERVICES (ELECTRIC, GAS, TELEPHONE, CABLE) ARE TO BE COORDINATED WITH UTILITY COMPANIES PRIOR TO DEMOLITION. CONTRACTOR TO OBTAIN VERIFICATION IN WRITING FROM ALL UTILITIES:  
COMED 1-800-EDISON-1  
NICOR 1-800-730-6114 X7771  
AT&T 1-847-759-5595
4. ALL SITES SHALL BE COMPLETELY ENCLOSED BY CONSTRUCTION FENCING UNTIL DEMOLITION IS COMPLETE. (RESIDENTIAL SITES 4 FOOT HIGH, COMMERCIAL SITES 6 FOOT HIGH CHAIN LINK.) CONSTRUCTION FENCE SHOWN FOR COORDINATION PURPOSES CONTRACTOR SHALL LOCATE AS NECESSARY FOR PHASING, ACCESS, ETC AND IN ACCORDANCE WITH DES PLAINES REQUIREMENTS

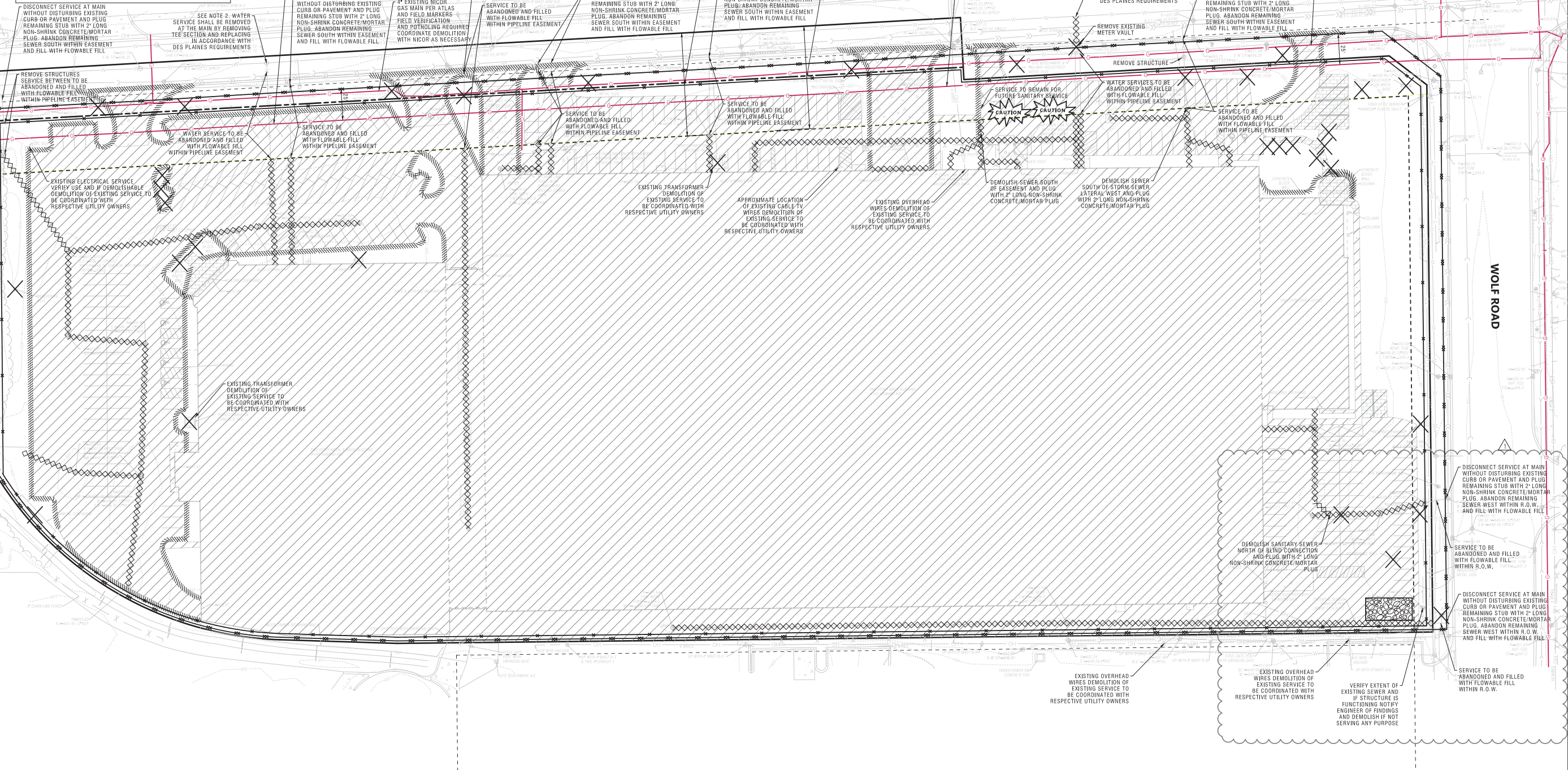
5. SILT FENCE SHOWN FOR COORDINATION AND SHALL BE LOCATED AS NECESSARY IN THE FIELD IN ACCORDANCE WITH NPDES SESC REQUIREMENTS
6. FOUNDATION SHALL BE REMOVED ACCORDING TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND CRUSHED ON-SITE AS APPLICABLE
7. BEFORE FINAL INSPECTION, ALL LOTS SHALL BE RESTORED TO APPROVED NATURAL GRADES, PLANTED WITH APPROVED GRASSES AND MAINTAINED IN ACCORDANCE WITH ADOPTED PROPERTY MAINTENANCE CODES. (EXCEPTION: WHEN CONSTRUCTION PERMITS ARE APPROVED AND NEW CONSTRUCTION WORK WILL START WITHIN 30 DAYS OF COMPLETION OF DEMOLITION.)
8. A REFUNDABLE CASH BOND WILL BE REQUIRED IN AN AMOUNT SUFFICIENT TO RESTORE GRADE, AN PLANT GRASSES (MINIMUM \$5,000,000). REFUND WILL BE PROCESSED ONLY AFTER FINAL INSPECTION IS APPROVED.
9. CAP/REMOVAL OF ANY WELL OR SEPTIC FIELD, INCLUDING DISPOSAL IN AN APPROVED MANNER, WITH A CERTIFICATE OF COMPLIANCE WITHIN TEN (10) DAYS OF SUCH ACTION.
10. 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS ARE REQUIRED AT MANHOLES AND STUBS WHERE SEWERS ARE REMOVED OR ABANDONED
11. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF ALL ON-SITE UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS
12. DAMAGED PUBLIC SIDEWALK SQUARES SHALL BE REMOVED AND REPLACED FROM JOINT TO JOINT WITH 5" P.C.C. ON 4" AGGREGATE

13. ALL EXISTING ON-SITE TREES AND LANDSCAPING SHALL BE DEMOLISHED
14. ALL EXISTING ON-SITE SIGNAGE SHALL BE DEMOLISHED
15. ALL EXISTING ON-SITE BUILDINGS AND PAVEMENT ARE PROPOSED TO BE DEMOLISHED
16. PROPOSED PAVEMENT REMOVAL AND UTILITY REMOVAL IN THE R.O.W. SHALL BE RESTORED WITH TOPSOIL AND SEED OR IN ACCORDANCE WITH DES PLAINES REQUIREMENTS
17. CONTRACTOR TO DISPOSE OF OR STOCKPILE DEMOLISHED MATERIAL AS NECESSARY AND IN ACCORDANCE WITH DES PLAINES REQUIREMENTS
18. DEMOLITION PLAN TO BE USED AS A GUIDE. CONTRACTOR SHALL LOCATE AND DETERMINE EXISTING FIELD CONDITIONS AT TIME OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES
19. ALL DEMOLITION WORK WITHIN THE PIPELINE EASEMENT SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND REQUIREMENTS SET FORTH BY KINDER MORGAN AND/OR ITS REPRESENTATIVES
20. ALL WATERMAIN, SANITARY, AND STORM SEWER SERVICES WITHIN THE PROPOSED TO BE DEMOLISHED SHALL BE ABANDONED AND FILLED WITH FLOWABLE FILL



**WATER MAIN DISCONNECT DETAIL**

NOTES:  
1. IF DISCONNECTED MAIN IS TO REMAIN LINE, THE CAPPED END SHALL BE BRACED.  
2. CONCRETE BLOCKING SHALL BE PLACED UNDER EACH JOINT TO PREVENT SETTLEMENT OF REPLACEMENT PIPE AREA.  
3. REFER TO TRENCH BACKFILL DETAILS FOR BACKFILLING.



NO.	DATE	REMARKS
1	02/14/25	DES PLAINES AND MHRD
2	02/24/25	KINDER MORGAN

NO.	DATE	REMARKS
1	02/14/25	DES PLAINES AND MHRD
2	02/24/25	KINDER MORGAN

**DEMOLITION PLAN**  
**555 HOWARD AVENUE**  
**DES PLAINES, ILLINOIS**

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME: 1133ZDEMO
DATE: 12/20/2024
JOB NO. 11332
SHEET <b>C4.0</b> 4 OF 25

**KINDER MORGAN PIPELINE NOTES:**

1. CONTRACTOR SHALL NOTIFY MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT EMAIL: MARK\_THORSON@KINDERMORGAN.COM
2. CONTRACTOR SHALL SUBMIT KINDER MORGAN ENCROACHMENT INFORMATION FORM AS NECESSARY, AND AS REQUIRED BY UTILITY OWNER
3. NO BLASTING NEAR THE PIPELINE ALLOWED

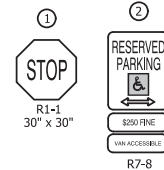
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**NOTES:**

1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURBS AND GUTTERS ARE REVERSED PITCH (PITCH-OUT) B6-12 CURB AND GUTTER UNLESS OTHERWISE NOTED.
3. SEE SHEET C-2.0 FOR PAVEMENT SECTION DETAILS.
4. ALL PAVEMENT MARKINGS SHALL BE PAINT AND COLOR SHALL MATCH MUNICIPAL REQUIREMENTS AND/OR INDUSTRY STANDARDS.
5. ALL ACCESSIBLE PARKING SPACES AND SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS
7. SEE MEP DRAWINGS FOR DESIGN AND DETAILS OF THE LIGHTING, CIRCUITRY, PHOTOMETRICS, PLUMBING, ETC.
8. SEE LANDSCAPE DRAWINGS FOR DESIGN AND DETAILS OF LANDSCAPE DESIGN
9. CONTRACTOR SHALL REMOVE AND REPLACE PAVEMENT WITHIN THE R.O.W. AND EXISTING ROADWAYS AS NECESSARY FOR CURB AND UTILITY INSTALLATION. MATCH EXISTING PAVEMENT SECTION AS NECESSARY FOR PATCHING
10. ALL CURB AND GUTTER PROPOSED TO BE REMOVED AND REPLACED ALONG HOWARD AVENUE SHALL BE INSTALLED WITH A 3' EDGE GRIND AND OVERLAY

**SIGN LEGEND:**

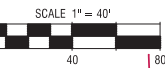
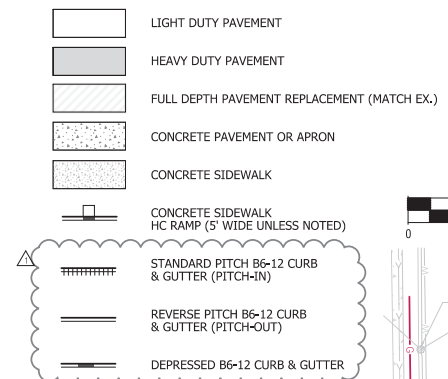


NOTE: ① INDICATES SIGN ② MOUNTED ABOVE SIGN ①

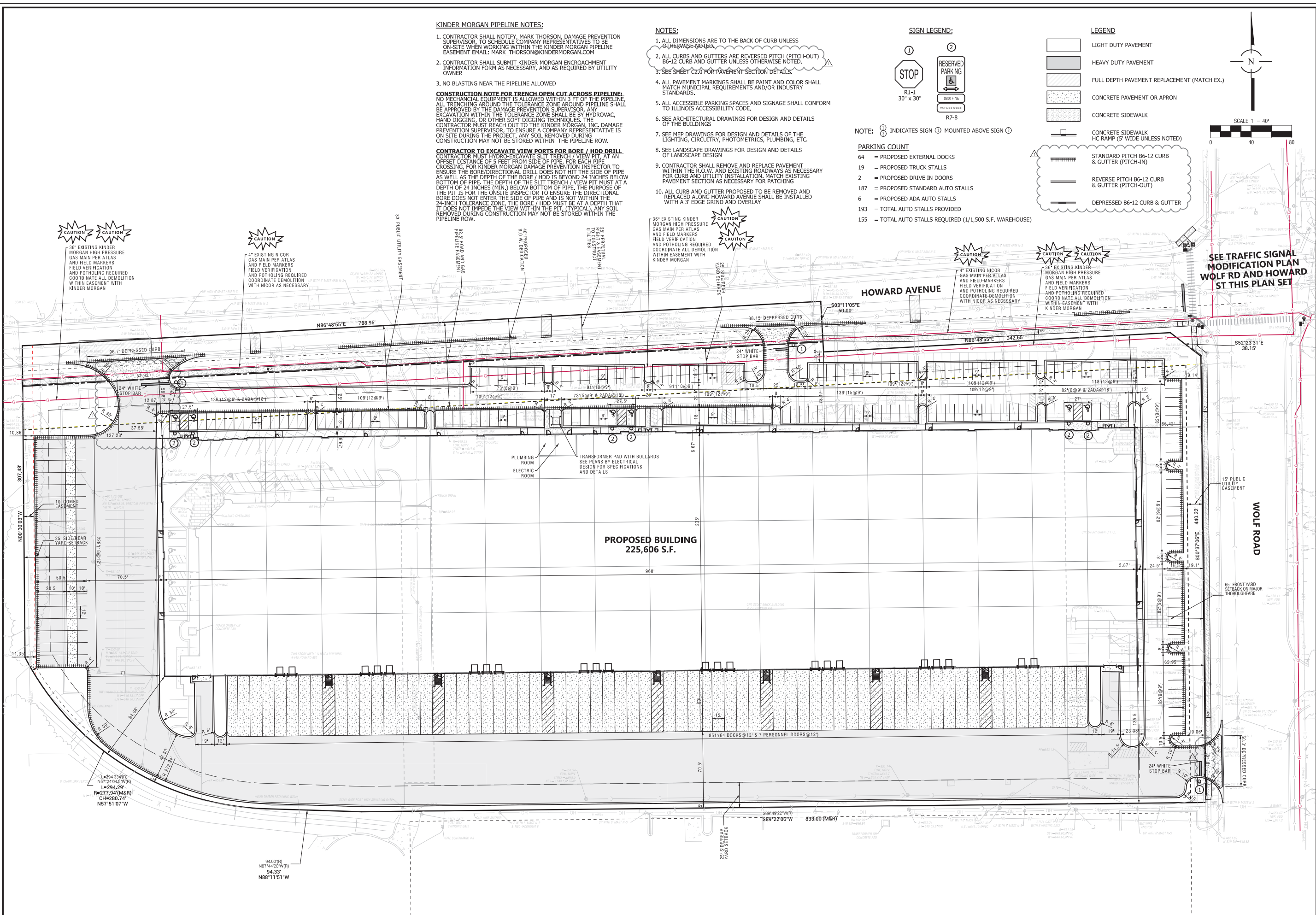
**PARKING COUNT**

- 64 = PROPOSED EXTERNAL DOCKS
- 19 = PROPOSED TRUCK STALLS
- 2 = PROPOSED DRIVE IN DOORS
- 187 = PROPOSED STANDARD AUTO STALLS
- 6 = PROPOSED ADA AUTO STALLS
- 193 = TOTAL AUTO STALLS PROVIDED
- 155 = TOTAL AUTO STALLS REQUIRED (1/1,500 S.F. WAREHOUSE)

**LEGEND**



SEE TRAFFIC SIGNAL MODIFICATION PLAN WOLF RD AND HOWARD ST THIS PLAN SET



NO.	DATE	REMARKS
3	02/25/25	OWNER BUILDING REVISIONS
1	02/14/25	DES PLANS AND MFRD

**GEOMETRIC PLAN**  
**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME:	11332GM
DATE:	12/20/2024
JOB NO.	11332
SHEET	C5.0
	5 OF 25

**KINDER MORGAN PIPELINE NOTES:**

1. CONTRACTOR SHALL NOTIFY, MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT EMAIL: MARK.THORSON@KINDERMORGAN.COM
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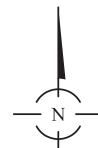
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**NOTES:**

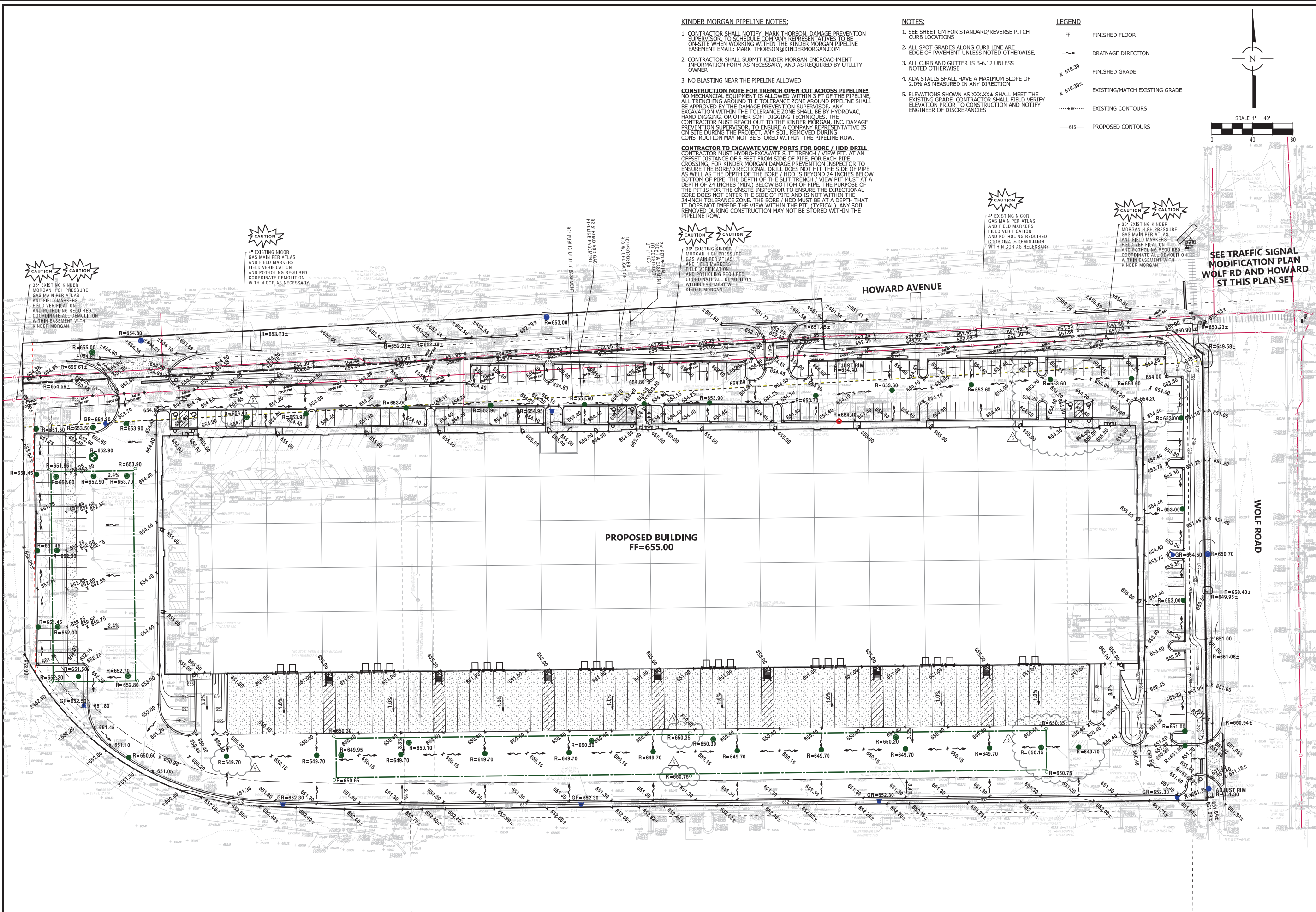
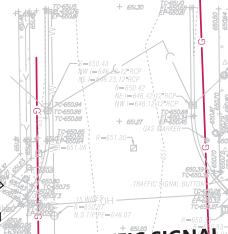
1. SEE SHEET GM FOR STANDARD/REVERSE PITCH CURB LOCATIONS
2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
3. ALL CURB AND GUTTER IS B-6.12 UNLESS NOTED OTHERWISE
4. ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2.0% AS MEASURED IN ANY DIRECTION
5. ELEVATIONS SHOWN AS XXX.XX± SHALL MEET THE EXISTING GRADE. CONTRACTOR SHALL FIELD VERIFY ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF DISCREPANCIES

**LEGEND**

- FF FINISHED FLOOR
- DRAINAGE DIRECTION
- x 615.30 FINISHED GRADE
- x 615.30± EXISTING/MATCH EXISTING GRADE
- 616--- EXISTING CONTOURS
- 616--- PROPOSED CONTOURS



SCALE 1" = 40'



SEE TRAFFIC SIGNAL MODIFICATION PLAN WOLF RD AND HOWARD ST THIS PLAN SET

NO.	DATE	REMARKS
5	03/31/25	STORM STORAGE REVISIONS
3	07/25/25	OWNER BUILDING REVISIONS

**GRADING PLAN**  
**555 HOWARD AVENUE**  
 DES PLAINES, ILLINOIS



FILENAME: 11332GR
DATE: 12/20/2024
JOB NO. 11332
SHEET <b>C6.0</b> 6 OF 25

**\*NOTE:**  
MWRDGD AND THE VILLAGE ENGINEER MUST BE NOTICED A MINIMUM OF 2 DAYS IN ADVANCE OF WORK SO THEY CAN BE PRESENT FOR INSPECTIONS. SAME APPLIES FOR INSPECTION OF UNDERGROUND DETENTION.

**\*NOTE:**  
SEE SHEET C7.1 FOR PROFILES OF THE EXISTING 36" KINDER MORGAN PIPELINE, AND ALL PROPOSED UTILITIES CROSSING THE PIPELINE AND PIPELINE EASEMENT

**NOTES:**

1. ALL STORM SEWERS SHALL BE RCP CL-IV WITH C-361 JOINTS UNLESS NOTED OTHERWISE.
2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
3. ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 WITH CEMENT MORTAR LINING WITH POLYETHYLENE ENCASEMENT (OR APPROVED EQUAL) UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS. ANY PUBLIC WATERMAIN SHALL BE POLYBAGGED AND ITS CONSTRUCTION SHALL NOT COMMENCE UNTIL THE APPROVED IEPA PERMIT IS ON FILE IN THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
4. INSTALLED WATERMAINS SHALL BE PRESSURE TESTED AND CHLORINATED PER IEPA PERMIT AND CITY STANDARDS.
5. ALL TRENCH BACKFILL IN PUBLIC RIGHT OF WAY WILL BE FLOWABLE FILL.
6. ALL FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES

- 1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
- 1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "G" GRATE
- 1G - INLET, CATCH BASIN-NEENAH R-4340-B BEEHIVE LID

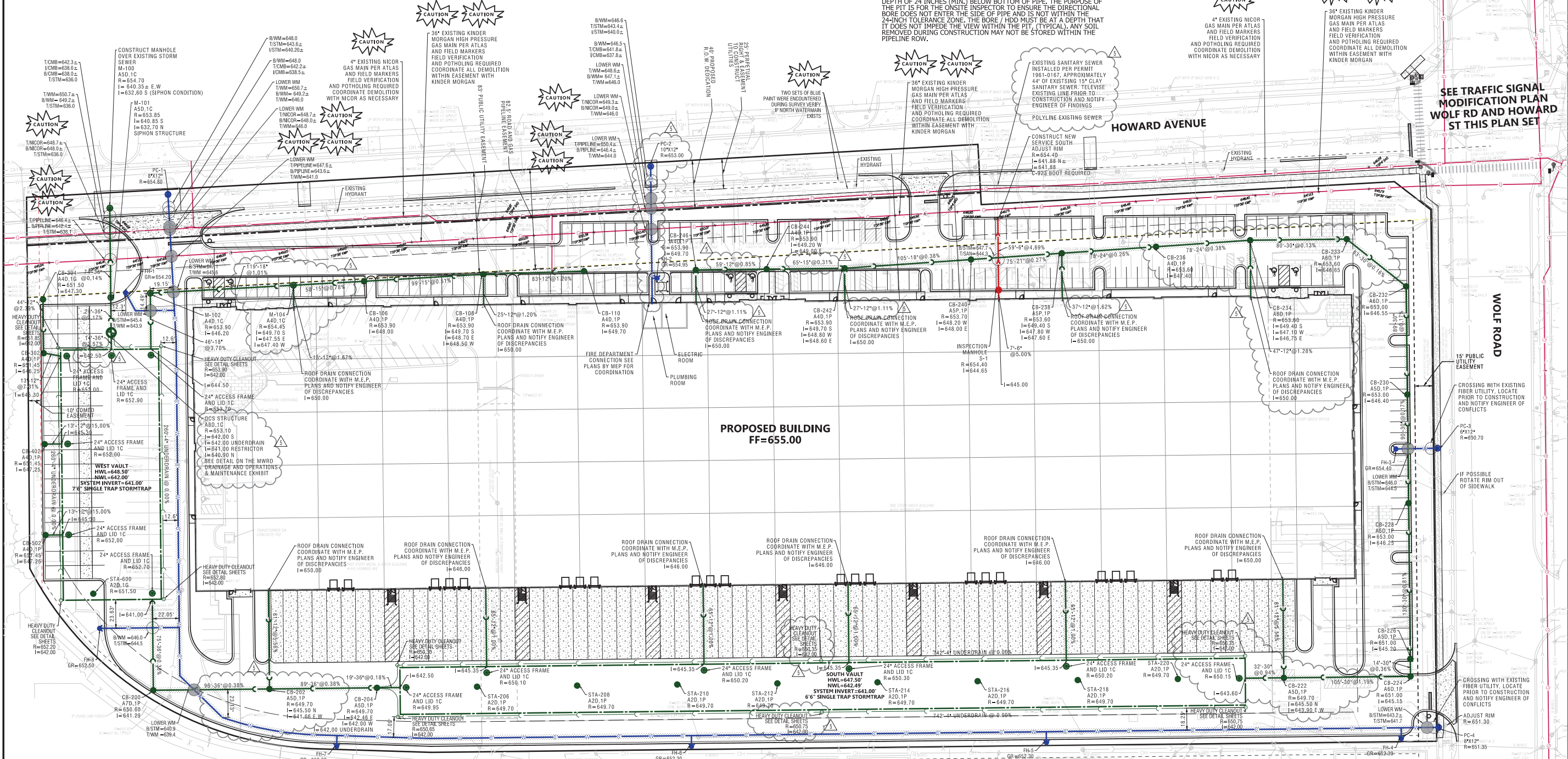
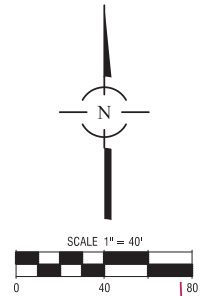
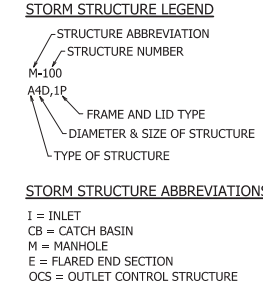
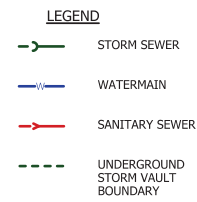
6. ELEVATIONS SHOWN AS XXX.XX± OR M/E SHALL MEET EXISTING GRADE. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
8. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
9. CONTRACTOR SHALL COORDINATE FINAL UTILITY SERVICE LOCATIONS, SIZES AND INVERT ELEVATION WITH MEP PLAN PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
10. A MINIMUM OF TEN (10) FEET CLEAR HORIZONTAL SEPARATION IS REQUIRED BETWEEN SEWERS AND WATERMAIN IN ACCORDANCE WITH IEPA REQUIREMENTS. SEPARATION IS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CONTRACTOR TO FIELD VERIFY PRIOR TO INSTALLATION.
11. RUBBER BOOTS CONFORMING TO ASTM C-923 SHALL BE PROVIDED FOR ALL CONNECTION BETWEEN SANITARY SEWERS AND MANHOLES. FOR ALL CONNECTION BETWEEN COMBINED SEWERS AND MANHOLES THAT ARE TRIBUTARY TO THE DISTRICTS COLLECTION SYSTEM.

**KINDER MORGAN PIPELINE NOTES:**

1. CONTRACTOR SHALL NOTIFY, MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT EMAIL: MARK\_THORSON@KINDERMORGAN.COM
2. CONTRACTOR SHALL SUBMIT KINDER MORGAN ENCROACHMENT INFORMATION FORM AS NECESSARY, AND AS REQUIRED BY UTILITY OWNER.
3. NO BLASTING NEAR THE PIPELINE ALLOWED.

**CONSTRUCTION NOTE FOR TRENCH OPEN CUT ACROSS PIPELINE:**  
NO MECHANICAL EQUIPMENT IS ALLOWED WITHIN 3 FT OF THE PIPELINE. ALL TRENCHING AROUND THE TOLERANCE ZONE AROUND PIPELINE SHALL BE APPROVED BY THE DAMAGE PREVENTION SUPERVISOR. ANY EXCAVATION WITHIN THE TOLERANCE ZONE SHALL BE BY HYDROVAC, HAND DIGGING, OR OTHER SOFT DIGGING TECHNIQUES. THE CONTRACTOR MUST REACH OUT TO THE KINDER MORGAN, INC. DAMAGE PREVENTION SUPERVISOR, TO ENSURE A COMPANY REPRESENTATIVE IS ON SITE DURING THE PROJECT. ANY SOIL REMOVED DURING CONSTRUCTION MAY NOT BE STORED WITHIN THE PIPELINE ROW.

**CONTRACTOR TO EXCAVATE VIEW PORTS FOR BORE / HDD DRILL:**  
CONTRACTOR MUST HYDRO-EXCAVATE SLIT TRENCH / VIEW PIT, AT AN OFFSET DISTANCE OF 5 FEET FROM SIDE OF PIPE, FOR EACH PIPE CROSSING. FOR KINDER MORGAN DAMAGE PREVENTION INSPECTOR TO ENSURE THE BORE/DIRECTIONAL DRILL DOES NOT HIT THE SIDE OF PIPE AS WELL AS THE DEPTH OF THE BORE / HDD IS BEYOND 24 INCHES BELOW BOTTOM OF PIPE. THE DEPTH OF THE SLIT TRENCH / VIEW PIT MUST AT A DEPTH OF 24 INCHES (MIN.) BELOW BOTTOM OF PIPE. THE PURPOSE OF THE PIT IS FOR THE ON-SITE INSPECTOR TO ENSURE THE DIRECTIONAL BORE DOES NOT ENTER THE SIDE OF PIPE AND IS NOT WITHIN THE 24-INCH TOLERANCE ZONE. THE BORE / HDD MUST BE AT A DEPTH THAT IT DOES NOT IMPEDE THE VIEW WITHIN THE PIT, (TYPICAL). ANY SOIL REMOVED DURING CONSTRUCTION MAY NOT BE STORED WITHIN THE PIPELINE ROW.



NO.	DATE	REMARKS
5	03/31/25	STORM STORAGE REVISIONS
3	02/25/25	OWNER BUILDING REVISIONS
1	07/14/25	DES PLANS AND MWRD

**UTILITY PLAN**  
**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
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FILENAME: 11332UT  
DATE: 12/20/2024  
JOB NO. 11332  
SHEET **C7.0**  
7 OF 25

**KINDER MORGAN PIPELINE NOTES:**

1. CONTRACTOR SHALL NOTIFY, MARK THORSON, DAMAGE PREVENTION SUPERVISOR, TO SCHEDULE COMPANY REPRESENTATIVES TO BE ON-SITE WHEN WORKING WITHIN THE KINDER MORGAN PIPELINE EASEMENT EMAIL: MARK\_THORSON@KINDERMORGAN.COM
2. CONTRACTOR SHALL SUBMIT KINDER MORGAN ENCROACHMENT INFORMATION FORM AS NECESSARY, AND AS REQUIRED BY UTILITY OWNER
3. NO BLASTING NEAR THE PIPELINE ALLOWED









**CONSTRUCTION NOTE FOR TRENCH OPEN CUT ACROSS PIPELINE:**  
NO MECHANICAL EQUIPMENT IS ALLOWED WITHIN 3 FT OF THE PIPELINE. ALL TRENCHING AROUND THE TOLERANCE ZONE AROUND PIPELINE SHALL BE APPROVED BY THE DAMAGE PREVENTION SUPERVISOR. ANY EXCAVATION WITHIN THE TOLERANCE ZONE SHALL BE BY HYDROVAC, HAND DIGGING, OR OTHER SOFT DIGGING TECHNIQUES. THE CONTRACTOR MUST REACH OUT TO THE KINDER MORGAN, INC. DAMAGE PREVENTION SUPERVISOR, TO ENSURE A COMPANY REPRESENTATIVE IS ON SITE DURING THE PROJECT. ANY SOIL REMOVED DURING CONSTRUCTION MAY NOT BE STORED WITHIN THE PIPELINE ROW.

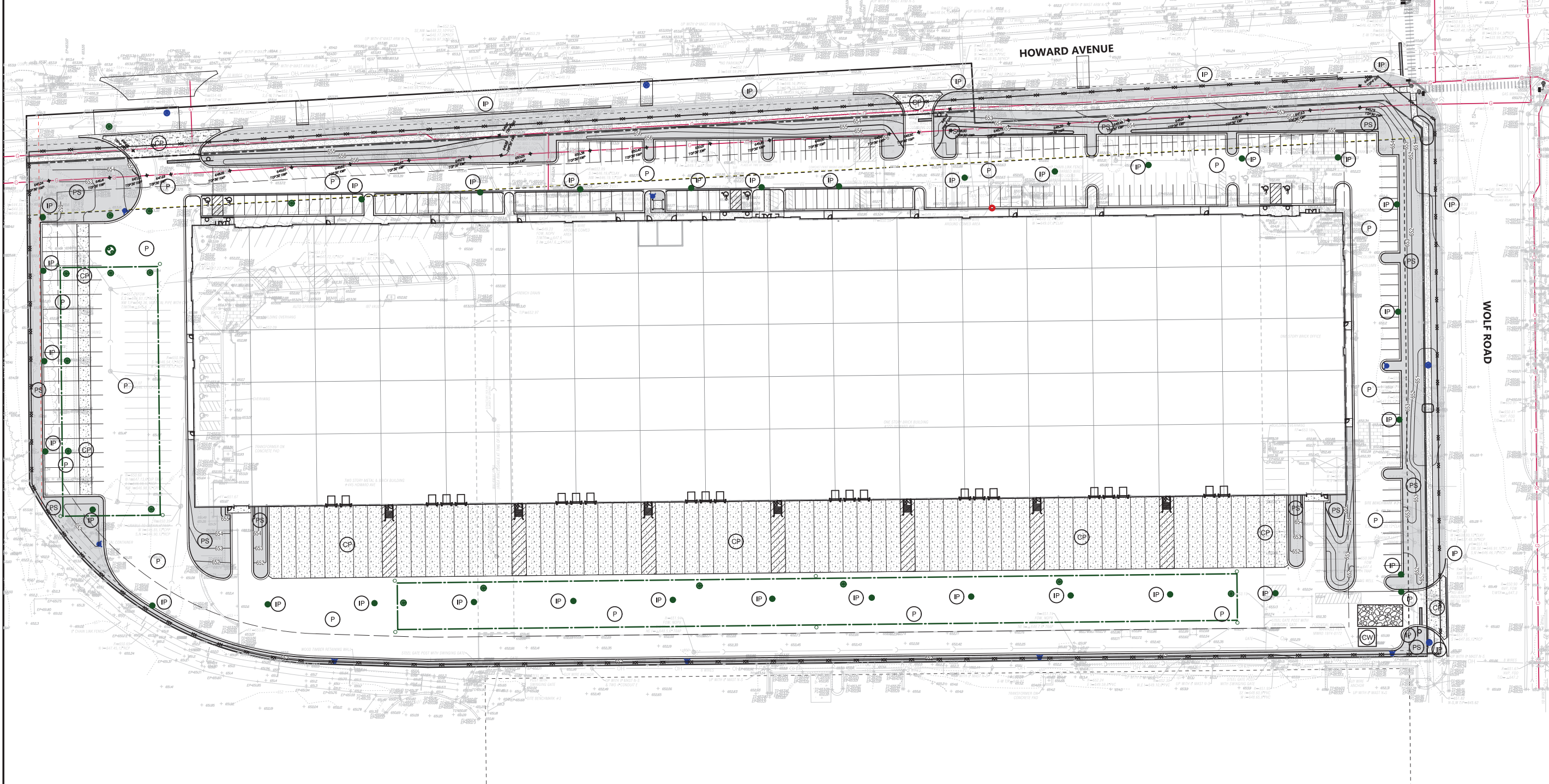
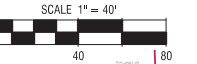
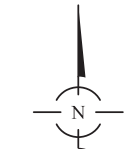
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**EROSION CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY AND TRANSPORTED TO A CONTROLLED SEDIMENT AREA.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.

**SYMBOL LEGEND**

-  STABILIZED CONSTRUCTION ENTRANCE
-  NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET
-  SILT FENCE
-  INLET PROTECTION
-  PAVING
-  PERMANENT SEEDING
-  CONCRETE PAVEMENT
-  CONCRETE WASHOUT



**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

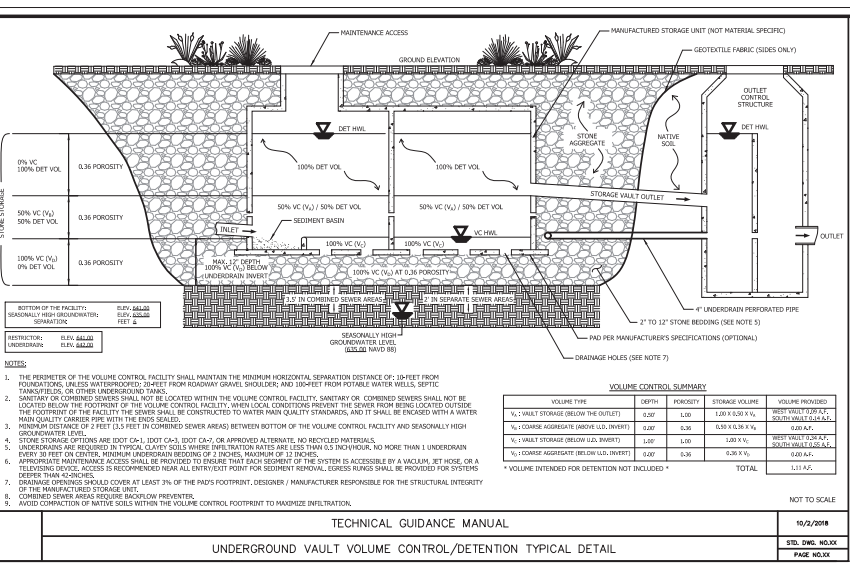
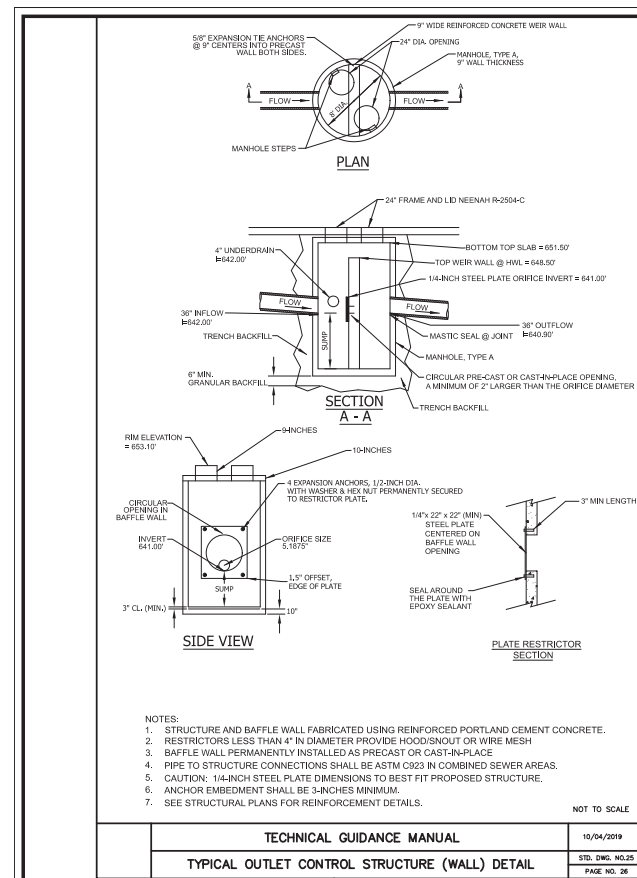


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FILENAME:	113325E03
DATE:	12/20/2024
JOB NO.	11332
SHEET	<b>C8.2</b>
	11 OF 25

NO.	DATE	REVISIONS
5	03/31/25	STORM STORAGE REVISIONS
3	02/25/25	OWNER BUILDING REVISIONS
2	03/24/25	KINDER MORGAN

NO.	DATE	REMARKS



**MWRD SUMMARY**

**DETAILED AREA CURVE NUMBER CALCULATIONS:**

CN OFFSITE TRIB TO VAULT = 98  
 CN ONSITE TRIB TO VAULT = 96  
 CN ADJUSTED = 88.19  
 CN UNRESTRICTED = 80  
 CN EMERGENCY OVERFLOW = 98

**OVERFLOW SUMMARY:**

TOTAL 100 YEAR - 1 HR PEAK FLOW = 90.40 CFS  
 TOTAL PROVIDED EMERGENCY OVERFLOW = 90.40 CFS

**TIME OF CONCENTRATION CALCULATIONS:**

TIME OF CONCENTRATION = 10.0 MIN (URBAN)

**RELEASE RATE SUMMARY:**

ALLOWABLE FLOW PER WMO ORDINANCE = 2.37 CFS (0.20 CFS/ACRE)  
 100 YEAR-24HR UNRESTRICTED RELEASE = 0.40 CFS (SEE HEC-HMS MODEL)  
 100 YEAR PEAK ALLOWABLE RELEASE RATE = 1.97 CFS

**DETENTION SUMMARY:**

TOTAL VOLUME PROV'D = 5.00 AC-FT  
 DETENTION REQUIRED = 4.59 AC-FT

**BMP VOLUME SUMMARY:**

VOLUME CONTROL PROVIDED = 1.11 AC-FT  
 VOLUME CONTROL REQUIRED = 0.88 AC-FT

**ON-SITE AREA SUMMARY:**

TOTAL PROPERTY OWNERSHIP = 12.36 AC  
 R.O.W. DEDICATION = 0.73 AC  
 OFFSITE TRIBUTARY = 0.47 AC  
 TOTAL DEVELOPMENT AREA = 11.83 AC  
 AREA TRIB TO DETENTION = 11.27 AC  
 IMPERVIOUS AREA = 10.46 AC  
 PERVIOUS AREA = 0.81 AC  
 UNRESTRICTED AREA = 0.56 AC  
 IMPERVIOUS AREA = 0.14 AC  
 PERVIOUS AREA = 0.42 AC

**LEGEND**

- IMPERVIOUS AREA
- PERVIOUS AREA
- UNRESTRICTED IMPERVIOUS AREA
- UNRESTRICTED PERVIOUS AREA
- DEVELOPMENT AREA TRIBUTARY TO VAULT
- OFFSITE AREA TRIBUTARY TO VAULT

**PROPERTY DESCRIPTION:**

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTHWEST 1/4 WITH A LINE THAT IS 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE SAID PARALLEL LINE A DISTANCE OF 515.32 FEET; THENCE WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 1163.47 FEET, MORE OR LESS TO THE EAST RIGHT WAY OF LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE NORTH ALONG THE EAST LINE OF SAID RIGHT OF WAY, A DISTANCE OF 463.34 FEET, MORE OR LESS TO THE NORTH LINE OF THE SAID SOUTHWEST 1/4; THENCE EAST ALONG THE NORTH LINE OF THE SAID SOUTHWEST 1/4, A DISTANCE OF 1163.20 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

EXCEPTING THEREFROM:

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT INTERSECTION OF THE NORTH LINE OF SAID SOUTHWEST 1/4 OF A LINE 60.0 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID WEST 1/2 OF THE SOUTH EAST 1/4; THENCE SOUTH 00 DEGREES 10 MINUTES 38 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 515.32; THENCE SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 833.00 FEET TO THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT LAND; THENCE NORTH 87 DEGREES 44 MINUTES 20 SECONDS WEST 94.00 FEET; THENCE NORTHWESTERLY 294.334 FEET ALONG THE ARC OF A CIRCLE OF 277.94 FEET, CONVEX TO THE SOUTHWEST, TANGENT WITH THE LAST DESCRIBED COURSE WHOSE CHORD BEARS NORTH 57 DEGREES 24 MINUTES 04.3 SECONDS WEST, TO A POINT ON THE EAST RIGHT OF WAY LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE SOUTH 156.0 FEET ALONG SAID EAST LINE OF THE RIGHT OF WAY TO A POINT ON A LINE DRAWN SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST THROUGH THE HEREIN DESIGNATED PLACE OF BEGINNING, THENCE NORTH 89 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 330.47 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

AND EXCEPTING THEREFROM:

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBES AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTHWEST 1/4 WITH A LINE 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHWEST 1/4; THENCE SOUTH, ON SAID PARALLEL LINE, 75 FEET; THENCE NORTHWESTERLY TO A POINT ON THE SOUTH LINE OF THE NORTH 50 FEET OF SAID SOUTHWEST 1/4, 30 FEET (AS MEASURED ON SAID SOUTH LINE WEST OF THE ADDRESS) 50 FOOT PARALLEL LINE, THENCE WEST ON SAID SOUTH LINE TO A POINT 425 FEET WEST OF AND 50 FEET SOUTH OF THE NORTHEAST CORNER OF THE WEST 1/2 OF SAID SOUTHWEST 1/4 (AS MEASURED ON THE NORTH LINE THEREOF AND ON A LINE AT RIGHT ANGLES THEREOF); THENCE NORTH AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE TO THE SAID NORTH LINE; THENCE EAST ON SAID NORTH LINE, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**MAINTENANCE AND MONITORING REQUIREMENTS**

**Temporary Soil Erosion & Sediment Control**

1. **Soil Erosion and Sediment Control**  
 The contractor will maintain all erosion control measures for the duration of the construction activity. Erosion control measures for the proposed development are included in the plan set. At the completion of construction, the contractor will coordinate the transfer of maintenance responsibilities. Maintenance activities will be performed in accordance with the Illinois Environmental Protection Agency Standards and Specifications for Soil Erosion and Sediment Control, 1987.  
 Except as prevented by inclement weather conditions, all disturbed areas to remain active for more than 14 days will be stabilized by seeding, sodding, mulching, covering, or by other equivalent erosion control measures within seven days. Permanent soil stabilization shall be provided within seven days after final grading is completed.  
 All temporary erosion and sediment control practices will be removed and disposed of within thirty days after final stabilization is achieved or after the temporary practices are no longer needed.

**Permanent**

1. **General**  
 Regular inspections and routine maintenance of general areas shall be performed on a monthly or as-needed basis. Specific items of concern include:  
 X Litter and debris shall be controlled  
 X Landscaped areas shall be maintained with regular mowing and restored with appropriate seeding/vegetation as necessary  
 X Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations  
 X Riprap areas shall be repaired with the addition of new riprap, as necessary, of similar size and shape  
 X Roads that be swept, vacuumed and/or washed on a regular basis

2. **Stormwater Management Facilities**  
 All component of the stormwater management facilities shall be checked monthly between March and November and maintained as necessary to ensure proper performance. It is critical that all inflows and outflows to the detention facility are clean and performing as designed. In addition, the design volume of the detention facility shall also be maintained. Inspections for the following specific items should be conducted monthly between March and November:  
 Side Slopes/Embankment/Emergency Overflow Structure  
 X If vault is showing sign of deterioration, it shall be inspected by a professional  
 X If stone base of vault has signs of growth it shall be removed or treated by a professional  
 X Any leaks, hire Registered Professional Engineer for design resolution  
 X Seed and sod any eroded areas  
 X Signs of piping (leakage), repair  
 X Signs of seepage or wet spots on the downstream face of a berm, may require toe drains or chimney drains to solve problems  
 X Stabilize emergency overflow structure if erosion observed  
 X Remove obstructions blocking emergency overflow spillway

Vegetated Areas  
 X Regular mowing to control vegetation, no cutting of native vegetation  
 X Need for planting, reseeding or sodding. Supplement alternative native vegetation if a significant portion has not established (50% of the surface area). Reseed with alternative grass species if original grass cover has not successfully established.  
 X Evidence of grazing, motorbikes or other vehicles, repair  
 X Check for invasive vegetation, remove when possible  
 X All vegetation must be maintained per the approved planting plan

Outlet Control Structure  
 X Inspect restrictor and remove debris if clogged or discharge reduced  
 X Remove accumulated sediment at outlet  
 X Scour and erosion at outlet, repair and reseed  
 X Any ice damage to outlet of pipe, repair if necessary  
 X Condition of trash tracks, remove debris  
 X Outlet channel conditions downstream

Access for Maintenance Equipment  
 X Remove any obstructions placed in maintenance easements

Safety Features  
 X Access controls to hazardous areas  
 X Fences  
 X Loose or damaged posts  
 X Loose or broken wires  
 X Accumulated debris in fences  
 X Conditions of gates  
 X Signs

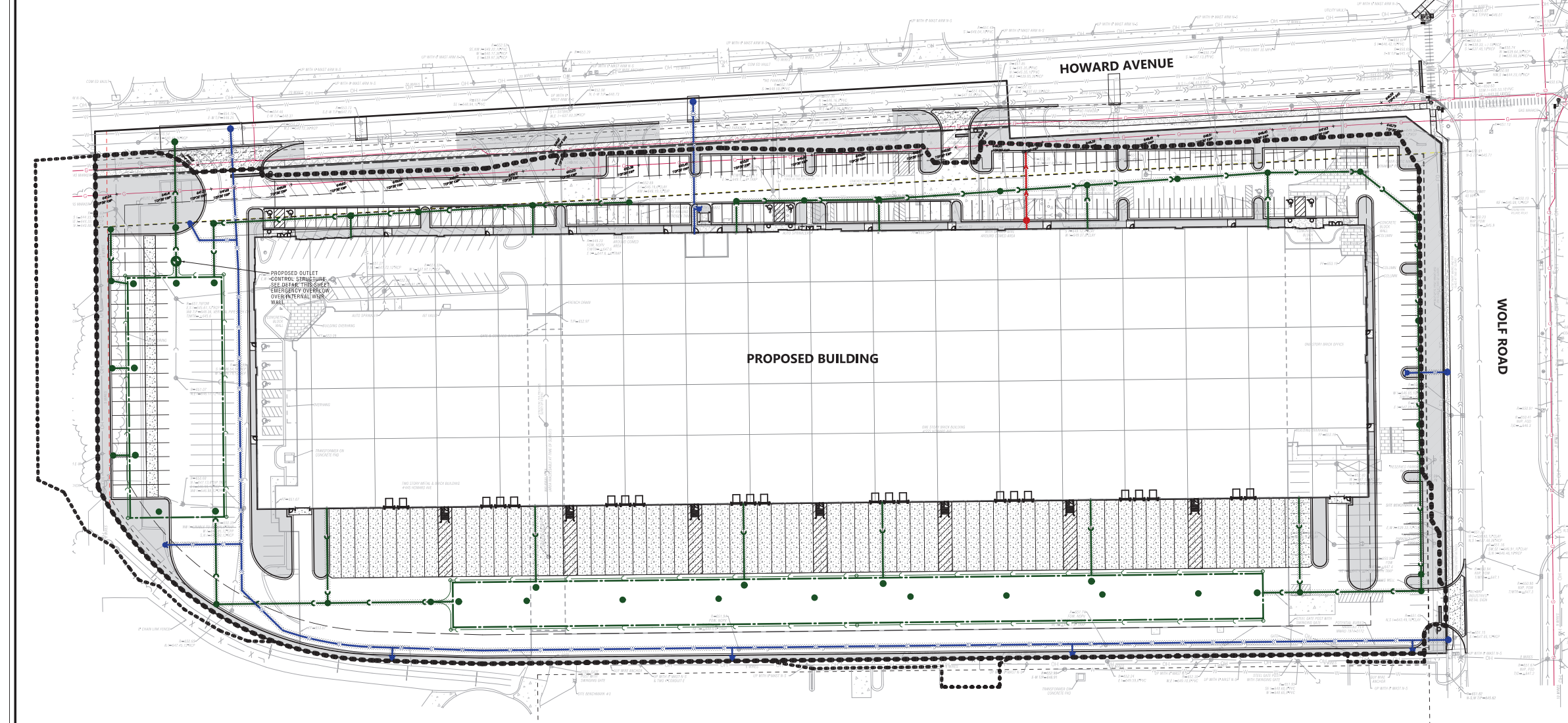
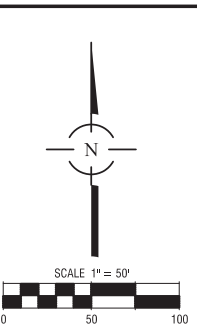
Detention Volume  
 X Inspect all stormwater detention facilities to ensure that the constructed volume for detention is maintained. No sediment, topsoil or other dumping into the facility shall be allowed. Specific locations in the stormwater management system, designed to accumulate sediment, shall be dredged as necessary to prevent sediment from reaching the invert off any gravity outlet pipe.

3. **Volume Control Facility**  
 Routine inspections and maintenance of volume control facilities shall be performed by the Owner on a yearly or as-needed basis. Specific items of concern include:  
 X Facility shall be inspected yearly using the monitoring well to verify the system is functioning properly  
 X Surface of permeable pavement shall be cleaned with a low-pressure power washer  
 X Accumulated sediment from surface shall be vacuumed out and disposed of properly  
 X Appropriate signage shall be repaired if damaged or illegible

4. **Stormwater Collection System**  
 The Owner shall perform monthly inspections of all components of the stormwater collection system. The monthly inspections shall occur between March and November and include the following specific areas of concern:  
 Storm Inlets/Manholes  
 X Remove accumulated leaves and other debris from gratings  
 X Reset covers/lids on as-needed basis  
 X Remove accumulated sediment from bottom of manhole when 50% of sump is filled  
 Storm Sewers/Culverts  
 X Visually inspect pipes by removing manhole lids, make repairs as necessary  
 X Storm sewers and culverts shall be checked for siltation deposits at inlets, outlets, and within the conduit, clean out as necessary  
 X Restore riprap at outlets if erosion observed  
 X Restore riprap at outlets  
 X Replant and reseed any eroded areas  
 Overland Flow Routes (Ditches/Swales)  
 X Annual visual inspections shall be performed that verify the design capacity of the overland flow routes is maintained. The slope and cross-sectional area of the ditch/swale shall be verified during this inspection  
 X Remove any obstruction that have been placed in the drainage path  
 X Seed and sod any eroded areas  
 X Restore riprap as necessary  
 X Regrade to provide positive drainage as necessary (A Professional Land Surveyor may be required to check grades to ensure positive drainage)  
 X Regular mowing to control vegetation  
 X Rototill bottom of dry swales if not drawing down within 48-hours

5. **Vegetated Areas**  
 X Need for planting, reseeding, or sodding. Supplement alternative native vegetation if a significant portion has not established (50% of the surface area after second growing season). Reseed with alternative native grass species if original grass cover has not successfully established  
 X Evidence of grazing, motorbikes, or other vehicles, repair  
 X Check for invasive vegetation, remove when possible  
 X Regular mowing to control vegetation it is recommended that native vegetation remain uncut  
 X Dead or damaged non-native grassy areas repair with seeding with fertilization or seeding with mulch  
 X Compensatory storage area shall be reseeded with appropriate vegetation according to the approved planting plan

6. **Qualified Sewer Construction**  
 X Perform manhole inspections once every five years, make repairs as necessary  
 X Perform sewer inspection once every five years, make repairs as necessary  
 X Perform regular sewer cleaning so that every sewer segment is cleaned once every five years  
 X Remove any construction places in maintenance easements that may impede maintenance equipment access.



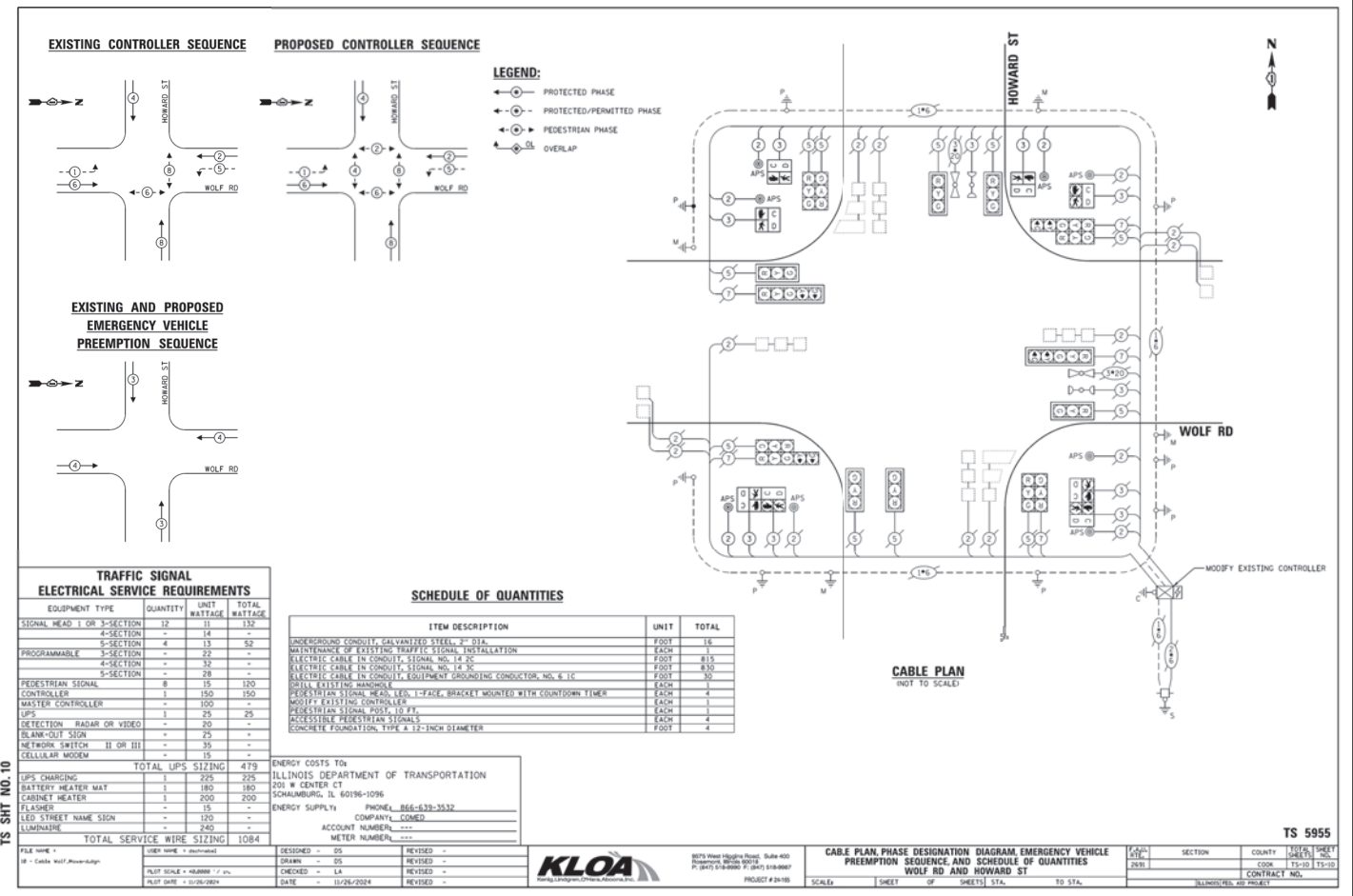
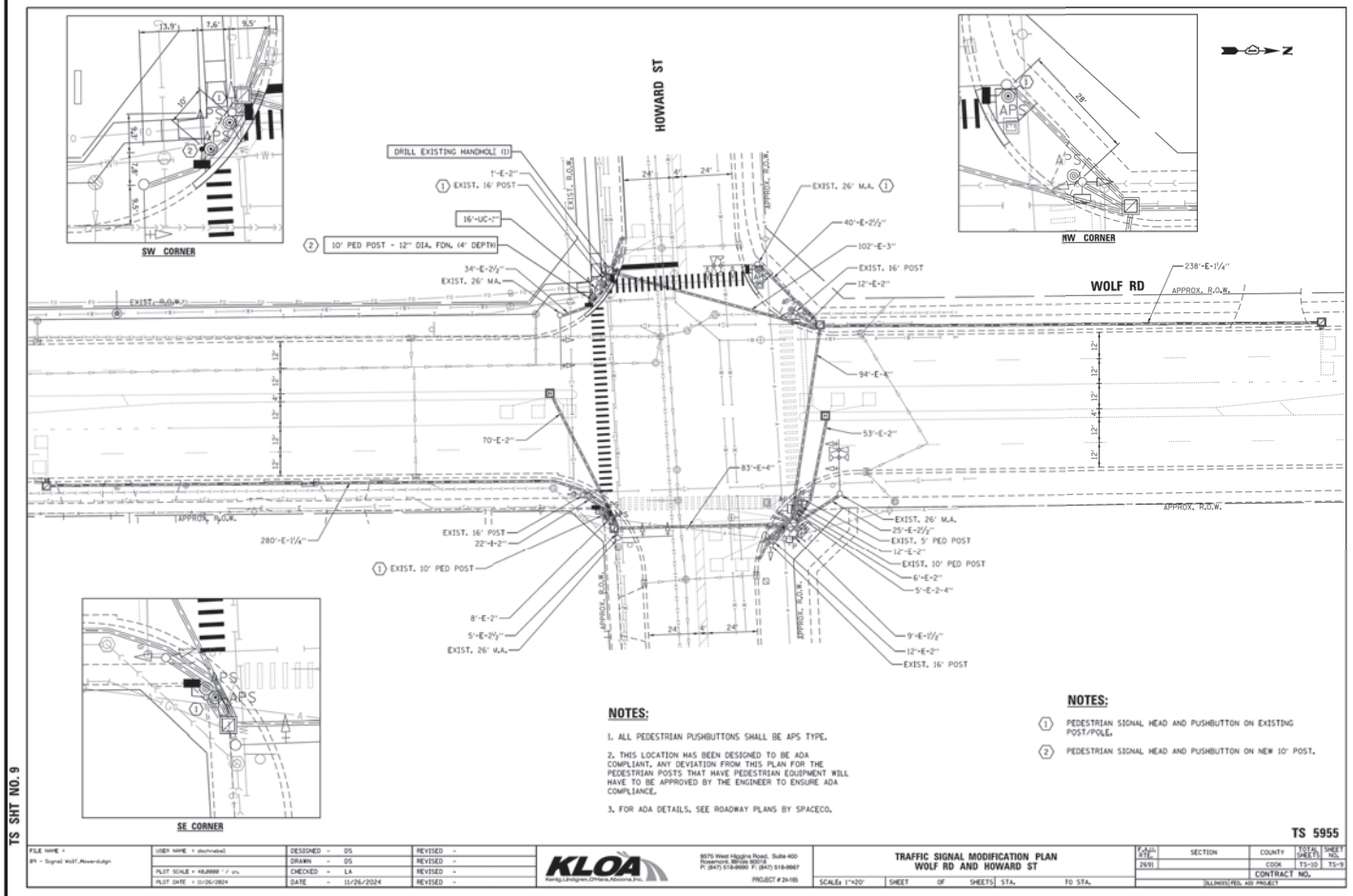
**MWRD DRAINAGE AND OPERATIONS & MAINTENANCE EXHIBIT**

**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

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NO.	DATE	REMARKS
1		
2		
3		
4		
5	03/31/25	STORM STORAGE REVISIONS
6	07/25/25	OWNER BUILDING REVISIONS

FILENAME: 11332MWRD  
 DATE: 12/20/2024  
 JOB NO. 11332  
 SHEET C11.0  
 20 OF 25



FILE NAME: 11332153.dgn	USER NAME: jmorris	DESIGNED: DS	REVIEWED:	SCALE: 1"=20'	SHEET 07	SHEETS 24	TO STA. 0+00
PROJECT: 11332153	DATE: 12/20/2024	CHECKED: LA	REVISOR:	TRAFFIC SIGNAL MODIFICATION PLAN WOLF RD AND HOWARD ST			

FILE NAME: 11332153.dgn	USER NAME: jmorris	DESIGNED: DS	REVIEWED:	SCALE: 1"=20'	SHEET 08	SHEETS 24	TO STA. 0+00
PROJECT: 11332153	DATE: 12/20/2024	CHECKED: LA	REVISOR:	CABLE PLAN, PHASE DESIGNATION, DIAGRAM, EMERGENCY VEHICLE PREEMPTION SEQUENCE AND SCHEDULE OF QUANTITIES WOLF RD AND HOWARD ST			

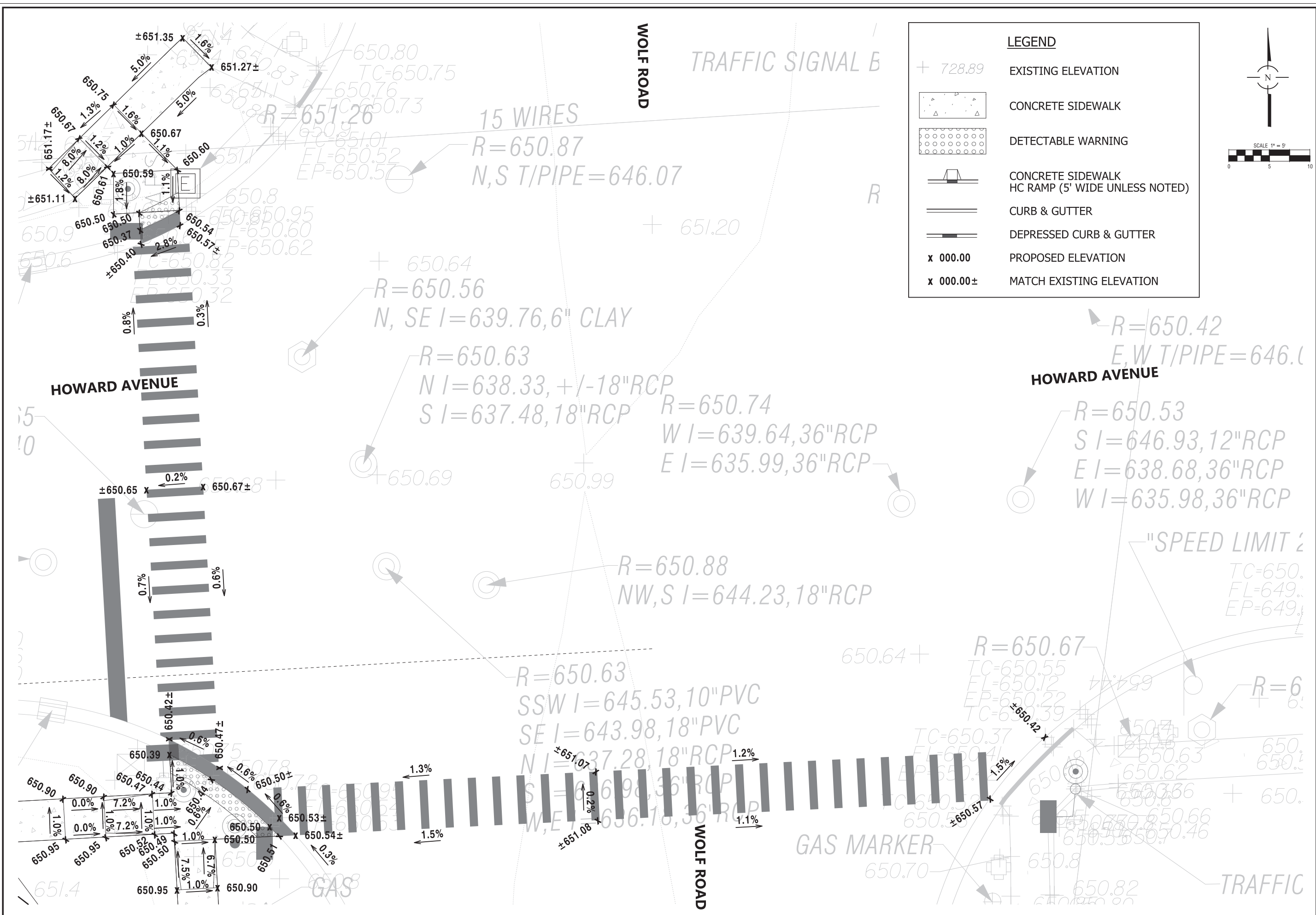
NO.	DATE	REMARKS

**TRAFFIC SIGNAL MODIFICATION PLAN**  
WOLF RD AND HOWARD ST

**555 HOWARD AVENUE**  
DES PLAINES, ILLINOIS

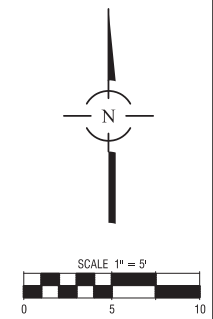
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FILENAME: 11332153
DATE: 12/20/2024
JOB NO. 11332
SHEET <b>C12.2</b> 23 OF 25



**LEGEND**

- + 728.89 EXISTING ELEVATION
- CONCRETE SIDEWALK
- DETECTABLE WARNING
- CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
- CURB & GUTTER
- DEPRESSED CURB & GUTTER
- x 000.00 PROPOSED ELEVATION
- x 000.00± MATCH EXISTING ELEVATION

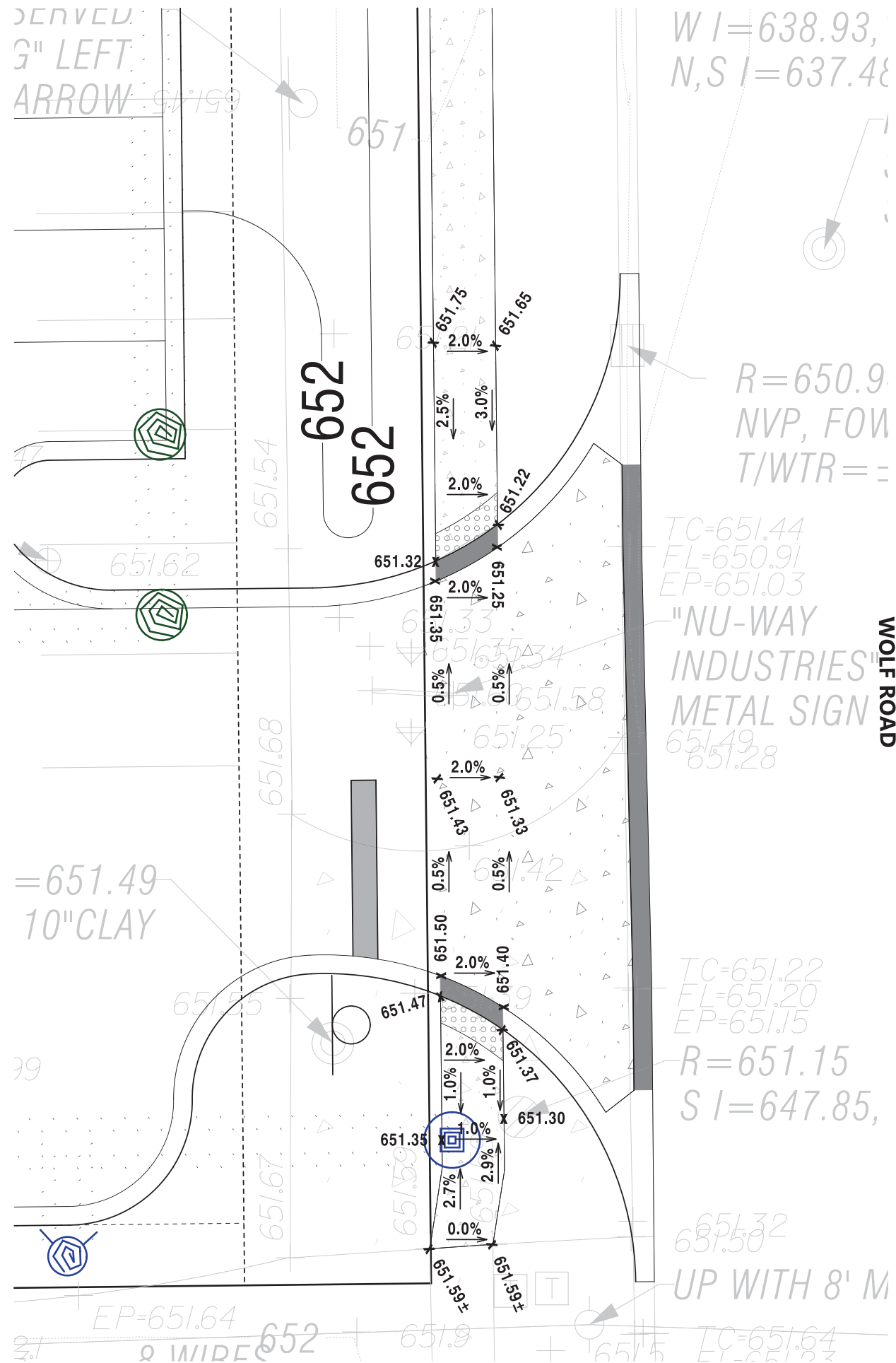


ADA RAMP DETAILS  
HOWARD AVE AND WOLF RD

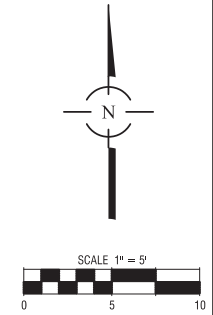
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Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILENAME:	11332ADADETT
DATE:	12/20/2024
JOB NO.:	11332
SHEET:	C13.0
	24 OF 25



LEGEND	
+ 728.89	EXISTING ELEVATION
	CONCRETE SIDEWALK
	DETECTABLE WARNING
	CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
	CURB & GUTTER
	DEPRESSED CURB & GUTTER
x 000.00	PROPOSED ELEVATION
x 000.00±	MATCH EXISTING ELEVATION

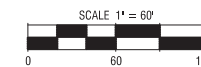
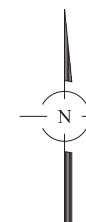


<b>ADA RAMP DETAILS</b> <b>WOLF ROAD SITE ACCESS</b>	<b>555 HOWARD AVENUE</b> <b>DES PLAINES, ILLINOIS</b>
 <b>Spaceco</b> Civil Engineering & Surveying <small>Rosemont, IL - Morris, IL - Indianapolis, IN</small>	
FILENAME: 11332ADADET2	NO.    DATE    REMARKS
DATE: 12/20/2024	NO.    DATE    REMARKS
JOB NO. 11332	NO.    DATE    REMARKS
SHEET <b>C13.1</b>	NO.    DATE    REMARKS
25 OF 25	NO.    DATE    REMARKS

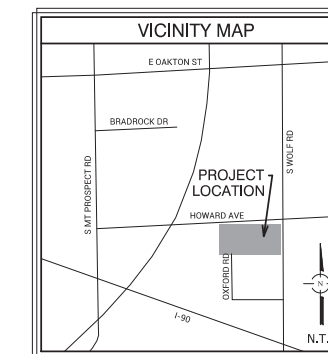
# FINAL PLAT OF SUBDIVISION BRIDGE POINT DES PLAINES SUBDIVISION

BEING A PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD MERIDIAN, IN COOK COUNTY, ILLINOIS

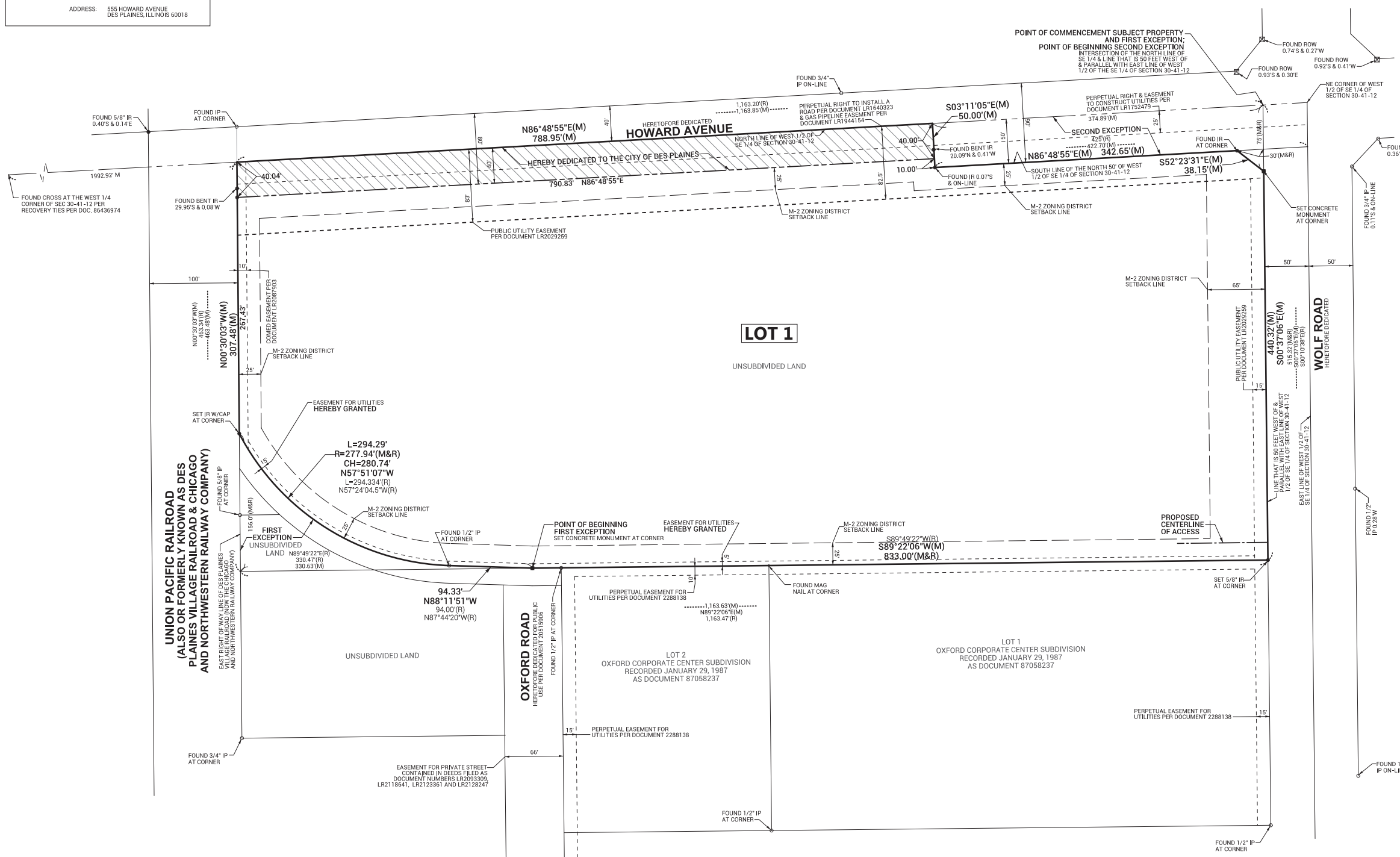
PLAT OF SUBDIVISION	
OWNER/SUBDIVIDER:	BRIDGE POINT DES PLAINES, LLC 9525 W. BRYN MAWR AVENUE SUITE 700 ROSEMONT, ILLINOIS 60018
SURVEYOR:	SPACECO INC. 9575 WEST HIGGINS ROAD SUITE 700 ROSEMONT, ILLINOIS 60018
ENGINEERING:	SPACECO INC. 9575 WEST HIGGINS ROAD SUITE 700 ROSEMONT, ILLINOIS 60018
CURRENT ZONING DISTRICT:	M-2 GENERAL MANUFACTURING
PROPOSED ZONING DISTRICT:	M-2 GENERAL MANUFACTURING
ADDRESS:	555 HOWARD AVENUE DES PLAINES, ILLINOIS 60018



BASIS OF BEARINGS:  
TRUE NORTH BASED ON GEODETIC  
OBSERVATION IL EAST ZONE



AREA TABLE		
PROPOSED DEDICATION	LOT 1	SQ. FT. ACRES
		506,699 11.632
		31,595 0.725
TOTAL	538,294	12.358



- VEHICULAR ACCESS NOTES:
1. THERE WILL BE AT MOST ONE ACCESS POINT TO WOLF ROAD FROM LOT 1, AS SHOWN HEREON.
  2. ALL OTHER VEHICULAR ACCESS SHALL BE VIA INTERNAL CIRCULATION.
  3. (ADDITIONAL NOTES TO BE ADDED AFTER IDOT REVIEW)

ILLINOIS DEPARTMENT OF TRANSPORTATION ACCEPTANCE  
THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_ 20\_\_\_\_  
JOSE RIOS, P.E.  
REGION ONE ENGINEER

PREPARED FOR:  
BRIDGE DEVELOPMENT PARTNERS  
9525 W. BRYN MAWR AVENUE  
SUITE 700  
ROSEMONT, IL 60018

**FOR REVIEW  
PURPOSES ONLY**

REVISIONS:
03/19/2025 - CERTS



**CONSULTING ENGINEERS  
SITE DEVELOPMENT ENGINEERS  
LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE:	02/18/2025
JOB NO.:	11332
FILENAME:	11332CONSOL-01
SHEET	1 OF 2

# FINAL PLAT OF SUBDIVISION BRIDGE POINT DES PLAINES SUBDIVISION

BEING A PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD MERIDIAN, IN COOK COUNTY, ILLINOIS

### OWNER'S CERTIFICATE

AN ILLINOIS LIMITED LIABILITY COMPANY, AS OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPTS THIS PLAT OF SUBDIVISION, ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES, DEDICATES THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE, AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON.

THIS IS TO ALSO CERTIFY THAT AS OWNER OF THE PROPERTY DESCRIBED AS AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIE.

CCSD 62  
MAINE TOWNSHIP HSD 207  
OAKTON COMMUNITY COLLEGE DISTRICT NO. 535  
IN WITNESS WHERE WE HAVE HEREUNDER SET OUR HANDS

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### NOTARY PUBLIC CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

OF \_\_\_\_\_, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

### CONSENT OF MORTGAGEE

\_\_\_\_\_, WHICH IS THE HOLDER OF A MORTGAGE DATED AS OF \_\_\_\_\_, 20\_\_\_\_, AND RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDER, ILLINOIS ON \_\_\_\_\_, 20\_\_\_\_, AS DOCUMENT NO. \_\_\_\_\_, ENCUMBERING THE PROPERTY DESCRIBED

ON THIS PLAT OF SUBDIVISION, HEREBY CONSENTS TO THE RECORDING OF THIS PLAT OF SUBDIVISION AND AGREES THAT ITS LIEN SHALL BE SUBJECT TO THE PROVISIONS OF THIS PLAT OF SUBDIVISION. IN WITNESS WHEREOF, THE UNDERSIGNED HAS CAUSED THIS CONSENT TO BE EXECUTED ON \_\_\_\_\_, 20\_\_\_\_.

ATTEST: \_\_\_\_\_ A \_\_\_\_\_

BY: \_\_\_\_\_ BY: \_\_\_\_\_  
ITS: \_\_\_\_\_ ITS: \_\_\_\_\_

### MORTGAGEE'S NOTARY PUBLIC

STATE OF ILLINOIS )  
) SS  
COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ THE \_\_\_\_\_ AND \_\_\_\_\_ THE \_\_\_\_\_

SECRETARY, OF \_\_\_\_\_ A \_\_\_\_\_

WHICH INDIVIDUALS ARE KNOWN TO ME TO BE THE IDENTICAL PERSONS WHO SIGNED THE FOREGOING INSTRUMENT AS SUCH OFFICERS OF THE CORPORATION FOR AND ON BEHALF OF SAID CORPORATION, AND THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, AND AS THE FREE AND VOLUNTARY ACT AND DEED OF THE CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNATURE OF NOTARY PUBLIC  
SEAL

MY COMMISSION EXPIRES: \_\_\_\_\_

### MAYOR AND CITY COUNCIL CERTIFICATE

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_ MAYOR

ATTEST: \_\_\_\_\_ CITY CLERK

### PLANNING AND ZONING BOARD CERTIFICATE

APPROVED BY THE CITY PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES,

COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_ CHAIRMAN

### DIRECTOR OF FINANCE CERTIFICATE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATE: \_\_\_\_\_

DIRECTOR OF FINANCE \_\_\_\_\_

### CITY DIRECTOR OF PUBLIC WORKS AND ENGINEERING CERTIFICATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

BY: \_\_\_\_\_  
TIMOTHY P. OAKLEY, P.E., DIRECTOR OF PUBLIC WORKS & ENGINEERING

### RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER DETENTION AREA (NO HOA)

1. THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORM WATER DETENTION AREA" SHALL BE CONTINUOUSLY MAINTAINED IN A FIRST RATE MANNER BY OWNERS OF LOT 1 (A "DETENTION AREA LOT") AND AN EASEMENT ON, UNDER AND ABOVE THE STORM WATER DETENTION AREA IS HEREBY GRANTED TO, AND FOR THE USE AND BENEFIT OF, ALL OF THE LOTS IN THIS SUBDIVISION FOR THE SOLE PURPOSE OF STORM WATER DETENTION AND DRAINAGE.

2. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN THE STORM WATER DETENTION AREA, NOR SHALL ANY CONSTRUCTION OF ANY KIND WHATSOEVER BE ERRECTED OR PERMITTED TO EXIST WITHIN THE STORM WATER DETENTION AREA THAT MIGHT MATERIALLY IMPEDE STORM WATER DRAINAGE THEREIN OR MATERIALLY REDUCE THE STORM WATER DETENTION CAPACITY THEREOF. TREES, SHRUBS, FENCES AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN THE STORM WATER DETENTION AREA ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"). EACH OWNER OF A DETENTION AREA LOT SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF HIS LOT LOCATED WITHIN THE STORM WATER DETENTION AREA AND SHALL KEEP SUCH GRASS IN A NEAT AND TRIMMED CONDITION.

3. IN THE EVENT THE CITY DETERMINES, IN ITS SOLE AND ABSOLUTE DISCRETION, THAT PRIOR MAINTENANCE OF THE STORM WATER DETENTION AREA IS NOT PERFORMED AT ANY TIME, THE CITY, AFTER TEN (10) DAYS PRIOR WRITTEN NOTICE TO THE OWNERS OF THE DETENTION AREA LOTS, MAY, BUT SHALL NOT BE OBLIGATED TO, ENTER UPON ANY OR ALL OF THE DETENTION AREA LOTS FOR THE PURPOSE OF PERFORMING MAINTENANCE WORK ON AND TO THE STORM WATER DETENTION AREA.

4. IN THE EVENT THAT THE CITY SHALL CAUSE TO BE PERFORMED ANY WORK PURSUANT TO THESE PARAGRAPHS, THE CITY SHALL HAVE THE RIGHT TO CHARGE THE OWNERS OF THE DETENTION AREA LOTS AN AMOUNT SUFFICIENT TO DEFRAY THE ENTIRE COST OF SUCH WORK OR ACTION, INCLUDING ADMINISTRATIVE COSTS, EITHER BEFORE OR AFTER SUCH COST IS INCURRED. IF THE AMOUNT SO CHARGED IS NOT PAID BY THE OWNERS OF THE DETENTION AREA LOTS WITHIN THIRTY (30) DAYS FOLLOWING A DEMAND IN WRITING BY THE CITY FOR SUCH PAYMENT, SUCH CHARGE, TOGETHER WITH INTEREST AND COSTS OF COLLECTION, SHALL BECOME A LIEN UPON THE DETENTION AREA LOTS AND THE CITY SHALL HAVE THE RIGHT TO COLLECT SUCH CHARGE, WITH INTEREST AND COSTS, AND TO ENFORCE SUCH LIEN AS IN FORECLOSURE PROCEEDINGS AS PERMITTED BY LAW.

5. NOTHING IN THESE PARAGRAPHS SHALL BE CONSTRUED TO CONSTITUTE A DEDICATION OF ANY PORTION OF THE STORM WATER DETENTION AREA OR OF THE DETENTION AREA LOTS TO, OR AN ACCEPTANCE THEREOF BY, THE CITY.

6. THE CITY SHALL BE UNDER NO OBLIGATION TO EXERCISE THE RIGHTS GRANTED IN THESE PARAGRAPHS EXCEPT AS IT SHALL DETERMINE TO BE IN ITS BEST INTEREST. NO FAILURE TO EXERCISE AT ANY TIME ANY RIGHT HEREIN GRANTED TO THE CITY SHALL BE CONSTRUED AS A WAIVER OF THAT OR ANY OTHER RIGHTS.

7. THESE COVENANTS SHALL RUN WITH THE LAND IN THE SUBDIVISION SHOWN ON THIS PLAT, AND SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE OWNERS OF ALL LOTS OF RECORD THEREIN, THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND GRANTEE AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM. ENFORCEMENT OF THESE COVENANTS MAY BE SOUGHT BY THE OWNERS OF ANY LOTS OF RECORD IN THIS SUBDIVISION. ANY PERSON WITH AN INTEREST IN ANY OF SAID LOTS OF RECORD, OR THE CITY OF DES PLAINES BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT, EITHER TO RESTRAIN VIOLATION, TO COMPEL AFFIRMATIVE ACTION, OR TO RECOVER DAMAGES, AND AGAINST THE LAND TO ENFORCE ANY LIEN CREATED BY THESE COVENANTS.

### EASEMENT FOR PUBLIC UTILITY (PROVISIONS)

A NON-EXCLUSIVE, PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER AND SANITARY SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR PUBLIC UTILITIES" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

### UTILITY CERTIFICATES

AN EASEMENT FOR SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, NATURAL GAS, AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

COMMONWEALTH EDISON COMPANY  
APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

AT&T, ILLINOIS BELL TELEPHONE CO (AMERITECH)  
APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NORTHERN ILLINOIS GAS COMPANY (NICOR)  
APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COMCAST  
APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ASTOUND  
APPROVED BY: \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PUBLIC UTILITY EASEMENTS PROVIDED SHALL BE FOR THE USE OF MUNICIPAL SEWER AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES, LINES FOR ANY CABLE TELEVISION FRANCHISE GRANTED BY THE CITY, AND OTHER MUNICIPAL USES.

### DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC AREAS AND/OR DRAINS AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

OWNER: \_\_\_\_\_ REGISTERED PROFESSIONAL ENGINEER

Name: \_\_\_\_\_ Name: \_\_\_\_\_  
Firm: \_\_\_\_\_ Firm: \_\_\_\_\_  
Date: \_\_\_\_\_ Date: \_\_\_\_\_

(SEAL)



### PROPERTY DESCRIPTION:

THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTHEAST 1/4 WITH A LINE THAT IS 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SAID WEST 1/2 OF THE SOUTHEAST 1/4; THENCE SOUTH ALONG THE SAID PARALLEL LINE A DISTANCE OF 515.32 FEET; THENCE WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 1163.47 FEET, MORE OR LESS TO THE EAST RIGHT WAY OF LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE NORTH ALONG THE EAST LINE OF SAID RIGHT OF WAY, A DISTANCE OF 463.34 FEET, MORE OR LESS TO THE NORTH LINE OF THE SAID SOUTHEAST 1/4; THENCE EAST ALONG THE NORTH LINE OF THE SAID SOUTHEAST 1/4, A DISTANCE OF 1163.20 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

### EXCEPTING THEREFROM:

THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF A LINE 50.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID WEST 1/2 OF THE SOUTH EAST 1/4; THENCE SOUTH 00 DEGREES 10 MINUTES 38 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 833.00 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 833.00 FEET TO THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT LAND; THENCE NORTH 87 DEGREES 44 MINUTES 20 SECONDS WEST 94.00 FEET; THENCE NORTHWESTERLY 294.334 FEET ALONG THE ARC OF A CIRCLE OF 277.94 FEET, CONVEX TO THE SOUTHWEST, TANGENT WITH THE LAST DESCRIBED COURSE WHOSE CHORD BEARS NORTH 57 DEGREES 24 MINUTES 04.5 SECONDS WEST, TO A POINT ON THE EAST RIGHT OF WAY LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE SOUTH 156.0 FEET ALONG SAID EAST LINE OF THE RIGHT OF WAY TO A POINT ON A LINE DRAWN SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST THROUGH THE HEREIN DESIGNATED PLACE OF BEGINNING, THENCE NORTH 89 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 330.47 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

### AND EXCEPTING THEREFROM:

THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBES AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 WITH A LINE 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHEAST 1/4; THENCE SOUTH ON SAID PARALLEL LINE, 76 FEET; THENCE NORTHWESTERLY TO A POINT ON THE SOUTH LINE OF THE NORTH 50 FEET OF SAID SOUTHEAST 1/4, 30 FEET (AS MEASURED ON SAID SOUTH LINE) WEST OF THE AFORESAID 50 FOOT PARALLEL LINE, THENCE SOUTH ON SAID SOUTH LINE TO A POINT 425 FEET WEST OF AND 50 FEET SOUTH OF THE NORTHEAST CORNER OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 (AS MEASURED ON THE NORTH LINE THEREOF AND ON A LINE AT RIGHT ANGLES THERETO); THENCE NORTH AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE TO THE SAID NORTH LINE; THENCE EAST ON SAID NORTH LINE, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
) SS  
COUNTY OF COOK )

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT WE HAVE SURVEYED AND SUBDIVIDED THE PROPERTY AS HEREON DESCRIBED, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

WE FURTHER DECLARE THAT STEEL RE-ENFORCING RODS (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT CORNERS, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF DES PLAINES CITY CODE; THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN.

TOTAL GROSS PROPERTY SURVEYED CONTAINS 538,294 SQUARE FEET, OR 12.358 ACRES, MORE OR LESS.

WE FURTHER DECLARE THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL NUMBER 17031C02181 WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2025, IN ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, P.L.L.C., No. 035-3540  
LICENSE EXPIRES: 11-30-2025  
jchristoph@spacecoinc.com

REVISIONS:
03/19/2025 - CERTS



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
DATE: 02/18/2025
JOB NO: 11332
FILENAME: 11332CONSOL-01
SHEET 2 OF 2

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065

FOR REVIEW  
PURPOSES ONLY

PREPARED FOR AND SEND TAX BILLS TO:  
BRIDGE DEVELOPMENT PARTNERS  
9525 W. BRYN MAWR AVENUE  
SUITE 700  
ROSEMONT, IL 60018

AFTER RECORDING SEND TO:  
SPACECO INC.  
9575 WEST HIGGINS ROAD  
SUITE 700  
ROSEMONT, ILLINOIS 60018

MEMORANDUM

Date: May 27, 2025

To: Planning and Zoning Board (PZB)

From: Samantha Redman, AICP, Senior Planner *SR*

Cc: Jonathan Mendel, AICP, Assistant Director of Community and Economic Development *JM*

Subject: Workshop: 9600 E. Golf Road – Multi-Family and Townhouse Development Concept

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The PZB will host a workshop on Tuesday, May 27, 2025 to discuss a proposed development located at the approximately 14.3-acre site on the south side of E. Golf Road, east of the Golf Road I-294 interchange. This site is currently vacant land. During the workshop, the interested developer, EFN Des Plaines Property LLC (Napleton) will deliver an introductory presentation, provide details on their concept, and discuss feedback with the public and Board. *No actions or votes will be taken during this meeting.*

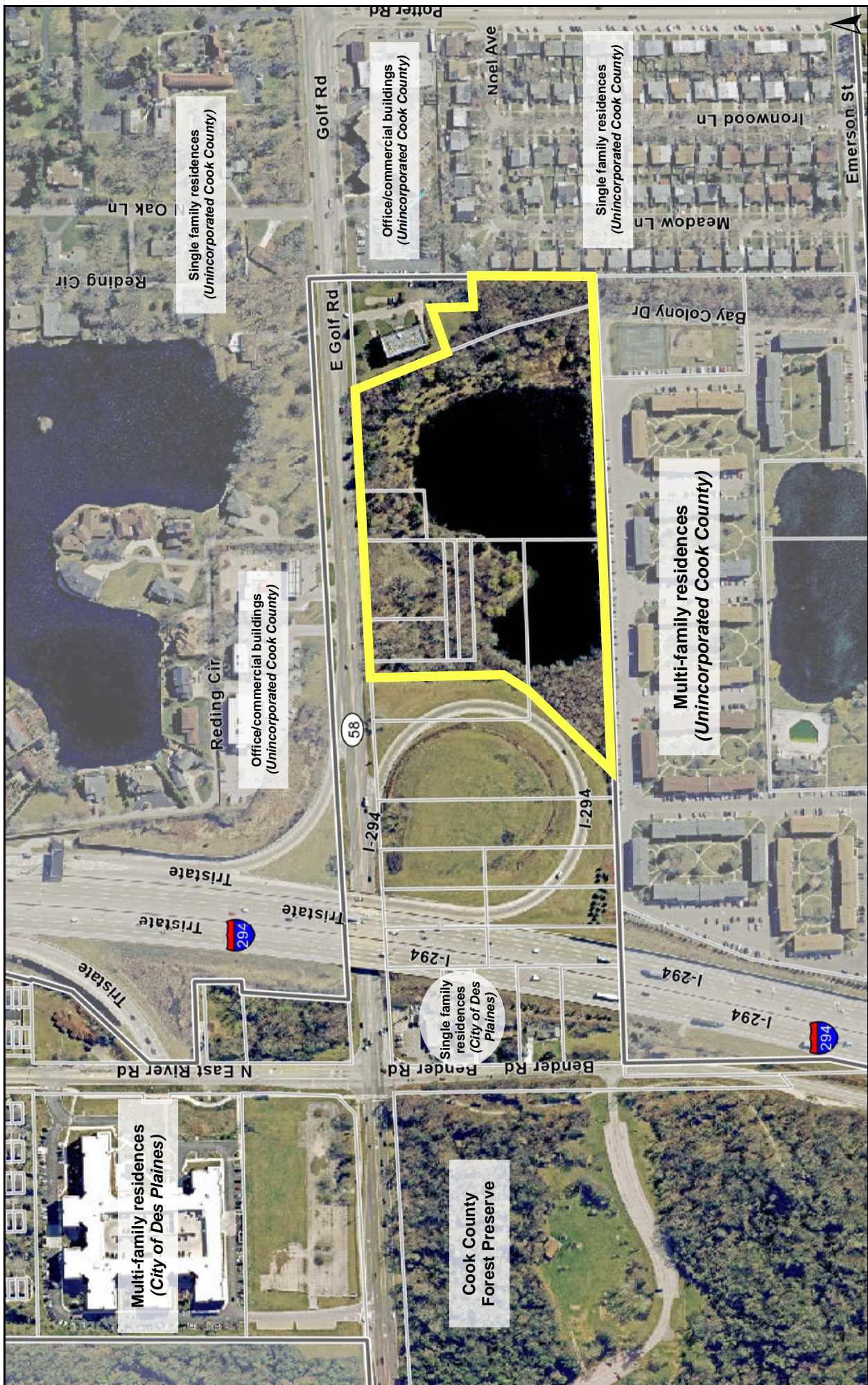
The applicant, EFN Des Plaines Property LLC, proposes a five-story, 202-unit market rate multi-family building on the west end of the property and 18 townhouse units in three buildings on the east side of the subject site. In addition to the residential buildings, the proposed site plan includes amenities for residents including an outdoor pool and walking paths. The existing, approximately 5.2-acre pond will remain. Refer to the Applicant Materials attachment for a site plan, elevations, and renderings.

The City's Comprehensive Plan illustrates this area as intended for single-family residential but the zoning is R-3, Townhouse Residential. This zoning district encourages a residential environment for townhouses and multi-family dwellings. The subject property is primarily surrounded by existing commercial, duplex residential and multi-family residential neighborhoods within unincorporated Cook County.

This proposed concept requires a Planned Unit Development (PUD), Plat of Subdivision, and variations or exceptions would be required for at least building height and exterior building materials. The entitlement process will require public hearings/meetings with the Planning and Zoning Board (PZB) and final approval by City Council. *Note: The developer has not filed a petition for any zoning entitlements yet. The workshop is intended to provide input into the projects prior to submission of applications.*

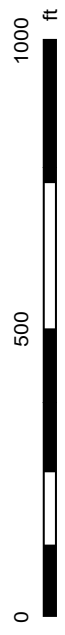
**Attachments:**

Attachment 1: Adjacent Land Use Map  
Attachment 2: Applicant Workshop Materials



Notes

Print Date: 5/23/2025



Disclaimer: The GIS Consortium and MCP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a basis for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



# Napleton Des Plaines

CONCEPT PACKAGE

05.13.2025

Napleton

 ARCADIS

# Site Plan

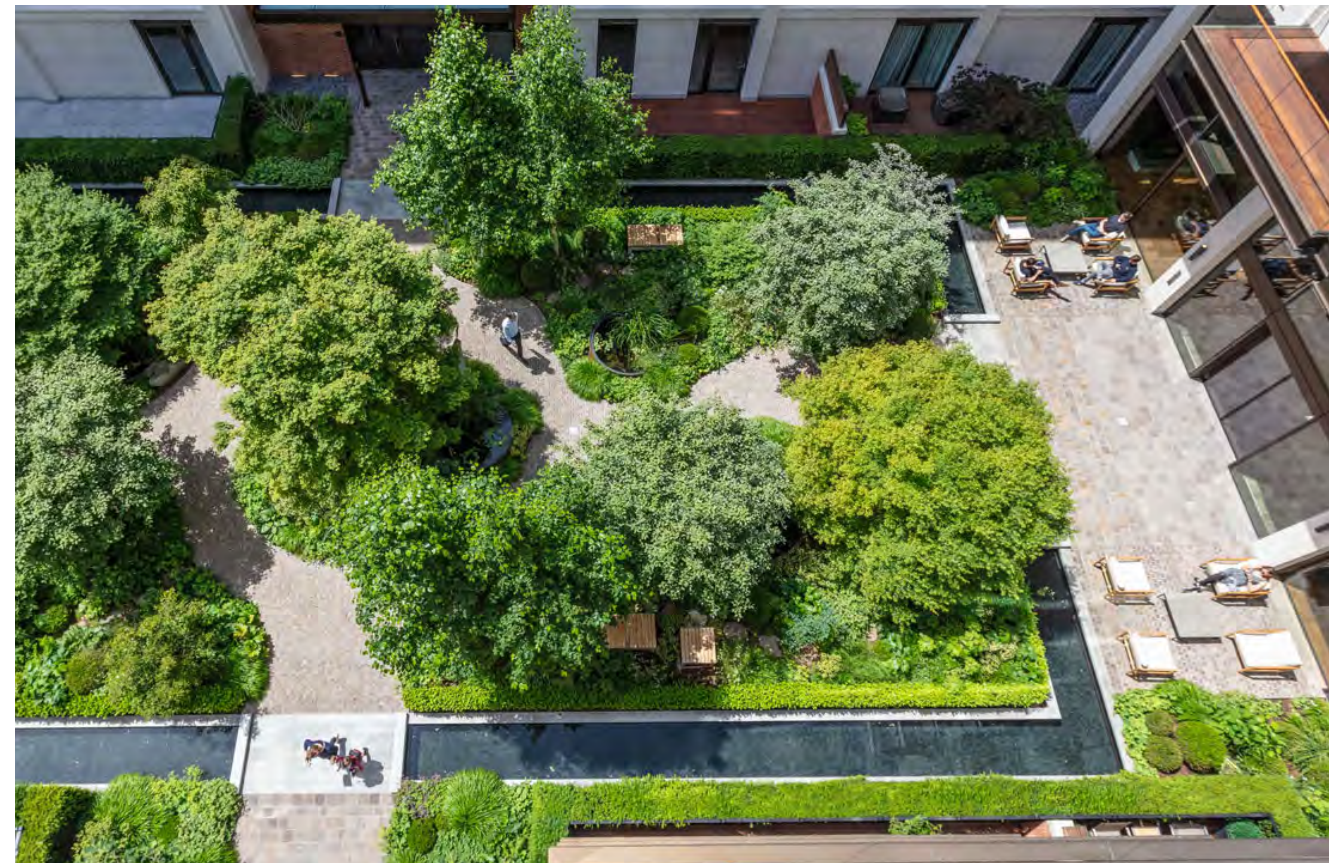
- 1 Internal Courtyard
- 2 Pool Deck
- 3 Lawn
- 4 Deck
- 5 Townhome Deck
- 6 Trail
- 7 Riparian Environment
- 8 Park



# Internal Courtyard



The internal courtyard serves as a communal hub, featuring lush green spaces and a dedicated barbecue area for residents to enjoy. The barbecue zone encourages outdoor dining and gatherings, while the thoughtfully landscaped greenery enhances the sense of tranquility, making the courtyard an ideal space for both quiet reflection and community connection.



# Pool Deck



The pool deck offers a stunning vantage point overlooking the pond, creating a serene and elevated retreat for residents. Surrounded by comfortable lounge seating and soft landscaping. The proximity to the water enhances the experience with calming views making it an ideal spot for relaxation, sunbathing, or socializing with neighbors in a picturesque setting.



# Lawn + Deck



Positioned at the front door of the development, the amenity deck and adjacent lawn create a welcoming entry for residents and visitors alike. Anchored by a wood-decked fire pit, the space encourages year-round socializing and tranquil atmosphere. The open lawn adds versatility, accommodating informal play or small community gatherings, while the deck's close relationship to the pond offers a serene and memorable experience within the landscape.



# Townhome Deck



Two intimate amenity spaces nestled between the townhomes create quiet communal areas where residents can relax and connect. Each space features a short overgang deck that extends toward the pond, enhancing the experience of being near the water and offering a unique vantage point within the landscape. These spaces also serve as important connectors, linking the street frontage to the front doors of the townhomes situated along the water.

# Riparian Environment



The riparian park is both an ecological asset and a recreational amenity for the residents, supporting native vegetation and wildlife, enhancing water quality through natural filtration, and mitigating flooding by absorbing stormwater. With trails, seating areas, and natural landscapes, it offers residents a vibrant space for relaxation, exercise, and connection to nature.



# Level 2 Plan



Golf Rd.

294  
On Ramp



# Typical Plan



# Multi Family Area Matrix

Napleton DesPlaines Multi Family													BUILDING HEIGHT	
FLOOR	RESIDENTIAL			LANDSCAPE		PARKING		RETAIL AREA	RETAIL COMMON	GROSS AREA	GROSS AREA MINUS PARKING	F.A.R. AREA	FLOOR HEIGHT	OVERALL HEIGHT
	UNITS	RESID. RENTAL AREA	COMMON AREA	BALCONY	TERRACE	PARKING COUNT	PARKING, LOADING, AND RAMP							
5	44	32,731	5,811	0	0	27	11,685	0	0	50,227	38,542	38,542	10'-8" FLR. TO FLR.	54'-8"
4	44	32,731	5,811	0	0	54	23,370	0	0	61,912	38,542	38,542	10'-8" FLR. TO FLR.	43'-12"
3	44	32,731	5,811	0	0	54	23,370	0	0	61,912	38,542	38,542	10'-8" FLR. TO FLR.	33'-4"
2	40	29,920	6,308	0	0	54	23,370	0	0	59,598	36,228	36,228	10'-8" FLR. TO FLR.	22'-8"
1	30	22,759	16,248	0	0	41	23,370	0	0	62,377	39,007	39,007	12' FLR. TO FLR.	12'-0"
<b>TOTAL</b>	<b>202</b>	<b>150,872</b>	<b>39,989</b>	<b>0</b>		<b>230</b>	<b>105,165</b>	<b>0</b>	<b>0</b>	<b>296,026</b>	<b>190,861</b>	<b>190,861</b>		
AVERAGE UNIT SIZE (SF) (GROSS/UNITS)				747										
F.A.R.				0.31										
SITE AREA (SF)				623,407										
ACTUAL M.L.A. (SF)				3086		MIN PER ZONING:		2800						
Parking Ratio				1.14										

UNIT MIX							
Level	TYPE						Totals
	Studio	JR 1 Bed	1 Bed	1 BED + DEN	2 BED	3 BED	
5	2	6	25	2	9	0	44
4	2	6	25	2	9	0	44
3	2	6	25	2	9	0	44
2	2	6	23	2	7	0	40
1	1	3	20	2	4	0	30
Total Units	9	27	118	10	38	0	202
Total %	4%	13%	58%	5%	19%	0%	100%
Parking Required	9	27	118	15	57	0	226

# Townhomes Area Matrix

Napleton DesPlaines Townhomes													BUILDING HEIGHT	
FLOOR	RESIDENTIAL			LANDSCAPE		PARKING		RETAIL AREA	RETAIL COMMON	GROSS AREA	GROSS AREA MINUS PARKING	F.A.R. AREA	FLOOR HEIGHT	OVERALL HEIGHT
	UNITS	RESID. RENTAL AREA	COMMON AREA	BALCONY	TERRACE	PARKING COUNT	PARKING, LOADING, AND RAMP							
3	0	16,632	0	0	0	0	0	0	0	16,632	16,632	16,632	10'-8" FLR. TO FLR.	33'-4"
2	0	16,632	0	0	0	0	0	0	0	16,632	16,632	16,632	10'-8" FLR. TO FLR.	22'-8"
1	18	8,316	0	0	0	49	8,316	0	0	16,632	8,316	8,316	12' FLR. TO FLR.	12'-0"
<b>TOTAL</b>	<b>18</b>	<b>41,580</b>	<b>0</b>	<b>0</b>		<b>49</b>	<b>8,316</b>	<b>0</b>	<b>0</b>	<b>49,896</b>	<b>41,580</b>	<b>41,580</b>		
AVERAGE UNIT SIZE (SF) (GROSS/UNITS)				2310										
F.A.R.				0.07										
SITE AREA (SF)				623,407										
ACTUAL M.L.A. (SF) (including Multi Family Phase 1)				2834		MIN PER ZONING:		2800						
Parking Ratio				2.72										

UNIT MIX							
Level	TYPE						Totals
	Studio	JR 1 Bed	1 Bed	1 BED + DEN	2 BED	3 BED	
3	0	0	0	0	0	0	0
2	0	0	0	0	0	0	0
1	0	0	0	0	0	18	18
Total Units	0	0	0	0	0	18	18
Total %	0%	0%	0%	0%	0%	100%	100%
Parking Required	0	0	0	0	0	27	27

# Exterior Perspective - Golf Road

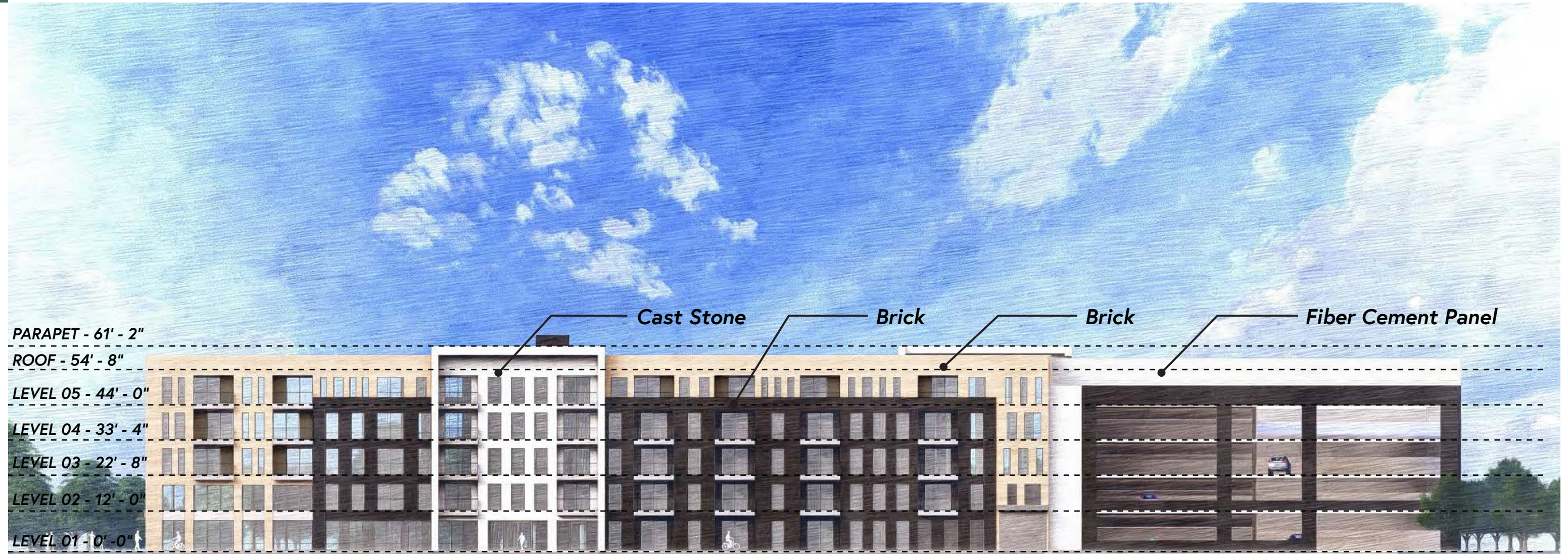


 ARCADIS

# Exterior Perspective - Across the Pond



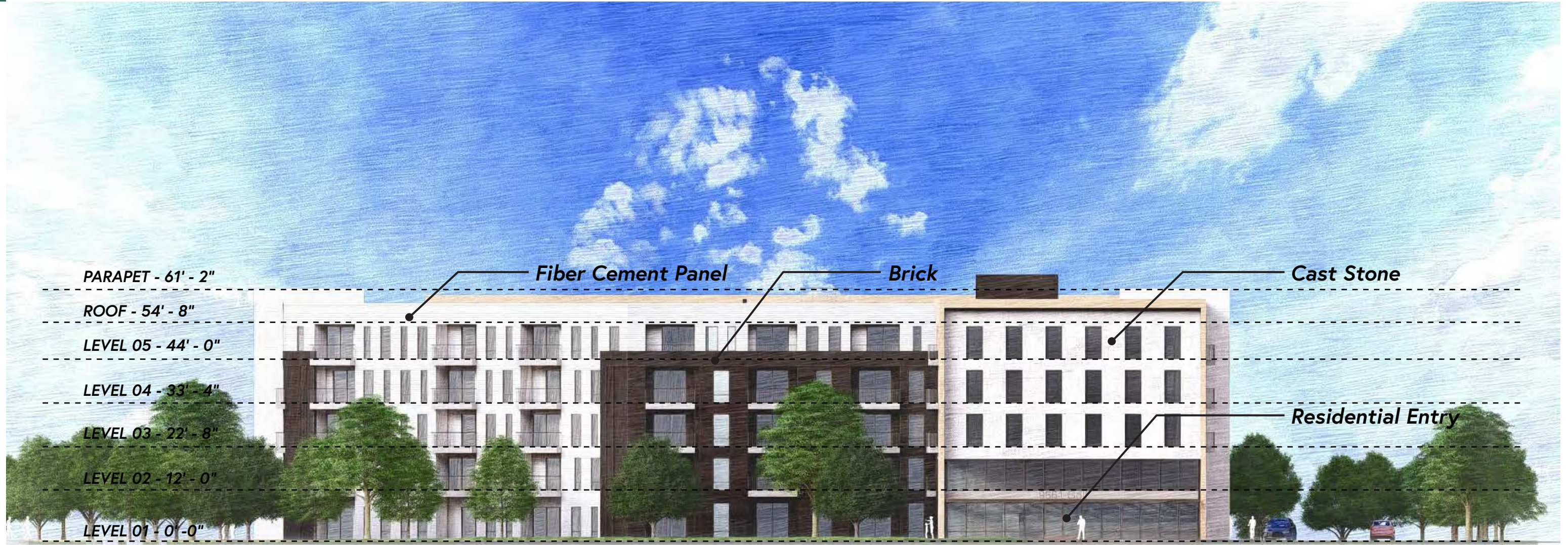
# North Elevation



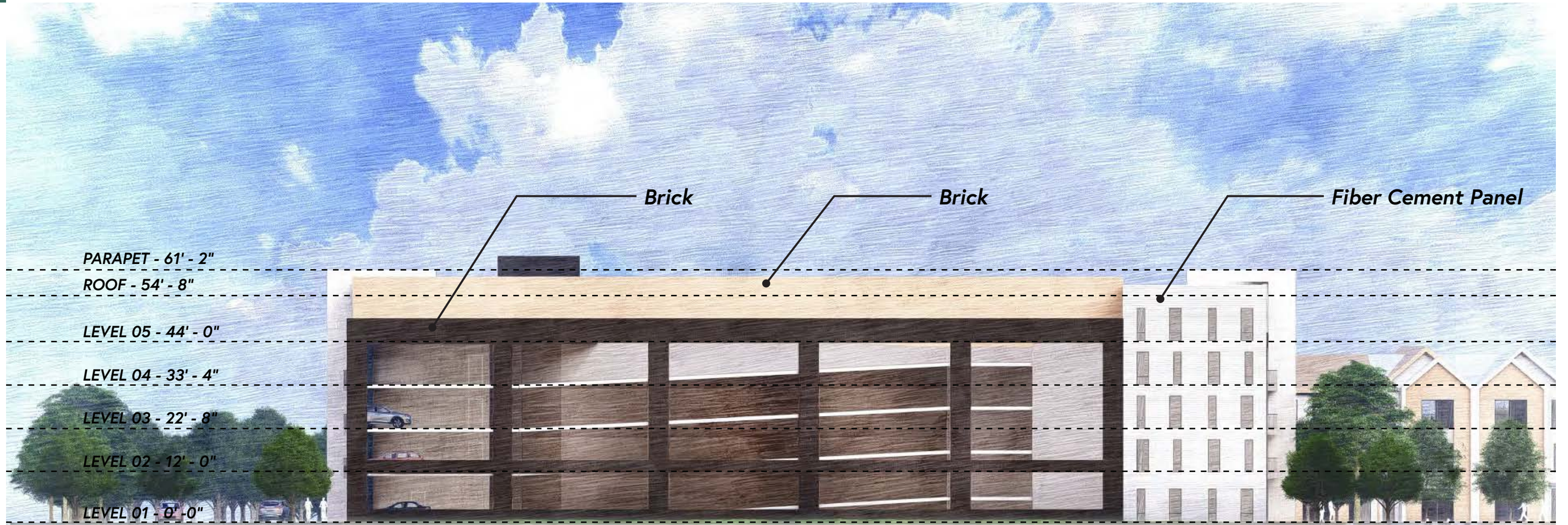
# South Elevation



# East Elevation



# West Elevation



# Townhomes - Site Entry



# Townhomes - Across The Pond



ARCADIS

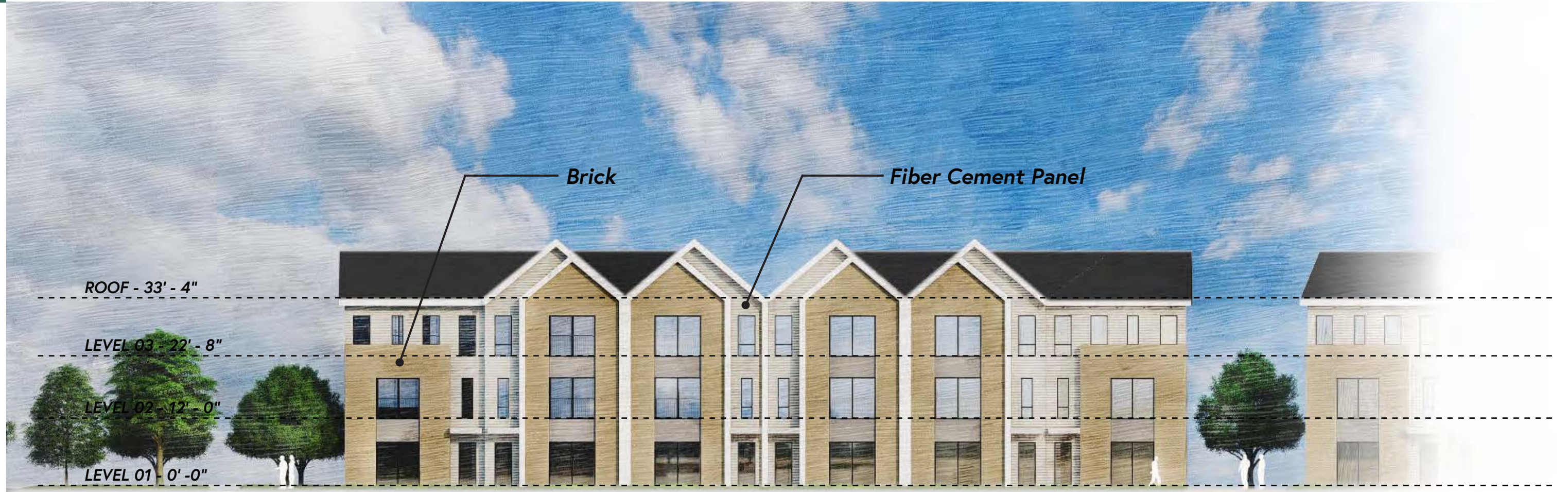
# Townhomes - From Pool Deck



# Townhomes - Garage Entry Side



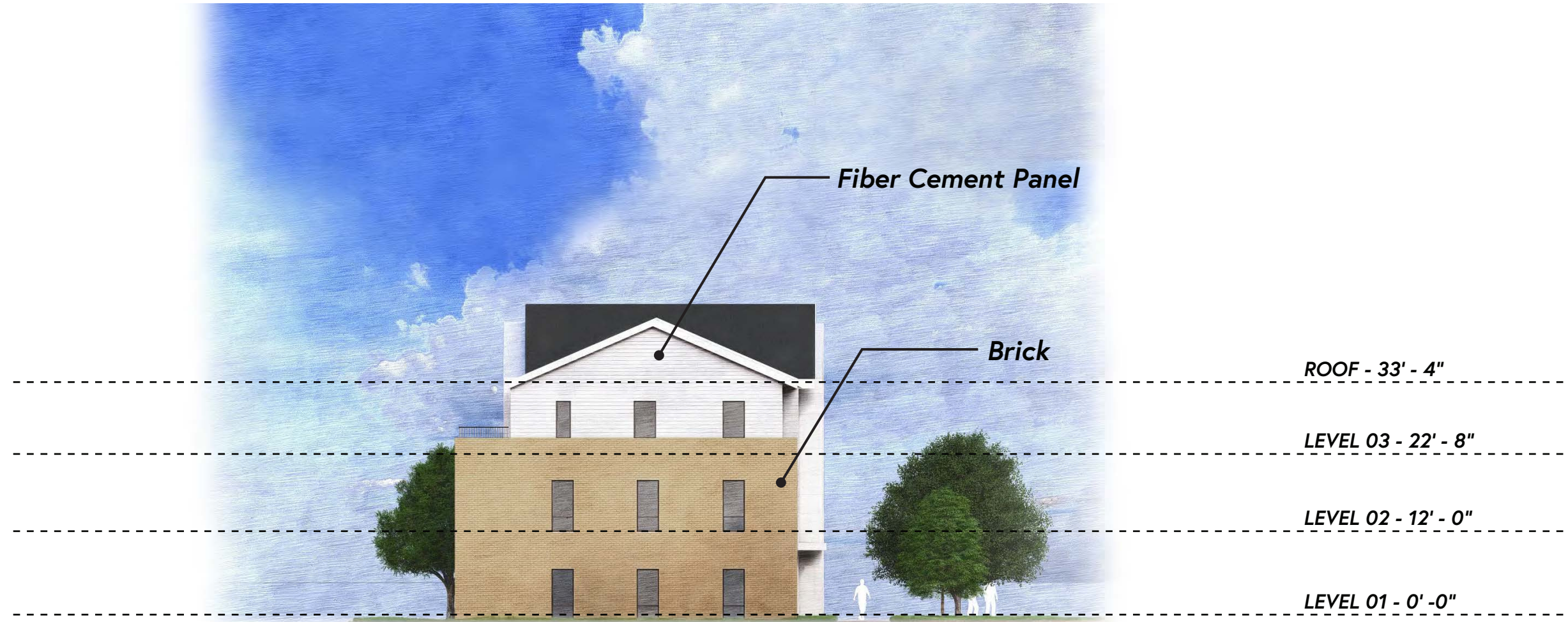
# Townhomes - West Elevation



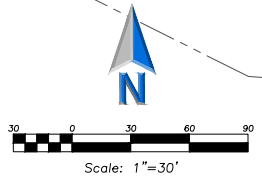
# Townhomes - East Elevation



# Townhomes - South Elevation



# Appendix



**NAPLETON DES PLAINES**  
9661 GOLF ROAD  
DES PLAINES, ILLINOIS

Reserved for Seal:

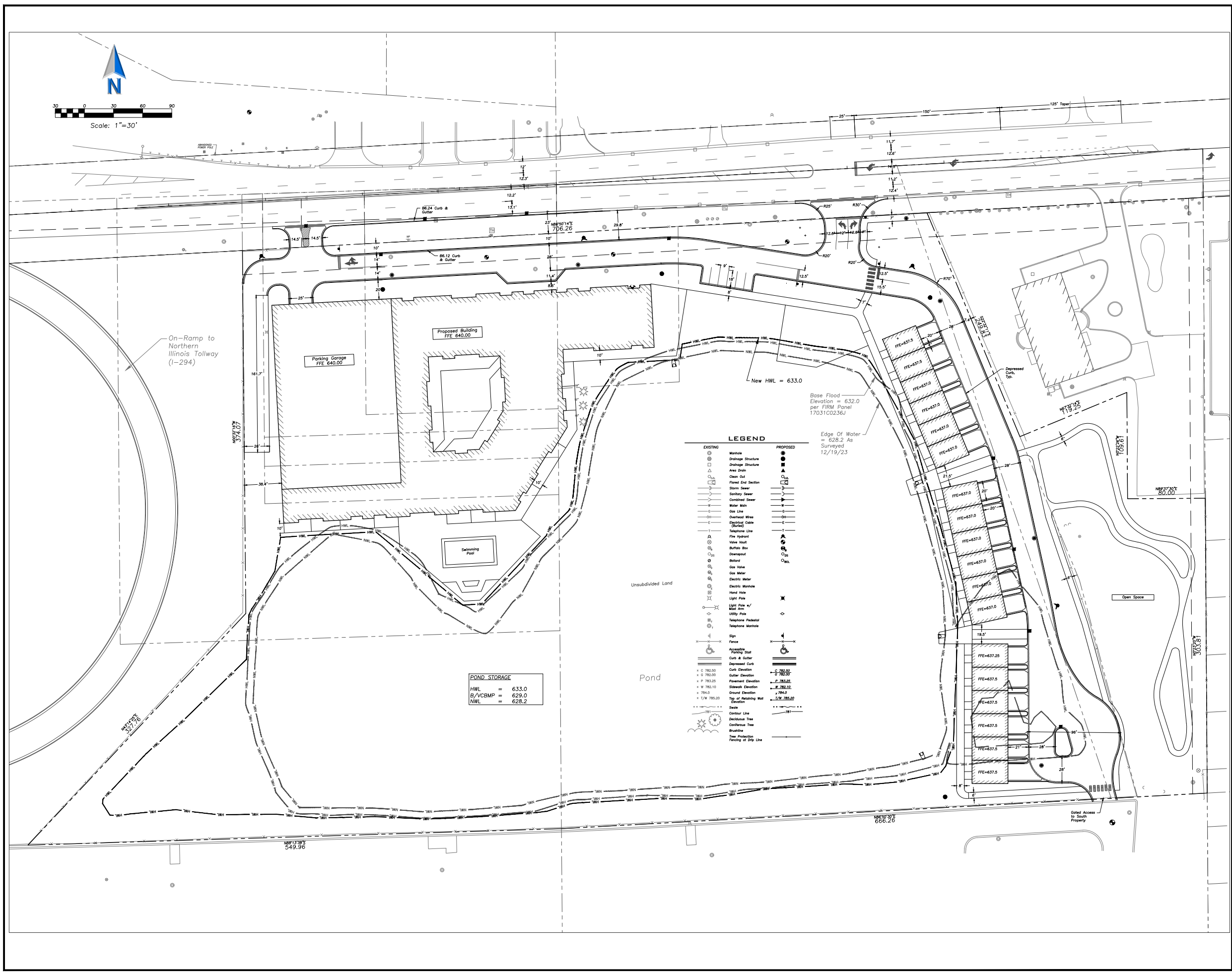
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	05/13/25	PAZ BOARD WORKSHOP

ERIKSSON ENGINEERING ASSOCIATES, LTD. 2024  
DESIGN BY: LMR APPROVED BY: GAE DATE: 05/06/25

Sheet Title:  
**SITE GEOMETRY  
PLAN**

Sheet No:  
**C200**

E:\A - \1\23255 - 9661 Golf DesPlaines\Drawings\Fisherman Site Plan.dwg  
 Plotter: 5/10/25 @ 2:22pm By: rosenbauer



**NAPLETON DES PLAINES**  
9661 GOLF ROAD  
DES PLAINES, ILLINOIS

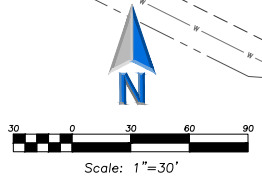
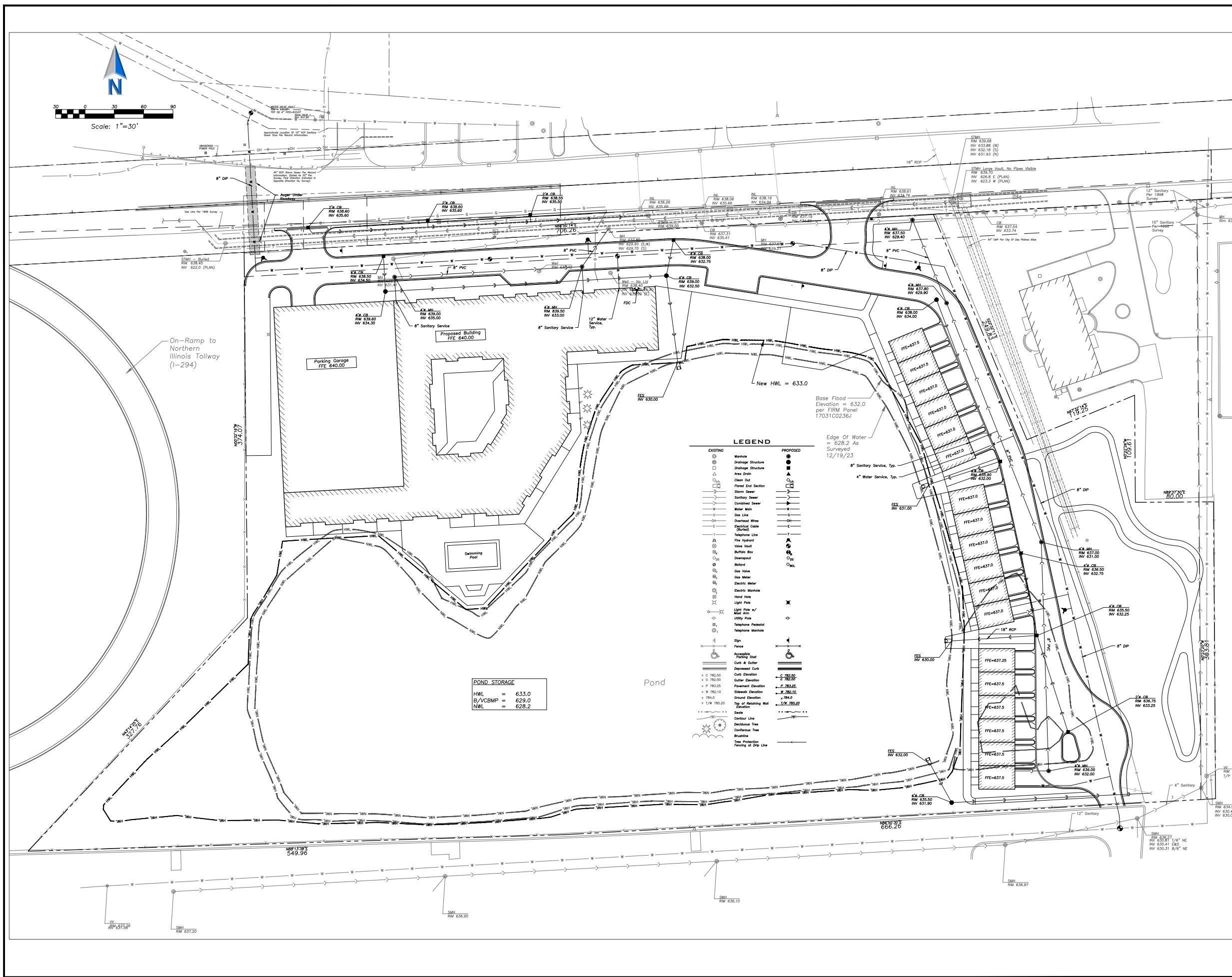
Reserved for Seal:

No.	Date	Description
	05/13/25	PAZ BOARD WORKSHOP

DESIGNED BY: LMR APPROVED BY: GAE DATE: 05/06/25

Sheet Title:  
**SITE UTILITY PLAN**

Sheet No:  
**C300**



**LEGEND**

EXISTING	PROPOSED
Manhole	Manhole
Drainage Structure	Drainage Structure
Area Drain	Area Drain
Clean Out	Clean Out
Flood End Section	Flood End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable	Electrical Cable
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buttress Box	Buttress Box
Dropout	Dropout
Beloved	Beloved
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Electric Manhole	Electric Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mail	Light Pole w/ Mail
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accession	Accession
Turning Shaft	Turning Shaft
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sloped Elevation	Sloped Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Scale	Scale
Center Line	Center Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Branched	Branched
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

EA - P:\23255 - 9661 Golf DesPlaines\Drawings\Fisherman Site Plan.dwg  
Plotted: 5/6/25 @ 2:22pm By: Rosenbauer