



Planning and Zoning Board Agenda August 13, 2024 Room 102 – 7:00 P.M.

Call to Order and Roll Call

Approval of Minutes: July 23, 2024 Planning and Zoning Board Meeting

Public Comment: For matters that are not on the agenda

Pending Applications:

1. Address: 125 E Oakton Street

Case Number: 24-037-CU

The petitioner is requesting a conditional use to operate a large equipment rental business in the M-2 district, and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-30-100-015-0000, 09-30-100-016-0000

Petitioner: 365 Equipment & Supply LLC, 411 Lake Zurich Rd, Barrington, IL 60010

Owner: Pepper Real Estate Holdings, 411 Lake Zurich Rd, Barrington, IL 60010

2. Address: Citywide

Case Number: 24-034-TA

The petitioner is requesting text amendments related to food processing establishments and to allow this use in all commercial districts as a conditional use.

PIN: Citywide

Petitioner: Pepi Company of Illinois, LLC d/b/a Alonti Catering Kitchen, 3512 Lake Street, Houston, TX 77098

Owner: PJR Properties, LLC 1153 Lee St Suite 109, Des Plaines, IL 60016

3. Address: 555 Howard Avenue

Case Number: 23-039-TSUB

The petitioner is requesting a Tentative Plat of Subdivision to consolidate the existing two lots into one lot of record.

PINs: 09-30-400-002-0000; 09-30-400-032-0000

Petitioner: Doug Klein, Bridge Industrial, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

Owner: Doug Klein, Bridge Industrial, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

New Business:

1. Discuss method(s) for communication & disclosure of minor variation decisions by the CED Director.

Adjournment

Next Agenda: Next meeting is on Tuesday, August 27, 2024.

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

Case No. 24-028-V
Case No. 24-029-V
Case No. 24-032-CU
Case No. 24-033-TA

Variation
Variation
Conditional Use
Text Amendment

1701 Birchwood Avenue
1242 White Street
1263 Elmhurst Avenue
Citywide



**DES PLAINES PLANNING AND ZONING BOARD MEETING
July 23, 2024
MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, July 23, 2024, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chairman Szabo called the meeting to order at 7:01 p.m. and roll call was established.

PRESENT: Weaver, Catalano, Saletnik, Veremis, Szabo, Bronakowski
ABSENT: Fowler
ALSO PRESENT: Jonathan Stytz, Senior Planner
Samantha Redman, Senior Planner
Jeff Rogers, Director of Community & Economic Development

A quorum was present.

SWEARING IN OF DOMINICK BRONAKOWSKI

APPROVAL OF MINUTES

A motion was made by Board Member Weaver, seconded by Board Member Fowler to approve the meeting minutes of July 9, 2024, with corrections provided to staff.

AYES: Weaver, Fowler, Saletnik, Veremis, Bronakowski, Szabo
NAYS: None
ABSTAIN: None

MOTION CARRIED

PUBLIC COMMENT ON NON-AGENDA ITEM

There was no public comment.

Pending Applications:

Chairman Szabo introduced the cases on the agenda.

1. **Address:** 1701 Birchwood Avenue

Case Number: 24-028-V

The petitioner is requesting a variation to allow the installation of loading spaces which would directly face and open up onto a public right-of-way, and any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-28-300-026-0000

Petitioner: Scott Chiero, 5519 N. Cumberland Avenue, Suite 1001, Chicago, IL 60656

Owner: FRG-X-IL2, LP, 5519 N. Cumberland Avenue, Suite 1001, Chicago, IL 60656

Chairman Szabo introduced the first case and opened the public hearing.

Scott Chiero, Ahmed Chaesi, & Daria Mangas were sworn in.

Mr. Chiero introduced himself as the owner and operator of the subject property as well as a resident of Des Plaines. He explained that the existing 1980 industrial building was originally built with docks, but that a tenant in 2013 converted the dock doors into overhead doors. He noted that there are issues with the current overhead door design that impact efficiency and safety and are the reason for the variation request. Mr. Chiero added that the proposed dock design would be larger to allow for maneuvering larger vehicles.

Ms. Mangas described the existing conditions of the west drive aisle and parking area noting that the site conditions cannot accommodate truck loading and unloading along the east side of the building or south side of the building since there is insufficient space. She explained the proposal to replace the two existing overhead doors with three dock doors and depressed loading berth in place of the existing drive aisle and parking area. Ms. Mangas noted that the proposed dock area would allow for safer and more efficient loading/unloading operations and additional opportunities for new tenants to locate on site. She added the building helps block to view of the proposed dock area from the east side.

Member Catalano requested clarification of the exhibits provided, some showing three loading docks and some showing four loading docks.

Ms. Mangas clarified that the building originally included four dock doors. Due to modern code requirements, the current proposal would be to remove the overhead doors and install three dock doors.

Member Catalano requested additional background information regarding an eight-foot-tall masonry screen wall and if the petitioner is okay with the condition.

Senior Planner Stytz responded that Section 12-9-9 of the Zoning Ordinance requires that off-street loading spaces are screened from the street either by a solid wood or masonry fence or the installation of landscaping including a continuous evergreen or dense deciduous shrub hedge.

Mr. Chiero requested consideration of omitting the required screen wall condition as it is not standard.

Member Catalano asks for clarification about the masonry wall.

Senior Planner Stytz noted that the code requires a wall on both sides of the loading berth area.

Senior Planner Stytz provided a summary of the case.

Issue: The petitioner is requesting a major variation from Section 12-9-9.C.3 of the Zoning Ordinance to allow new loading docks of an existing manufacturing building at 1701 Birchwood Avenue to face and open onto a public street.

Petitioner: Scott Chiero, 5519 N. Cumberland Avenue, Suite 1001, Chicago, IL 60656

Owner: FRG-X-IL2 LP, 5519 N. Cumberland Avenue, Suite 1001, Chicago, IL 60656

Case Number: 24-028-V

PIN: 09-28-300-026-0000

Ward: #6, Alderman Mark Walsten

Existing Zoning: M-2, General Manufacturing District

Existing Land Use: Industrial building (manufacturing)

Surrounding Zoning: North:M-2, General Manufacturing District
South:M-2, General Manufacturing District
East:M-2, General Manufacturing District
West:M-2, General Manufacturing District

Surrounding Land Use: North:Industrial building (manufacturing)
South: Industrial building (manufacturing)
East:Industrial building (manufacturing)
West:Industrial building (manufacturing)

Street Classification: Birchwood Avenue is a local street under Des Plaines jurisdiction.

Comprehensive Plan: Industrial is the recommended use of the property.

Zoning/Property History: Based on historical aerial imagery, the subject property was developed in 1969 with an industrial building including an accessory office space and four loading docks. In 2013, a building alteration permit was approved to remove windows, relocate overhead doors, and replace the four docks with two 20-foot-wide by 15-foot-tall overhead doors, infilling wall sections from the old dock doors. The row of nine parking spaces and landscape bed currently located along the northwest driveway entrance leading to two new overhead doors were also added in 2013. Since then, the two overhead doors and parking area have remained unchanged in the northwest driveway area.

Project Description:

Overview

The petitioner, Scott Chiero, is requesting a major variation to construct three new docks on the north building elevation with doors that would face and open onto Birchwood Avenue, a public street. The subject property consists of a single, 2.52-acre lot with a one-story industrial building, walkways, and driveway/parking area as illustrated on the attached ALTA-NSPS Land Title Survey. The property is an interior lot with two separate access points to Birchwood Avenue on the north side of the subject property: one on the northeast leading to the parking area and one on the northwest leading to an enclosed loading area and a few parking spaces. The northwest corner of the existing building consists of two garage doors to facilitate loading operations as illustrated on the attached Existing Condition exhibit. However, the petitioner's proposal illustrated on the attached Existing and Proposed Condition exhibit would replace the existing garage doors with three separate loading dock doors creating a loading area that directly faces and opens onto Birchwood Avenue, which does not meet the off-street loading regulations and necessitates a major variation request.

Scope of Work

The scope of work includes changes across the subject property as illustrated in the attached Proposed Site Plan and summarized below:

- Replace the two existing overhead doors with three new docks;
- Remove the existing eight parking spaces (including one accessible space), curbs, and landscape island and replace with turf, which will be regraded to match the dock approach;
- Regrade of the northwest driveway to make the bottom of the dock door level with a semitruck trailer and add drainage improvements;
- Add a new retaining wall on the east side of the northwest driveway;
- Add new metal stairs for the existing north elevation main door;
- Remove a portion of the existing front walkway; and
- Add eight new parking spaces in the east parking area including one accessible space.

Proposed Elevations and Required Building Design Standards

The Existing and Proposed Condition exhibit provides a partial floor plan and elevation of the new dock doors and other proposed changes to the west corner of the north building elevation. The proposed docks measure 11.25 feet wide by 12 feet tall and will be positioned above a new four-foot-tall concrete foundation, which spans between the dock door and the door approach.

The existing exterior building materials are predominately a mixture of brown face brick and white corrugated metal siding with additional metal accent material along the roofline. New face brick infill is proposed to fill in the space of the current overhead doors for the new dock design. Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects when there are "appearance altering renovations to the front or corner facades of a principal structure." Since the proposal alters the front of the building,

the regulations in this section are required to be met. For the subject property, the front façade is the north elevation facing Birchwood Avenue. Since face brick and metal are permitted ground story materials for industrial buildings, the proposal meets the building design requirements for exterior building materials. However, the new man door and dock doors are shown to be white, which may partially match with the white corrugated metal siding above the dock doors but does not match the existing face brick material that will surround them. As such, staff have added a condition requiring the dock door and man door color to compliment the existing brick color.

Off-Street Parking and Loading

Warehouses and distribution centers are required to provide one off-street parking space for every 1,500 square feet of gross floor area pursuant to Section 12-9-7 of the Zoning Ordinance. Based on the existing building area of 48,807 square feet, a total of 34 off-street parking spaces—including two accessible spaces—are required. The ALTA-NSPS Land Title Survey shows that a total of 54 off-street parking spaces exist on the subject property: eight on the west driveway entrance and 46 on the east driveway entrance. As noted above and in the Proposed Site Plan, there are proposed changes to the location of off-street parking spaces on the subject property but not to the total number of available spaces. The existing eight spaces, including one accessible space, positioned on the west side of the subject property will be relocated to the east parking area to accommodate the new docks and dock approach. The Proposed Site Plan illustrates that there will still be a total of 54 off-street parking spaces, including two accessible spaces, on the subject property, which is compliant.

Manufacturing buildings are required to have a certain number of loading spaces based on the building's area. Pursuant to Section 12-9-9 of the Zoning Ordinance, buildings with an area of 100,000 square feet or less are required to have a minimum of one loading space in compliance with the specifications listed in Section 12-9-9.C. The proposal includes the installation of three 65-foot-long by 15-foot-wide loading spaces, which comply with the quantity and size requirements. However, these loading spaces would open onto and directly face Birchwood Avenue in violation of Section 12-9-9.C.3, requiring a redesign of the proposed loading spaces or a major variation.

Existing Non-conforming Loading Areas

The petitioner provided the attached "Examples of Deviations from Existing Code" exhibit identifying existing examples of loading berths that open onto or face public streets or alleys. While non-conformities exist, the PZB should consider whether allowing a new non-conformity meets the intent of the code and the Comprehensive Plan. It should also be considered whether the design creates traffic interferences within the adjacent right-of-way and operational issues where alternative design solutions may not.

Landscaping and Screening

Section 12-10-11 of the Zoning Ordinance requires loading berths to be screened as much as possible to minimize their impact on neighboring properties while still allowing access to its use. The required screening includes a solid wood or masonry fence not less than six feet and not more than eight feet in height, a continuous evergreen or dense deciduous shrub hedge, or a combination of both. The attached Landscape Plans show proposed landscaping throughout the site with a smaller section on the southwest corner of the property, but the majority of the landscaping improvements proposed for the northern portion of the property. The proposal includes the installation of deciduous and evergreen shrubs along the sides of the loading berth, a design which aligns with Section 12-10-11 of the Zoning Ordinance. However, given the highly visible location of the proposed loading berths from the street, staff have added a condition requiring the installation of a solid eight-foot-tall masonry or wood wing-wall and continuous evergreen hedge to appropriately screen it from the public street while still providing access to the building.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: Staff does not see a hardship or practical difficulty preventing the petitioner from complying with the off-street loading requirements related to the location of loading spaces. The petitioner states that the size of the existing two 20-foot-wide by 15-foot-tall overhead doors is not sufficient to serve most tenants. However, the height and overall size of the three proposed 12-foot-tall by 11.25-foot-wide dock doors is less than the current overhead door size. Moreover, the overhead door size and height can be adjusted to accommodate specific tenants as necessary while still providing adequate screening. As the request does not constitute a defined hardship or practical difficulty, approving the variation could undermine the location and screening requirements for loading spaces.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Comment: Staff concludes that there is no unique physical condition on the subject property that warrants the requested variation. In fact, this property is of similar size and shape as the interior lots surrounding it. While the proposal does include some considerations to address screening and location in relation to the public street, it does not represent the ideal design to provide a screened loading berth that allows for both function and aesthetics when alternatives are available. Thus, the

variation requests appear to be more of a personal preference and convenience of the property owner instead of a definable physical condition. The proximity of the existing compliant overhead doors to the right-of-way complies with Code requirements and is not unique, while the proposed modifications to introduce loading docks and a depressed access drive would introduce a new nonconforming condition. Nonetheless, see the Petitioner's responses to Standards for Variations.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

Comment: While the subject property's location and size may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. Additionally, the subject property was originally developed with dock doors in the location proposed, which was permitted for buildings constructed prior to 1998. However, this area has operated with two overhead doors and enclosed loading/unloading since 2013 proving that a screen loading berth is both practical and functional on the subject property despite the current development and lot characteristics. The conversion of the compliant design to a noncompliant design without utilizing the available area north of the existing building to enclose the loading berths might be considered a self-created condition. As such, it is staff's opinion that the proposal does not adequately utilize the available space and access to the site or appropriately design the proposed improvements to avoid the need for variations. Nonetheless, see the Petitioner's Responses to Standards for Variations.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Comment: Staff's review has concluded that carrying out the strict letter of this code for the off-street loading regulations does not deprive the property owners of substantial rights. First, while some property owners may have larger lots or additional spaces for secluded loading berths, having the ability to construct these loading berths is not, in and of itself, a right granted to property owners. All manufacturing properties are governed by the same off-street loading requirements in Section 12-9-9 of the Zoning Ordinance regardless of size, shape, and development. Enforcing the off-street loading location and screening requirements does not deny the property owners from constructing the loading berths on the subject property but requires said loading berths to conform with the applicable location and screening requirements that apply to all properties that require loading spaces. The argument that the requested variation for the subject property shall be approved solely because other manufacturing properties have existing non-conforming surfaces near or abutting property lines is dubious, as property nonconformities are common enough that property owners throughout Des Plaines must work with what they have, so to speak. That said, enforcing the off-street loading requirements would not deprive the property owner of any substantial rights enjoyed by other manufacturing properties.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Comment: Granting this variation would, in fact, provide a special privilege for the property owner not available to other manufacturing properties. While other properties may have existing non-conformities in relation to loading berth location and screening that were established through earlier regulations—and have repaired said non-conformities regularly—this does not compare to the proposal on the subject property for new non-conformities created in direct violation of the current codes. The aforementioned consideration for off-street loading location and screening indicates to staff that variation decisions are made on a case-by-case, project-by-project basis upon applying the variation standards. In those evaluations, the determining body (e.g. PZB and/or City Council) usually looked to see if the applicant exhausted design options that do not require a variation. In this case, it seems there are different design options and positions for the loading berths on this site, given the ample space in the front and side yards. Granting a variation for this design, when other viable options are available, could be too lenient and tread into the territory of allowing a special privilege.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

Comment: On one hand, the project would allow re-investment on an established manufacturing lot, which the Zoning Ordinance and Comprehensive Plan want to encourage. However, the proposed loading berth design, including its dimensions and positioning, is largely for the benefit of the property owners. For one, the existing paved area in front of the overhead doors is large enough to accommodate a new enclosed loading area—with room to fit an entire 53-foot-long semitruck trailer—all while inside the buildable area of the subject property. While the proposal removes some of the existing impervious pavement on the subject property, it does include some regrading of the northwest corner of the property, which, if not designed properly, could create water runoff issues for the neighboring property owner to the west. Moreover, staff's review concludes that there are reasonable options for redesigning the loading berth on site to provide adequate use and screening of the loading bays without needing relief from the required location and design regulations.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Comment: There are multiple alternatives to the proposed variations being requested by the petitioner. One previously mentioned option is to enclose the loading berth area with a structure to effectively screen it from view of the street while still allowing full access and use of the loading docks. While adding some additional cost, this alternative would provide an improvement to the existing design by allowing easy loading/unloading of products but also containing the loading and unloading operations within the building to limit impacts on surrounding properties. Another option retains the open-air design but involves the installation of a minimum eight-foot-tall gate and fence sections to fully screen the loading berth on all sides from the street. This option could save some cost to the petitioner while also aligning better with the off-street loading requirements. Given the multiple alternatives available to the petitioner, the PZB may wish to ask why certain alternative designs are not feasible and how the petitioner will address traffic and safety concerns associated with semi-truck maneuvers to and from the loading area on Birchwood Avenue.

- 8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Comment: The variation request is not, in staff's opinion, the minimum measure of relief to address the petitioner's concerns. Instead, the petitioner could redesign the proposed loading berths to better utilize the available property and to meet the off-street loading location and screening requirements.

Legal Notice & Rescheduling of the Public Hearing

This case was initially noticed for consideration at the PZB's July 9, 2024 meeting, however the required sign was not posted before the deadline. In response, the City withdrew the case from the July 9 agenda and published a new notice, sent a new mailing, and posted the required sign in advance to allow consideration at the PZB's July 23, 2024 meeting.

PZB Procedure and Recommended Conditions

Under Section 12-3-6.G (Procedure for Review and Decision for Major Variations) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned major variation request at 1701 Birchwood Avenue.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-6.H (Findings of Fact for Variations) of the Zoning Ordinance. If the PZB recommends approval of the request, staff recommends the following conditions.

Conditions of Approval:

1. The petitioner shall either enclose the loading area with a building addition in compliance with all City of Des Plaines codes or install an eight-foot-tall solid masonry or wood wing-wall with a continuous evergreen hedge along both sides of the loading berth. The fencing and landscaping shall be positioned and scaled appropriately to screen a full semi-truck cab and trailer from view.
2. The new dock door and man door color shall complement the existing face brick color on the building.
3. Stacking or queuing of vehicles along Birchwood Avenue to enter the loading area is prohibited.
4. Trucks and trailers may only be parked in designated loading spaces. All other parking of vehicles, including trucks or trailers on the property must be within striped spaces of sufficient depth and width to accommodate the space without obstructing drive aisles, as required by Section 12-9-6.D.
5. No trash compacter, dumpster, or any other receptacles shall be allowed within the loading berth or its entrance at any time. Refuse receptacles stored outside shall be located within an enclosure in compliance with Section 12-10-11.A of the Zoning Ordinance.
6. Semi-trucks with their trailers shall only be parked in the loading berths during active loading and unloading operations. No other vehicles shall be parked in the loading berth or the loading berth entrance at any time.

Member Saletnik requested clarification of the Code requirements that stipulate that loading docks not open directly toward a public right-of-way.

Senior Planner Stytz provided a summary of the Code requirement.

Member Saletnik noted that there seems to be a high concentration of nonconforming buildings in the vicinity of the property.

Senior Planner Stytz confirmed that there are existing nonconformities related to buildings constructed many decades ago. However, the Board's job is to evaluate the request based on the variation standards.

Member Saletnik noted that he was not as concerned with this location as there are similar uses surrounding.

Member Catalano inquired what was behind the existing overhead doors on the floor plan.

Mr. Chiero responded that there is a loading/unloading area directly behind the overhead door area.

Mr. Chaesi added that cars and vans can pull it to load/unload but semitruck trailers have to be parked outside because they do not fit in the garage.

Member Veremis inquired about the length of semi-tractor trailers.

Mr. Chiero explained the various sizes of tractor trailers from 45 feet to 54 feet with a 20-foot to 40-foot cab.

Member Veremis inquired about any known history of safety incidents at loading docks.

Mr. Chiero did not have specific statistics but relayed an anecdote about a personal injury incurred at a loading dock similar to what is proposed.

Member Weaver inquired about the proposed slope to the new loading docks.

Ms. Mangas noted that the proposed improvements would introduce an excavation of approximately 4 feet adjacent to the building which would be sloped up toward Birchwood Avenue.

Member Weaver inquired about the proposed drainage improvements to address water in this area.

Ms. Mangas explained that a civil engineer will be retained to design a solution for this area.

Member Weaver inquired about the condition related to a screen wall adjacent to the new loading area.

Senior Planner Stytz clarified the proposed location of a screen wall.

Member Weaver inquired about the required height of the screen wall.

Senior Planner Stytz clarified that a fence would need to be installed along both sides of the loading berth to screen it from view.

Member Saletnik inquired about clarification regarding the City's requirements for measuring the height of the wall and the location along the wall where height might be measured.

Senior Planner Stytz clarified that the fence height would be measured from immediate grade to the top of the fence structure.

Chairman Szabo differentiated the proposed location from various other industrial areas.

Member Catalano highlighted several other properties in the vicinity where loading docks are visible from the public right-of-way.

Member Saletnik noted his preference for landscaping rather than the proposed screen wall.

Member Bronakowski inquired about the projected traffic impact in the vicinity.

Ms. Mangas noted that the difference would likely be negligible.

Mr. Chiero noted that the next tenant is not currently known but that this site would be unlikely to be occupied by a high-volume trucking company.

Mr. Chaesi elaborated that the building is uniquely situated to accommodate a new manufacturing tenant.

Member Veremis inquired about the process for removal of concrete to establish the proposed graded approach for trucks.

Mr. Chiero acknowledged that work would include removal of concrete.

Member Veremis inquired about the proposed extent of new investment.

Mr. Chiero responded somewhere near \$500K would be invested in the property.

Member Weaver reviewed contents from the staff report relating to the intent of the screen wall and the color of the dock doors.

Mr. Chiero confirmed that they would be willing to select an alternate color for the overhead doors other than white.

Member Saletnik asked if there are any considerations for erosion.

Ms. Mangas responded that there will be a six-inch curb installed along the west side of the loading dock.

Member Weaver requested clarification of cost implications of the required screen wall.

Mr. Chaesi noted that the screen wall would require additional expense and would create operational issues. The existence of the screen wall can increase the quantity of accidents.

Member Weaver requested clarification of the City's building permit process regarding review of the proposed slope changes.

Senior Planner Stytz noted that this would be routed to multiple departments.

Member Weaver asked if the engineers would say the proposed slope on the west side of the loading berth won't work and need a retaining wall. Is that within the realm of possibility?

Senior Planner Stytz responded that this is a possibility.

Member Saletnik suggested that the introduction of a wall on either or both sides might create areas for accumulation of rubbish and snow drifts that might be detrimental to the operations.

Senior Planner Stytz responded that the fence could be shifted away from the loading berth to address that concern.

Member Saletnik noted that he preferred increasing the landscaping to address the screening issue.

Member Weaver preferred a permanent screening solution to landscaping to serve as long-term visual screening, however until it can be confirmed whether a retaining wall will be required to accommodate the proposed slope, it may be challenging to write this condition.

Chairman Szabo requested clarification of the current proposal regarding the design of the sloped approach to the docks.

Ms. Mangas clarified that the west side of the loading area would not include a retaining wall or screen wall. A retaining wall is anticipated on the east side.

Member Weaver suggested a berm on the west side of the driveway but was hesitant to add a condition of approval which might countermand the recommendation of the City's engineering division regarding both drainage and structural requirements.

Member Catalano suggested using the excavated fill from the area in front of the loading dock to establish the suggested berm west of the approach.

Member Saletnik and Member Catalano discussed a likely curb between the west edge of pavement and the green space or berm west of the drive aisle.

Chairman Szabo welcomed public comment regarding the request.

No members of the public came forward.

Member Veremis noted that owners of adjacent property did not seem especially interested in this request.

Member Weaver inquired whether the applicant had reviewed the recommended conditions in the staff report and whether the applicant opposed any of these.

Mr. Chiero confirmed that they opposed condition 1 but had no objections to the proposed conditions numbered 2-6.

Member Weaver asked if the grade will be higher than the current parking area.

Ms. Mangas responded that the grade will be the same as the existing parking area and will slope down to the new depressed loading berth.

Chairman Szabo and Member Saletnik reviewed the first condition and suggested a landscaping solution.

Chairman Szabo closed the public hearing and entertained a motion regarding the case.

Mr. Chiero suggested arbor vitae along both sides of the approach.

Member Weaver inquired about the process for continuing the case to allow for a review by a civil engineer of the proposed drainage and retaining wall requirements. Senior Planner Stytz responded that the PZB could continue the case to a date certain.

Member Saletnik noted there was a depressed area here prior to 2013 and there was likely a viable drainage solution in place associated with this prior condition.

Member Catalano suggested the sheet draining from the west into the depressed area would likely be minimal.

Ms. Mangas suggested additional landscaping west of the drive aisle could further assist.

Mr. Chiero noted the differences in existing grade versus the proposed grade and that a berm would not be necessary as the west yard will be higher than the existing parking lot.

Member Saletnik suggested amending condition 1 to provide flexibility to the applicant but also ensure new screening will be introduced.

Discussion among the members regarding potential options ensued.

Member Saletnik moved to amend the condition as follows: "The petitioner shall construct fencing and/or landscaping which should be positioned or scaled to screen the truck cab and trailer from view, subject to review of drainage by engineering."

Member Catalano asked the typical height of a semitruck. Mr. Chiero responded that semitruck are approximately 12 feet from grade and would extend out about 73 feet from the proposed dock doors.

Catalano suggested limiting the height of required landscaping to 6-8 feet.

Ms. Mangas agreed that specificity would benefit the applicant to ensure there would not be an alternate interpretation by staff during the plan review process.

A motion was made by Member Catalano and seconded by Member Weaver to recommend approval of the request to the City Council with amendments to condition 1 to require landscaping at a height of between 6-8 feet extending 115 feet north from the northwest corner of the building toward the street and approximately 40 feet from the northwest corner of the office to a point equal and opposite the landscaping on the west side of the access drive.

AYES: Weaver, Saletnik, Veremis, Catalano, Bronakowski, Szabo
NAYES: None
ABSTAIN: None

MOTION CARRIED

2. Address: 1242 White Street

Case Number: 24-029-V

The petitioners are requesting a variation to reduce the required front yard setback for an existing residence in the R-1 Single Family Residential district, and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-20-403-027-0000
Petitioners: Robert and Dina Argus, 1242 White Street, Des Plaines, IL 60018
Owners: Robert and Dina Argus, 1242 White Street, Des Plaines, IL 60018

Chairman Szabo requested a summary of the circumstances of this case.

Director Rogers explained that the applicants were not available to attend the meeting.

Chairman Szabo opened the public hearing and requested staff present the applicant's video testimony.

Ms. Dina Argus provided a summary of the circumstances of the case. She explained that they removed an existing stair entrance that was deteriorating but when they applied for approval of a new design they were informed that the design would need to be revised to include a landing.

Chairman Szabo requested a summary of the case from staff.

Senior Planner Stytz summarized the request for a variation to accommodate the new stairs and landing east of the existing residence.

Issue: The petitioner is requesting a standard variation from Section 12-7-2.J of the Zoning Ordinance to reduce the required front yard setback from 25 feet to 16 feet to construct a covered landing that encroaches more than five feet into the required front yard for the single-family residence at 1242 White Street.

Petitioner: Robert and Dina Argus, 1242 White Street, Des Plaines, IL 60018
Owner: Robert and Dina Argus, 1242 White Street, Des Plaines, IL 60018
Case Number: 24-029-V
PIN: 09-20-403-027-0000
Ward: #2, Alderman Colt Moylan
Existing Zoning: R-1, Single Family Residential District
Existing Land Use: Single Family Residence
Surrounding Zoning: North:R-1, Single Family Residential District
South:R-1, Single Family Residential District
East:R-1, Single Family Residential District
West:R-1, Single Family Residential District

Surrounding Land Use: North: Single Family Residences (residential)
South: Single Family Residences (residential)
East: Single Family Residences (residential)
West: Single Family Residences (residential)

Street Classification: White Street and Van Buren Avenue are local streets under Des Plaines jurisdiction.

Comprehensive Plan: Single Family Residential is the recommended use of the property.

Zoning/Property History: Based on historical aerial imagery, the subject property has contained the same single-family residence since it was constructed around 1938. When constructed, the residence was positioned a little over nine feet from the north (front) property line along White Street. Since its construction, the Zoning Ordinance has been updated to require a minimum 25-foot-setback between the residence and the front property line, making the existing residence a legal nonconforming structure. The petitioner has attested that no landing at the top of the stairs has ever existed on the subject property and no structural changes have been made to the residence since it was built.

Project Description:

Overview

The petitioners, Robert and Dina Argus, are requesting a standard variation to reduce the required front yard setback from 25 feet to 16 feet to construct a covered landing area that encroaches more than five feet into the required front yard. The subject property consists of a single, 6,955-square foot (0.15 acre) lot with a 1½-story stucco house (with two enclosed porches, one in front and one at the rear), detached garage, asphalt driveway off Van Buren Avenue, concrete patio, and residential walkways as shown in the attached Plat of Survey. The property is a corner lot with the front yard facing White Street on the east, the corner side yard facing Van Buren Avenue to the south, and the rear yard facing an improved, paved public alley to the west.

Existing Non-Conformity

The existing residence footprint is located a little over 19 feet (19'-1½") at its closest point from the north (front) property line abutting White Street. Since City records indicate that this residence has been in existence on site prior to the adoption of the 1998 Zoning Ordinance, it is classified as a non-conforming structure governed by Section 12-5-6 of the Zoning Ordinance. This section does allow, with some limitations, a nonconforming structure to be repaired, maintained, altered, or enlarged provided that the repair, maintenance, alteration, or enlargement does not:

“create any new nonconformity or increase the degree of the existing nonconformity of all or any part of such structure. For the purposes of this section, the vertical or horizontal extension of a structure shall be considered to increase the degree of an existing nonconformity related to a required yard or setback.” (Section 12-5-6.B)

The petitioner’s proposal to construct a covered front porch area that encroaches further into the required front yard and expands the building

footprint increases the degree of the non-conformity requiring a variation request.

Scope of Work

The scope of work is limited to the front landing area and structural work for the proposed porch roof structure located in front of the entryway on the exterior of the residence as illustrated in the attached Architectural Plans. The existing steps in front of the house leading to the front door will be removed and replaced with a new 4'-0" long by 6'-10" wide (27.32 square feet) covered landing area with eaves as illustrated on the attached Site Plan.

Building Coverage Analysis

Aside from any structure changes necessary to support the new porch roof structure, no changes to interior or exterior of the residence are proposed. However, the covered porch will attach to the residence and therefore be classified as an expansion of the building coverage based on the building coverage definition in Section 12-13-3 of the Zoning Ordinance:

BUILDING COVERAGE: The percentage of the surface area of a zoning lot that is occupied by principal buildings and any accessory buildings and structures. All areas of buildings or structures covered by a roof are included in building coverage.

Pursuant to Section 12-7-2.J of the Zoning Ordinance, corner lots in the R-1 district are allowed up to 35 percent of building coverage, meaning that up to 2,434 square feet of subject property can be covered with a building or structure. Based on the attached Plat of Survey, the existing 1,369-square foot residence and 412-square foot detached garage total 1,782 square feet, or 25 percent of building coverage. The addition of the 27.32-square foot covered porch/landing area increases the total building coverage to 1,809 square feet, or 26 percent, which is compliant with Section 12-7-2.J.

Proposed Elevations and Required Building Design Standards

As shown in the attached Site and Architectural Plan, the proposed roof structure will be positioned just under 11.5 feet (11'-5½") from grade, which is less than the height of the existing residence and in conformance with the maximum height requirements for the R-1 district. The front steps will rise 3.5 feet from grade, which is also in compliance with Section 12-7-1.C of the Zoning Ordinance where steps are allowed to be up to four feet height from grade when located in the required front yard.

The existing exterior building materials for the residence are predominantly stucco with some vinyl siding accent areas along the roof line on all elevations. While no changes to the exterior building materials are proposed, Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects when there are "appearance altering renovations to the front or corner facades of a principal structure." Since the proposal does alter the front of the residence, the regulations in this section are required to be met. For the

subject property, the front façade is the east elevation facing White Street. Since stucco and vinyl siding are not permitted ground story materials for single-family detached residences, the exterior building materials will need to be replaced with face brick, natural stone, or adhered or attached masonry veneer to comply with Section 12-3-11 or a minor variation will be required.

Off-Street Parking

The attached Site Plan indicates that there are no proposed changes to the current number of off-street parking spaces and that the existing driveway and detached garage footprint will remain the same. Single family residences are required to provide two off-street parking spaces pursuant to Section 12-9-7 of the Zoning Ordinance. As shown on the attached Plat of Survey, there is ample space for one off-street parking space in the detached garage and multiple off-street parking spaces on the concrete driveway.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: The existing residence was constructed prior to current regulations requiring the 25-foot-front-yard-setback and is positioned 19 feet from the front property line. Requiring the covered landing area to comply with the required front yard setback would substantially restrict the property owner from making improvements to the existing structure.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Comment: The subject property is located on the northwest corner of the White Street/Van Buren Avenue intersection. While the corner lot is smaller in size and narrower in width than the minimum bulk requirements for corner lots in the R-1 district, this is not necessarily a unique physical condition of the property as other corner lots in the immediate area and in Des Plaines as a whole are deficient in lot size and lot width. However, the PZB shall decide.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: The unique physical conditions of the subject property are not the result of the current property owner or their predecessor. In addition, the existing residence was constructed on the subject property prior to the adoption of the front yard setback requirement making adjustments to the front of the residence legal non-conforming.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Comment: Given that the residence was constructed prior to the adoption of the front yard building setback requirement, it can be argued that carrying out the strict letter of this code for the front yard setback could deprive the property owner of the ability to make improvements to the subject property that are commonly enjoyed by other owners of single-family residential lots. The petitioner intends to add the covered landing area in order to preserve the character of the existing residence and address related building code requirements.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.**

Comment: Granting this variation would not provide a special privilege for the property owner not available to other single-family residential properties. Instead, it allows the property owner the ability to make improvements to the subject property as other property owners along White Street and Van Buren Avenue who reside in homes with similar reduced setback distances as the subject property. There are several homes in the surrounding area that have similar reduced setbacks from the front property line, a characteristic that is prevalent in the neighborhood. In addition, the granting of this variation does not inherently allow the property owner to make additional money off the subject property and its development.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

Comment: The project would allow re-investment into a single-family home, which the Zoning Ordinance and Comprehensive Plan encourage. While one could argue that the proposed covered landing in the location and design identified on the attached Architectural Plan and site Plan is largely for the benefit of the property owner, a study of the area indicates that many of the neighboring properties are developed in a similar fashion. It can be concluded that the proposed covered landing as proposed will be in harmony with existing development and potentially provide more benefit for the neighborhood as a whole—in relation to property values—than just for the petitioner.

7. **No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Comment: Given the current location of the residence, there are not many alternatives available to the proposed setback variation being requested aside from a major remodel or redevelopment of the existing residence. It could be argued that alternatives could negatively impact the existing character of the residence making it less harmonious with neighboring properties or create an insufficient or less functional design to meet applicable building codes. However, the PZB may wish to ask why certain alternative designs are not feasible.

8. **Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Comment: The approval of the setback reduction would be the minimum relief for the petitioner given their current proposal.

Legal Notice & Rescheduling of the Public Hearing

This case was initially noticed for consideration at the PZB's July 9, 2024 meeting, however the required sign was not posted before the deadline. In response, the City withdrew the case from the July 9 agenda and published a new notice, sent a new mailing, and posted the required sign in advance to allow consideration at the PZB's July 23, 2024 meeting.

PZB Procedure and Recommended Conditions

Under Section 12-3-6.F (Procedure for Review and Decision for Standard Variations) of the Zoning Ordinance, the PZB has the *final* authority to approve, approve subject to conditions, or deny the above-mentioned standard variation request for the building setback at 1242 White Street.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-6.H (Findings of Fact for Variations) of the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions.

Conditions of Approval:

1. Architectural plans included with this variation may be revised during final building permit review process without requiring an amendment to this variation ordinance, provided there is no increase in front yard encroachment or building height and the approved plans conform with Building Design Standards in Section 12-3-11.
2. The covered landing area shall be constructed with an open-air design on front and sides of the roof structure with the exception of supporting members required by building code.

Member Saletnik noted that the proposed porch and covered entrance are consistent with the character of the neighborhood which includes many houses from a common era that were constructed closer to the front lot line than current requirements allow.

Member Bronakowski agreed that the application materials suggested the request complies with the standards.

Member Veremis inquired about the period of time the residence has been without functioning entry stairs.

Chairman Szabo referenced the applicant's testimony and confirmed it has been more than six months.

Chairman Szabo noted an existing section of missing concrete walk should be replaced.

Member Veremis inquired if the petitioner is aware of the conditions of approval.

Senior Planner Stytz responded that they are aware.

Member Szabo asked if the petitioner would replace their walkway.

Senior Planner Stytz responded that the new landing and new stairs will extend out over the existing walkway.

Member Saletnik clarified that there is a section of the walkway leading up to the new landing and stairs that is missing.

CED Director Jeff Rogers confirmed that staff would ensure that this section of the walkway would be replaced.

Member Saletnik asked if this missing walkway section will be covered in the permit application.

Senior Planner Stytz responded that this is correct.

Chairman Szabo offered members of the public to provide testimony regarding this case.

No members of the public came forward.

Chairman Szabo closed the public hearing and welcomed a motion.

A motion was made by Member Weaver and seconded by Member Veremis to approve the variation with the conditions as listed in the sample motion.

AYES: Weaver, Saletnik, Veremis, Catalano, Bronakowski, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED

3. Address: 1263 Elmhurst Road

Case Number: 24-032-CU

The petitioner is requesting a Conditional Use to allow an auto service repair use in the C-3 zoning district at 1263 Elmhurst Road.

PIN: 08-24-300-015-0000

Petitioners: Ahmet Polat, 25925 N. Arrowhead Drive, Mundelein, IL 60060

Owner: Brotherhood Real Estate Partnership LLC, 1263 Elmhurst Road, Des Plaines, IL 60018

Chairman Szabo introduced the third case on the agenda and opened the public hearing.

Ahmet Polat & Enes Ozcan were sworn in.

Mr. Polat noted that they purchased the property approximately 1 year ago. They have been remodeling the property but were not aware that the conditional use would be required to operate an auto service use on the property. There are four existing service bays and 33 parking stalls on the property. They proposed to have up to 6 employees.

Chairman Szabo inquired about the length of the prior vacancy.

Senior Planner Stytz confirmed that the prior tenant vacated in 2021.

Member Saletnik inquired about the various improvements undertaken by the applicant.

Mr. Polat noted that new signage was also installed.

Chairman Szabo requested confirmation of whether the signage complied with Code requirements.

Senior Planner Stytz confirmed that an application for permit for the signage has not yet been filed.

Member Weaver asked if the petitioner is aware of the ten staff recommended conditions of approval.

Mr. Polat responded that the building will be the same as the mechanic shop before and that all work will be done inside the building.

Member Catalano inquired whether the applicant was aware of the requirement to resurface the parking lot.

Mr. Polat confirmed that they were and could have the parking lot repaved prior to the City Council meeting.

Member Saletnik inquired whether the applicant was aware of the site striping requirement.

Mr. Polat confirmed that they were prepared to comply.

Member Bronakowski asked if the petitioner had plans for the location of the two required handicap spaces.

Mr. Polat responded that the first two parking spaces will be designated as accessible.

Chairman Szabo requested that the applicant affirm they are aware of the new landscaping that was required.

Mr. Polat noted that they believed the original landscaping could be restored.

Member Saletnik was concerned the applicant was not aware that new landscaping improvements would be required.

Chairman Szabo requested a summary of the case from staff.

Senior Planner Stytz provided a summary of the report.

Issue: The petitioner is requesting a Conditional Use to allow an auto service repair use in the C-3 zoning district at 1263 Elmhurst Road.

Petitioner: Ahmet Polat, 25925 N. Arrowhead Drive, Mundelein, IL 60060

Owner: Brotherhood Real Estate Partnership LLC, 1263 Elmhurst Road, Des Plaines, IL 60018

Case Number: 24-032-CU

PIN: 08-24-300-015-0000

Ward: #8, Alderman Mike Charewicz

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant building (previous auto service repair use)

Surrounding Zoning: North:C-3, General Commercial District
South:C-3, General Commercial District
East:R-1, Single Family Residential District
West: I1, Commercial (Village of Mount Prospect)

Surrounding Land Use: North:Vacant building (former Church)
South: Auto Service Repair business (commercial)
East:Single Family Residences
West:Multi-tenant Commercial buildings (commercial)

Street Classification: Elmhurst Road is an other principal arterial road under Illinois Department of Transportation (IDOT) jurisdiction.

Comprehensive Plan: Commercial is the recommended use for this property.

Zoning/Property History: Based on city records, the subject property was annexed in 1965. Aerial imagery indicates that the front, one-story portion of the existing building on the subject property was constructed around 1974 for use as a quick service restaurant. In 2002, the building was remodeled for an auto service repair use. In 2004, the rear, two-story portion of the building was constructed for use as

a storage area for A&T Automotive. A&T Automotive closed in 2021 and the subject property has been vacant since.

There have been some code enforcement violations on the subject property related to property maintenance, debris, and vehicles parked on site without license plates. Staff sent a nuisance abatement letter on June 17, 2024 detailing the violations to be addressed. While the petitioner has worked with staff to begin addressing these issues, all violations will need to be resolved prior to the issuance of any business license or building permit for the proposed use.

Project Description:

Overview

Petitioner Ahmet Polat has requested a Conditional Use Permit to operate an auto service repair facility, C3 Auto Corp, at 1263 Elmhurst Road. The subject property contains a single building with a surface parking area as shown in the attached Land Title Survey. The existing building is vacant and is proposed to be used solely for auto service repair activities of the C3 Auto Corp business. The subject property is an interior lot fronting Elmhurst Road on the west with a single access point.

Floor Plan and Elevations

The existing building varies in height with a one-story section in the front housing the four service bays with an office/reception area and a two-story section in the rear housing office, storage, and staff areas as shown on the attached Floor Plans. The proposal does not include the interior alteration of the building, its rooms, or its location. There are also no plans to alter the existing exterior building materials, which consist of brick and wood paneling for the front, one-story building portion and concrete blocks for the rear, two-story building portion.

Off-Street Parking and Access

Pursuant to Section 12-9-7 of the Des Plaines Zoning Ordinance, auto service repair facilities are required to provide two parking spaces per service bay and one space for every 200 square feet of accessory retail. As such, a total of ten off-street spaces are required for the proposed business, including a minimum of one accessible space. The attached Site Plan indicates that the petitioner will restripe the parking area to accommodate a total of 25 off-street parking spaces on site: eight along the north property line at the rear of the property and 17 along the south property line. However, no accessible spaces are indicated on the Site Plan. Pursuant to Section 12-9-8, a total of two accessible spaces are required for properties with between 21 to 50 off-street parking spaces. As such, staff have added a condition that the Site Plan is revised to show the required accessible spaces as well as identify the remaining space designations for customer, employee, and vehicles waiting to be serviced. The parking area on site is in disrepair so staff have added a separate condition requiring the pavement areas to be repaved and restriped to match the attached Site Plan.

Landscaping and Screening

The existing property is void of any landscaping and the petitioner's proposal does not include the addition of any new landscaping. However, given the positioning of the subject property along a major commercial corridor in the City and ample space in front of the building and parking area, staff have added a condition that the attached Site Plan is revised, or a separate Landscape Plan is provided, to provide the following improvements in conformance with Chapter 10 "Landscaping and Screening" of the Zoning Ordinance:

- The installation of a minimum 3-foot-wide foundation landscaping bed along the west building elevation/front walkway and installation of a turf, landscape, or combined turf and landscape area in the remaining space between the west building elevation and the west property line;
- The installation of a minimum 3-foot-wide landscape bed around the base of the existing pole sign; and
- The installation of a minimum 8-foot-wide, 100-square-foot landscape bed on the southwest corner of the subject property between the west property line and the parking area.

In addition, the attached Site and Context Photos show that the existing dumpster on site is stored outside without an enclosure. As such, staff have added a condition that a dumpster enclosure shall be installed in conformance with Section 12-10-11 of the Zoning Ordinance and all garbage, used tires, and any other debris shall be kept in the dumpster enclosure at all times.

Business Operations

The C3 Autos Corp business will be open 8:00 a.m. to 5:00 p.m. Monday through Friday, 9 a.m. to 3 p.m. on Saturdays, and closed on Sundays. Their services include tune-ups and servicing for the brake system, engine, exhaust system, tires, and transmission. They will also offer auto accessories for sale and installation on site. A maximum of six employees—two managers and four laborers—will be present on site at a given time.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. **The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:**

Comment: The proposed business is classified under the auto service repair use, which is a Conditional Use as specified in Section 12-7-3.K of the Zoning Ordinance for properties in the C-3 General Commercial District.

2. **The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:**

Comment: The Comprehensive Plan designates this property as commercial and strives to foster growth

commercial businesses in Des Plaines. This property is positioned along a major commercial corridor in the City surrounded by commercial development on all sides except the west side where the property abuts single family residences. The addition of commercial uses, such as an auto service repair use, at the subject property falls within the general principles and goals of the Comprehensive Plan.

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The existing building has been remodeled for an automotive repair use and was previously occupied by an automotive service repair shop. The proposed auto repair facility will make additional improvements to the subject property, so it is consistent with surrounding commercial development. The petitioner proposes to rework and restripe the existing parking and drive aisle area to improve functionality and revitalize the subject property so that it blends better with the surrounding commercial uses and structures. Staff have added a condition to add landscaping and improve the screening of the subject property from neighboring properties.

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The proposed auto service repair use would conduct their services within the building reducing any hazardous or disturbing effects to existing neighboring uses. The footprint and height of the existing building will remain the same. However, the parking area and drive aisle will be redesigned to improve circulation and operations on site. The auto service repair use is consistent with and complementary to other commercial uses in the area.

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The previous uses, including a former auto service repair use, were adequately served by essential public facilities and services. The existing single curb cut will remain as is and is sufficient to provide access to the site. As such, staff do not have concerns that the proposed auto service repair use will be adequately served by essential public facilities and services.

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The former uses, including an auto service repair use, have not created a burden on public facilities and have not been detrimental to the economic well-being of the community. Thus, there are no anticipated concerns for the community as a result of the Conditional Use Permit for the proposed auto service repair use at this location.

7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: All activities will take place inside the building to reduce any noise, smoke fumes, glare, or odors. The petitioner will store and dispose of all waste within designated trash enclosures and comply with all local, state, and federal regulations regarding the disposal of hazardous chemicals. The Fire

Prevention Bureau will require information pertaining to waste oil removal arrangements to ensure waste oil is removed from the site on a regular basis. Staff have added a condition to add landscaping and screening to improve the aesthetics of the property.

8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The proposal utilizes the existing curb cut on the subject property and maintains the existing wide drive aisles to accommodate two-way travel and ample maneuver space for vehicles entering and exiting the service bays.

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The proposal would not cause the destruction, loss, or damage of any natural, scenic or historic features of major importance. The building and site were already developed for commercial use.

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposal will meet all other requirements of the Zoning Ordinance for the C-3 General Commercial District.

PZB Procedure and Recommended Conditions: Under Section 12-3-4.D (Procedure for Review and Decision for Conditional Uses), the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use permit for the auto service repair use at 1263 Elmhurst Road. Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4.E (Standards for Conditional Uses) of the Zoning Ordinance. If the PZB recommends approval of the request, staff recommends the following conditions.

Conditions of Approval:

1. The parking area shall be repaved with a dust-free hard surface and the parking spaces shall be painted on the property to match the approved Site Plan. A revised parking striping plan may be approved by the Community and Economic Development Department if the plans meet requirements of Section 12-9-6 and Site Plan Review standards pursuant to Section 12-3-2.B.
2. The Site Plan shall be revised prior to City Council review to identify the off-street parking spaces designated for customers, employees, and vehicles waiting for service, and to accommodate a minimum of two accessible parking spaces in compliance with all City of Des Plaines codes.
3. Prior to City Council review, the Site Plan shall be revised, or separate Landscape Plan provided, to show the installation of the following improvements in compliance with Section 12-10 of the Zoning Ordinance: (i) a minimum three-foot-wide foundation landscape bed along the west building elevation and front walkway surface; (ii) a turf, landscape, or combined turf and landscape area in front of the building between the foundation landscaping area and west property line; (iii) a three-foot-wide landscape bed around the base of the existing pole sign; and (iv) a minimum eight-foot-wide, 100-square-foot landscape area on the southwest corner of the property between the parking area and the west property line.
4. Inoperable vehicles shall not be parked or stored outdoors on the Subject Property except vehicles

actively being serviced. Vehicles may only be parked in striped spaces.

5. Only four service bays shall be allowed for the life of this conditional use.
6. No auto body related activities are permitted unless this conditional use is amended. Sale and display of motor vehicles or parking of vehicles unrelated to the auto service repair use is not permitted at any time.
7. Used tires may only be stored inside the building, a dumpster, a fully enclosed fence enclosure, or a permitted accessory structure. A contract with a tire disposal company must be provided to staff, or an affidavit must be signed attesting that no used tires will be stored on site.
8. Prior to the time of building permit, the petitioner shall obtain the Des Plaines Fire Department's review and written approval of all waste oil removal arrangements and practices for the Subject Property.
9. The dumpster shall be stored inside the building or within a dumpster enclosure in compliance with Section 12-10-11 of the Zoning Ordinance at all times.
10. Any and all property violations shall be resolved to the satisfaction of staff prior to the issuance of any business registration.

Member Saletnik inquired about any outstanding violations upon the property.

Senior Planner Stytz summarized a few open violations relating to parking of vehicles, accumulation of rubbish, and tall grass and weeds.

Member Saletnik asked if all debris had been removed from the property.

Senior Planner Stytz responded that many of the items were addressed but that staff would need to confirm.

Member Saletnik recommended that the applicant resolve all items summarized in the staff motion prior to appearance at the City Council.

Member Weaver thanked staff for the thoughtful preparation of the proposed conditions.

Member Bronakowski requested confirmation of the quantity of vehicles parked on the property under normal operations.

Ahmet Polat suggested that 6 employee vehicles and 2 vehicles per service bay would be typical.

Member Veremis requested clarification of the condition which refers to inoperable vehicles. She surmised that most vehicles might be considered inoperable if they are awaiting parts or service.

Member Saletnik offered that condition 4 did not include inoperable vehicles that were "actively being serviced."

Discussion ensued regarding the meaning of these terms.

Member Veremis inquired whether the landscaping requirements were applicable to the prior tenant.

Senior Planner Stytz clarified that the site was developed prior to the adoption of the current Code requirements regarding landscaping.

Member Saletnik recommended the applicant retain a civil engineer and/or a landscape architect. Their architect would assist with the preparation of plans.

Chairman Szabo asked if any members of the public sought to provide testimony regarding this case.

No members of the public came forward.

Chairman Szabo closed the public hearing and welcomed a motion.

A motion was made by Member Weaver and seconded by Member Bronakowski to recommend approval of the request to the City Council with the staff recommended conditions as written.

AYES: Weaver, Saletnik, Veremis, Catalano, Bronakowski, Szabo
NAYES: None
ABSTAIN: None

MOTION CARRIED

4. Address: Citywide Case Number: 24-033-TA

The City is proposing text amendments to the Zoning Ordinance related to the screening of mechanical equipment.

PIN: Citywide

Petitioners: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Owners: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Chairman Szabo introduced the case, opened the public hearing, and requested staff's summary of the proposed text amendment.

Senior Planner Redman summarized the proposed text amendments relating to mechanical equipment on the ground and upon roofs.

Issue: Consider Zoning Ordinance amendments to: (i) add or revise requirements for rooftop-installed mechanical equipment screening and ground-installed mechanical equipment in Section 12-10-11 of the Zoning Ordinance; and (ii) specify a minor variation process for mechanical screening within Section 12-3-6 of the Zoning Ordinance.

PIN: Citywide

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Case Number: #24-033-TA

Background

The purpose of the amendments is to clarify mechanical screening requirements, specifying screening necessary for ground-installed and rooftop-installed mechanical equipment. Mechanical equipment commonly includes generators or HVAC equipment. Existing screening requirements for mechanical equipment are within Chapter 10 – Landscaping and Screening. The proposed amendments support the overall purpose of the landscaping and screening chapter:

“The landscaping and screening requirements established herein are intended to preserve and enhance the appearance, character, health, safety, and general welfare of the community by fostering aesthetically pleasing development. The regulations are intended to increase the compatibility of adjacent uses, and minimize the adverse impact of noise, dust, motor vehicle headlight glare or other artificial light intrusions, and other objectionable activities or impacts conducted on or created by adjoining or neighboring uses.”

Mechanical screening can serve many purposes, with two main objectives: (a) create a consistent, aesthetically pleasing appearance with the existing or proposed architecture of a building and (b) provide noise attenuation for mechanical equipment. Presently, only ground-installed mechanical equipment requires screening. The proposed amendments expand requirements to roof-top units and clarify requirements for ground-installed equipment.

Existing Requirements

Below are the existing screening requirements for reference from Section 12-10-11.B. Refer to the Proposed Amendments attachment and details in the following sections.

“B. Mechanical Equipment: Large mechanical equipment for commercial, industrial, institutional, or residential developments with more than four dwelling units shall be screened on all sides by a masonry enclosure, except as otherwise permitted by the zoning administrator.

1. Required Height: The masonry or solid wood enclosure shall completely screen the mechanical equipment from public view and extend to a height of not less than the maximum height of the mechanical equipment installed, including the height of any concrete pad or base where the mechanical equipment is installed.
2. Required Landscaping: The masonry enclosure shall be fully screened by a minimum 3-foot-wide landscape bed with planting material proportionate to the required height of the masonry enclosure consisting of a combination of perennials and shrubs.
3. Materials: Additional considerations, including the installation of noise dampening materials, may be required to reduce noise levels generated from large mechanical equipment and minimize impact to surrounding properties pursuant to Section 6-2-7.”

Examples from Other Municipalities

The zoning ordinances or design guidelines of eight surrounding municipalities were referenced and considered while shaping the proposed amendments. All eight municipalities required mechanical equipment screening for ground-installed and rooftop mechanical equipment; Des Plaines was the outlier without any screening requirements for rooftop equipment. Refer to the Surrounding Municipality Research attachment.

Proposed Amendments

Applicability

The proposed amendments specify that screening requirements must be followed when new equipment is installed for commercial, manufacturing, institutional, or residential buildings with four or more dwelling units. However, to limit financial burden on existing property owners with older equipment, the replacement of roof-top mechanical equipment with units in the same place and same or shorter height does not require new screening if none was previously provided. Replacement of ground-installed equipment must have screening installed, regardless of whether existing screening exists, to maintain safety and security of equipment and provide assurances about noise attenuation. Structures associated with venting (i.e. chimneys or other vents) are exempt from screening requirements.

Location

The amendments state that mechanical equipment is encouraged to be located within the principal structure. However, locating a unit outside of a structure may be necessary due to space or safety constraints in the building. In these circumstances, the zoning ordinance either currently requires or would require (with the proposed amendments) additional screening to limit the visibility of the units. While mechanical equipment can be installed outside, the proposed amendments expand the existing enclosure material options to achieve effective screening of said equipment, regardless of its location.

Ground-installed mechanical equipment

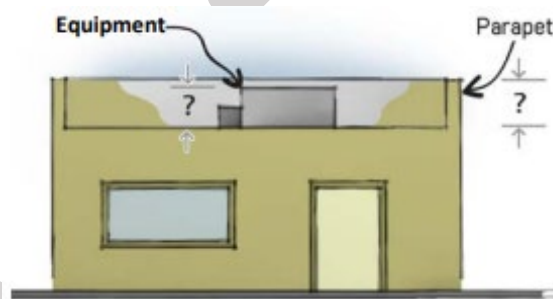
The amendments to this section include specifying requirements for ground-installed versus roof-top installed mechanical equipment. The amendments propose that an enclosure can be made from masonry, concrete, or solid wood of a compatible color with the principal structure. The required height (six feet), landscaping (three feet of landscaping around the enclosure), and applicability (commercial, industrial, institutional or residential developments with four or more dwelling units) remain unchanged from the existing requirements.

Roof-top installed mechanical equipment¹

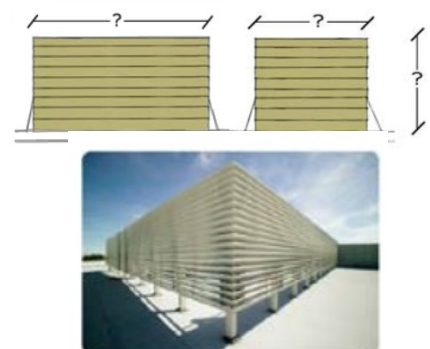
Currently no zoning regulations exist for screening rooftop-installed mechanical equipment. This section was added, with inspiration from the zoning codes of other municipalities, to specify the required height and materials for screening of roof-top equipment. Requirements are similar to the ground-installed mechanical equipment, requiring complete screening of the equipment with materials compatible with the building.

Common methods of roof-top screening are permitted with this code section and may include:

1. Expansion of parapet

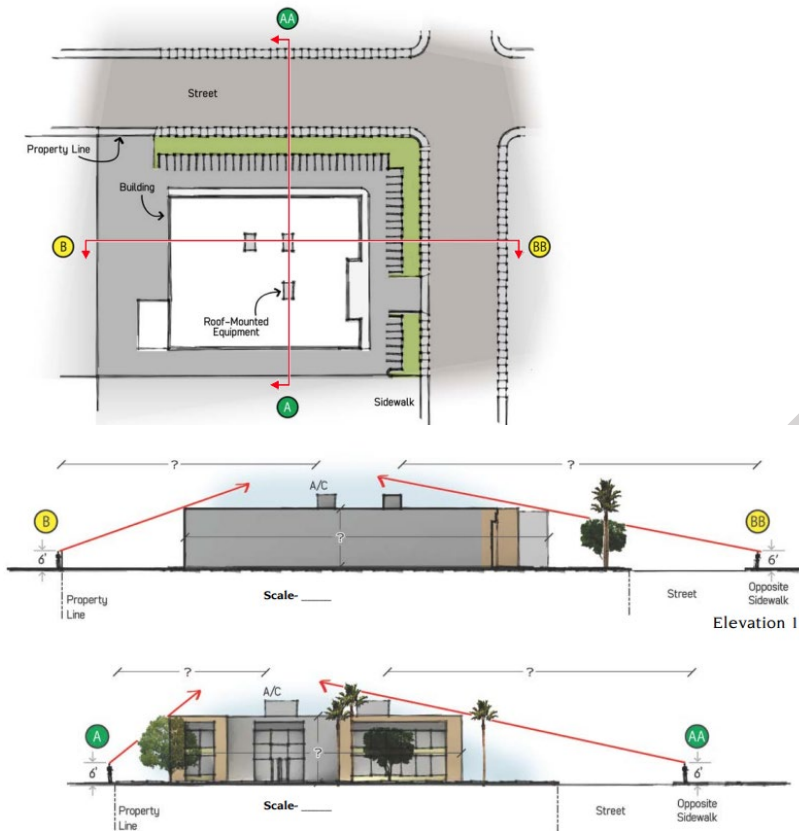


2. Roof-mounted equipment screen



The required height section also defines the location where the Zoning Administrator must determine if the mechanical equipment is “visible.” The example line-of-sight diagram below depicts the proposed rules. This type of diagram may be required for the installation of this type of equipment if the Zoning Administrator needs additional information to determine whether it meets requirements.

¹ Diagrams/Illustration Source: Anaheim, California Roof-Top Equipment Screening Handout, Feb 2018, <https://www.anaheim.net/DocumentCenter/View/3150/Roof-Mounted-Equipment-Screening>



Noise

An important component of screening is the ability to absorb or deflect noise using the screening material. The amendments specify that any mechanical equipment must be in compliance with the City noise ordinance and acoustical paneling may be required to mitigate any noise disturbance. Although compliance with the noise ordinance is necessary regardless of the approval of the proposed amendments, the amendments propose additional safeguards to affirm that disturbances from sound are properly mitigated.

Minor Variation

The existing requirements require a masonry enclosure “unless otherwise permitted by a zoning administrator.” To clarify the process for the zoning administrator’s approval of alternative materials, an amendment to Section 12-3-6 provides authorization for the Zoning Administrator to review a minor variation to allow a property or development to vary from the required height, landscaping, and materials specified in Section 12-10-11.B. However, a *major* variation would be necessary to authorize a building permit where *no* screening is proposed for either ground- or rooftop-installed mechanical equipment, as a lack of any screening could have more significant implications for the aesthetics and noise impacts of a building to the surrounding neighborhood.

Standards for Text Amendments:

The following is a discussion of standards for zoning amendments from Section 12-3-7.E. of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided. The PZB may use the statements below as its rationale or adopt its own.

1. Whether the proposed amendments are consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

The proposed text amendments provide clarity and consistency with how ground-installed mechanical equipment is screened and expand screening requirements to include rooftop-installed mechanical equipment. This supports the overall goal of the Comprehensive Plan to provide conditions for an aesthetically pleasing and inviting environment for residents and visitors.

2. Whether the proposed amendments are compatible with current conditions and the overall character of existing development;

The amendments serve to expand and clarify screening requirements for mechanical equipment within the City. The intent with screening is to encourage architectural cohesiveness with all elements, including mechanical equipment, serving to create a coherent character for the architecture of new and existing buildings.

3. Whether the proposed amendments are appropriate considering the adequacy of public facilities and services available;

The proposed amendments will not affect public facilities and services.

4. Whether the proposed amendments will have an adverse effect on the value of properties throughout the jurisdiction; and

The proposed amendments are intended to benefit the value of surrounding properties, improving the aesthetics of buildings with roof-top equipment, clarify the type of screening required for ground-installed equipment, and reduce the likelihood of noise pollution caused by lack of proper screening.

5. Whether the proposed amendments reflect responsible standards for development and growth.

The proposed amendments encourage aesthetic improvements to new construction and, in certain circumstances, require screening for existing buildings that install or replace mechanical equipment. This supports creating cohesive architecture for commercial, industrial, institutional, or larger residential buildings throughout the city.

PZB Procedure and Recommended Conditions: Under Section 12-3-7.C.3 of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve with modifications, or deny the above-mentioned amendments. City Council has final authority on the proposal.

Member Saletnik referred to the proposed materials and suggested the Code be amended to include potential metal panel or siding materials.

Senior Planner Redman noted that the board could introduce additional materials or rely upon the minor variation process for consideration of alternative solutions.

Chairman Szabo suggested that the proposed text amendment was welcomed and would improve the visual appearance of development throughout the community. The screening would provide additional sound attenuation properties, also.

Member Weaver thanked staff for including information for other area communities. He preferred the staff draft amendments as they provide additional clarity versus the current requirements of other communities.

Member Saletnik was concerned that being too limiting may create cost, performance, weight, or other issues. He asked if the proposed amendments would be forcing parapet materials.

Senior Planner Redman responded that the material allowance could be expanded.

Chairman Szabo noted the alternate solution of a mechanical penthouse.

Member Saletnik noted that basing the visual impact of the mechanical equipment from across the street may not be good enough; may need to extend the distance based on the equipment size. Senior Planner Redman clarified that staff were attempting to find a middle ground with the visibility measurement.

Senior Planner Redman suggested removing specific materials from the amendment and instead referencing “a color and materials compatible with the principal structure.”

Member Saletnik discussed the limitations of visual screening for sound attenuation purposes.

Member Veremis inquired about structural requirements for these systems to ensure they will meet wind load requirements.

Senior Planner Redman confirmed that the designs would be reviewed for Code requirements.

Member Bronakowski requested a summary of the applicability section of the amendment to existing businesses.

Senior Planner Redman noted that the proposed amendments would require these improvements for the installation of new equipment or replacement equipment that is taller or bigger than the existing mechanical equipment. It is not required for maintenance or the removal and replacement of mechanical equipment of a similar size and height.

Member Weaver noted that other municipality’s codes for this are vague, and the proposed amendments are specific and better. He asked what screening materials we are trying to exclude.

Senior Planner Redman responded that the intent is prohibit certain materials, such as metal, that are not fully opaque to adequately screen the mechanical equipment appropriately.

Member Bronakowski asked if the proposed amendments are consistent with other cities.

Senior Planner Redman confirmed that they are consistent.

Chairman Szabo offered members of the public the opportunity to provide testimony regarding this case.

No members of the public came forward.

Chairman Szabo closed the public hearing and welcomed a motion.

A motion was made by Member Weaver and seconded by Member Bronakowski to recommend approval of the proposed text amendments as amended to the City Council.

AYES: Weaver, Saletnik, Veremis, Catalano, Bronakowski, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED

Other items:

None.

ADJOURNMENT

Chairman Szabo adjourned the meeting by affirmative voice vote at 9:19 p.m.

Sincerely,

Jeff Rogers/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners

MEMORANDUM

Date: August 6, 2024
To: Planning and Zoning Board (PZB)
From: Jonathan Stytz, AICP, Senior Planner JS
Cc: Jeff Rogers, AICP, Director of Community and Economic Development JR
Subject: Conditional Use for a Leasing/Rental Agent, Large Equipment use at 125 E. Oakton Street

Issue: The petitioner is requesting Conditional Use for a Leasing/Rental Agent, Large Equipment use in the M-2 General Manufacturing district at 125 E. Oakton Street.

Petitioner: Bryan Olson, 125 E. Oakton Street, Unit 2, Des Plaines, IL 60018
Owner: Pepper Real Estate Holdings, 411 Lake Zurich Road, Barrington, IL 60010
Case Number: #24-037-CU
PINs: 09-30-100-015-0000; -016
Ward Number: #5, Alderman Carla Brookman
Existing Zoning: M-2, General Manufacturing
Existing Land Uses: Warehouse uses (industrial); equipment leasing/rental agent (commercial)
Surrounding Zoning: North: M-2, General Manufacturing District
South: M-2, General Manufacturing District
East: M-2, General Manufacturing District
West: M-2, General Manufacturing District
Surrounding Land Uses: North: Bus and coach company (commercial); paper mill (manufacturing)
South: Oil Wholesaler (commercial)
East: Logistics company (industrial)
West: Home goods store (commercial)
Street Classification: Oakton Street is classified as a minor arterial road under Illinois Department of Transportation (IDOT) jurisdiction and Winthrop Drive is classified as a local road under City of Des Plaines jurisdiction.
Comprehensive Plan: The Comprehensive Plan illustrates this site as industrial.

Property/Zoning History: *Background and Current Uses*

The property at 125 E. Oakton Street was annexed into the City in 1960. Aerial imagery indicates that the subject property was developed in 1972 as a commercial building situated on the western portion of the lot. In 1986, a warehouse addition was constructed on the eastern side of the existing building to create the current building on site today. Since this addition, the building has been utilized for a variety of retail and warehouse uses. Currently, two warehouse uses—Feldco and Pepper Construction—operate on the subject property each occupying one of the two tenant spaces in the building. Feldco is located in the southwestern portion of the building under the address of 1646 Winthrop Drive while Pepper Construction currently comprises the remainder of the building under 125 E. Oakton Street.

Text Amendment for Leasing and Rental of Equipment

A new business, 365 Equipment and Supply, approached staff with a request to locate their equipment leasing and rental business at 125 E. Oakton Street. However, the Zoning Ordinance did not permit *leasing/rental agents, equipment* uses in the M-2 district. As such, staff worked with the petitioner to draft a staff report to allow equipment leasing and rental agent uses in the M-2 district under two separate categories: small and large equipment. On June 17, 2024, City Council passed Ordinance Z-11-24 (attached) that allowed the leasing/rental of small equipment as a permitted use and leasing/rental of large equipment as a conditional use in the M-2 district.

Proposed Use and Required Entitlements

After approval of the text amendment, 365 Equipment and Supply applied for a business registration to operate on the subject property in addition to the existing tenants. It is related to the existing Pepper Construction business and will utilize part of the east building portion for their operations. While much of the equipment this business intends to lease and rent is classified as small equipment—and are permitted by right—other equipment is classified as large equipment and requires a conditional use approved by City Council in order to operate. In addition, 365 Equipment and Supply looks to store materials outside within a fenced enclosure. However, the materials to be stored and the fence enclosure itself is proposed to be 12 feet tall, which exceeds the maximum height allowances for each and requires minor variations to be considered by the Zoning Administrator.

Address Assignment

In response to the new tenant on the subject property, staff completed an address assignment for the subject property to properly address all three tenant spaces under 125 E. Oakton Street and provide unique suite numbers for each use (see attached Address Assignment Map) based on the delineation of the tenant spaces noted on the attached Site Plan and attached Architectural Plans.

Outstanding Permits and Violations

City records indicate that multiple remodeling permits—some of which have since expired—and multiple sign permits have been submitted for the subject property to accommodate for the third tenant. City records also indicate that there are multiple fire code violations on the subject property, some of which are currently outstanding and would need to be rectified to complete this process.

CONDITIONAL USE

Request Description:

Overview

The subject property consists of two separate parcels located in the M-2 General Manufacturing district at 125 E. Oakton Street and under common ownership. The subject property is a total of 4.63 acres in size and is located at the southeast corner of the Oakton Street and Winthrop Drive intersection with two existing curb-cuts off each street. The attached Address Assignment Map summarizes the addresses assigned to each business as well as its approximate location in the building. While the existing uses are denoted as permitted uses in the M-2 district, the requested *Leasing/Rental Agents, Large Equipment* use requires a conditional use as noted in the attached Ordinance Z-11-24 document, which approved an allowance of this use type in the M-2 district.

Floor Plan and Elevations

As noted above, Feldco and Pepper Construction currently operate in the existing building with Pepper Construction occupying a majority of the space. However, this existing arrangement will be altered to accommodate the 365 Equipment and Supply business, which is proposed for the far east portion of the building. The attached Site Plan shows the reallocation of building space to fit a separate office and warehouse space for 365 Equipment and Supply. This plan designates the building areas for each use, which are summarized below.

Floor Breakdown*		
Feldco	Pepper Construction	365 Equipment and Supply
<ul style="list-style-type: none">• Located in the southwest corner of building• 35,000 SF total area including office and warehouse space	<ul style="list-style-type: none">• Located in the northwest and southeast corners of the building• 19,000 SF office space and 54,000 SF warehouse space shared with 365 Equipment & Supply	<ul style="list-style-type: none">• Located in the northeastern and southeastern portions of the building• ~5,000 SF office space and 54,000 SF warehouse space shared with Pepper Construction

**Values based off most recent Site and Grading Plan set; subject to change.*

The petitioner noted in the attached Project Narrative that all equipment available for lease or rent will be stored inside the building and the warehouse area would include a separate space to clean and maintain the equipment once returned. The PZB may wish to ask the petitioner for additional clarification on how the 54,000-square-foot warehouse use will be utilized between Pepper Construction and 365 Equipment and Supply.

The proposal does alter both street-facing building facades requiring it to meet the Building Design Materials in Section 12-3-11 of the Zoning Ordinance. The attached Architectural Plans note proposed window, garage door, and building sign additions but the existing compliant face brick exterior building material will remain the same. However, industrial buildings are required to have at least 20 percent transparency for office spaces. As such, staff has added a condition that the elevations are adjusted to meet the transparency requirements in Section 12-3-11 or a minor variation is requested.

Off-Street Parking

Sections 12-9-7 and 12-9-8 of the Zoning Ordinance govern the number of off-street standard and accessible parking spaces required based on the property uses. Based on the attached Site Plan, 149 parking spaces will be available on the subject property, including five accessible spaces. The table below summarizes the allocation of all available parking spaces shown on the attached Site Plan to confirm compliance with Sections 12-9-7 and 12-9-8.

Required Off-Street Parking			
Use	Required Parking	Designated Spaces	Parking Space Surplus/Deficit
<i>Warehouse</i> (Feldco)	24 spaces <i>(One space per 1,500 SF)</i>	21 spaces	3 spaces
<i>Warehouse</i> (Pepper Construction)	49 spaces <i>(One space per 1,500 SF)</i>	115 spaces	66 spaces
<i>Leasing / Rental Agent</i> (365 Equipment & Supply)	10 spaces <i>(One space per 500 SF of showroom and office floor area, plus one space for every 20 vehicle display spaces)</i>	13 spaces <i>(no proposed vehicle display spaces)</i>	3 spaces
Off-Street Parking Totals	83 spaces (four accessible)	149 spaces* (five accessible)	66 spaces

**Some of these parking stalls may be removed or modified in accordance with the current proposal to comply with drive aisle and design requirements.*

As noted in the table, there is a sufficient supply of parking spaces on the subject property. However, the allocation of parking spaces needs to be adjusted in order to ensure that an adequate number of parking spaces are available for each use as required by the Zoning Ordinance. As such, staff have added a condition requiring the petitioner to reallocate the parking spaces on the Site Plan to meet the minimum parking requirements for each use to conform to Sections 12-9-6, 12-9-7, and 12-9-8 of the Zoning Ordinance.

Access and Circulation

There are currently two full access curb cuts off both Oakton Street and Winthrop Drive providing access to the subject property, which will both be maintained as part of this proposal without any changes. While both curb cuts are wide at the street, the specific width of these curb cuts is not identified on the ALTA-NSPS Land Title Survey or the Site Plan. Section 12-9-6 of the Zoning Ordinance requires drive aisles to be a minimum of 22 feet in width for two-way travel and a minimum of 12 feet in width for one-way travel. If this width cannot be obtained, then the direction of travel of the entrances to the subject properties will need to be adjusted as necessary to ensure adequate access to and from both sites.

Depending on the access type for these entrances (i.e., one-way or two-way), existing striped parking spaces may need to be altered or removed to accommodate the appropriate drive aisle width. To this end, staff have added a condition that the parking space dimensions, drive aisle widths, and direction of travel arrows for all drive aisles are added to the Site Plan to ensure the code requirements are met.

Landscaping and Screening

The existing site contains some natural vegetation along its north and west boundaries and minimal landscape improvements up near the front of the building. The City's 2019 Comprehensive Plan promotes enhancements to landscaping and screening to improve the appearance of the Oakton corridor, especially on larger properties where additional space is often available to install these types of improvements. Given that the subject property is located along the Oakton Street corridor, additional landscaping considerations should be made to improve—at a minimum—the northern boundary of the subject property abutting Oakton Street to meet this goal. The Comprehensive Plan also considers revisions and administrative flexibility towards the landscape code to consider the context of existing developments while continuing to promote landscaping improvements on properties with existing open space constraints.

There are clear space constraints on the west side of the property both along the building foundation and property line abutting Winthrop Drive due to the existing parking area layout. However, there is more open space available along the north portion of the building both along the building's foundation and the north property line abutting Oakton Street. The attached Site Plan denotes the installation of a three-foot-wide foundation landscape area along a portion of the north building elevation behind a new row of parking spaces. However, the specific details of the landscape improvements are not shown.

Since these details are not provided and in alignment with the Comprehensive Plan, staff have added a condition requiring a diagram—either as a separate landscape plan or as a detail on the attached Site Plan—illustrating the existing landscape improvements on the subject property and detailing the following required improvements:

- The plant names and quantities proposed for the minimum three-foot-wide foundation landscape bed in conformance with Section 12-10-10 of the Zoning Ordinance; and
- The plant names and quantities proposed for the minimum five-foot-wide foundation landscape bed in between the north parking area and the north property line in conformance with Section 12-10-8.B of the Zoning Ordinance, noting that where space constraints exist all of the available space shall be improved with landscaping.

Existing and Proposed Signs

The current building contains two wall signs and one awning sign, all for the existing Feldco warehouse use. While no changes to these signs are proposed, new wall and monument signs are proposed for both the Pepper Construction and 365 Equipment and Supply uses as illustrated in the attached Sign Plan.

The table below summarizes the existing and proposed signs for the subject property. Note that all proposed signs are underlined.

Building Signs			
Sign Type	Tenant	Building Location	Sign Area
Wall <i>(existing)</i>	Feldco	West Elevation <i>(near SW corner)</i>	11 SF
Wall <i>(existing)</i>	Feldco	West Elevation <i>(near NW corner)</i>	11 SF
Awning <i>(existing)</i>	Feldco	West Elevation <i>(middle of building)</i>	11 SF
<u>Wall</u> <u><i>(proposed)</i></u>	<u>365 Equipment and Supply</u>	<u>North Elevation</u> <u><i>(near NE corner)</i></u>	<u>24 SF</u>
<u>Wall</u> <u><i>(proposed)</i></u>	<u>365 Equipment and Supply</u>	<u>East Elevation</u> <u><i>(near NE corner)</i></u>	<u>24 SF</u>
Total building sign area =			81 SF
Ground Signs			
Sign Type	Tenant	Property Location	Sign Area
<u>Monument</u> <u><i>(Proposed)</i></u>	<u>Pepper Construction</u>	<u>NW corner of Site</u> <u><i>(Oakton/Winthrop intersection)</i></u>	<u>18 SF</u>
<u>Monument</u> <u><i>(Proposed)</i></u>	<u>365 Equipment and Supply</u>	<u>North portion of Site</u> <u><i>(near eastern curb cut off Oakton)</i></u>	<u>27 SF</u>
Total ground sign area =			45 SF

While the attached sign Plan provides details for the Pepper Construction and 365 Equipment and Supply tenants, staff have added a condition that the petitioner provides at time of building permit a revised sign plan showing the type, dimensions, and locations of all existing and proposed signs on the subject property to conform compliance with Section 12-11 of the Zoning Ordinance.

Standards for Conditional Use: The following is a discussion of standards for conditional uses from Section 12-3-4(E) of the Zoning Ordinance. Rationale for how the proposed use would satisfy the standards is provided below and in the petitioner’s response to standards. The PZB may use this rationale toward its recommendation, or the Board may make up its own.

1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed services are classified under the *leasing/rental agents, large equipment* use, which is a Conditional Use as specified in Section 12-7-3.K of the Zoning Ordinance for properties in the M-2 District.

2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The Comprehensive Plan designates this property as industrial and strives to promote growth and retention of existing industrial businesses in Des Plaines. This property is located along the Oakton Street corridor and is surrounded by industrial development. The addition of the proposed rental/leasing agent use for large equipment at the subject property generally falls within the general principles and goals of the Comprehensive Plan.

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The existing building on the subject property has been utilized for a variety of warehousing and manufacturing uses in the past similar to the existing warehouse tenants and arguably related to an equipment leasing/rental business. While there are no proposed changes to the structure size, interior and exterior remodeling is proposed for the building to accommodate the new use. The petitioner also proposes a new row of off-street parking spaces for EV charging and new fencing around the portion of the property devoted for the 365 Equipment and Supply tenant. Staff have added a condition concerning the reallocation of parking spaces to ensure that all tenants have sufficient parking space and adverse effects on surrounding properties are minimized. However, there are site access, circulation, and parking considerations that have not been fully addressed with the proposal. The PZB may request additional justification and detail from the petitioners as to how all of the uses will coexist and operate on the subject property at the same time.

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The proposed large equipment leasing/rental use will store and maintain all equipment within the existing building, which will make it less hazardous and disturbing to surrounding uses. The petitioner has also noted that large equipment such as cranes, excavators, and similar equipment will not be stored on the subject property but on a separate lot they currently operate outside of Des Plaines. With this in mind there are no perceived aspects that would be hazardous or disturbing. However, the delineation and continued maintenance of the different uses throughout the subject property could—if not done properly or consistently—lead to a condition that is hazardous or disturbing to surrounding property owners.

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The existing uses on this site are adequately served by essential public facilities and services. While the proposal adds a third use to the subject property, staff do not have concerns that this will impact the essential public facilities and services that are currently serving the subject property.

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The existing uses have not created a burden on public facilities and have not been detrimental to the economic well-being of the community. There is no indication that the addition of the large equipment leasing/rental business will have negative economic impact on the community or create the need for additional City services provided that it operates according to all requirements in the M-2 district and appropriate screening improvements are installed.

7. **The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:**

Comment: The types of large and small equipment that are proposed to be leased or rented by this business—which account for a majority of the noise, smoke fumes, glare, and odors—will be operated off-site at respective job sites. However, some equipment, based on its type and design, may need to be operated in order to be loaded or unloaded from a vehicle and/or trailer, which could produce noise, fumes, and/or odors. In addition, the location at which the equipment is loaded and unloaded could impact traffic flow depending on its location. The PZB may wish to ascertain from the petitioner how the loading and unloading process will take place and where on the subject property to ensure that considerations are in place to reduce the production of traffic, noise, smoke fumes, glare, or odors.

8. **The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:**

Comment: The proposal utilizes the existing curb cuts on the subject property so as to not increase any interferences with traffic on surrounding public thoroughfares. However, with the addition of a third use on the subject property, additional adjustments to the Site Plan will be necessary to clearly define the direction of travel and width of the existing drive aisles throughout the subject property to ensure that sufficient access and circulation are maintained for all uses. The same can also be said for the proposed loading and unloading area for 365 Equipment and Supply, which should be clearly striped and located so as not to interfere with access and circulation throughout the property.

9. **The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:**

Comment: The proposal would not cause the destruction, loss, or damage of any natural, scenic or historic features of major importance. The building and site were already developed for similar uses.

10. **The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:**

Comment: This proposal with the aforementioned adjustments will meet all other requirements of the Zoning Ordinance for the M-2 General Manufacturing District.

PZB Procedure and Recommended Conditions: Under Section 12-3-4.D (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve or deny the above-mentioned conditional use.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4.E (Standards for Conditional Use) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions.

Conditions of Approval:

1. Prior to the City Council meeting, the Site Plan shall be revised to: (i) identify the number, dimensions, and designation of all parking spaces ensuring the minimum off-street parking requirements are met for each tenant pursuant to Sections 12-9-7 and 12-9-8 of the Zoning Ordinance; and (ii) identify the width and direction of travel of all drive aisles on the subject property in conformance with Section 12-9-6 of the Zoning Ordinance.

2. Prior to the City Council meeting, the Site Plan shall be revised, or a separate Landscape Plan provided, to illustrate the required: (i) foundation landscape area; and (ii) perimeter parking lot landscaping area between the northern parking areas and the north property line in compliance with Sections 12-10-9 and 12-10-10 of the Zoning Ordinance. This plan shall also detail the location, design, and height of the required enclosure for all dumpsters stored outside.
3. The Building Elevations shall be revised to meet the transparency requirements in Section 12-3-11 of the Zoning Ordinance or a minor variation is requested.
4. Open storage for any of the tenants on the subject property shall be in conformance with Section 12-7-4.E.5.a at all times.
5. At time of building permit, the petitioner shall provide a revised sign plan showing the type, dimensions, and locations of all existing and proposed signs on the subject property to conform compliance with Section 12-11 of the Zoning Ordinance.

Attachments:

Attachment 1: Location Map

Attachment 2: Site and Context Photos

Attachment 3: Ordinance Z-11-24 Approving Text Amendment for Equipment Leasing/Rental Agents

Attachment 4: Photos of Existing Conditions

Attachment 5: ALTA/NSPS Land Title Survey

Attachment 6: Petitioner's Responses to Standards

Attachment 7: Project Narrative

Attachment 8: Excerpt of Site and Grading Plans¹

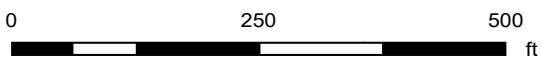
Attachment 9: Excerpt of Architectural Plans²

Attachment 10: Excerpt of Sign Plan³ (includes Landscape Bed Exhibit)

¹ Full copies available upon request to the Community and Economic Development department.

² Full copies available upon request to the Community and Economic Development department.

³ Full copies available upon request to the Community and Economic Development department.



Print Date: 8/6/2024

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



555 Howard Ave – Public Notice Sign at Northeast Corner of Site



555 Howard Ave – North Parking Area Along Howard Ave



555 Howard Ave – North Building Entrance off Howard Ave



555 Howard Ave – West Parking Area on Side of Building



555 Howard Ave – Side of Building from Wolf Rd



555 Howard Ave – South Building Entrance off Wolf Rd



555 Howard Ave – South Parking Area at Rear of Building



555 Howard Ave – Facing North at Space between Existing Buildings

CITY OF DES PLAINES

ORDINANCE Z - 11 - 24

AN ORDINANCE AMENDING THE TEXT OF THE DES PLAINES ZONING ORDINANCE REGARDING EQUIPMENT RENTAL AND LEASING.

WHEREAS, the City is a home rule municipal corporation in accordance with Article VII, Section 6(a) of the Constitution of the State of Illinois of 1970; and

WHEREAS, the "Des Plaines Zoning Ordinance of 1998," as amended ("**Zoning Ordinance**"), is codified as Title 12 of the City Code of the City of Des Plaines ("**City Code**"); and

WHEREAS, after a review of the Zoning Ordinance, the City desires to amend the Zoning Ordinance to update the definitions for certain uses related to the rental and leasing of equipment and update and clarify in what zoning districts the uses are allowed as permitted and conditional uses ("**Proposed Amendments**"); and

WHEREAS, a public hearing by the PZB to consider the Proposed Amendments was duly advertised in the *Des Plaines Journal* on May 8, 2024, and held by the PZB on May 28, 2024; and

WHEREAS, the PZB voted 5-0 to recommend approval of the Proposed Amendments; and

WHEREAS, the PZB forwarded its recommendation in writing to the City Council on May 29, 2024; and

WHEREAS, the City Council has considered the factors set forth in Section 12-3-7.E, titled "Standards for Amendments," of the Zoning Ordinance; and

WHEREAS, the City Council has determined that it is in the best interest of the City to adopt the Proposed Amendments and amend the Zoning Ordinance as set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof.

SECTION 2. FINDING OF COMPLIANCE. The City Council finds that consideration of the Text Amendments complies with the provisions of Section 12-3-7 of Zoning Ordinance.

SECTION 3. COMMERCIAL DISTRICTS USE MATRIX. Sub-section 12-7-3.K, titled "Commercial Use Matrix", of Section 12-7-3, titled "Commercial District Regulations," of Chapter 7, titled "Districts," the Zoning Ordinance is hereby amended to read as follows:

"12-7-3: COMMERCIAL DISTRICT REGULATIONS.

K. Commercial Use Matrix:

TABLE 3

COMMERCIAL DISTRICTS USE MATRIX

P = Permitted use

C = Conditional use permit required

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
	*	*	*				
Hotels		C	P	C	P	P	P
Leasing/rental agents, <u>small</u> equipment			<u>C</u>	<u>C</u>			
Leasing/rental agents, vehicles (non-moving)			P		P		

* * *

SECTION 4. MANUFACTURING DISTRICTS USE MATRIX. Sub-section 12-7-4.G, titled "Manufacturing Use Matrix", of Section 12-7-4, titled "Manufacturing District Regulations," of Chapter 7, titled "Districts," the Zoning Ordinance is hereby amended to read as follows:

"G. Manufacturing Use Matrix:

TABLE 5

MANUFACTURING DISTRICTS USE MATRIX

P = Permitted use

C = Conditional use permit required

Uses	M-1	M-2	M-3
* * *			
Grocery retail	C	C	
<u>Leasing/rental agents, small equipment</u>	<u>P</u>	<u>P</u>	
<u>Leasing/rental agents, large equipment</u>	<u>C</u>	<u>C</u>	
Leasing/rental agents, vehicles (non-moving)	C	P	
Leasing/rental agents, moving vehicles	P	P	

* * *

SECTION 5. DEFINITION OF TERMS. Section 12-13-3, titled "Definition of Terms", of Chapter 13, titled "Definitions," the Zoning Ordinance is hereby amended to read as follows:

"12-13-1: DEFINITIONS GENERALLY:

The terms and words defined in this chapter shall have the meanings herein ascribed to them.

* * *

LEASING/RENTAL AGENTS, SMALL EQUIPMENT: An establishment, the principal use or purpose of which is the rental of equipment which includes, without limitation, the following general items: (i) personal hand and power tools; (ii) small-scale air compressors; (iii) trailers with ~~one thousand nine hundred (1,900)~~ 1,900-pound capacity or less; (iv) lawn and garden equipment; (v) residential generators; (vi) floor and carpet cleaners; (vii) heaters; and fans; (viii) ladders; (ix) painting equipment; (x) and-wallpaper equipment; and (xi) party/event equipment. "Leasing/rental agents, small equipment" ~~does~~ shall not include any use otherwise listed specifically in a zoning district as a permitted or conditional use. ~~The display of motor vehicles for lease shall be allowed in all required yards but may not be in conflict with other provisions of this title.~~ All small rental equipment must be stored indoors at all times either in a showroom or storage area in compliance with the other provisions of this title. This use shall follow the off-street parking regulations for motor vehicle sales and vehicle leasing/rental agent establishments to accommodate employee, guest, and related vehicle parking.

LEASING/RENTAL AGENTS, LARGE EQUIPMENT: An establishment, the principal use or purpose of which is the rental of large commercial equipment including, without limitation, the following example items: (i) aerial equipment such as cranes, boom lifts, scissor lifts, and material lifts; (ii) air equipment such as large-scale portable or stationary air compressors; (iii) compaction equipment such as large-scale soil or pavement roller machinery; (iv) earth-moving equipment such as excavators, loaders, skid steers, bulldozers, backhoes, and graders; (v) material handling equipment such as forklifts and telehandlers; (vi) roadwork equipment such as arrow or message board panels and road paving/maintenance machinery; (vii) trenching equipment such as trenchers and trench boxes; (viii) miscellaneous equipment such as utility task vehicles, tractors, trailers in excess of 1,900-pound capacity, commercial generators, and portable welding machines. "Leasing/rental agents, large equipment" does not include any use otherwise specifically listed in a zoning district as a permitted or conditional use. The display of large equipment for lease is only allowed indoors or in the rear yard and must comply with and may not conflict with the other provisions of this title. The parking requirements for this use to accommodate employee, guest, and related vehicle parking are the same as the off-street parking regulations for motor vehicle sales and vehicle leasing/rental agent establishments.

* * *

SECTION 6. SEVERABILITY. If any paragraph, section, clause, or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

SECTION 7. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form according to law.

PASSED this 17th day of June, 2024.

APPROVED this 17th day of June, 2024.

VOTE: Ayes 8 Nays 0 Absent 0



MAYOR

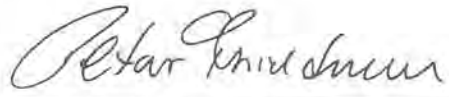
ATTEST:

Laura Jast
CITY CLERK, Deputy

Published in pamphlet form this
18th day of June, 2024.

Laura Jast
CITY CLERK, Deputy

Approved as to form:



Peter M. Friedman, General Counsel

DP-Ordinance Related to Equipment Rental and Leasing



East Side of Property Facing Northwest



Southeast Corner of Property Facing South



Southeast Side of Property Facing Northeast



Southern Side of Property Facing North



Southwest Corner of Property Facing North



Southwest Corner of Property Facing East





Southwest Parking Lot Facing Northeast



125 E. OAKTON

Northwest Corner of Property Facing Southeast



Northwest Corner of Property Facing Southeast





North Parking Lot Facing Southeast

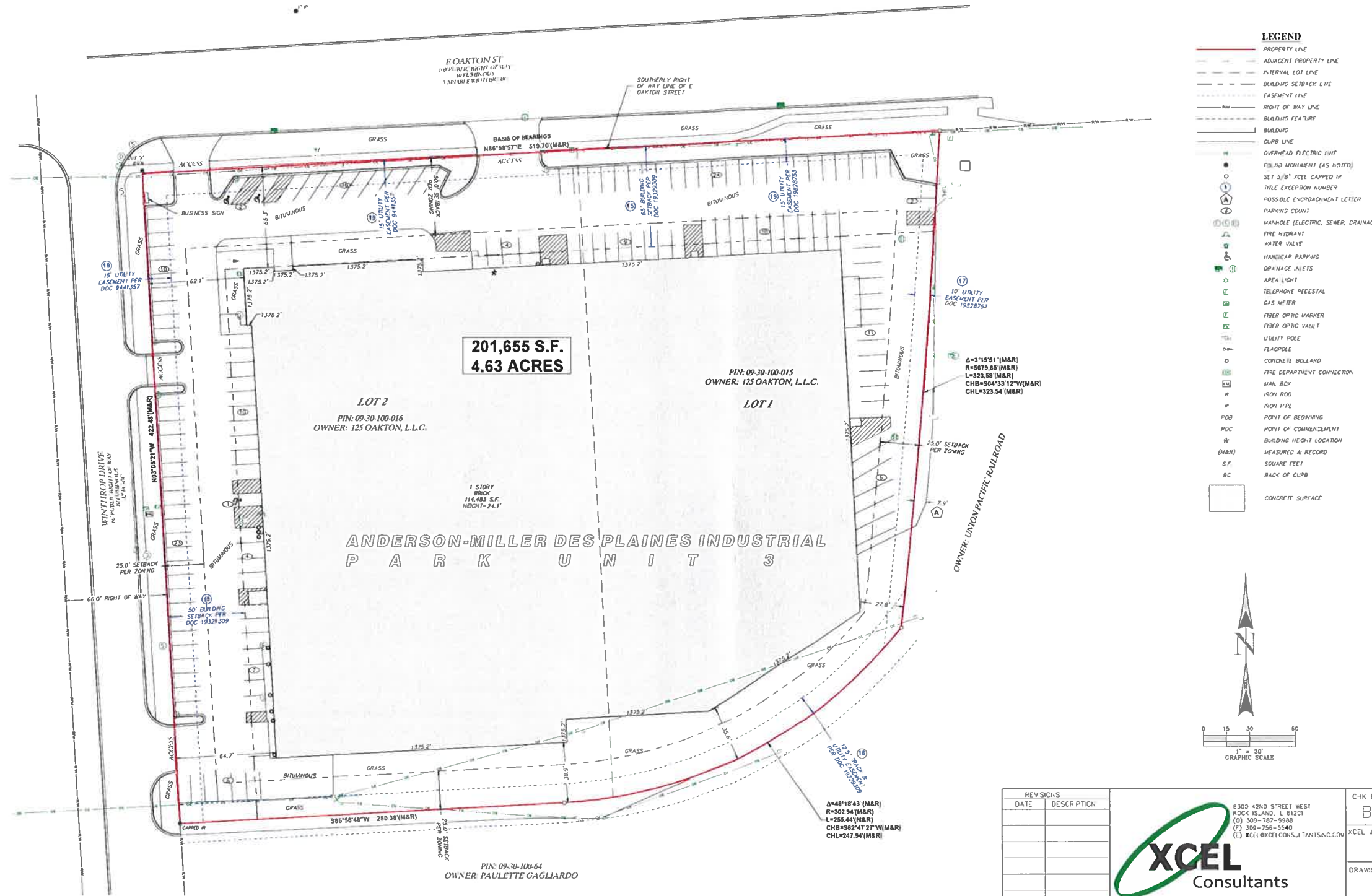


Northeast Corner of Property Facing Southwest

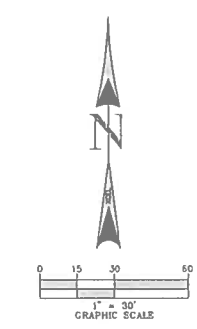


Northeast Corner of Property Facing South

ALTA/NSPS LAND TITLE SURVEY



- LEGEND**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - INTERNAL LOT LINE
 - - - BUILDING SETBACK LINE
 - - - EASEMENT LINE
 - - - RIGHT OF WAY LINE
 - - - BUILDING FEATURE
 - - - BUILDING
 - - - CURB LINE
 - - - OVERHEAD ELECTRIC LINE
 - FOUND MONUMENT (AS NOTED)
 - SET 5/8" XCEL CAPPED IR
 - Ⓜ TITLE EXCEPTION NUMBER
 - Ⓜ POSSIBLE ENCROACHMENT LETTER
 - Ⓜ PARCHE'S COUNT
 - Ⓜ MANHOLE (ELECTRIC, SEWER, DRAINAGE)
 - Ⓜ FIRE HYDRANT
 - Ⓜ WATER VALVE
 - Ⓜ HANDICAP PARKING
 - Ⓜ DRAINAGE INLETS
 - Ⓜ AREA LIGHT
 - Ⓜ TELEPHONE PEDESTAL
 - Ⓜ GAS METER
 - Ⓜ FIBER OPTIC MARKER
 - Ⓜ FIBER OPTIC VAULT
 - Ⓜ UTILITY POLE
 - Ⓜ FLAGPOLE
 - Ⓜ CONCRETE BOLLARD
 - Ⓜ FIRE DEPARTMENT CONNECTION
 - Ⓜ MAIL BOX
 - Ⓜ IRON ROD
 - Ⓜ IRON PIPE
 - Ⓜ POINT OF BEGINNING
 - Ⓜ POINT OF COMMENCEMENT
 - Ⓜ BUILDING HEIGHT LOCATION
 - Ⓜ MEASURED & RECORDED
 - Ⓜ SQUARE FEET
 - Ⓜ BACK OF CURB
 - CONCRETE SURFACE

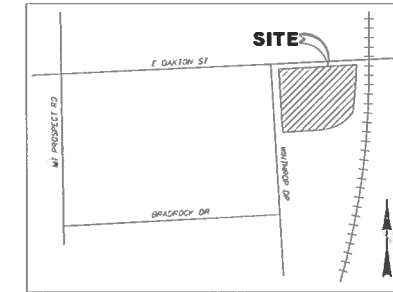


REVISIONS		CHK BY:	APV BY:
DATE	DESCRIPTION	BCH	DJK
		XCEL JOB NUMBER: 234617	
		DRAWING NUMBER: 2 OF 2	



2300 42ND STREET WEST
PO BOX 15, JAND, L 51201
(703) 309-787-9988
(7) 309-756-5540
(E) XCEL@XCELCONS.LTANTSAC.COM

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

TITLE DESCRIPTION

THE LAND IS DESCRIBED AS FOLLOWS:

LOTS 1 AND 2 A ANDERSON-MILLER DES PLAINES INDUSTRIAL PARK UNIT 3, BEING A RESUBDIVISION OF LOTS 2, 3, 4 AND PART OF LOTS 5 AND 6 IN GRIME'S SUBDIVISION OF THAT PART OF THE NORTH-WEST FRACTIONAL 1/4 AND THE WEST 1/2 OF THE WEST 1/2 OF THE NORTH-EAST 1/4 OF SECTION 30, TOWNSHIP 47 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF A LINE 14.70 FEET NORTH OF THE EAST AND WEST CENTER LINES OF THE NORTH 1/2 OF SAID SECTION (EXCEPT THE RIGHT OF WAY OF THE DES PLAINES VALLEY RAILWAY), EXCEPT THAT PART TAKEN FOR OAKTON STREET BY DOCUMENT 0227281, TOGETHER WITH THE EAST 102.00 FEET OF LOT 1 AND THAT PART OF LOT 8, LYING NORTHERLY OF A 19-FOOT SWITCH TRACK EASEMENT IN GEORGE H. GIBBS' SUBDIVISION OF THAT PART OF THE SOUTH 1/2 OF THE NORTH 1/2 AND THE SOUTH 16.70 FEET OF THE NORTH 1/2 OF THE NORTH 1/2 OF SECTION 30, TOWNSHIP 47 NORTH, RANGE 12 LYING WEST OF THE RIGHT OF WAY OF THE DES PLAINES VALLEY RAILWAY AS SHOWN ON PLAT RECORDED SEPTEMBER 10, 1928 AS DOCUMENT 0142173, IN COOK COUNTY, ILLINOIS.

THE PROPERTY SURVEYED IS THE SAME AS DESCRIBED ABOVE AND SHOWN IN THE TITLE COMMENT FROM CHICAGO TITLE INSURANCE COMPANY, COMMENT NO. 22CSAB34241P, WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2022.

ZONING INFORMATION

ZONE: M-2 GENERAL MANUFACTURING DISTRICT

MINIMUM FRONT YARD SETBACK: 50 FEET ADJACENT MANUFACTURING, 100 FT ON A MAJOR THOROUGHFARE; 65 FEET ADJACENT OTHER, OR ON MAJOR THOROUGHFARE (50 FEET REQUIRED)

MINIMUM STREET SIDE/SIDE YARD SETBACK: 25 FEET ADJACENT MANUFACTURING, 50 FEET ADJACENT OTHER (25 FEET REQUIRED)

MINIMUM REAR YARD SETBACK: 25 FEET ADJACENT MANUFACTURING; 50 FEET ADJACENT OTHER (25 FEET REQUIRED)

MINIMUM LOT AREA: NONE SPECIFIED

MAXIMUM BUILDING COVERAGE: 70%

MAXIMUM HEIGHT: 60 FEET

PARKING:

WAREHOUSING & WHOLESALE: 1 SPACE FOR EACH 1,500 SQUARE FEET OF GFA
[76 SPACES (14,463 SQUARE FEET / 1,500 SQUARE FEET)]
REQUIRED SPACES: 76 SPACES

INFORMATION PROVIDED BY:
PARTNER ENGINEERING AND SCIENCE, INC.
2134 TORRANCE BLVD.
TORRANCE, CA 90501

REPORT # 22-373537.3
DATED: JUNE 22, 2022, LAST UPDATED MAY 11, 2023

ENCROACHMENTS

- (A) BUILDING'S PAVEMENT EXTENDS UP TO 2.9' EAST OF THE EASTERLY PROPERTY LINE

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 1703100216, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 19, 2008, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYS WERE PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DEEMED TO BE AT RISK OF A 1% ANNUAL CHANCE FLOODPLAIN.

TITLE INFORMATION-SCHEDULE 'B' ITEMS

- (16) A 65 FOOT BUILDING LINE ON THE NORTH PART OF THE LAND AND A 50.00 FOOT BUILDING LINE OVER THE WEST LINE OF THE LAND AS SHOWN ON THE PLAN OF RESUBDIVISION, RECORDED DECEMBER 9, 1984 AS DOCUMENT 19329309. EASEMENT LIES ON SUBJECT PROPERTY - AS SHOWN HEREON.
- (16) A 12.5 FOOT EASEMENT OVER THE SOUTHERLY LINE FOR SWITCH AND SPUR TRACKS AND UTILITIES AS SHOWN ON PLAN OF RESUBDIVISION, RECORDED DECEMBER 9, 1984 AS DOCUMENT 19329309. EASEMENT LIES ON SUBJECT PROPERTY - AS SHOWN HEREON.
- (17) A 10 FOOT UTILITY EASEMENT OVER THE EAST LINE AS SHOWN ON PLAN OF RESUBDIVISION, RECORDED DECEMBER 9, 1984 AS DOCUMENT 19329309. EASEMENT LIES ON SUBJECT PROPERTY - AS SHOWN HEREON.
- (18) COVENANTS, CONDITIONS, RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANTS OR RESTRICTIONS IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN DEED FROM EVANSION TRUST AND SAVINGS BANK TRUST NUMBER 592 TO STUBBART, INC., DATED MARCH 31, 1966 AND RECORDED ON MAY 17, 1966 AS DOCUMENT NO. 19828753, RE USE, CHARACTER AND LOCATION OF BUILDINGS TO BE ERECTED ON THE LAND. NOTE SAID INSTRUMENT CONTAINS NO PROVISIONS FOR A FORTFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION ELIGIBLE - AS SHOWN HEREON.
- (19) EASEMENTS UPON, UNDER, OVER AND ACROSS THE NORTH 15.00 FEET (WITHIN 65 FOOT BUILDING LINE) WEST 15.00 FEET (WITHIN 65 FOOT BUILDING LINE), AND THE SOUTH 12'-11/2 FEET AND THE EAST 10 FEET AS CREATED BY RESERVATION IN THE TRUSTEE'S DEED RECORDED APRIL 21, 1985 AS DOCUMENTS 19441357 AND 19828753. EASEMENTS LIE ON SUBJECT PROPERTY - AS SHOWN HEREON.
- (20) COVENANTS, CONDITIONS, RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CREATED BY TRUSTEE'S DEED RECORDED ON APRIL 21, 1985 AS DOCUMENT NO. 19441357, RE CONSTRUCTION, MATERIALS WHICH MAY BE USED ON THE LAND, STORAGE, SIGN, LANDSCAPING, PERMIT PLANS, SET-BACK REQUIREMENTS AND ZONING USE, VARIATIONS, ETC. NOTE SAID INSTRUMENT CONTAINS NO PROVISIONS FOR A FORTFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION ELIGIBLE - AS SHOWN HEREON.

SURVEYOR'S NOTES

- THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO EAST OAKTON STREET AND WENTWORTH DRIVE, BOTH DEDICATED PUBLIC RIGHTS-OF-WAY.
- THE PHYSICAL SITE ADDRESS WAS OBSERVED ON SITE AS 125 E OAKTON STREET IN DES PLAINES, ILLINOIS.
- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES. THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF ILLINOIS.
- THE PREMISES IS MADE UP OF TWO TAX PARCEL NUMBERS THAT COVER THE PREMISES IN ITS ENTIRETY AND DOES NOT INCLUDE ANY OTHER LAND.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON THE SUBJECT PROPERTY AT THE TIME OF SURVEY.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVICES, AND ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.

SITE INFORMATION

125 E OAKTON STREET
DES PLAINES, IL 60018

LAND AREA

20,655 SQ. FT.
4.63 ACRES

BASIS OF BEARINGS

SOUTH LINE OF E OAKTON STREET -
ASSUMED BEARING N86°58'57"E

BUILDING AREA

114,463 SF

BUILDING HEIGHT

24 FT

PARKING SPACES

136 REGULAR STALLS
3 HANDICAP STALLS
139 TOTAL STALLS

SURVEYOR CERTIFICATION

TO: 125 OAKTON LLC, PEPPER REAL ESTATE HOLDINGS, LLC, CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WAS MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6A, 6B, 7A, 7B, 7C, 8, 9, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JUNE 3, 2022.

DATE OF PLAT OR MAP: OCTOBER 12, 2022

James A. Faetani APR 21, 2023
JAMES A. FAETANI
REGISTRATION NUMBER: 015-063494
STATE OF REGISTRATION: ILLINOIS
EXPIRATION: NOVEMBER 30, 2022



PHYSICIAN		8300 42ND STREET WEST ROCK ISLAND, IL 61201 (312) 309-787-9388 (312) 309-756-5540 (312) XCEL@CFCI.COM XALTASINC.COM	CHK BY:	APV BY:
DATE	DESCRIPTION			BCH
		XCEL JOB NUMBER: 234617		
			DRAWING NUMBER: 1 OF 2	

MEMORANDUM

To: The City of Des Plaines
FROM: JAKE PANTER, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
Date: June 26th, 2024
Subject: 365 Equipment and Supply – Standards for Conditional Uses Responses

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved.

On Monday, June 17th, 2024, the City of Des Plaines City Council approved a text amendment allowing for the conditional use of renting equipment in the M-2 district. 125 E. Oakton St. falls in the M-2 district per the City of Des Plaines zoning map.

2. The proposed conditional use is in accordance with the objectives of the city’s comprehensive plan and this title.

The proposed conditional use of equipment rental at 125 E. Oakton aligns with the comprehensive plan the City proposed in 2019. Page 28 of the comprehensive plan discusses the goal of pursuing redevelopment in the Oakton Street corridor. Obtaining a conditional use permit to lease rental equipment will allow 365 Equipment and Supply to contribute to the redevelopment of the Oakton Street corridor described in the comprehensive plan.

3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity.

The site improvements that will be made to 125 E. Oakton Street building have been previously approved by the City. 365 Equipment and Supply will maintain the equipment properly by using their wash station inside the facility. 365 Equipment and Supply has 20 employees to properly operate the business during their 7 am – 4 pm operating hours.

4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses.

The proposed conditional use at 125 E. Oakton St. will be of no disruption to any current or future neighboring businesses in this area. There will be no noticeable changes to the noise generated by 365 Equipment and Supply by operating under this conditional use.

5. The proposed conditional use is served to be adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services.

The building at 125 E. Oakton St. is currently serviced by the necessary public facilities listed, since this building is currently occupied by other businesses.

6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community.

The proposed conditional use for the 125 E. Oakton St. location will not require excess spending at the public's expense, nor will it negatively impact the economic welfare of Des Plaines. Administering a conditional use permit to 365 Equipment and Supply will be an asset to the economic welfare of the community as it satisfies the City's interest of creating more businesses on the Oakton corridor.

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare of odors.

The conditional use for rental equipment will not involve any activities that will be harmful to the site or the areas around the site.

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares.

There is sufficient parking on site to accommodate 365 Equipment and Supply operating with the conditional use permit. Traffic will not be affected as the building is currently occupied by other businesses as well.

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.

No historic or scenic features will be disrupted or damaged in any way by operating under the conditional use for rental equipment.

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested.

The proposed conditional use complies with all additional regulations in this title, which is further reinforced by the unanimous approval granted by the City Council on Monday, June 17th, 2024.

Kimley»»Horn

June 26th, 2024

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

Re: 365 Equipment & Supply – 125 E. Oakton St.

Dear Jeff Rogers,

365 Equipment and Supply is applying for a Conditional Use Permit for equipment rental at 125 E. Oakton St.

The rental offering at the 125 E. Oakton St. location consists of hand tools, safety products, ladders, bakers, UTV's, Survey, Skid steers and standard height scissor lifts. No heavy equipment will be rented or sold at the 125 E. Oakton St. location. The rental offerings are utilized primarily by general contractors and subcontractors throughout the Midwest.

Small tools up for rental can be picked up by customers via the entrance door. All other rentals will be accessed via the loading dock on the west side of the building and the rolling up garage door. All the equipment available for rental will be stored inside of the facility, with the scissor lift being the tallest item at 84" (it is only this high when fully extended upward). Returns of the rental equipment will take place during operation hours. The lithium-ion batteries in the facility will be stored in their original packaging from the manufacturer. The amount of lithium-ion batteries inside the facility is estimated to be 240. The tools, including the batteries, are locked up in a secured area within the warehouse. Loading and unloading will take place at the loading dock on the west side of the building or in the facility via garage doors. There is a wash station inside the facility to clean / maintain the equipment.

365 Equipment and Supply will be open from 7 am – 4 pm Monday - Friday. There will be 20 employees working out of the 125 E. Oakton St. location.

Should the City of Des Plaines have any further questions on 365 Equipment and Supply or their operations, please reach out to Cole Breese at CBreese@365EquipmentAndSupply.com.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

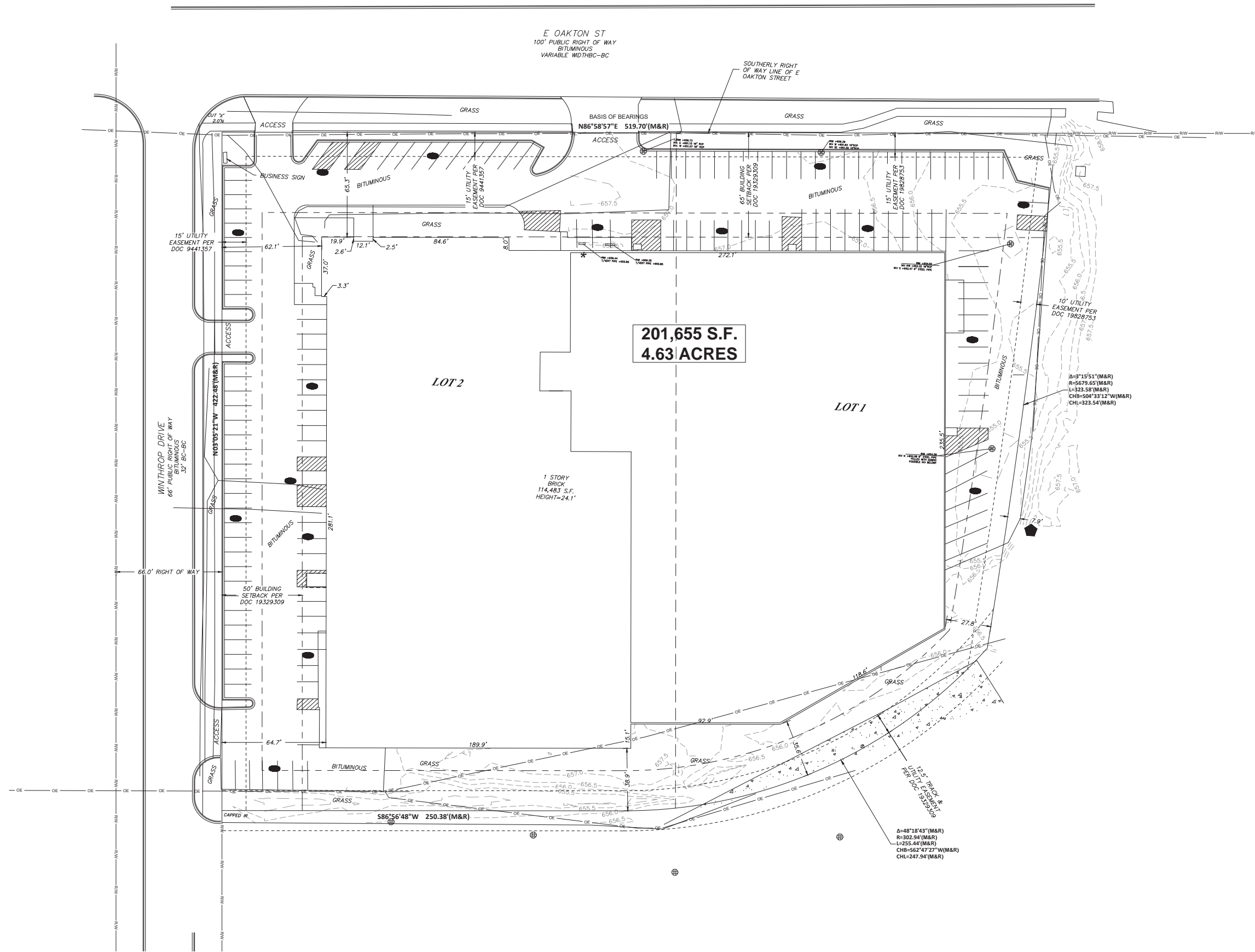


Jake Panter, P.E.

08/06/2024

Date

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PHONE: 312-726-9445
WWW.KIMLEY-HORN.COM

SURVEY
BY
OTHERS

EXISTING CONDITIONS

PEPPER CONSTRUCTION
DES PLAINES, IL

SHEET NUMBER

C1-00

NO.	REVISIONS	DATE	BY
4	CONDITIONAL USE PERMIT COMMENTS	06/06/24	AG
3	CITY COMMENTS	07/09/24	AG
2	SITE PLAN GENERAL NOTES UPDATE	04/23/24	AG
1	CITY COMMENTS	11/21/23	AG

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SCALED FOR 'D' SIZE
(24"x36") PLANS ONLY
ANY OTHER PLAN SIZE
MAY NOT BE TO SCALE

GRAPHIC SCALE IN FEET
0 15 30 60

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- - - - - APPROXIMATE LIMIT OF DEMOLITION
- SF --- SILT FENCE
- ▨ INLET PROTECTION
- █ CLEAR AND GRUB EXISTING VEGETATION, AND DEMOLISH EXISTING STRUCTURES, CURB, SIDEWALK, PAVEMENT, AND BASE COURSES IN VICINITY UNLESS IDENTIFIED WITH A PROTECTION KEYNOTE.
- █ CLEAR EXISTING LANDSCAPE AREA IN PREPARATION FOR SOD PLACEMENT

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WHEELSTOPS WITHIN LIMITS OF DEMOLITION
- 2 REMOVE EXISTING CONCRETE PAD
- 3 REMOVE EXISTING TRENCH DRAIN
- 4 REMOVE EXISTING TREE
- 5 REMOVE EXISTING SIDEWALK
- 6 REMOVE EXISTING STOOP AND ANY EXISTING STAIRS

PROTECTION KEYNOTES

- 1 PROTECT-IN-PLACE EXISTING CONCRETE PAD.
- 2 PROTECT-IN-PLACE EXISTING CONCRETE STAIRS.
- 3 PROTECT-IN-PLACE EXISTING CONCRETE STOOP.
- 4 PROTECT-IN-PLACE EXISTING BOLLARD
- 5 PROTECT-IN-PLACE EXISTING LANDSCAPING.
- 6 PROTECT-IN-PLACE EXISTING 'WRONG WAY' SIGN.
- 7 PROTECT-IN-PLACE EXISTING INLET.
- 8 PROTECT-IN-PLACE EXISTING CONCRETE PAVEMENT.
- 9 PROTECT-IN-PLACE EXISTING VERTICAL CURB.
- 10 PROTECT-IN-PLACE EXISTING SIDEWALK.
- 11 PROTECT-IN-PLACE EXISTING DUMPSTERS.
- 12 PROTECT-IN-PLACE EXISTING OVERHEAD ELECTRIC UTILITY.

DEMOLITION GENERAL NOTES

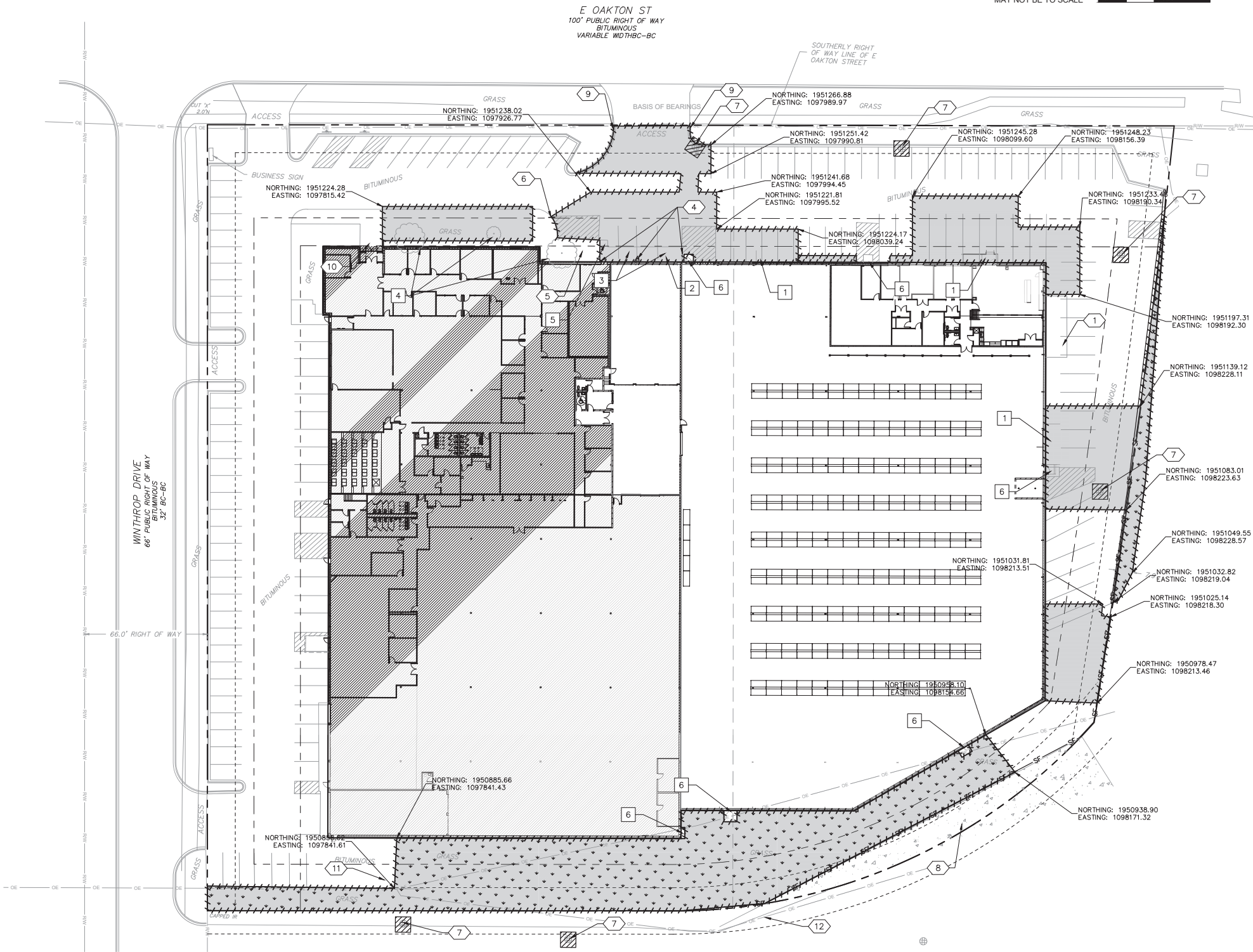
1. FOR ALL ITEMS NOTED TO BE REMOVED, ALL FOUNDATIONS/FOOTINGS BELOW GRADE SHOULD ALSO BE REMOVED.
2. PAVEMENT REMOVAL LIMITS SHALL BE FIELD-MARKED (I.E. PAINTED) FOR OWNER REVIEW PRIOR TO COMMENCING REMOVAL OPERATIONS. REMOVAL LIMITS MAY BE MODIFIED AND EXTENDED TO NEAREST JOINTS AS DIRECTED BY THE OWNER.

SITE PREPARATION

PRIOR TO PROCEEDING WITH REPAVING OPERATIONS, ALL PAVEMENTS, VEGETATION, ROOT SYSTEMS, TOPSOIL, AND OTHER DELETERIOUS NON-SOIL MATERIALS SHOULD BE STRIPPED FROM PROPOSED CONSTRUCTION AREAS. TOPSOIL MAY BE STOCKPILED AND SUBSEQUENTLY RE-USED IN LANDSCAPED AREAS. DEBRIS-LADEN MATERIALS, IF PRESENT, SHOULD BE EXCAVATED, TRANSPORTED, AND DEPOSITED OF OFF-SITE IN ACCORDANCE WITH APPROPRIATE SOLID WASTE RULES AND REGULATIONS. ALL EXISTING UTILITY LOCATIONS SHOULD BE REVIEWED TO ASSESS THEIR IMPACT ON THE PROPOSED CONSTRUCTION AND RELOCATED/ROUTED IN-PLACE AS APPROPRIATE.

AFTER CLEARING AND STRIPPING, AREAS THAT ARE AT GRADE OR WHICH WILL RECEIVE FILL SHOULD BE CAREFULLY EVALUATED BY A NOVA GEOTECHNICAL ENGINEER. THIS EVALUATION SHOULD INITIALLY INCLUDE OBSERVATION OF THE MATERIALS EXPOSED BELOW THE STRIPPED SUBGRADE. THE EXPOSED MATERIALS SHOULD BE PROOFROLLED WITH MULTIPLE PASSES OF A 20 TO 30 TON LOADED TRUCK, OR OTHER VEHICLE OF SIMILAR SIZE AND WEIGHT UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER. THE PURPOSE OF THE PROOFROLLING IS TO LOCATE SOFT, WEAK, OR EXCESSIVELY WET FILL OR RESIDUAL SOILS PRESENT AT THE TIME OF CONSTRUCTION. USABLE MATERIALS OBSERVED DURING THE EVALUATION AND PROOFROLLING OPERATIONS SHOULD BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR STABILIZED IN-PLACE BY SCARIFYING AND RE-DENSIFYING.

SHOULD LOW CONSISTENCY AND/OR DEBRIS LADEN FILL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, IT MAY NEED TO BE EXCAVATED AND REPLACED OR STABILIZED IN PLACE. ACTUAL REMEDIAL RECOMMENDATIONS CAN BE BEST DETERMINED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT THE TIME OF CONSTRUCTION.



NO.	REVISIONS	DATE	BY
4	CONDITIONAL USE PERMIT COMMENTS	06/06/24	AG
3	CITY COMMENTS	07/09/24	AG
2	SITE PLAN GENERAL NOTES UPDATE	04/23/24	AG
1	CITY COMMENTS	11/21/23	AG

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
268528000	10/11/2023	AS SHOWN	AG	AG	JHP

DEMOLITION PLAN

**PEPPER CONSTRUCTION
DES PLAINES, IL**

SHEET NUMBER

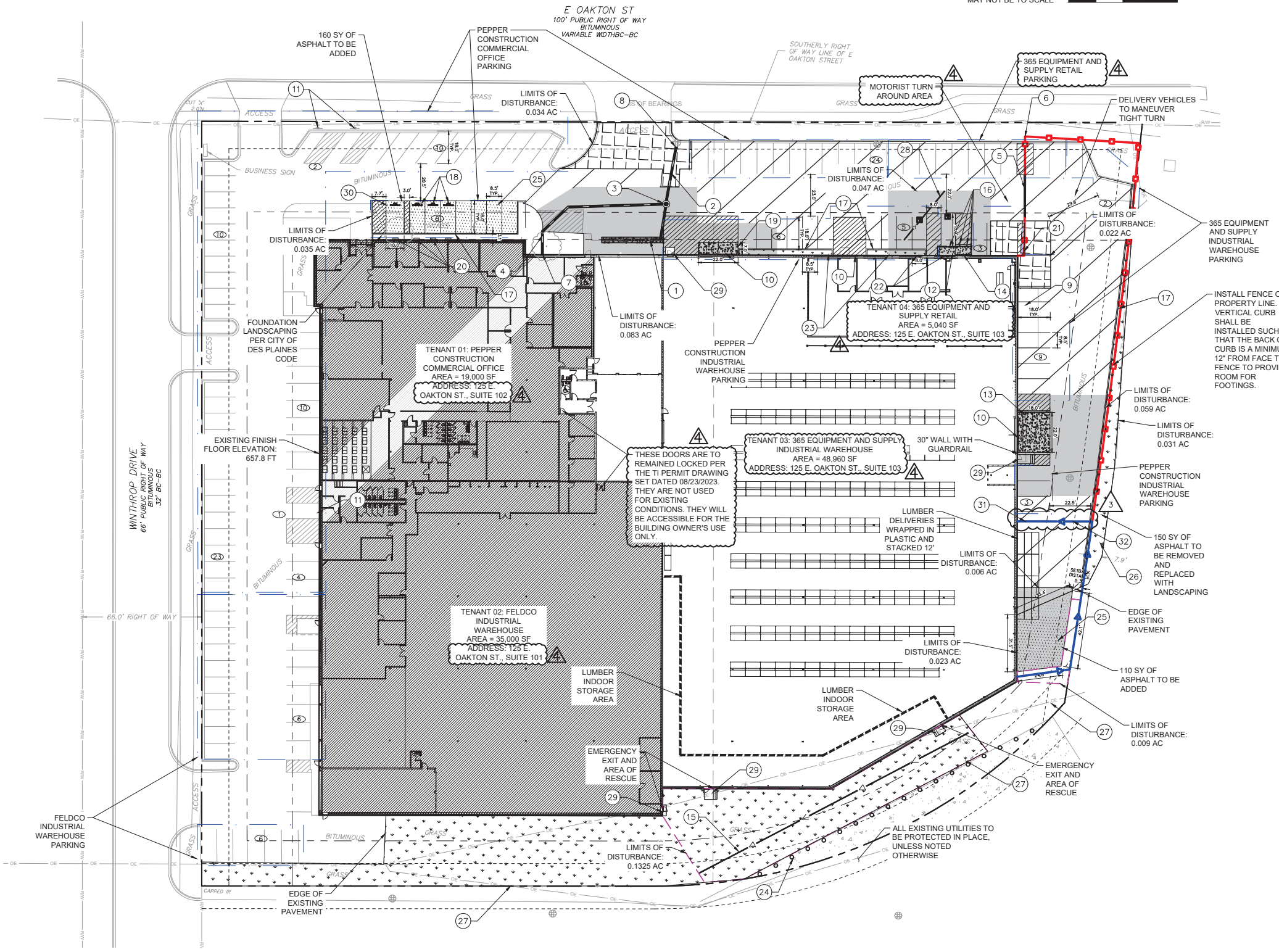
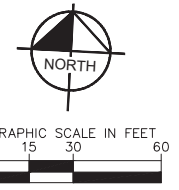
THIS PLAN SET IS BASED ON TOPOGRAPHICAL SURVEY RECEIVED FROM PEPPER CONSTRUCTION COMPANY.

SURVEY RECEIVED ON: NOVEMBER 21, 2023

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING INFORMATION SHOWN ON THESE PLANS IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING SITE CONDITIONS BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR MUST ALSO CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.



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LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- SETBACK LINE
- PROPOSED STORM LINE CONNECTION
- EASEMENT LINE
- PARKING DISTRIBUTION
- PROPOSED STRIPING IMPROVEMENTS
- LANDSCAPING REGRADING LIMITS
- PROPOSED 8' CHAIN LINK FENCE
- PROPOSED 12' HIGH TREATED WOOD FENCE
- MILL AND OVERLAY WITH ISOLATED FULL DEPTH REPAIRS
- 4.0" FULL DEPTH REMOVE AND REPLACE
- REMOVE, REGRADE AND REPLACE PAVEMENT
- INSTALL NEW 4" ASPHALT PAVEMENT ON 8" AGGREGATE BASE
- PROPOSED GRAVEL PATHWAY
- PROPOSED CONCRETE PAVEMENT/RAMP
- PROPOSED LANDSCAPING
- PARKING COUNT

- ### SITE PLAN KEYNOTES
- 1 PROPOSED 12" POWERDRAIN S300K TRENCH DRAIN (OR APPROVED EQUAL).
 - 2 PROPOSED 12" PVC STORM SEWER
 - 3 PROPOSED MANHOLE
 - 4 PROPOSED 12" EXTENSION OF ROOF DRAIN
 - 5 PROPOSED 24" GATE
 - 6 270 LF OF PROPOSED YARD 8' CHAIN LINK FENCE. REFER TO DETAIL MI-FC ON SHEET C2-00.
 - 7 EXISTING ROOF DRAIN
 - 8 CONNECT INTO EXISTING INLET
 - 9 EXISTING CONCRETE PAD
 - 10 PROPOSED 18" GARAGE DOOR
 - 11 PROTECT IN PLACE EXISTING ADA SIGNAGE
 - 12 PROPOSED STAIRS AND ADA RAMP, SEE GRADING PLAN
 - 13 PROPOSED RAMP, 22' WIDE, 18' LONG, 24" HIGH. REFER TO STRUCTURAL SHEET S1-00 FOR DETAILS
 - 14 PROPOSED 8' ENTRANCE DOOR
 - 15 PROPOSED LANDSCAPING SWALE
 - 16 PROPOSED HANDRAILS. REFER TO DETAIL MI-HRS ON SHEET C2-00.
 - 17 PROPOSED VERTICAL CURB. REFER TO DETAIL CP-VC ON SHEET C2-00.
 - 18 PROPOSED ELECTRIC-VEHICLE CHARGING STALL. REFER TO DETAIL MI-EV ON SHEET C2-02.
 - 19 PROPOSED RAMP, 22' WIDE, 7' LONG, 7" HIGH
 - 20 PROPOSED JUICEBOX-40 ELECTRIC-VEHICLE CHARGING EQUIPMENT
 - 21 PROPOSED 3' WIDE PEDESTRIAN GATE
 - 22 INSTALL ADA SIGNAGE
 - 23 INSTALL FOUNDATION LANDSCAPING. SEE SECTION A-A ON C1-01 FOR MORE INFORMATION
 - 24 PROPOSED 1' WIDE BOLLARDS AT 10' SPACING
 - 25 INSTALL NEW 4" ASPHALT PAVEMENT ON 8" AGGREGATE BASE
 - 26 EXISTING PAVEMENT TO BE REPLACED WITH LANDSCAPING
 - 27 PROPOSED SOD
 - 28 PROPOSED ASPHALT SWALE
 - 29 REMOVE AND REPLACE EXISTING STOOP AND STAIRS
 - 30 PROPOSED ADA ACCESSIBLE ELECTRIC-VEHICLE CHARGING STALL
 - 31 150 LF OF 12' HIGH TREATED WOOD FENCE
 - 32 12' HIGH WOODEN GATE WITH 18' MINIMUM OPENING

PARKING ANALYSIS					
USE	EXISTING STALLS	REQUIRED STANDARD STALLS	REQUIRED ADA STALLS	PROPOSED STANDARD/EV STALLS	PROPOSED ADA STALLS
PEPPER - COMMERCIAL OFFICE		77		77	
FELDCO - INDUSTRIAL WAREHOUSE		24		21	
365 EQUIPMENT AND SUPPLY - INDUSTRIAL WAREHOUSE		33		27	
365 EQUIPMENT AND SUPPLY - RETAIL		21		10	
TOTAL	135	138	5	133	5

GENERAL NOTES

1. ALL PROPOSED SIGNS WILL BE REQUESTED UNDER A SEPARATE SIGN PERMIT.
2. EXISTING TREES REPRESENTED IN SITE PLAN WERE APPROXIMATED USING AERIAL IMAGERY.
3. ALL PARKWAYS DAMAGED DURING CONSTRUCTION TO BE SODDED.
4. CONTRACTOR TO USE APPROPRIATE PAINT COLORS TO MATCH THE EXISTING FEATURES. ADA BARRIER FREE AREAS TO COMPLY WITH ALL LOCAL AND FEDERAL ADA STANDARDS. PAVEMENT MARKINGS SHALL BE A HIGH QUALITY PAINT RECOMMENDED BY THE PAINT MANUFACTURER. PAINT COLORS SHALL CLOSELY MATCH THE FEDERAL STANDARD 5958 COLOR NUMBER AS FOLLOWS: BLUE-COLOR 15180, WHITE-COLOR 37925 AND YELLOW-COLOR 33538.

LANDSCAPING SUMMARY

FOUNDATION LANDSCAPING REQUIREMENT: 35% OF BUILDING FRONTAGE

BUILDING FRONTAGE: 707 LF
 FOUNDATION LANDSCAPING REQUIREMENT: 248 LF
 PROPOSED FOUNDATION LANDSCAPING: 256 LF

PRE-PROJECT LANDSCAPING AREA: 24,230 SF
 PERCENT OF SITE AREA: 12.0%

POST-PROJECT LANDSCAPING AREA: 22,237 SF
 PERCENT OF SITE AREA: 11.0%

TOTAL AREA OF DISTURBANCE: 0.482 AC

ZONING

CITY OF DES PLAINES ZONING:
 GENERAL MANUFACTURING (M-2)
 TOTAL SITE AREA: 201,655 SF
 TOTAL BUILDING AREA: 114,483 SF

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 WWW.KIMLEY-HORN.COM

DATE: 06/06/24 AG
 PERMIT COMMENTS: 07/09/24 AG
 CITY COMMENTS: 04/23/24 AG
 SITE PLAN GENERAL NOTES UPDATE: 11/21/23 AG
 CITY COMMENTS: 11/21/23 AG

KHA PROJECT: 268528000
 DATE: 10/11/2023
 SCALE: AS SHOWN
 DESIGNED BY: AG
 DRAWN BY: AG
 CHECKED BY: JHP

SITE PLAN

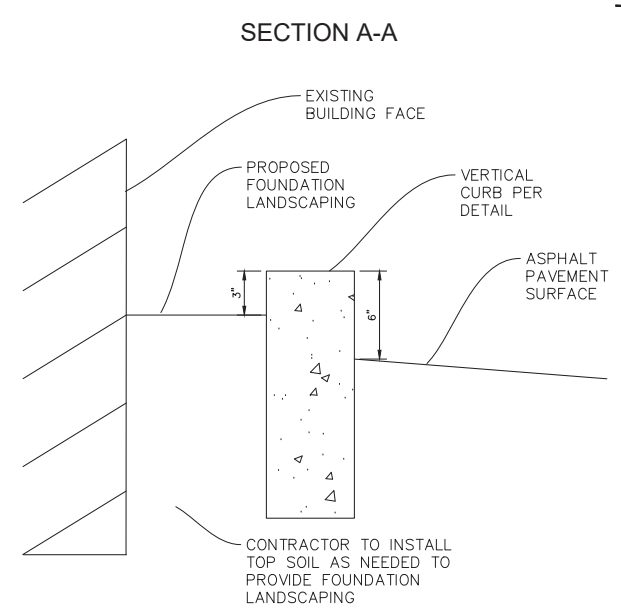
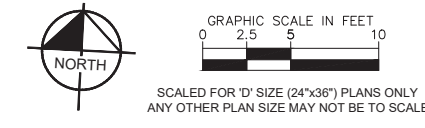
PEPPER CONSTRUCTION
 DES PLAINES, IL

SHEET NUMBER

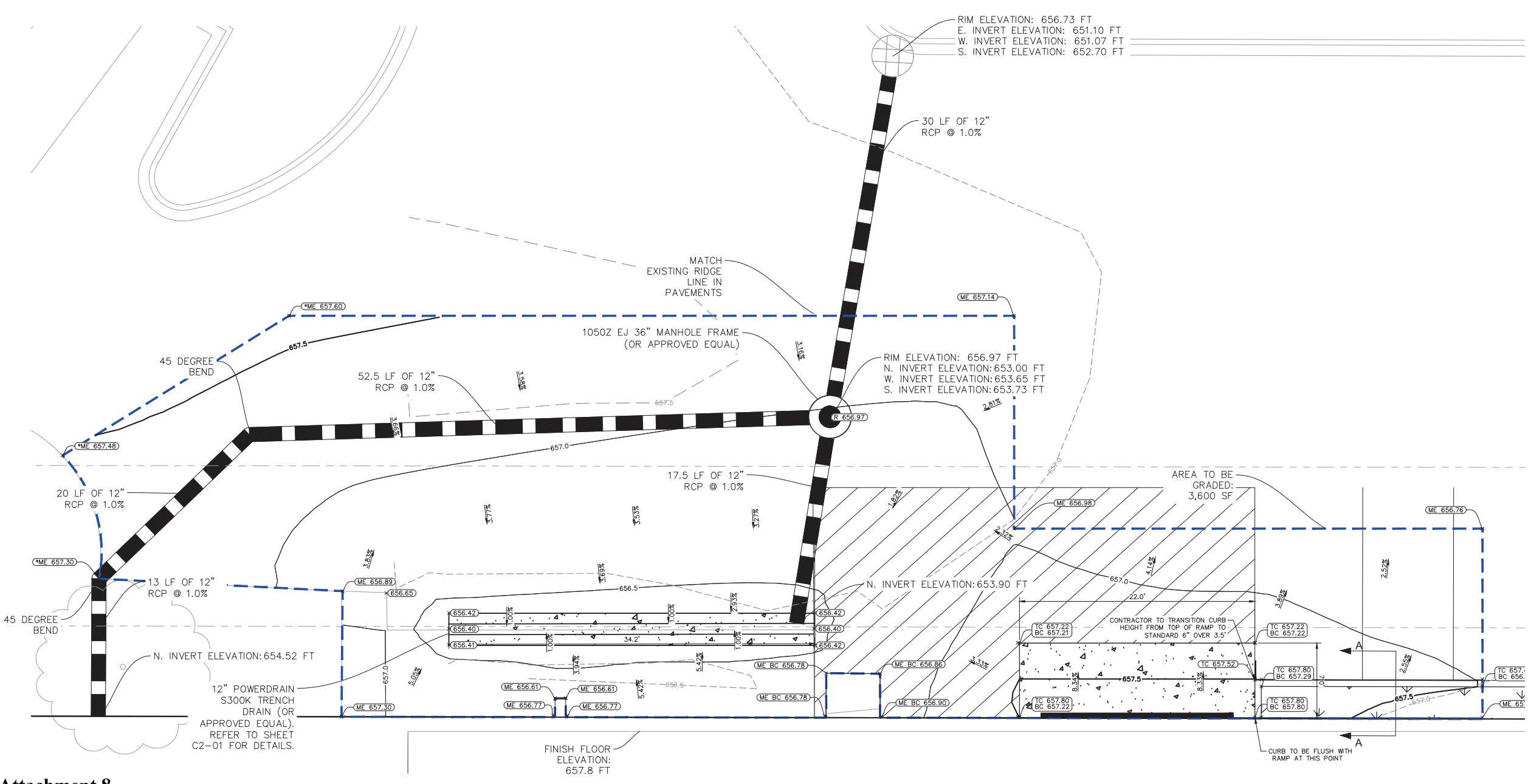
C1-02

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LEGEND	
	LIMITS OF PAVEMENT REGRADING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	ASSUMED MATCH EXISTING SPOT ELEVATION
	PROPOSED TOP-OF-WALL AND BOTTOM-OF-WALL ELEVATIONS
	PROPOSED TOP-OF-CONCRETE AND BOTTOM-OF-CONCRETE ELEVATIONS
	SLOPE ARROW
	PROPOSED STRIPING



DRAINAGE REMEDIATION AREA - NORTH SIDE OF BUILDING



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1	CITY COMMENTS	11/21/23	AG

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SCALE	AS SHOWN
DESIGNED BY	AG
DRAWN BY	AG
CHECKED BY	JHP

GRADING PLAN

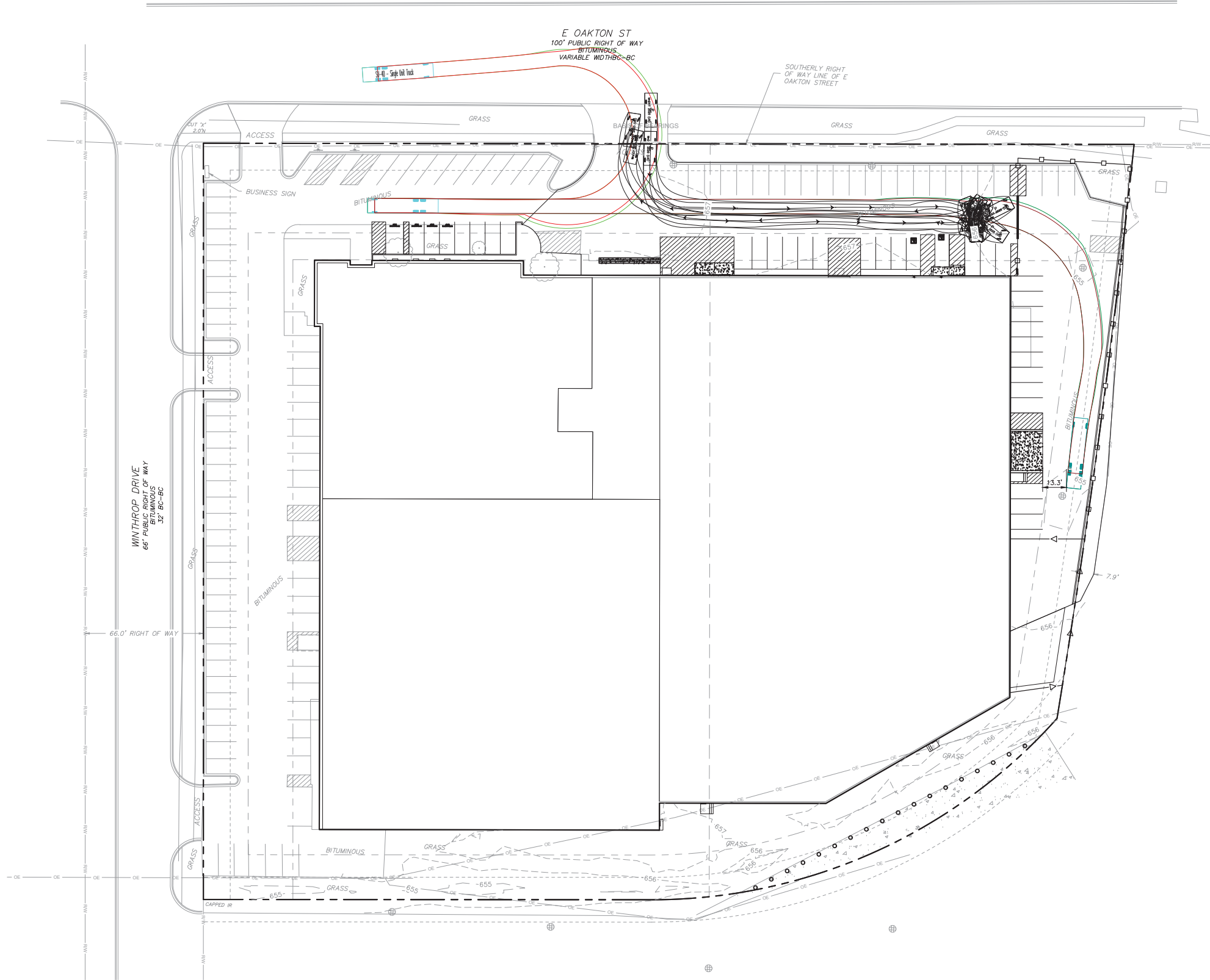
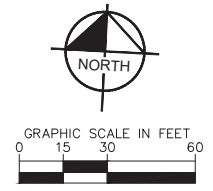
PEPPER CONSTRUCTION
 DES PLAINES, IL

SHEET NUMBER
C1-03

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TRUCK TURN EXHIBIT: SU-40 TRUCK NAVIGATING TO SOUTHEAST CORNER OF PROPERTY

SCALED FOR 'D' SIZE
(24"x36") PLANS ONLY
ANY OTHER PLAN SIZE
MAY NOT BE TO SCALE



NO.	REVISIONS	DATE	BY
4	CONDITIONAL USE PERMIT COMMENTS	06/06/24	AG
3	CITY COMMENTS	07/09/24	AG
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1	CITY COMMENTS	11/21/23	AG

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KHA PROJECT	268528000
DATE	10/11/2023
SCALE	AS SHOWN
DESIGNED BY	AG
DRAWN BY	AG
CHECKED BY	JHP

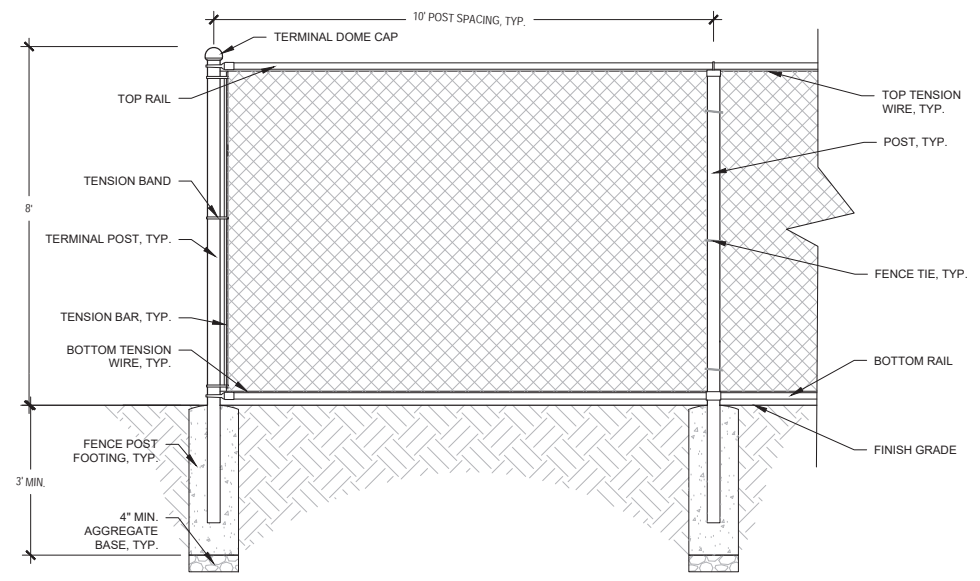
TRUCK TURN
EXHIBIT

PEPPER CONSTRUCTION
DES PLAINES, IL

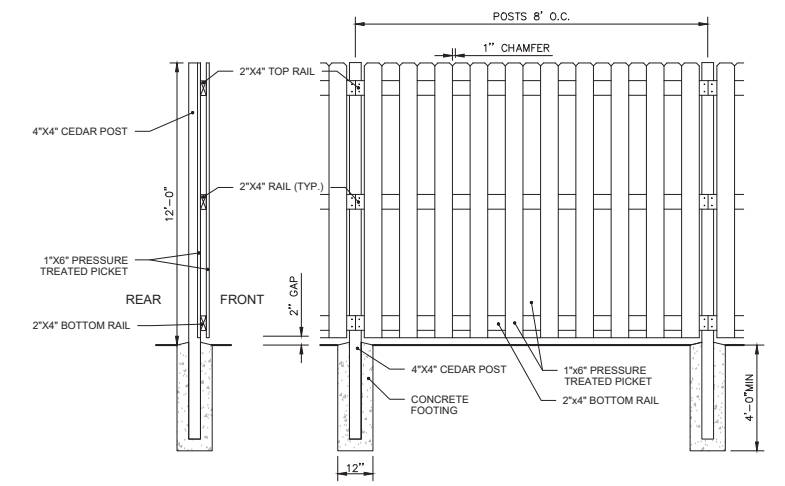
SHEET NUMBER
C1-06

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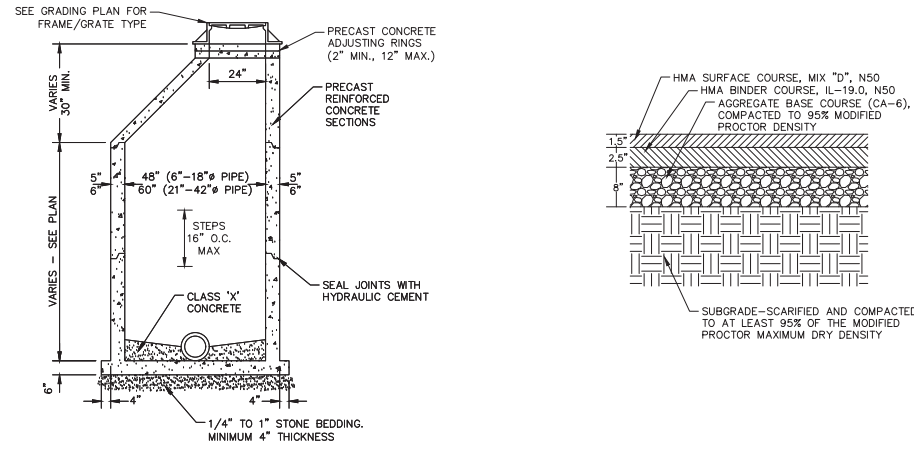
- NOTES:
 1. CHAINLINK SHALL BE 9 GAUGE, BLACK VINYL COATED STEEL.
 2. ALL POSTS, RAILS, AND FITTINGS SHALL BE GALVANIZED OR STAINLESS STEEL.
 3. REFER TO MANUFACTURERS SPECIFICATIONS FOR DETAILS.



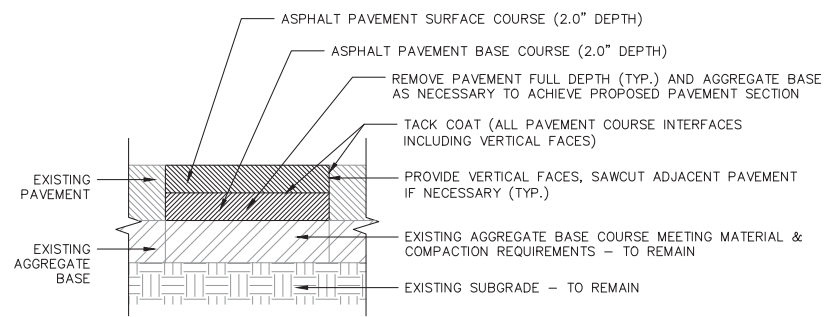
DETAIL
 8' CHAIN LINK FENCE MI-FC



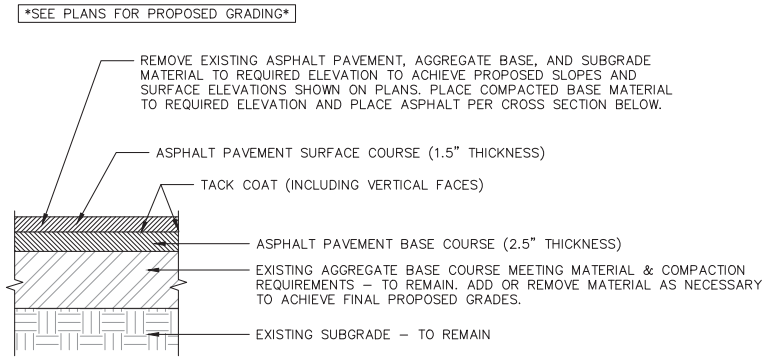
1 12' BOARD-ON-BOARD PRESSURE TREATED SCREEN FENCE N.T.S.



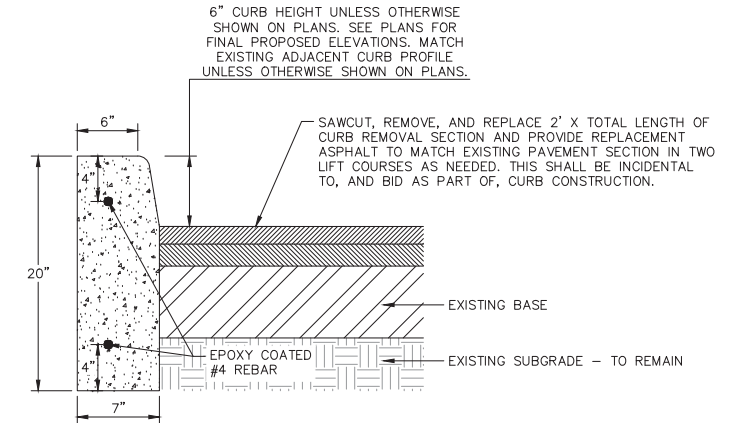
DETAIL
 STORM MANHOLE TYPE A MI-MH
 Attachment 8



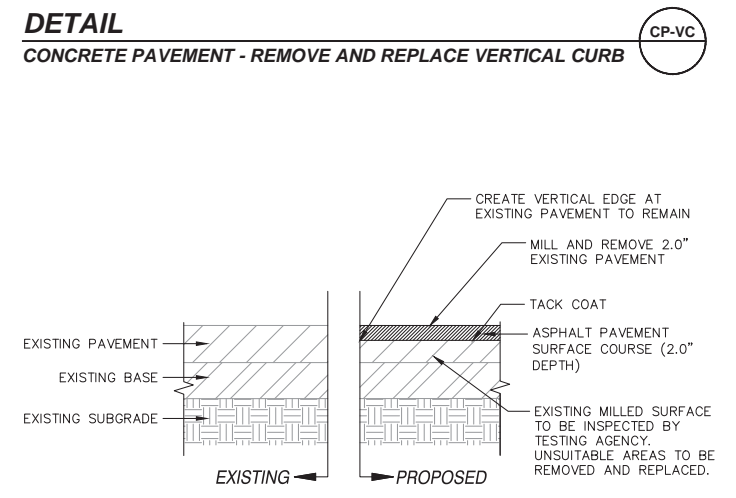
DETAIL
 ASPHALT PAVEMENT - 4.0\"/>



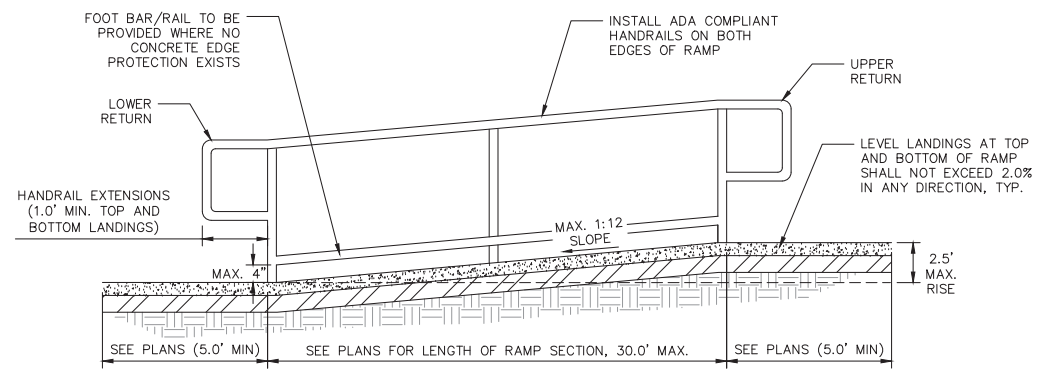
DETAIL
 ASPHALT PAVEMENT - REMOVE, REGRADE, AND REPLACE AP-RRR



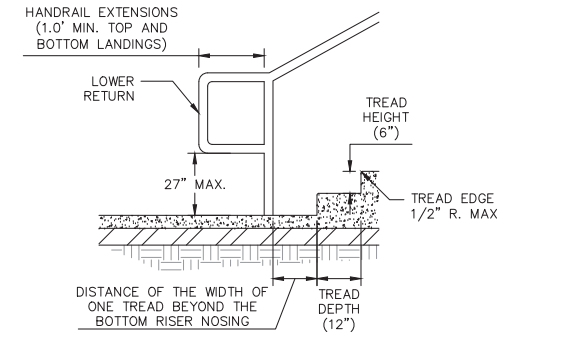
DETAIL
 CONCRETE PAVEMENT - REMOVE AND REPLACE VERTICAL CURB CP-VC



DETAIL
 ASPHALT PAVEMENT - 2.0\"/>



DETAIL
 MISCELLANEOUS IMPROVEMENTS - ADA COMPLIANT HANDRAILS MI-HR



DETAIL
 MISCELLANEOUS IMPROVEMENTS - ADA COMPLIANT HANDRAILS (FOR STAIRS) MI-HRS

DETAIL
 STANDARD DUTY ASPHALT PAVEMENT SECTION AP-1
 10/19/20 4.5

NO.	REVISIONS	DATE
4	CONDITIONAL USE PERMIT COMMENTS	06/06/24 AG
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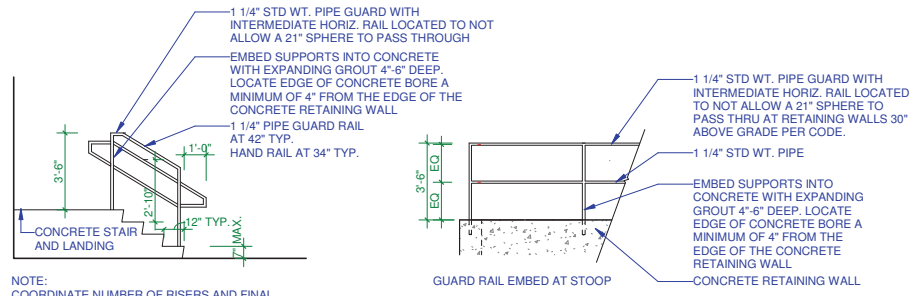
CONSTRUCTION DETAILS

PEPPER CONSTRUCTION DES PLAINES, IL

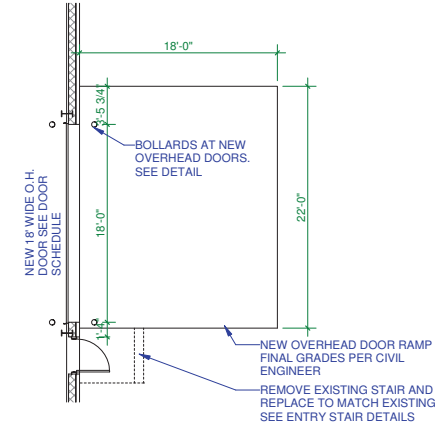
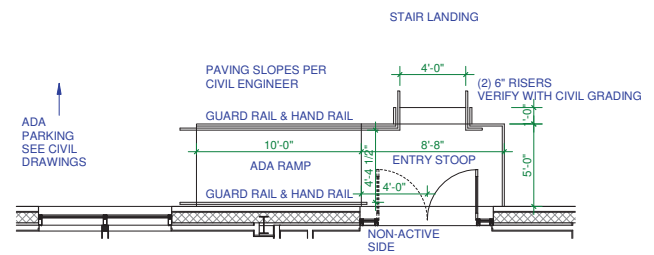
SHEET NUMBER

RAIL NOTES:

1. GUARD SHALL BE DESIGNED FOR A CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION.
2. SUBMIT SHOP DRAWINGS FOR REVIEW INCLUDING CERTIFICATION NOTED INDICATING COMPLIANCE WITH ALL NOTES AND CURRENT CODE REQUIREMENTS.
3. ALL STEEL SHALL BE PRIMED AND PAINTED.



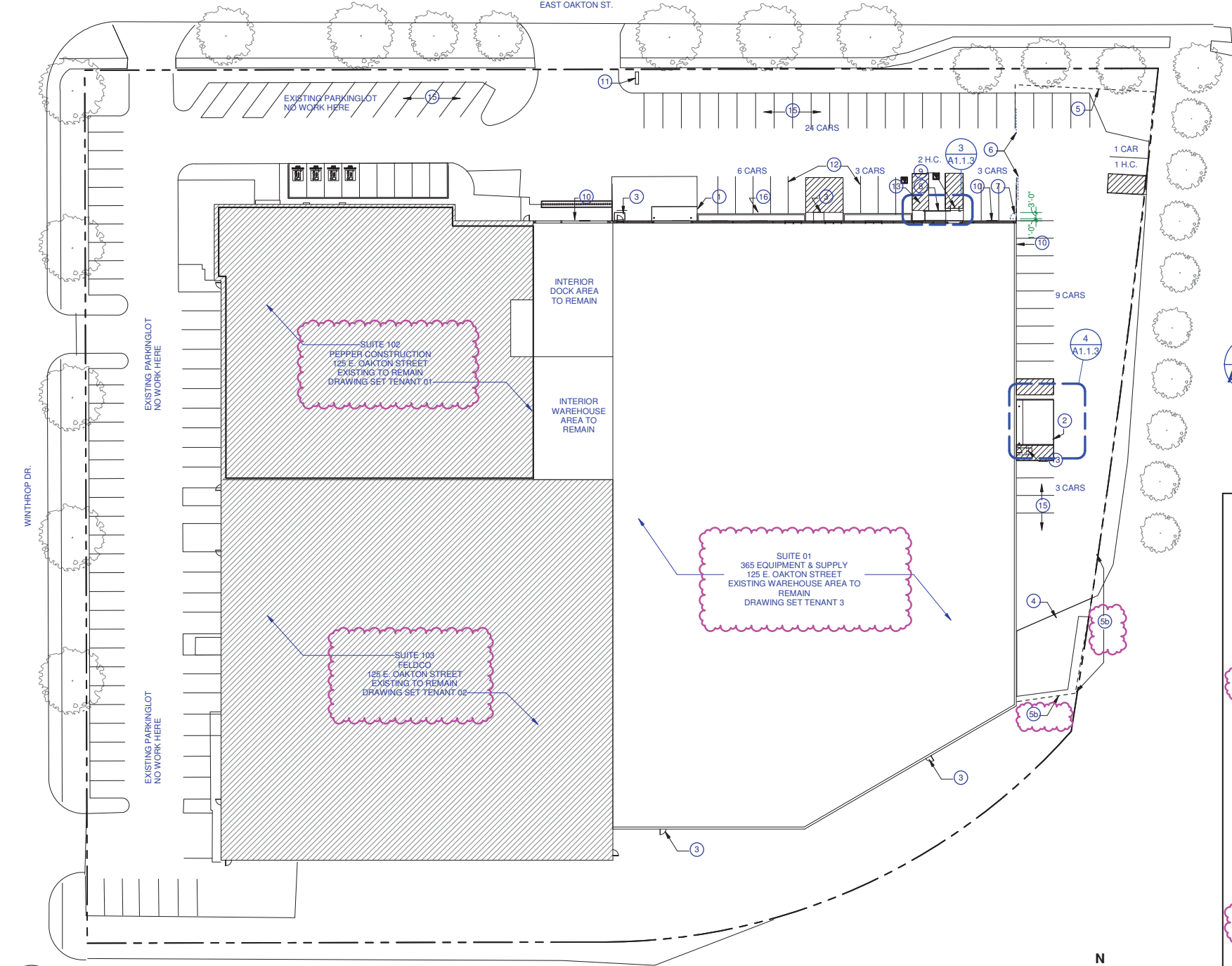
NOTE: COORDINATE NUMBER OF RISERS AND FINAL RISER HEIGHT WITH CIVIL DRAWINGS.



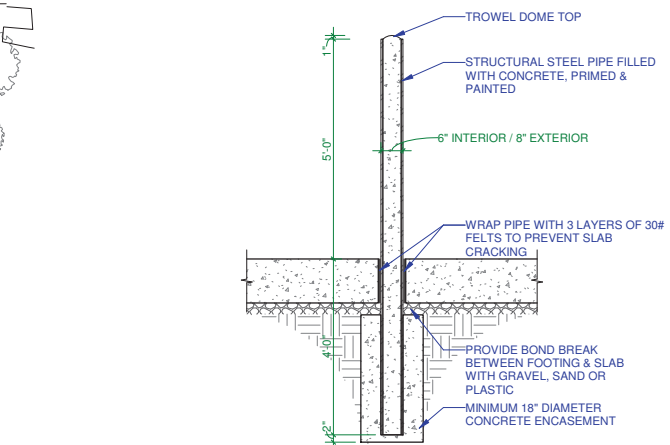
2 STAIR AND RAMP
A1.1.3 1/4" = 1'-0"

3 T3 - SITE PLAN - ENTRY
A1.1.3 3/16" = 1'-0"

4 T3 - SITE PLAN - O.H. DOORS
A1.1.3 1/8" = 1'-0"



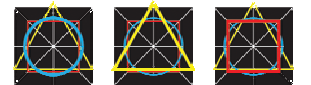
1 EXISTING SITE PLAN
A1.1.3 1" = 30'-0"



5 BOLLARD
A1.1.3 1/2" = 1'-0"

CONSTRUCTION AND DEMO NOTES

1. NEW RAMP FROM EXISTING PARKING LOT INTO BUILDING THROUGH NEW 18' WIDE DOOR 22' WIDE x 7' LONG. x 7' HIGH. FLARE SIDES AS SHOWN. VERIFY AND COORDINATE WITH CIVIL ENGINEER HEIGHT, LENGTH, SIDE FLARE, AND PAVEMENT OF RAMP.
2. NEW RAMP FROM EXISTING PARKING LOT INTO BUILDING THROUGH NEW 18' WIDE DOOR 22' WIDE x 18' LONG. FLARE SIDES AS SHOWN. VERIFY AND COORDINATE WITH CIVIL ENGINEER SIZE, SIDE FLARE, AND PAVEMENT OF RAMP.
3. EXISTING EXIT DOOR STOOP TO REMAIN.
4. NEW PAVEMENT AREA. COORDINATE WITH CIVIL DRAWINGS.
5. NEW YARD 8' CHAIN LINK FENCE TO BE FULLY ON THE SUBJECT PROPERTY. COORDINATE WITH CIVIL ENGINEER FENCE TYPE AND LOCATION.
- 5b. NEW 12'-0" TALL WOOD FENCE AT STORAGE SECTION OF YARD. COORDINATE WITH CIVIL ENGINEER. SEE CIVIL ENGINEER FENCE DETAILS AND LOCATION EXTENTS ON SHEET C1-02.
6. NEW 24' WIDE DIVIDED ROLLING GATE. REMOTE MOTOR ACTIVATED. (4) BOLLARDS
7. NEW 3' WIDE EXIT GATE. SECURITY PLATED EXITING HARDWARE. KEY LOCK ENTRY HARDWARE.
8. NEW ADA RAMP. 5' WIDE x 10' LONG. WITH GUARD RAIL AND HAND RAIL AGAINST THE EXISTING WALL. VERIFY AND COORDINATE WITH CIVIL ENGINEER EXISTING GRADING AND LENGTH OF RAMP. VERIFY AND COORDINATE WITH CIVIL ENGINEER DETAILS.
9. NEW CONCRETE ENTRY STAIR. 4' WIDE STAIR WITH GUARD RAIL AND HAND RAIL AT EACH END UP TO A NEW CONCRETE LANDING WITH A GUARD RAIL AT EACH SIDE. VERIFY WITH CIVIL NEW GRADING AT THE BASE OF THE STAIR.
10. BUILDING SIGN LOCATION SEE ELEVATIONS FOR COORDINATION, UNDER SIGNAGE PERMIT.
11. LITE STREET MONUMENT SIGN FULLY ON PROPERTY, UNDER SIGNAGE PERMIT.
12. REPAINT PARKING STRIPING, COORDINATE WITH CIVIL DRAWINGS FOR DETAILS.
13. ACCESSIBLE PAVEMENT TO RAMP.
14. REMOVE EXISTING STAIR AND REBUILD. SEE DETAIL.
15. EXISTING PARKING AND NEW PARKING COUNTS PER CIVIL DRAWINGS ANALYSIS FOR THE ENTIRE BUILDING INCLUDING THE NEW TENANT SPACE. SEE CIVIL DETAILS FOR PARKING ACCESSIBLE SPACES AND LOADING / UNLOADING. SEE CIVIL ENGINEER DRAWING ON SHEET C1-02.
16. NEW RETAINING WALL. SEE CIVIL DETAILS.



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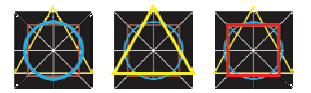
125 EAST OAKTON DES PLAINES, ILLINOIS
EXISTING BUILDING RENOVATION
TENANT 3

ISSUE DATE	
Date 29	T3 - SIGNAGE AND CONDITIONAL USE PERMIT COMMENTS 01
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
11/22/2023	T3 - CIVIL COORDINATION
09/14/2023	T3 - ISSUE FOR PERMIT

SHEET TITLE
SITE PLAN

DATE	SHEET NUMBER
08/28/2023	A1.1.3

PROJECT NUMBER 223022



HEITMAN ARCHITECTS INCORPORATED

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125 EAST OAKTON DES PLAINES, ILLINOIS EXISTING BUILDING RENOVATION
TENANT #3

EXITING LEGEND

- EXIT** ACCESSIBLE EXIT
- EX** EXIT SIGNAGE REQUIRED ABOVE EXIT DOOR OR IN VISIBLE PATH OF TRAVEL TO EXIT.
- START OF PATH AND DIRECTIONAL TO EXIT
- F.E.** FIRE EXTINGUISHER WITH 75' TRAVEL DISTANCE
 WAREHOUSE F.E. TO BE HANGING MOUNT
 OFFICE F.E. TO BE RECESSED CABINET MOUNT WITH 4" MAX PROTRUSION FROM WALL.

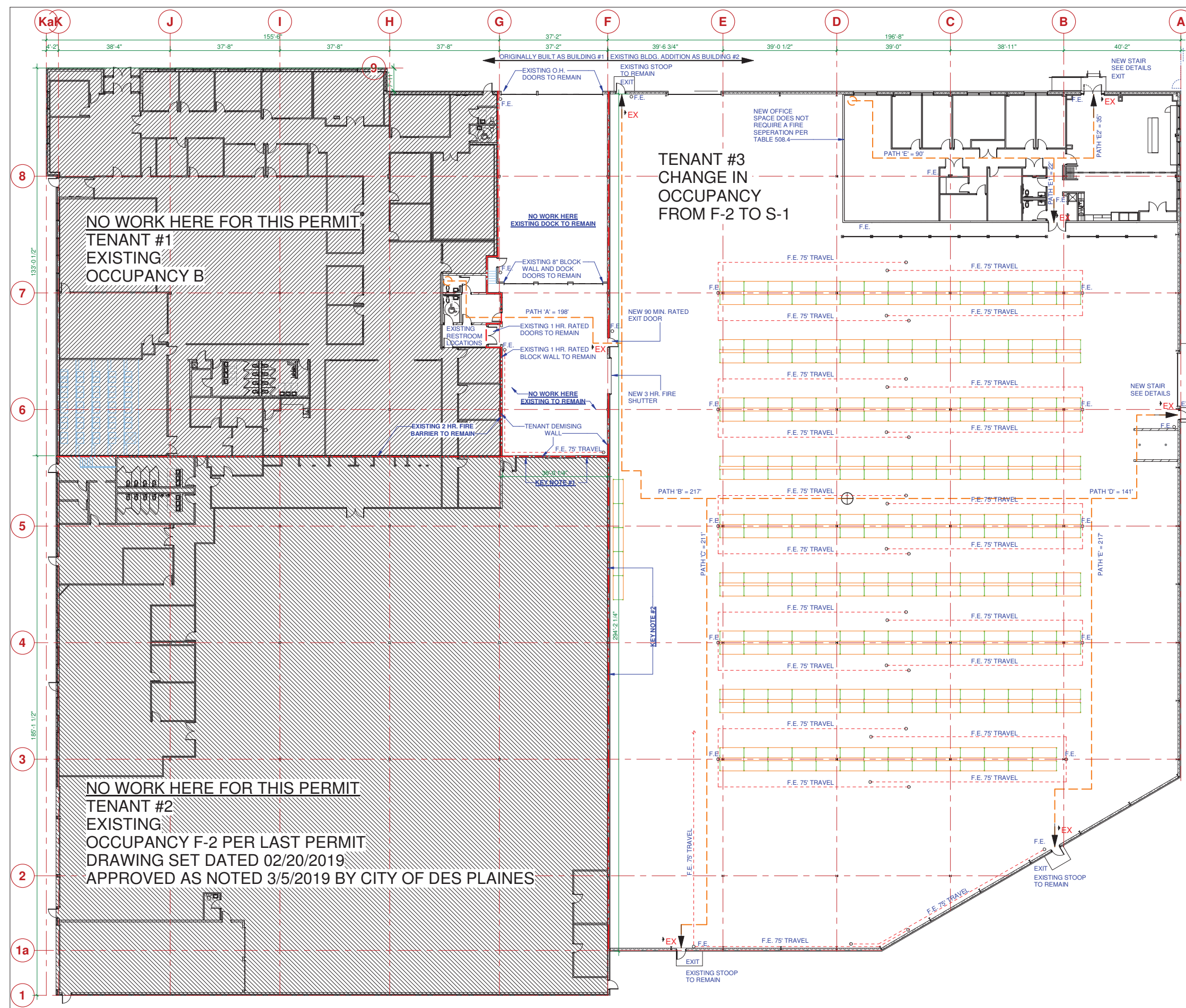
GENERAL NOTES

1. EMERGENCY LIGHTING MUST ILLUMINATE EGRESS PATH TO 1 FOOT CANDLE PER 2015 IBC SECTION 1008.2.1.
2. FINAL OR ADDITIONAL EXIT AND EMERGENCY LIGHTING TO BE APPROVED OR REQUIRED AT FINAL OCCUPANCY INSPECTION PER 2015 IBC SECTION 1008.1.
3. ALL EXTERIOR EGRESS DOORS TO HAVE EXTERIOR EMERGENCY LIGHTS PER 2015 IBC SECTION 1008.2.1.
4. PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED PER 2015 IBC TABLE 906.3
5. TRAVEL 'S-1' OCCUPANCY MAX PATH OF TRAVEL 400'-0".
6. TRAVEL 'B' OCCUPANCY MAX PATH OF TRAVEL 300'-0". (SEE CODES ON SHEET A1.0)

NOTE: ALL ARCHITECTURAL LIGHTING LOCATIONS ARE SHOWN FOR REFERENCE ONLY. ALL LIGHTING REQUIREMENTS AND ENGINEERING TO BE BY ENGINEER OF RECORD FOR THE PROJECT.

KEY NOTES

1. THE EXISTING 12' HIGH WALL, O.H. DOOR, AND MAN DOOR TO BE REPLACED WITH A 1 HR. FIRE RATED FULL HEIGHT WALL TO THE DECK ABOVE AND (1) 60 MIN RATED MANDOR TO BE USED BY THE BUILDING OWNER ONLY.
 2. THE EXISTING ORIGINAL EXTERIOR BUILDING WALL IS 8' BLOCK + 4" BRICK. THIS WALL DOES PENETRATE ABOVE THE ROOF AND MAINTAINS ITS CONTINUALLY AROUND THE EXTERIOR BUILDING CORNERS, SEPARATE OF THE BUILDING ADDITION TO THE EAST.
- THIS WALL WILL BE USED AS A 3 HR. FIRE BARRIER WITH A NEW 3 HR FIRE SHUTTER IN THE EXISTING 12' WIDE OPENING. THIS WALL QUALIFIES AS THE EQUIVALENT OF U938 3 HR RATED. ANY PREVIOUS OPENINGS WILL BE UPGRADED TO FOLLOW THE NEW 3 HR. UL RATINGS.



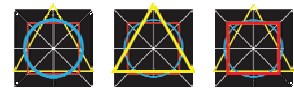
1 OCCUPANCY AND EXITING - TENANT #3
 A1.2.3 1/16" = 1'-0"

Attachment 9

ISSUE DATE	
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
12/04/2023	T3 - ISSUE FOR PERMIT - REV 02
10/23/2023	T3 - ISSUE FOR PERMIT - REV 01
09/14/2023	T3 - ISSUE FOR PERMIT

SHEET TITLE
 OCCUPANCY AND EXITING PLAN

DATE	SHEET NUMBER
08/28/2023	A1.2.3
PROJECT NUMBER	223022



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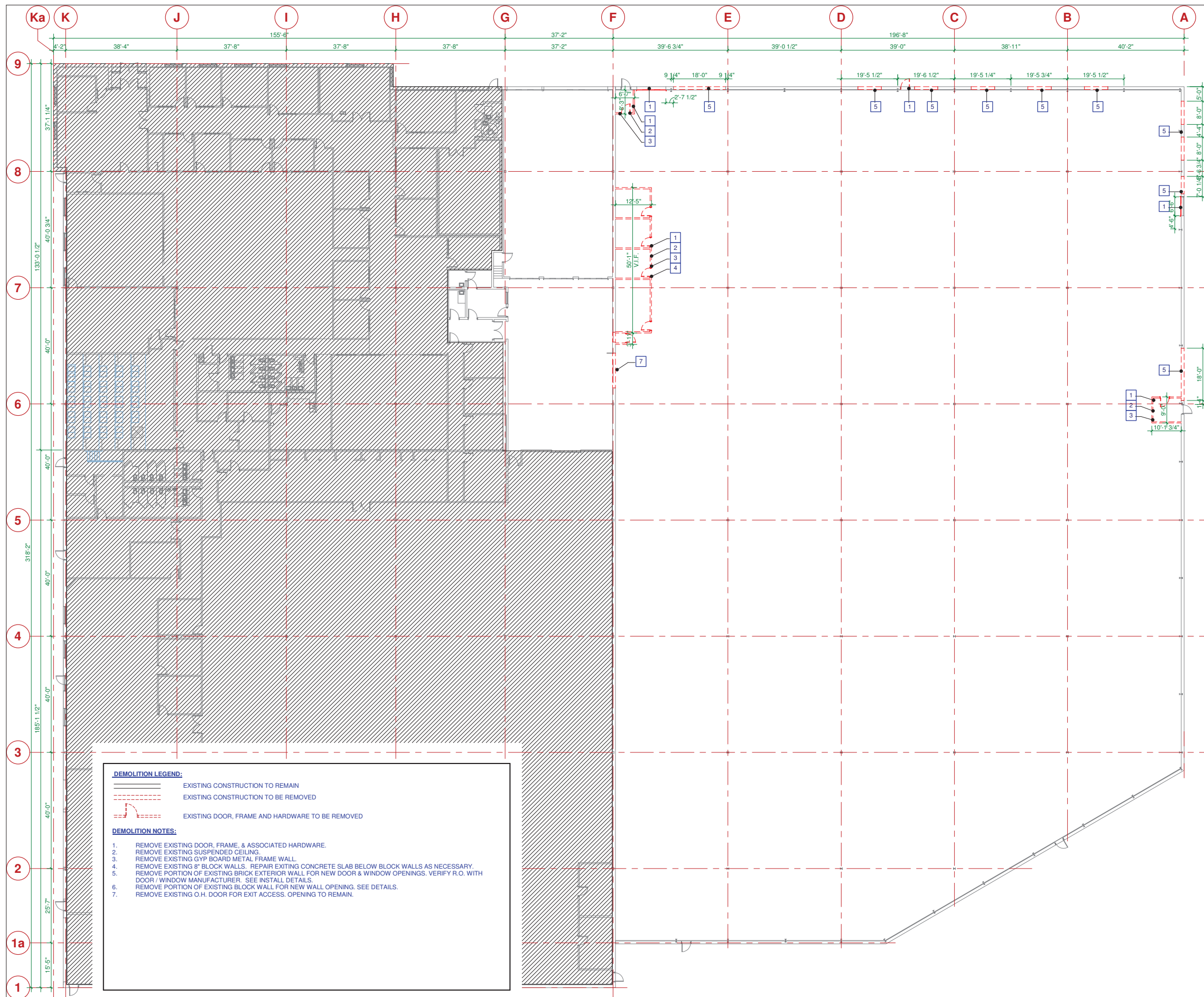


**125 EAST OAKTON
DES PLAINES, ILLINOIS**
EXISTING BUILDING RENOVATION
TENANT 3

ISSUE DATE	
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
12/21/2023	RFI 13 & 14
09/14/2023	T3 - ISSUE FOR PERMIT
08/28/2023	T3 - PROGRESS
08/18/2023	T3 - PROGRESS

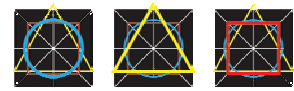
SHEET TITLE
DEMO PLAN

DATE	SHEET NUMBER
08/28/2023	
PROJECT NUMBER	AD2.0.3
223022	



1 EXISTING COMPOSITE FLOOR PLAN RENOVATIONS

AD2.0.3 1/16" = 1'-0"
Attachment 9



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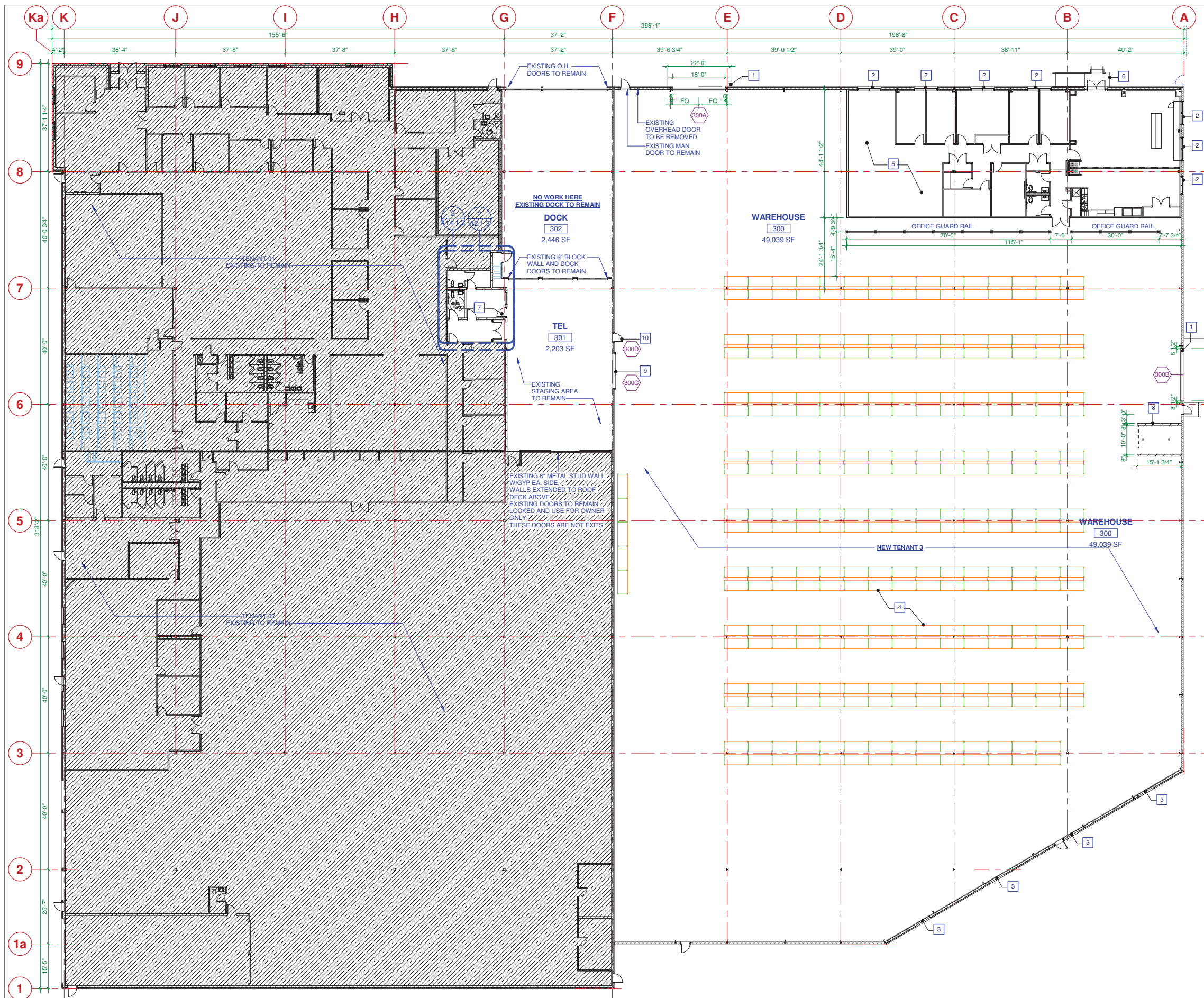


125 EAST OAKTON DES PLAINES, ILLINOIS
 EXISTING BUILDING RENOVATION
 TENANT 3

ISSUE DATE	T3 - RECORD SET
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
12/19/2023	T3 - OWNERS COMMENTS
10/23/2023	T3 - ISSUE FOR PERMIT - REV 01
09/22/2023	T3 - OWNER REVISION
09/21/2023	T3 - OWNER REVISION

SHEET TITLE
 TENANT FLOOR PLAN

DATE	SHEET NUMBER
08/28/2023	A2.0.3
PROJECT NUMBER	223022

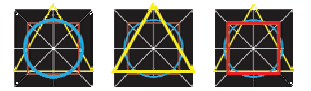


1 COMPOSITE FLOOR PLAN RENOVATIONS

A2.0.3 1/16" = 1'-0"

Attachment 9





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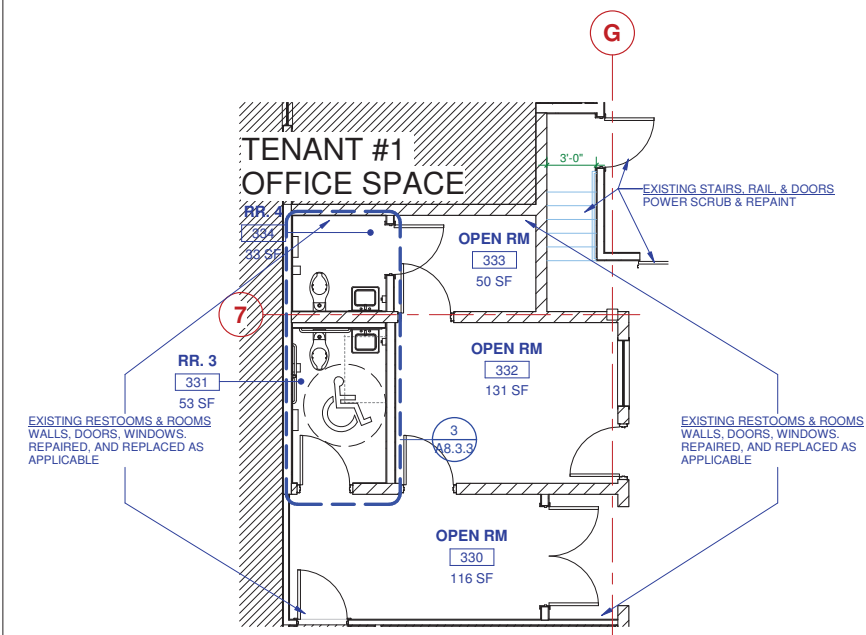


**125 EAST OAKTON
DES PLAINES, ILLINOIS**
EXISTING BUILDING RENOVATION
TENANT 3

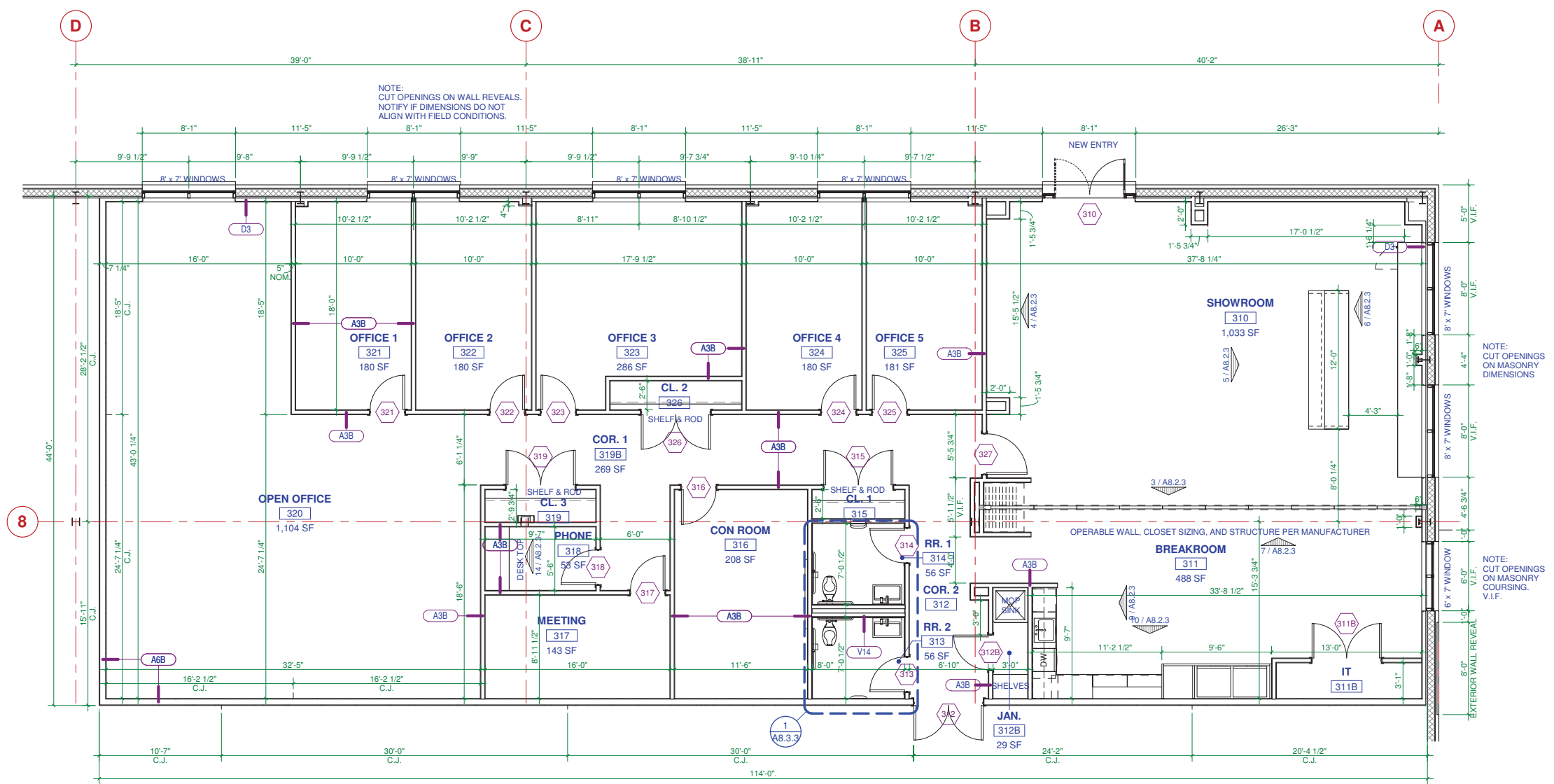
ISSUE DATE	T3 - RECORD SET
05/02/2024	T3 - RECORD SET
03/08/2024	BULLETIN 05
02/16/24	owner revision
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
12/21/2023	RFI 13 & 14
12/21/2023	FINISH REVISIONS

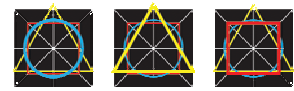
SHEET TITLE
OFFICE FLOOR PLAN

DATE	SHEET NUMBER
08/28/2023	
PROJECT NUMBER	A2.1.3
223022	



2 T3 - RESTROOMS
A2.1.3 3/16" = 1'-0"

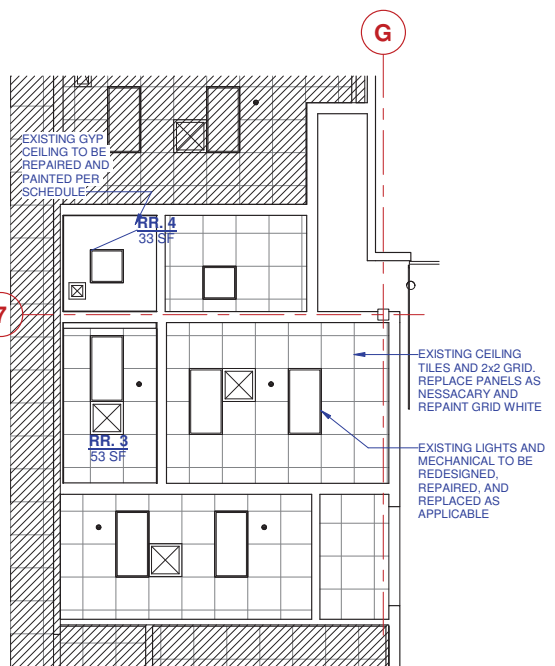




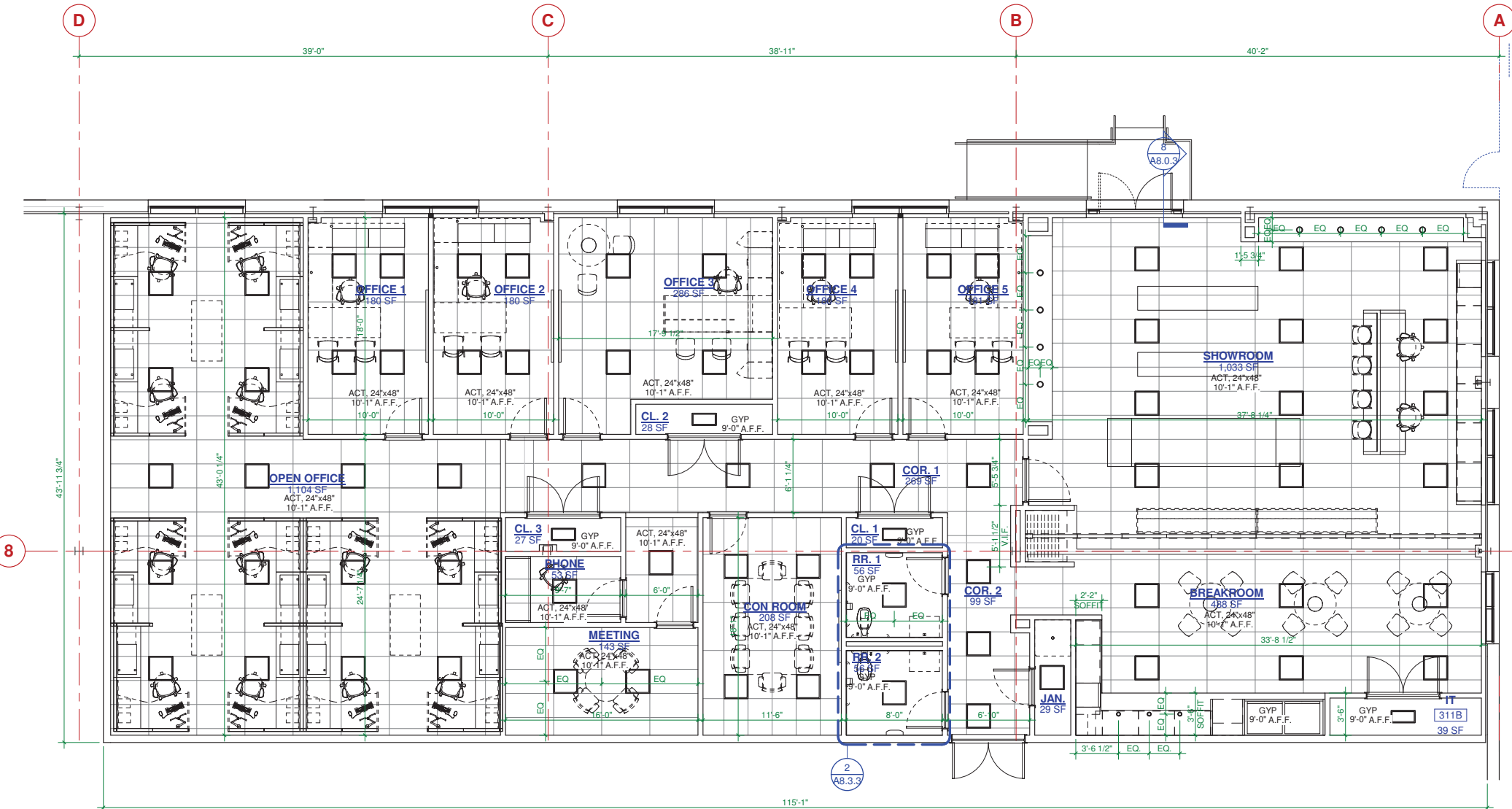
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2 T3 - RESTROOMS
A3.1.3 3/16" = 1'-0"



- CEILING PLAN SYMBOLS**
- 2' X 4' LIGHT FIXTURE
 - 2' X 2' LED DIRECT / INDIRECT LIGHT FIXTURE
 - 1' X 2' LED FLAT DIRECT
 - HVAC RETURN
 - HVAC SUPPLY FAN
 - 4' RECESSED DOWNLIGHT
 - 2' X 4' SUSPENDED CEILING GRID
- NOTE:**
ALL ARCHITECTURAL LIGHTING LOCATIONS ARE SHOWN FOR REFERENCE ONLY. ALL LIGHTING REQUIREMENTS AND ENGINEERING TO BE BY ENGINEER OF RECORD FOR THE PROJECT.

1 T3 - ENLARGED - OFFICE
A3.1.3 3/16" = 1'-0"



**125 EAST OAKTON
DES PLAINES, ILLINOIS**
EXISTING BUILDING RENOVATION
TENANT 3

ISSUE DATE	
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
12/19/2023	T3 - OWNERS COMMENTS
10/23/2023	T3 - ISSUE FOR PERMIT - REV 01
09/14/2023	T3 - ISSUE FOR PERMIT
08/28/2023	T3 - PROGRESS

SHEET TITLE
OFFICE CEILING PLAN

DATE	SHEET NUMBER
08/28/2023	
PROJECT NUMBER	A3.1.3
223022	

ELEVATION CONSTRUCTION NOTES

1. NEW 18" WIDE x 14" HIGH DOOR. SEE DOOR SCHEDULE.
2. NEW 8" WIDE x 10" ENTRY. SEE GRAZING ELEVATION AND DOOR SCHEDULE.
3. N/A.
4. 365 BUILDING SIGN. COORDINATE SIGN TYPE AND GRAPHICS WITH TENANT. ALL SIGNS UNDER SEPERATE PERMIT.
5. DIRECTIONAL BUILDING SIGN. COORDINATE SIGN TYPE AND GRAPHICS WITH TENANT. ALL SIGNS UNDER SEPERATE PERMIT.
6. NEW 8" WIDE x 7" HIGH WINDOW. 4" CAST CONCRETE SILL @ 36" TO MATCH EXISTING BUILDING.
7. NEW 6" WIDE x 3" HIGH CLEAR STORY WINDOWS. 4" CAST CONCRETE SILL @ 17'-0" TO THE EXISTING BUILDING. CONTRACTOR TO SUPPLY THIS PRICING AS AN ADD ALTERNATE.
8. OLD DOOR LOCATION. SEE DEMO PLAN. SEE STRUCTURAL DRAWINGS FOR BLOCK INFILL. MATCH EXISTING FACE BRICK WITH NEW AND RECLAIMED BRICK AS NECESSARY.
9. ALL MATERIALS TO MATCH EXISTING. EXISTING EXTERIOR WALLS ARE ALL MATCHING FACE BRICK, TO REMAIN.

NOTE:
ALL NEW EXTERIOR WALL OPENINGS TO BE COORDINATED WITH STRUCTURAL STEEL LINTEL DESIGN.

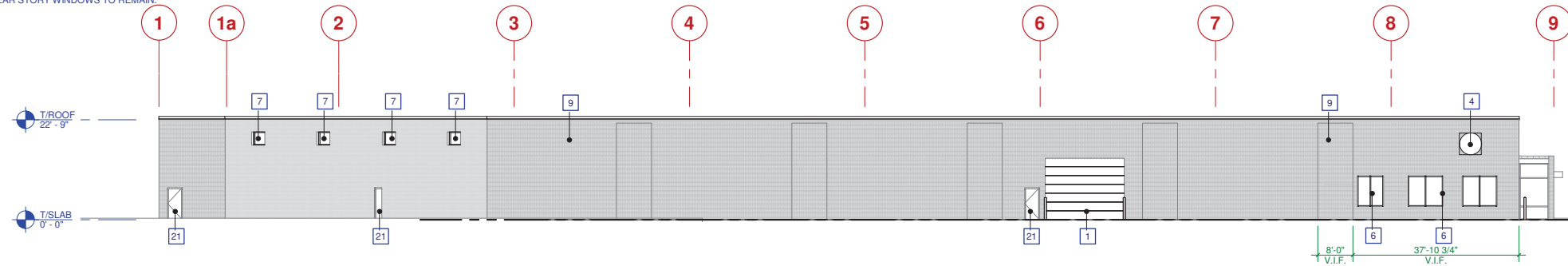
21. EXISTING DOOR TO REMAIN.
22. EXISTING INTERIOR COLUMNS TO REMAIN.
23. EXISTING CLEAR STORY WINDOWS TO REMAIN.

ALUMINUM FRAMING SYSTEM

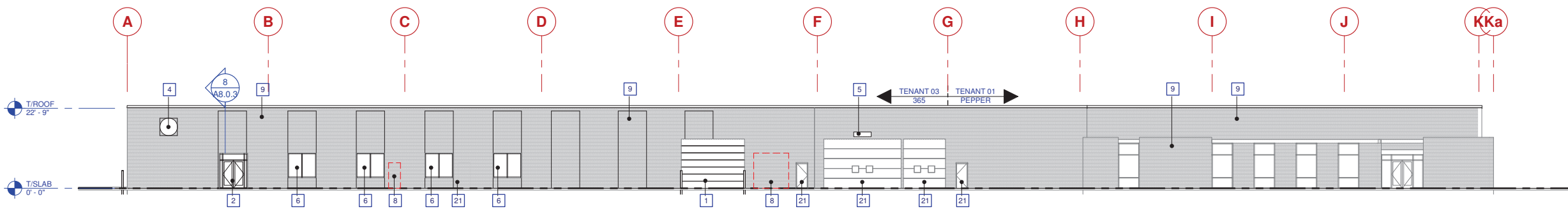
- 1 BASIS-OF-DESIGN: KAWNEER TRIFAB VG 451T (THERMAL) FRAMING SYSTEM
- OVERALL UNIT THICKNESS: 2" x 4-1/2" (50.8mm x 114.3mm)
GLASS: FRONT GLAZED PRESSURE PLATE FORMAT
FINISH: ENTRY, MATCH EXISTING
WINDOWS, MATCH EXISTING

GLASS TYPES

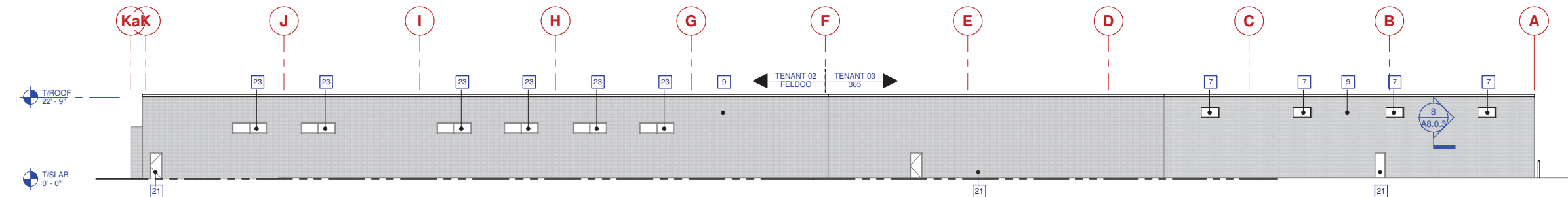
- A INSULATED GLASS TYPE 'A': DOUBLE GLAZED TINTED SOLAR CONTROL INSULATING GLASS UNIT; BASIS-OF-DESIGN: VITRO SOLARGRAY 6mm | AIR 1/2" (12.7mm) | SOLARBAN 60 on CLEAR 6mm
- OVERALL UNIT THICKNESS: 1 INCH (25mm)
THICKNESS OF EACH GLASS LITE: 6mm
OUTDOOR LITE: GRAY TINTED, HEAT STRENGTHENED FLOAT GLASS
INDOOR LITE: CLEAR FLOAT GLASS
LOW E COATING: ON THIRD SURFACE
VISIBLE LIGHT TRANSMITTANCE: 35 PERCENT MINIMUM
WINTER NIGHTTIME U-FACTOR: .29 MAXIMUM
SOLAR HEAT GAIN COEFFICIENT: .29 MAXIMUM



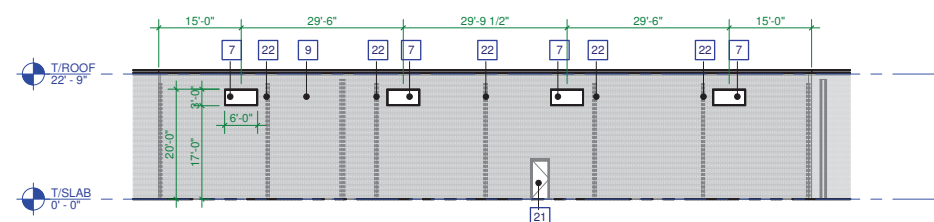
1 EAST ELEVATION
A5.0.3 1/16" = 1'-0"



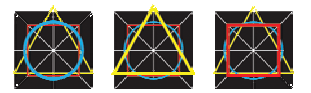
2 NORTH ELEVATION
A5.0.3 1/16" = 1'-0"



3 SOUTH ELEVATION
A5.0.3 1/16" = 1'-0"



4 SOUTH EAST ELEVATION
A5.0.3 1/16" = 1'-0"



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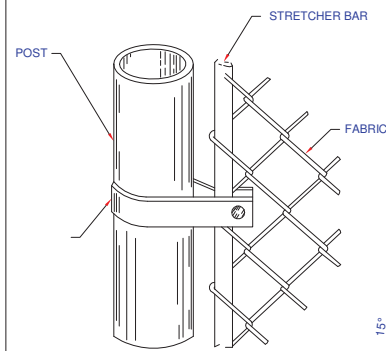


125 EAST OAKTON DES PLAINES, ILLINOIS
EXISTING BUILDING RENOVATION
TENANT 3

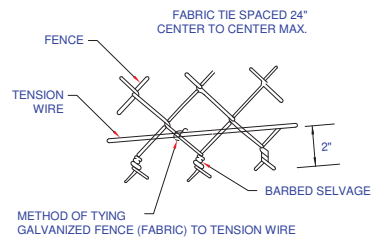
ISSUE DATE	
Date 29	T3 - SIGNAGE AND CONDITIONAL USE PERMIT COMMENTS 01
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
11/22/2023	T3 - CIVIL COORDINATION
09/14/2023	T3 - ISSUE FOR PERMIT

SHEET TITLE
EXTERIOR ELEVATIONS

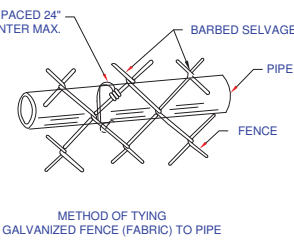
DATE	SHEET NUMBER
08/28/2023	
PROJECT NUMBER	A5.0.3
223022	



METHOD OF FASTENING STRETCHER BAR TO POST
STRETCHER BAR BAND SPACED 14" CENTER TO CENTER MAX.



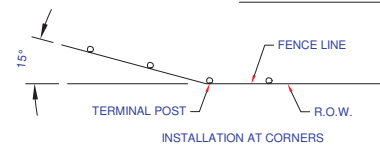
METHOD OF TYING GALVANIZED FENCE (FABRIC) TO TENSION WIRE



METHOD OF TYING GALVANIZED FENCE (FABRIC) TO PIPE

CHAIN LINK FENCE DETAILS GALVANIZED - 9 GA. W/ 2" PATTERN

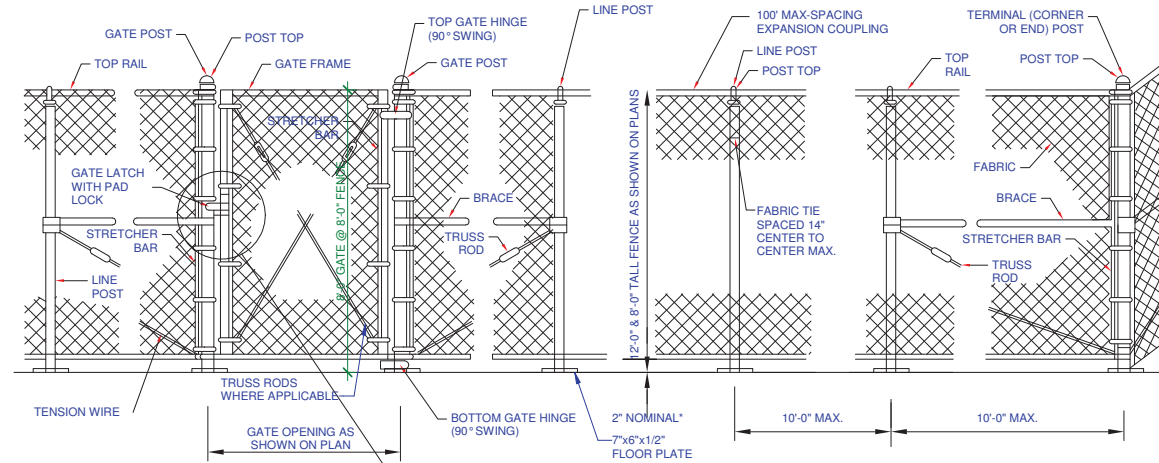
N.T.S.



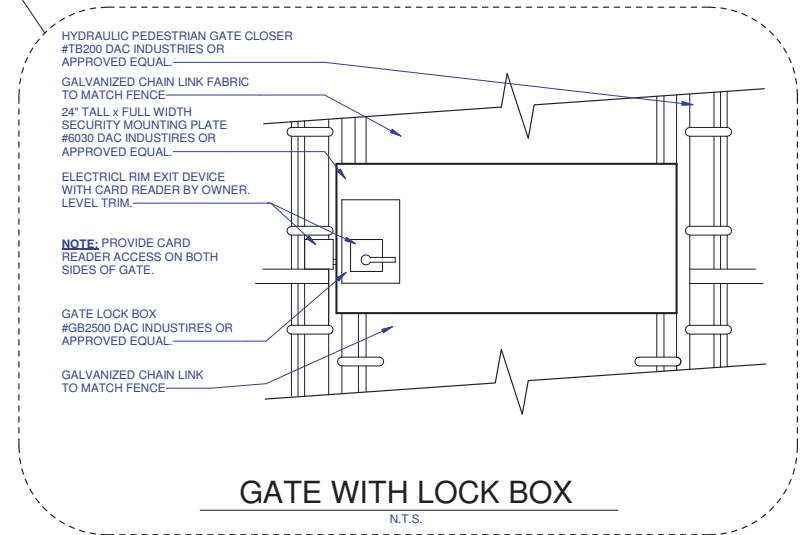
NOTES:
WHEN THE FENCE LINE HAS A CHANGE IN DIRECTION OF 15° OR MORE, A TERMINAL POST SHALL BE PLACED AS SHOWN ABOVE.
WHERE THE ANGLE IS LESS THAN 15° AND EXISTING CONDITIONS REQUIRE A TERMINAL POST, THEY SHALL BE PLACED AS DIRECTED BY THE ENGINEER.

POST TYPE	ASTM F 1083		ASTM F 1043	
	DIAMETER	WEIGHT	DIAMETER	WEIGHT
CORNER, END, PULL	3.5" O.D.	7.58 LB/FT	3.5" O.D.	5.71 LB/FT
LINE POST	2.875" O.D.	5.80 LB/FT	2.875" O.D.	4.64 LB/FT
TOP RAIL	1.66" O.D.	2.27 LB/FT	1.66" O.D.	1.84 LB/FT
GATE POST	4" O.D.	9.12 LB/FT	4" O.D.	6.56 LB/FT

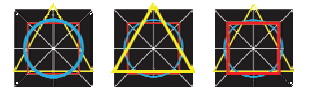
FENCE NOTES FOR ADDITIONAL DETAILS:
12" HIGH WOOD FENCE DETAILS FOR THE STORAGE AREA IN THE PARKING LOT IS LOCATED ON SHEETS C2-00, AND C2-04 OF THE CIVIL ENGINEERS DRAWINGS SET WITHIN THIS PERMIT SUBMITTAL. SEE SHEET C1-02 FOR LOCATION AND EXTENTS OF THIS FENCE SECTION.



PEDESTRIAN GATE ARRANGEMENT PULL POST ARRANGEMENT LINE POST ARRANGEMENT CORNER OR END POST ARRANGEMENT



GATE WITH LOCK BOX
N.T.S.



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FAX. 630.773.3500



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**125 EAST OAKTON
DES PLAINES, ILLINOIS**
EXISTING BUILDING RENOVATION
TENANT 3

ISSUE DATE	
Date 29	T3 - SIGNAGE AND CONDITIONAL USE PERMIT COMMENTS 01
05/02/2024	T3 - RECORD SET
01/23/2024	T3 - ISSUE FOR CONSTRUCTION
01/23/2024	T3 - BULLETIN 04
09/14/2023	T3 - ISSUE FOR PERMIT
08/28/2023	T3 - PROGRESS

SHEET TITLE
FENCE DETAILS

DATE	SHEET NUMBER
08/28/2023	
PROJECT NUMBER	A8.4.3
223022	

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Lit
 LED Color: Cool White
 Material: Aluminum
 Face Color: Dark Green [TBD]
 Cabinet Color: Dark Green [TBD]
 Installation: Mount to existing base

[B] - LOGO

Material: Push-Thru [1/4" Proud of face]
 Color: White with Silver vinyl overlay on 1st surface

[C] - CAP

Material: Aluminum
 Color: White



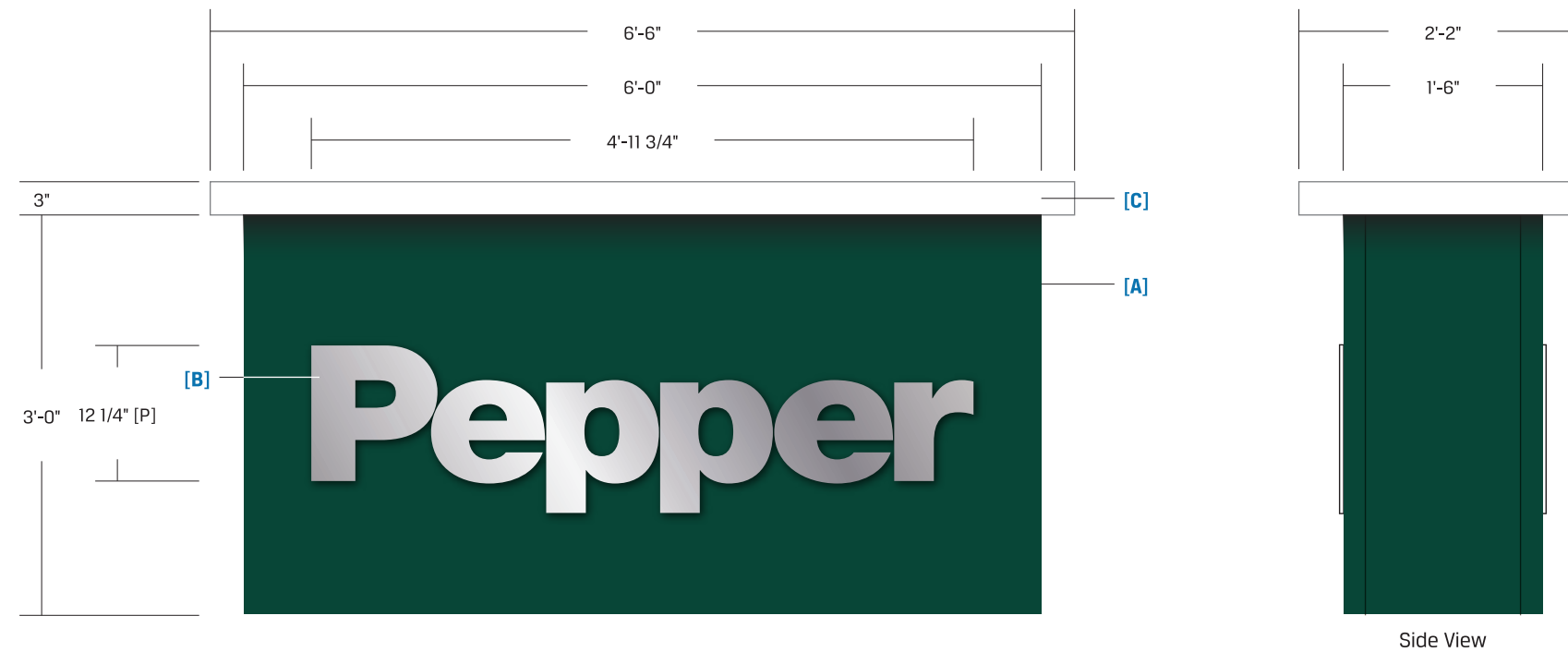
Existing - NTS



Proposed - NTS



Illuminated View - NTS



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Project

125 E. Oakton
 Des Plaines, Illinois

Scale: 3/4"=1'

Original Page Size: 11" x 17"

Notes

•

Revisions

REV	DESCRIPTION	BY	DATE
01	Update style/logo	IH	09.05.23
02	Update color	IH	12.04.23
03	Preprod	NH	01/22/24

Rep.: Dan Schumann Orig. Date: 07/18/23
 Drawn By: Israel Hill

Sign Loc. No. .

CAB-01
 D/F Cabinet
 Sign Type

96576
 OPP - Project - Job No.

J01
 Design

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Project

125 E. OAKTON

DES PLAINES, IL

Scale: **AS NOTED**

Original Page Size: **11" X 17"**

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **01.18.24**

Drawn By: **RWT**

Sign Loc. No.

CAB-01

D/F CABINET

Sign Type

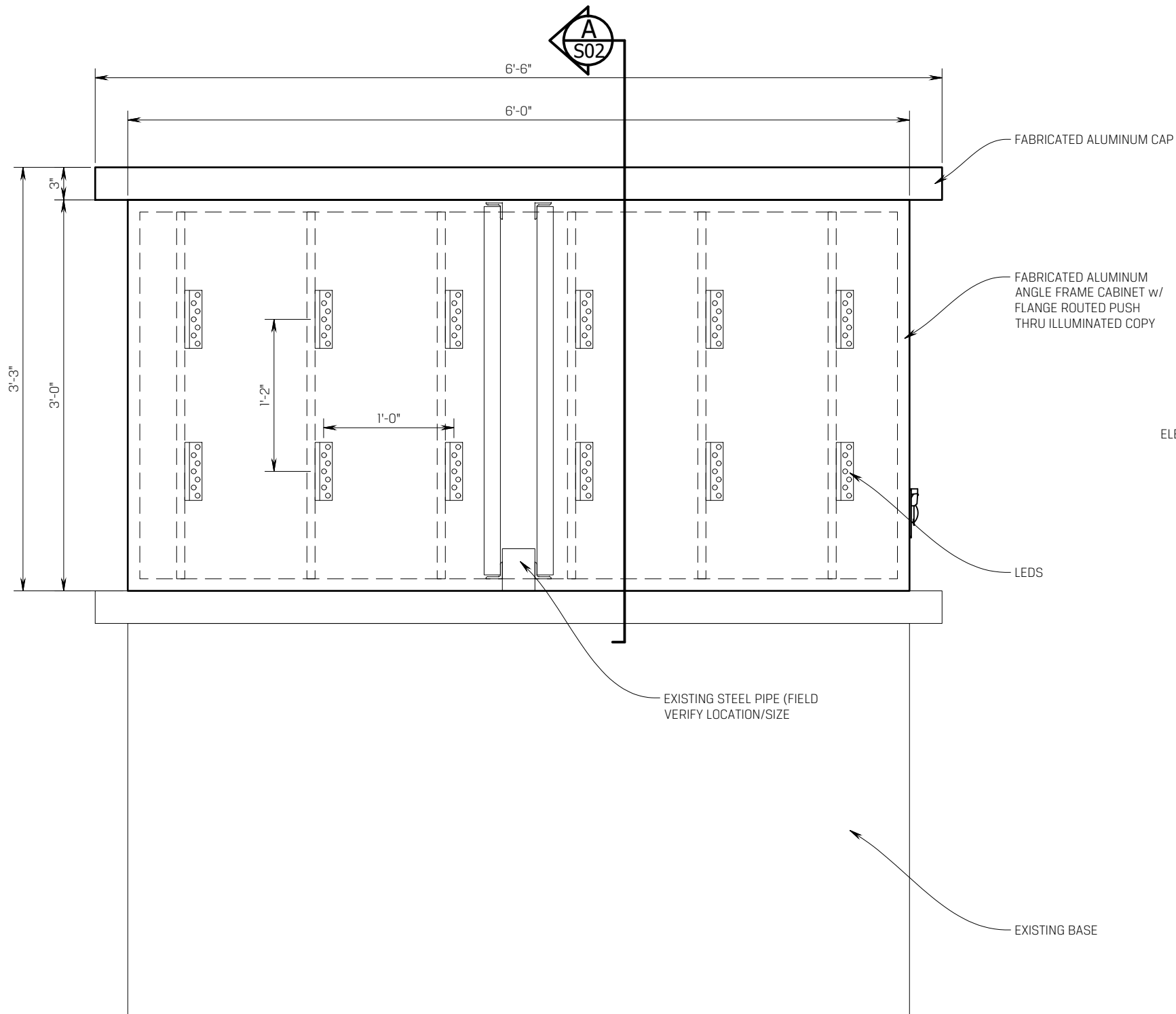
96576

OPP-Project Page 55 of 77

S01

Sheet

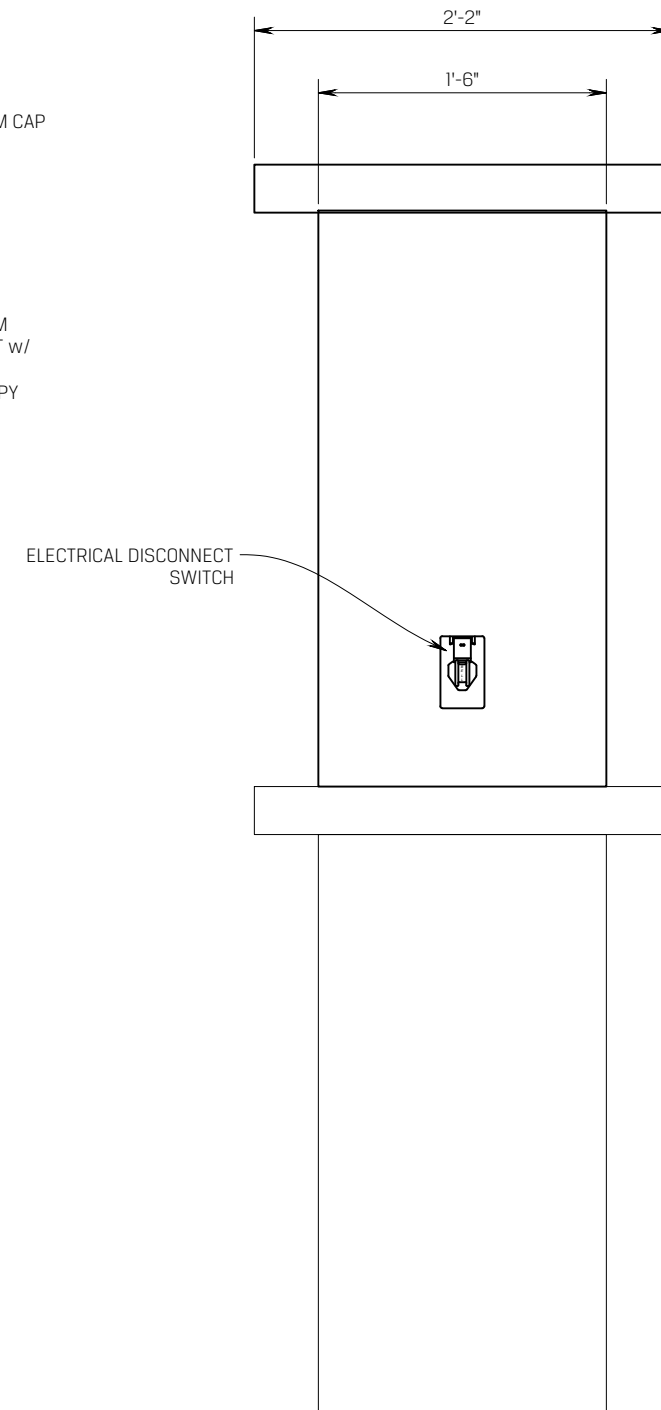
*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



FRONT ELEVATION

SCALE : 1" = 1'-0"

BOND & GROUND ACCORDING TO N.E.C. ARTICLE 600 & U.L. 48 STANDARDS
PRIMARY ELECTRICAL SUPPLY & FINAL HOOK UP TO BE DONE BY LOCALLY LICENSED ELECTRICAL CONTRACTOR.
1.1 AMPS @ 120 VOLTS



SIDE VIEW

SCALE : 1" = 1'-0"

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Project
125 E. OAKTON

DES PLAINES, IL

Scale: **AS NOTED**
Original Page Size: **11" X 17"**

Notes

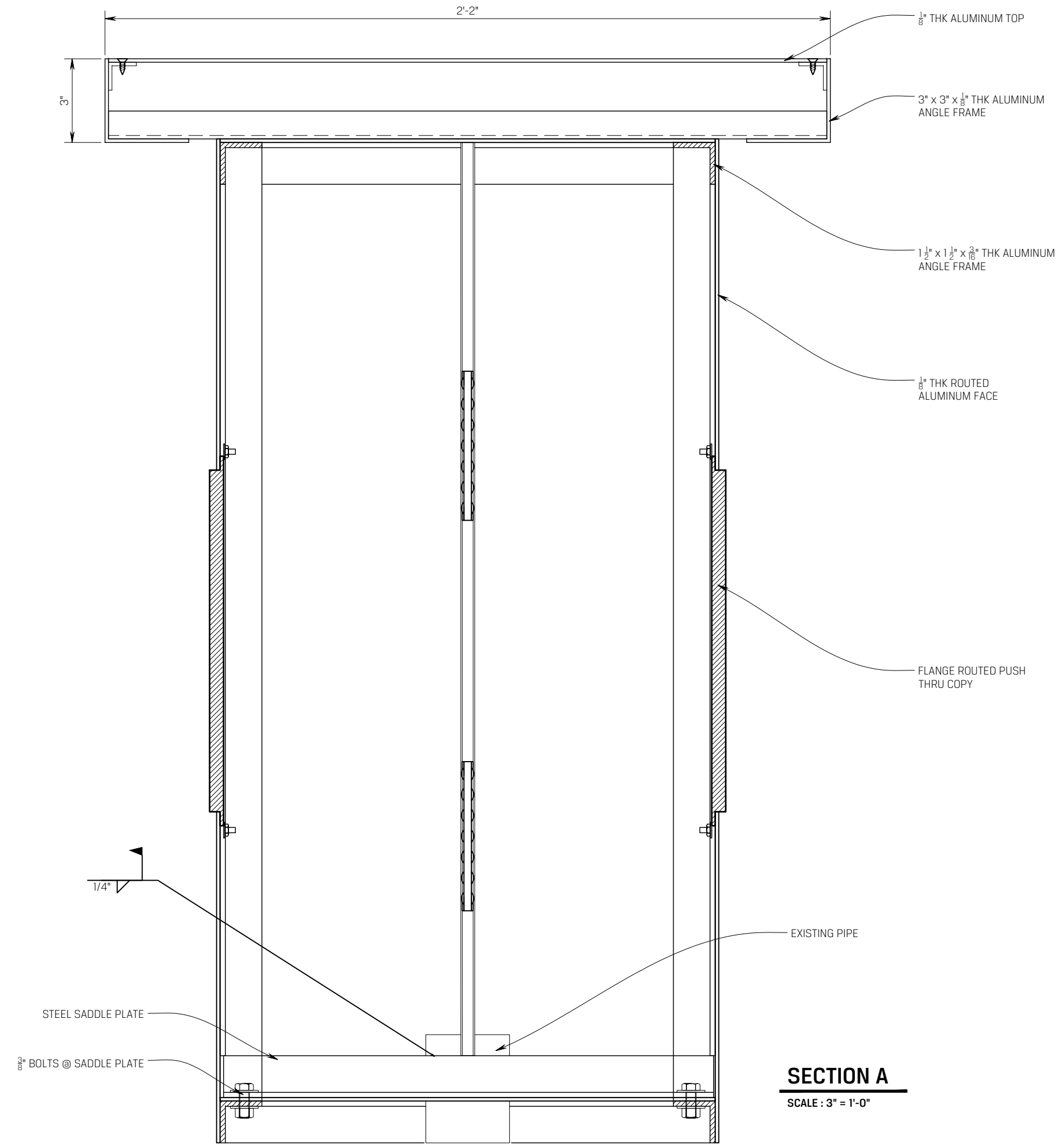
Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **01.18.24**
Drawn By: **RWT**

Sign Loc. No.
CAB-01
D/F CABINET
Sign Type

96576 **S02**
Page 56 of 77 Sheet



SECTION A
SCALE : 3" = 1'-0"

FILE: R:\Drawings\125 E. Oakton\96576_CAB-01.dwg SHEET: S02 PLOTTED: Jan 18, 2024 2:22 PM BY: Trapp, Ryan

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Lit
 LED Color: Cool White
 Material: Lexan Face
 Face Color: White
 Cabinet Color: Beige [TBD]
 Installation: New Structure

[B] - GRAPHICS

Material: Translucent Vinyl
 Color: 3M 3630-44 Orange

[C] - GRAPHICS

Material: Translucent Vinyl
 Color: 3M 3630-127 Intense Blue

[D] - BASE

Material: Aluminum
 Color: Beige [TBD]

[E] - CAPS

Material: Aluminum
 Color: White

[F] - GRAPHICS

Material: Vinyl
 Color: 3M 7725-10 White



Proposed - NTS



Illuminated View - NTS



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Project
125 E. Oakton
 Des Plaines, Illinois

Scale: 3/4"=1'
 Original Page Size: 11" x 17"

Notes
COLORS [TBD]

Revisions

REV	DESCRIPTION	BY	DATE
01	Update graphics/size	IH	07.28.23
02	Add direction/move sign	IH	09.05.23
03	Update logo	IH	10.26.23
04	Change base copy	IH	11.08.23
05	Update design	IH	12.04.23
06	Preprod	NH	01/23/24

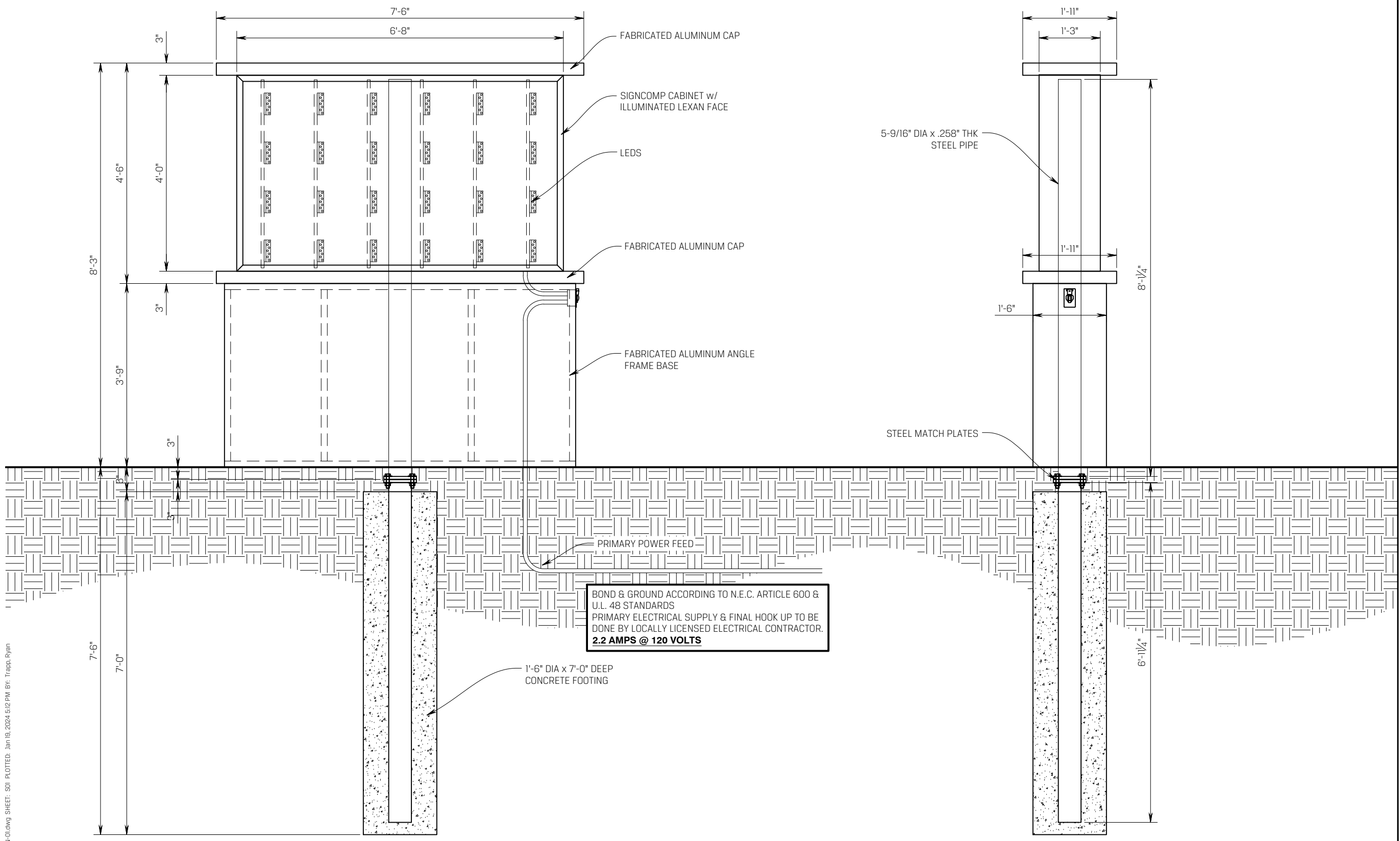
Rep.: **dan Schumann** Orig. Date: **07/18/23**
 Drawn By: **Israel Hill**

Sign Loc. No.

MON-01
 D/F Monument
 Sign Type

96576 **J01**
 OPP - Project - Job No. Design

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



FRONT ELEVATION

SCALE : 1/2" = 1'-0"

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Project
125 E. OAKTON

DES PLAINES, IL

Scale: AS NOTED
 Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **01.18.24**
 Drawn By: **RWT**

Sign Loc. No.
MON-01
 D/F MONUMENT
 Sign Type

FILE: R:\Drawings\125 E. Oakton\96576_MON-01.dwg SHEET: S01 PLOTTED: Jan 19, 2024 5:12 PM BY: Trapp, Ryan

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Project

125 E. OAKTON

DES PLAINES, IL

Scale: **AS NOTED**

Original Page Size: **11" X 17"**

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep.: **DAN SCHUMANN** Orig. Date: **01.18.24**

Drawn By: **RWT**

Sign Loc. No.

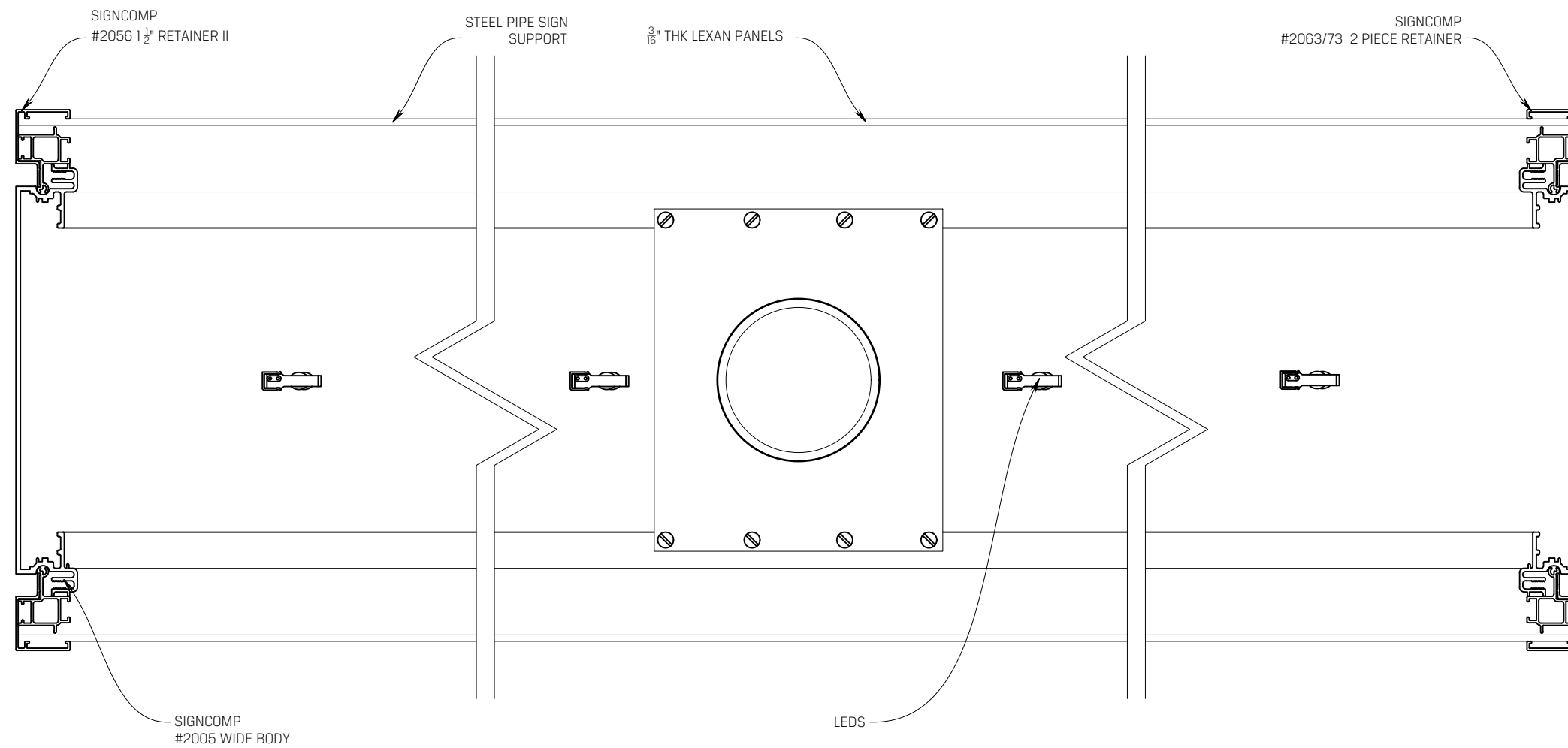
MON-01

D/F MONUMENT

Sign Type

96576

S02



SECTION B

SCALE : 3" = 1'-0"

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Project
125 E. OAKTON

DES PLAINES, IL

Scale: AS NOTED
Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **01.18.24**
Drawn By: **RWT**

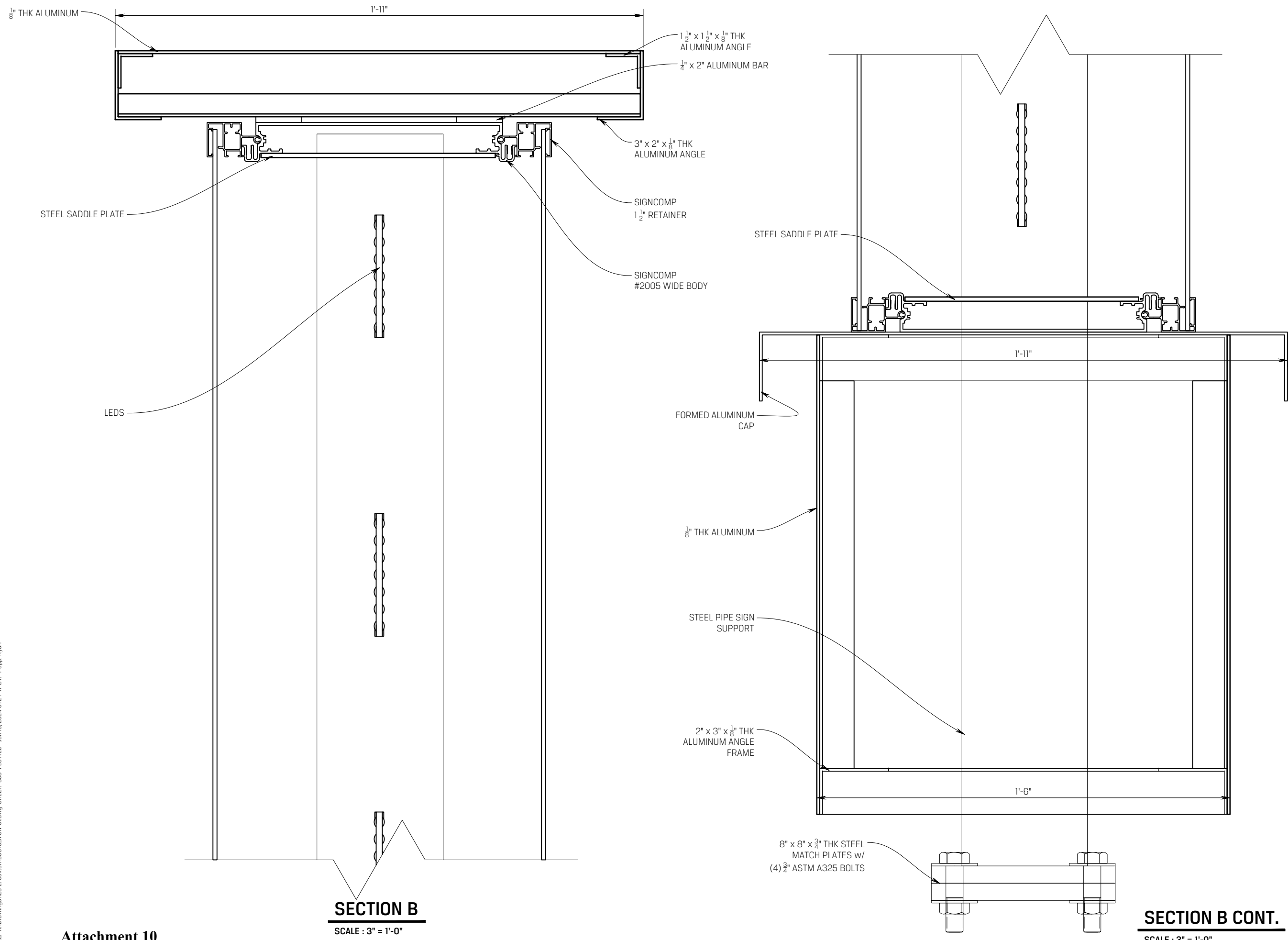
Sign Loc. No.

MON-01

D/F MONUMENT
Sign Type

96576

S03



SECTION B
SCALE : 3" = 1'-0"

SECTION B CONT.
SCALE : 3" = 1'-0"

SIGN SPECIFICATIONS

[A] - PAN

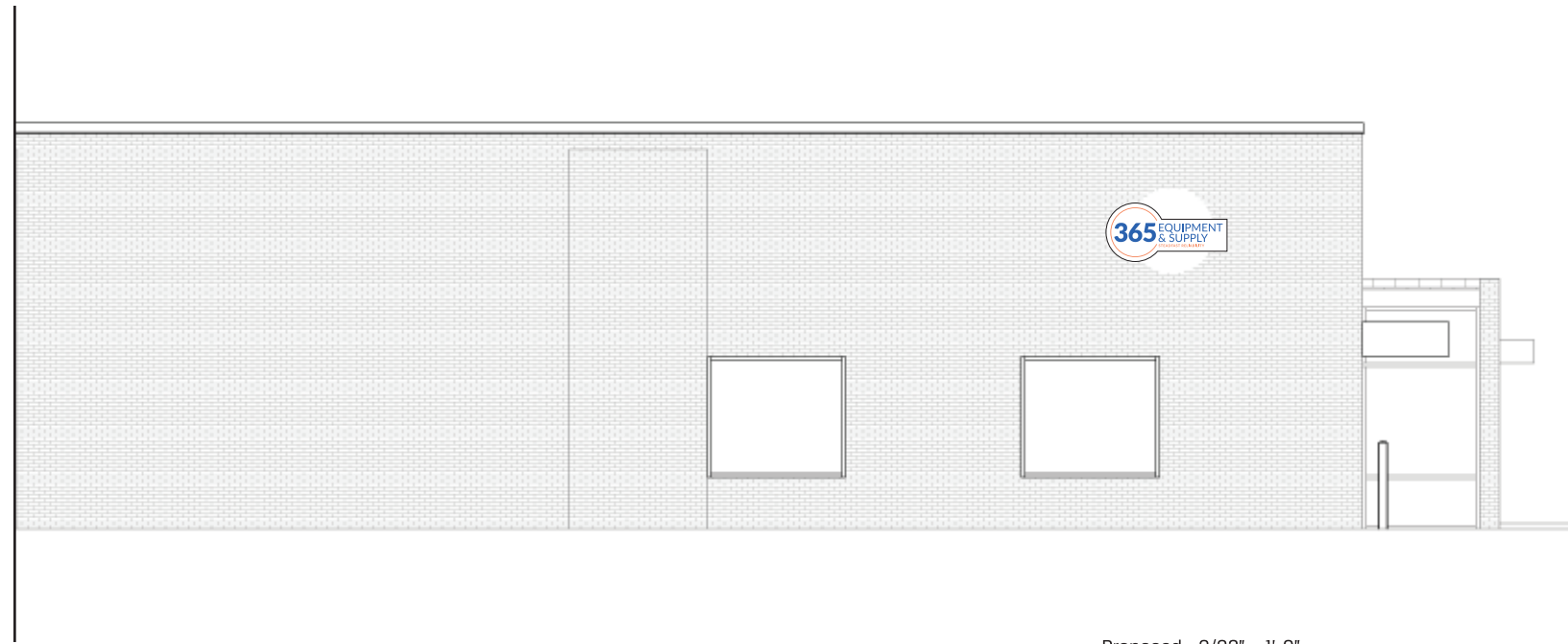
Material: Aluminum
 Depth: 3"
 Face Color: White
 Return Color: White
 Installation: Flush to wall

[B] - GRAPHICS

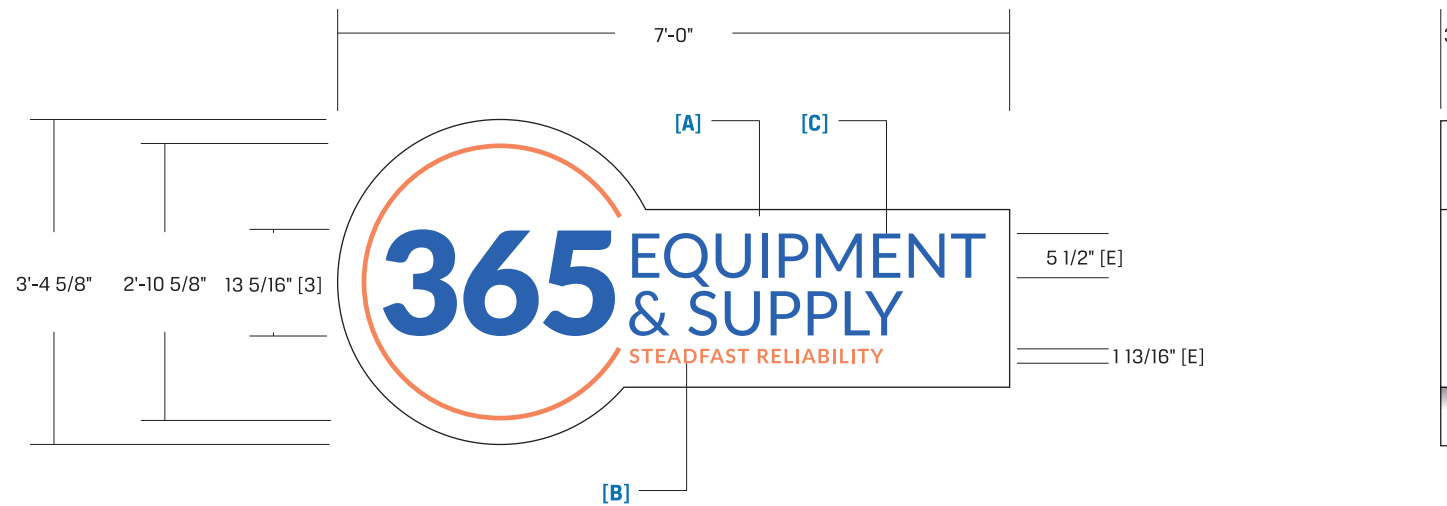
Material: Vinyl
 Color: Print to match PMS 164c Orange

[C] - GRAPHICS

Material: Vinyl
 Color: 33M 225-47 Intense Blue



Proposed - 3/32" = 1'-0"



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Project
125 E. Oakton
 Des Plaines, Illinois

Scale: 1/2"=1'
 Original Page Size: 11" x 17"

Notes
COLORS [TBD]

Revisions

REV	DESCRIPTION	BY	DATE
01	Update logo/design	IH	10.26.23
02	New logo and size	IH	12.04.23
03	Preprod	NH	01/24/24

Rep.: Dan Schumann Orig. Date: 07/28/23
 Drawn By: Israel Hill

Sign Loc. No. East

PAN-01
 S/F Pan Sign
 Sign Type

96576 **J01**
 OPP - Project - Job No. Design

SIGN SPECIFICATIONS

[A] - PAN

Material: Aluminum
 Depth: 3"
 Face Color: White
 Return Color: White
 Installation: Flush to wall

[B] - GRAPHICS

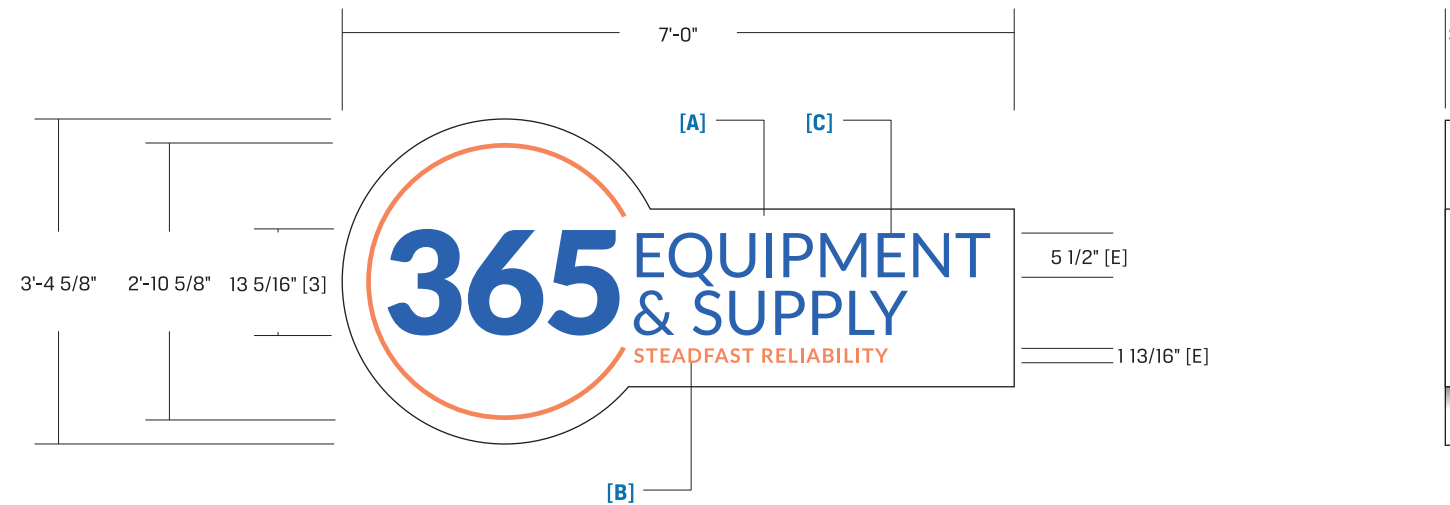
Material: Vinyl
 Color: Print to match PMS 164c Orange

[C] - GRAPHICS

Material: Vinyl
 Color: 33M 225-47 Intense Blue



Proposed - NTS



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Project
125 E. Oakton
 Des Plaines, Illinois

Scale: 1/2"=1'
 Original Page Size: 11" x 17"

Notes

•

Revisions

REV	DESCRIPTION	BY	DATE
01	Change location/size	IH	07.28.23
02	Update logo/design	IH	10.26.23
03	New logo and size	IH	12.04.23
04	Preprod	NH	01/24/24

Rep.: Dan Schumann Orig. Date: 07/18/23
 Drawn By: Israel Hill

Sign Loc. No. **North**

PAN-01
 S/F Pan Sign
 Sign Type

96576 **J01**
 OPP - Project - Job No. Design

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Project
125 E. OAKTON

DES PLAINES, IL

Scale: **AS NOTED**
Original Page Size: **11" x 17"**

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **01.22.24**

Drawn By: **RWT**

Sign Loc. No.

PAN-01

S/F PAN SIGN

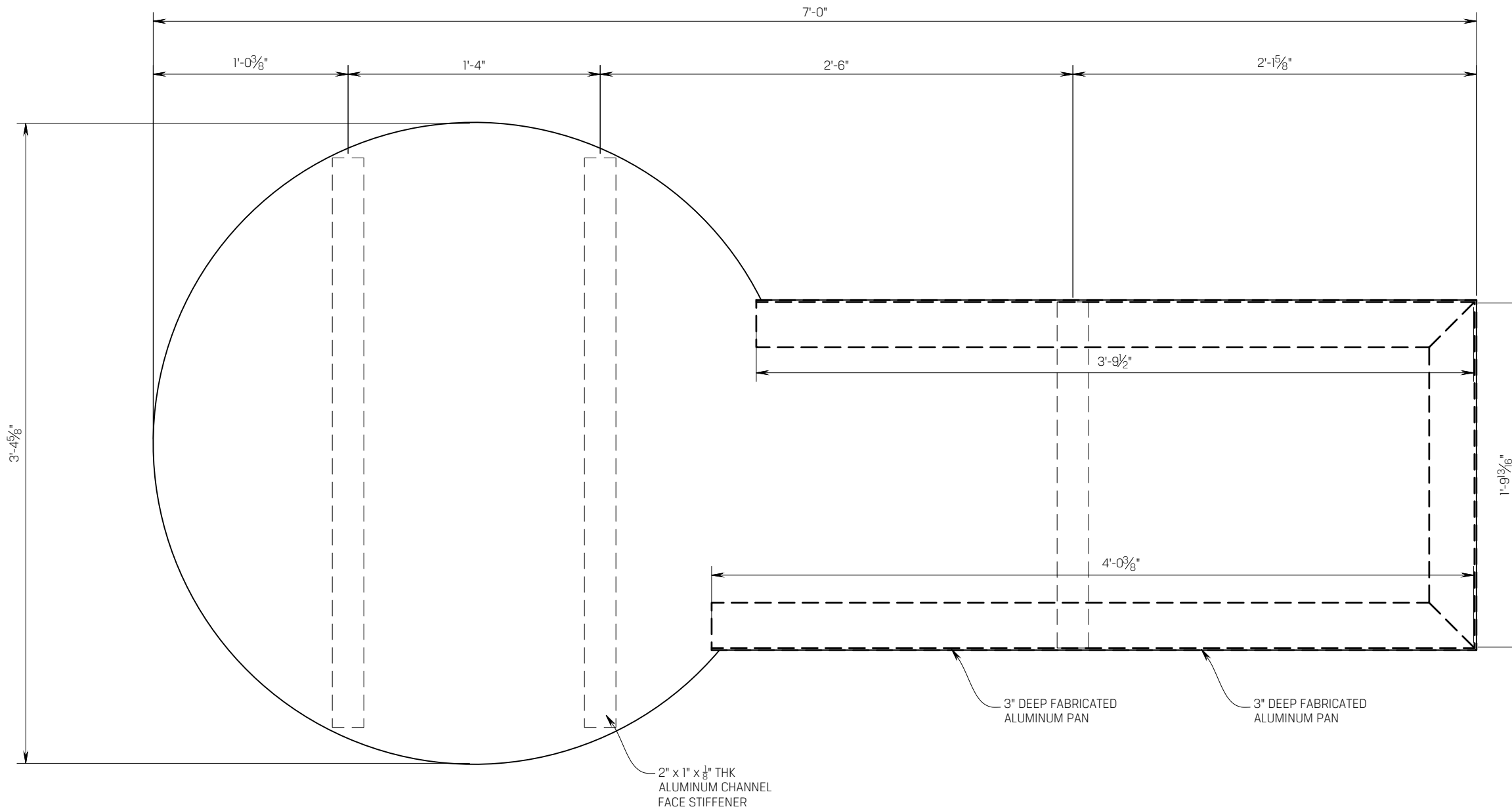
Sign Type

96576

OPP-Project Page 63 of 77

S01

Sheet



FRONT ELEVATION

SCALE : 1 1/2" = 1'-0"

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Project

125 E. OAKTON

DES PLAINES, IL

Scale: **AS NOTED**

Original Page Size: **11" X 17"**

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep.: **DAN SCHUMANN** Orig. Date: **01.22.24**

Drawn By: **RWT**

Sign Loc. No.

PAN-01

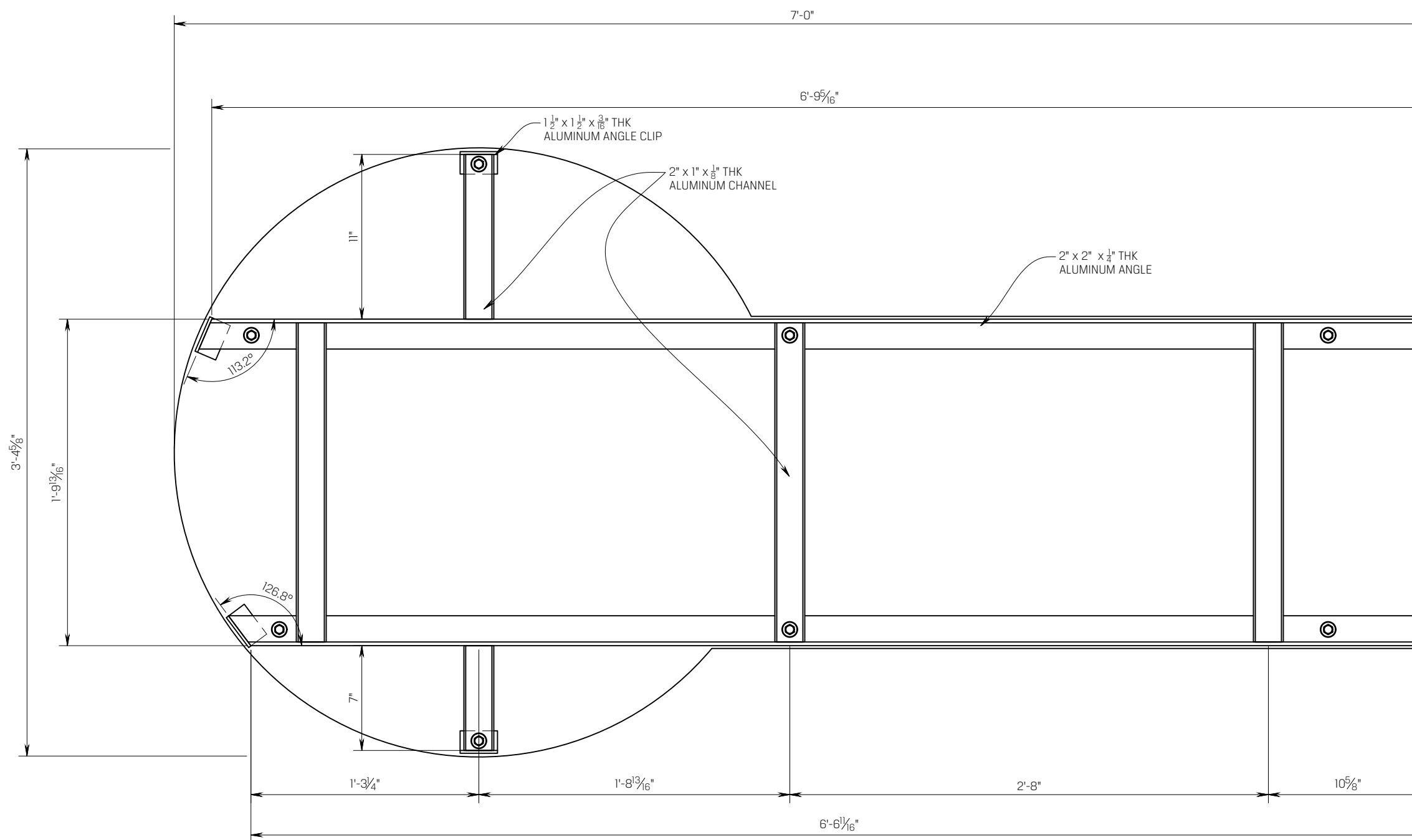
S/F PAN SIGN

Sign Type

96576

S02

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



FRAME LAYOUT

SCALE : 1 1/2" = 1'-0"

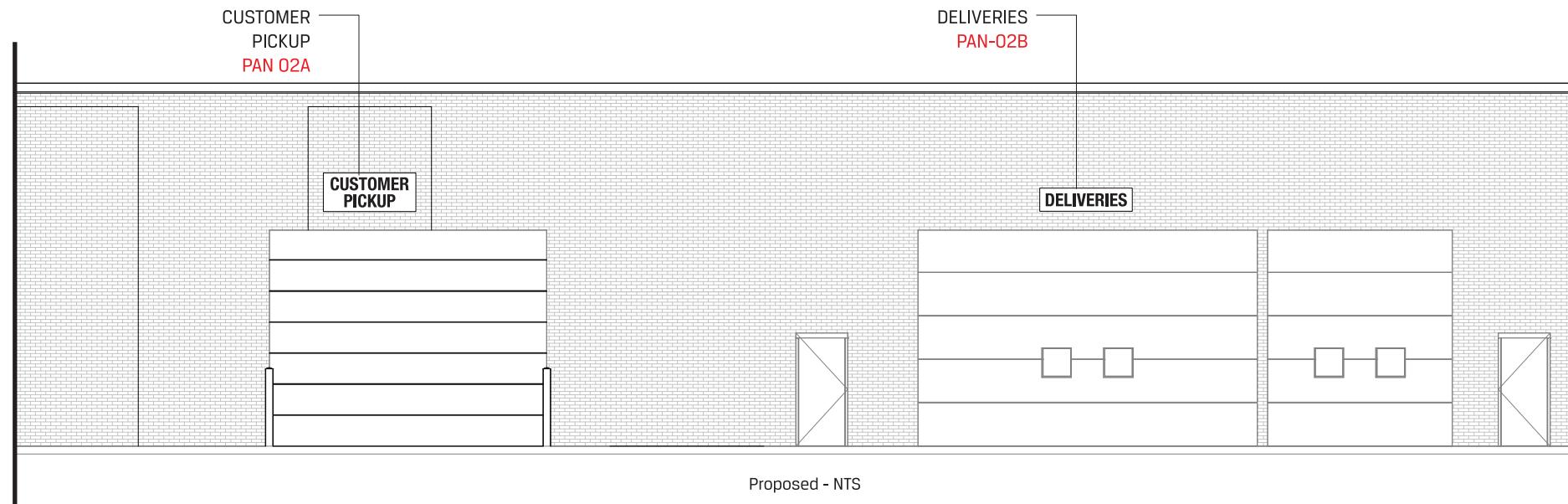
SIGN SPECIFICATIONS

[A] - PAN

Material: Aluminum
 Depth: 2"
 Face Color: White
 Return Color: White
 Installation: Flush to wall

[B] - GRAPHICS

Material: Vinyl
 Color: 3M 7725-12 Black



Proposed - NTS



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Project
125 E. Oakton
 Des Plaines, Illinois

Scale: 1"=1'
 Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
01	Revise Scope	IH	09.21.23
02	Remove Showroom pnl	IH	10.26.23
03	Preprod	NH	01/24/24

Rep.: Dan Schumann Orig. Date: 07/28/23
 Drawn By: Israel Hill

Sign Loc. No. .

PAN-02
 S/F Pan Sign
 Sign Type

96576 **J01**
 OPP - Project - Job No. Design

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Lit
 LED Color: Cool White
 Material: Aluminum
 Face Color: Dark Green [TBD]
 Cabinet Color: Dark Green [TBD]
 Installation: Mount to existing base

[B] - LOGO

Material: Push-Thru [1/4" Proud of face]
 Color: White with Silver vinyl overlay on 1st surface

[C] - CAP

Material: Aluminum
 Color: White



Existing - NTS



Proposed - NTS



Illuminated View NTS



CAB-01

D/F Cabinet
 Sign Type



DATE	REVISION
8.6.24	ADDED SITE PLAN

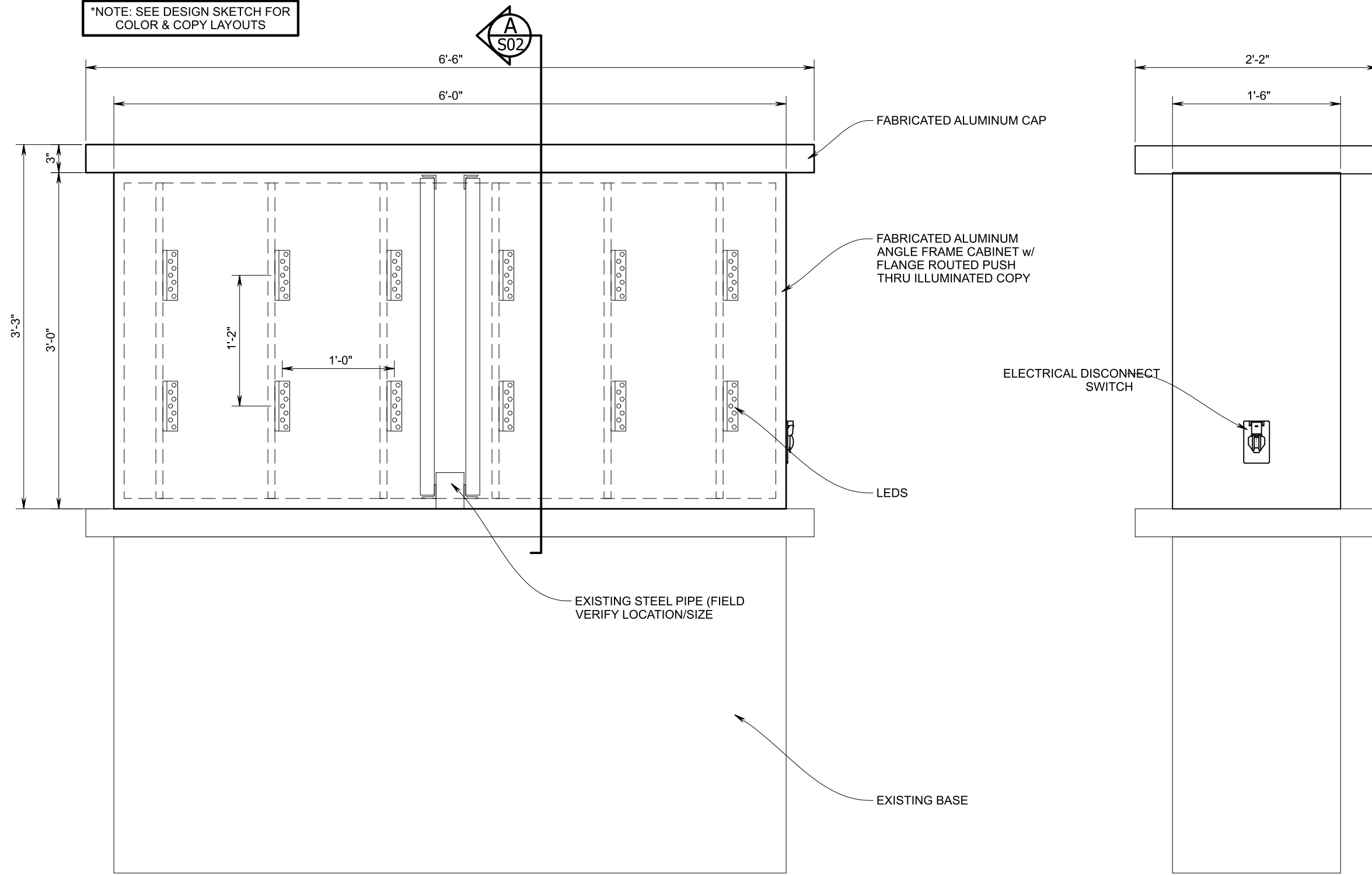
CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	2

O:\Design\Pepper Construction\Des Plaines\PC - 6553346481_v2.cdr

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



FRONT ELEVATION

SCALE : 1" = 1'-0"

BOND & GROUND ACCORDING TO N.E.C. ARTICLE 600 & U.L. 48 STANDARDS
 PRIMARY ELECTRICAL SUPPLY & FINAL HOOK UP TO BE DONE BY LOCALLY LICENSED ELECTRICAL CONTRACTOR.
1.1 AMPS @ 120 VOLTS

SIDE VIEW

SCALE : 1" = 1'-0"



DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	3

O:\Design\Pepper Construction\Des Plaines\PC - 6553346481_v2.cdr

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Lit
 LED Color: Cool White
 Material: Lexan Face
 Face Color: White
 Cabinet Color: Beige [TBD]
 Installation: New Structure

[B] - GRAPHICS

Material: Translucent Vinyl
 Color: 3M 3630-44 Orange

[C] GRAPHICS

Material: Translucent Vinyl
 Color: 3M 3630-127 Intense Blue

[D] - BASE

Material: Aluminum
 Color: Beige [TBD]

[E] - CAPS

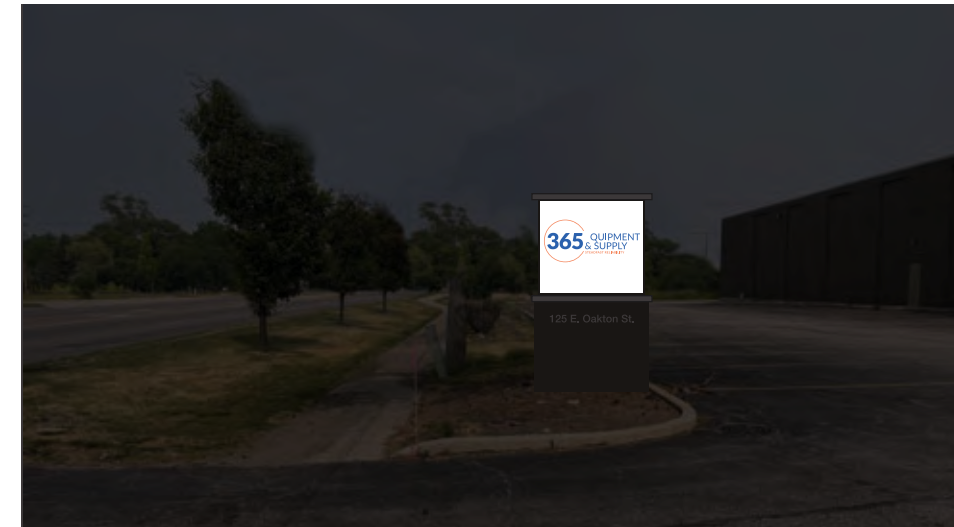
Material: Aluminum
 Color: White

[F] - GRAPHICS

Material: Vinyl
 Color: 3M 7725-10 White

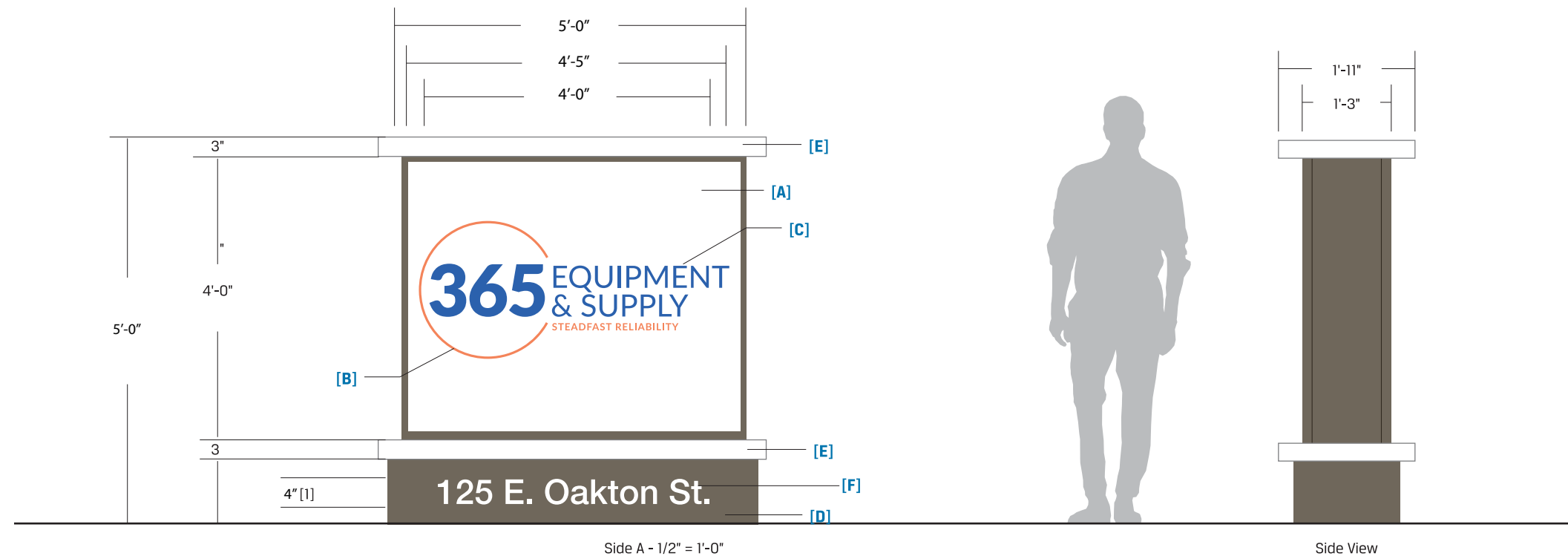
MON-01

D/F Monument
 Sign Type



Illuminated View - NTS

Proposed - NTS



DATE	REVISION
8.6.24	ADDED SITE PLAN

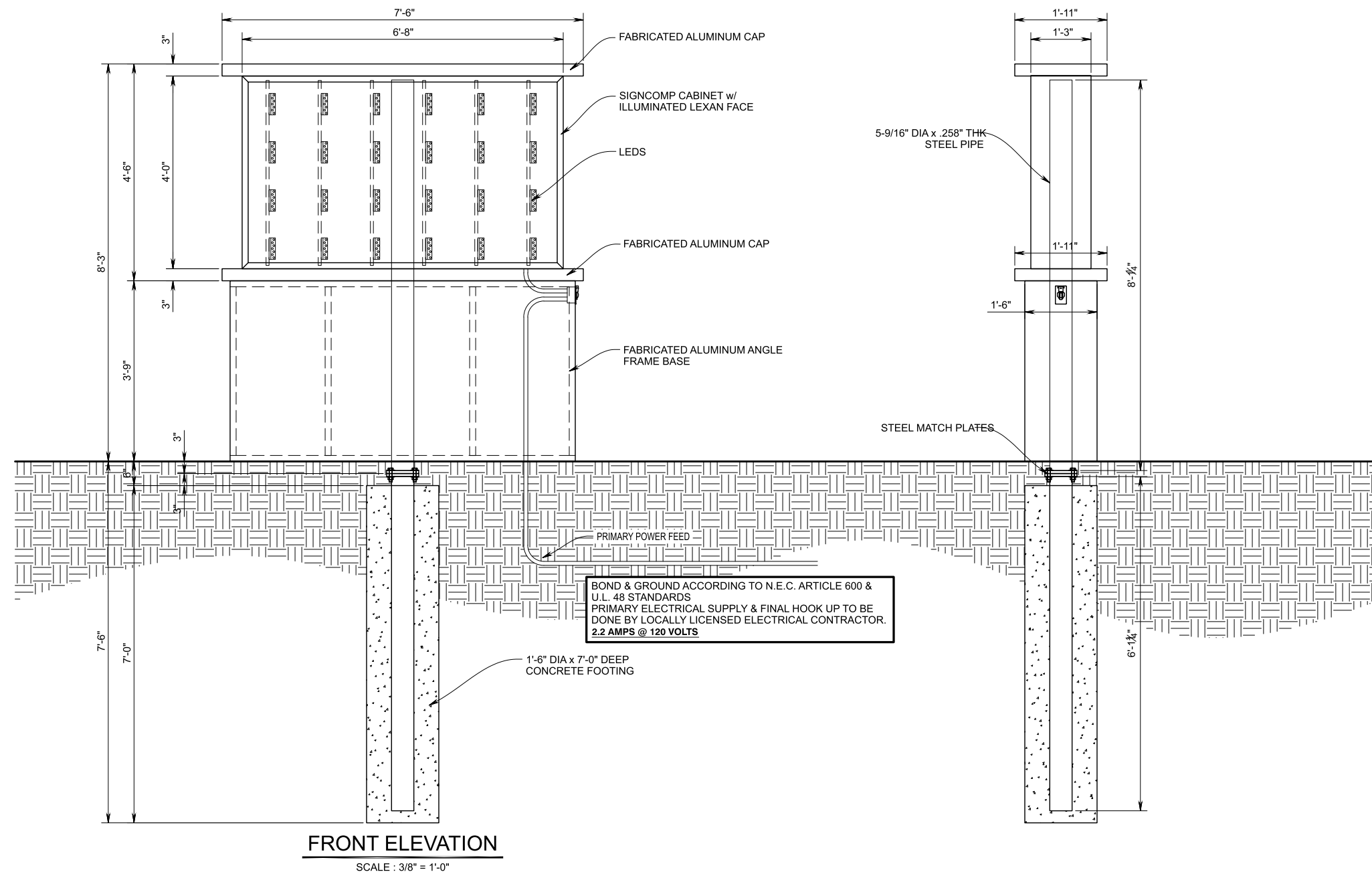
CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	5

O:\Design\Pepper Construction\Des Plaines\PC - 6553346481_v2.cdr

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



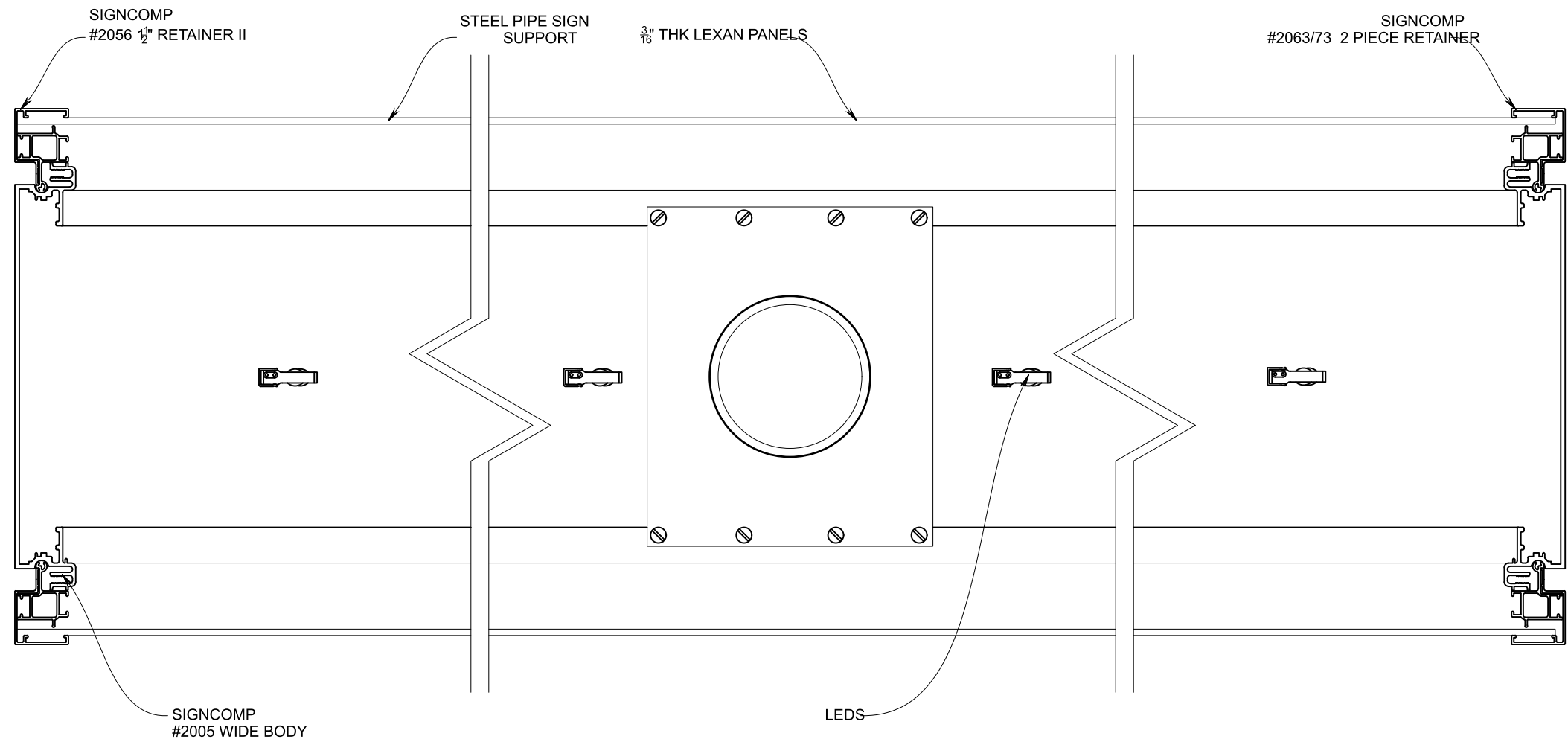
DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION			
ADDRESS	125 E OAKTON			
CITY	DES PLAINES	STATE	IL	DESIGNER KM
DRWG. NO.	6553346481	SCALE:	NOTED	SALESPERSON PD
		DATE:	05.01.2024	SHEET NO. 6

O:\Design\Pepper Construction\Des Plaines\PC - 6553346481_v2.cdr



SECTION B
SCALE : 3" = 1'-0"



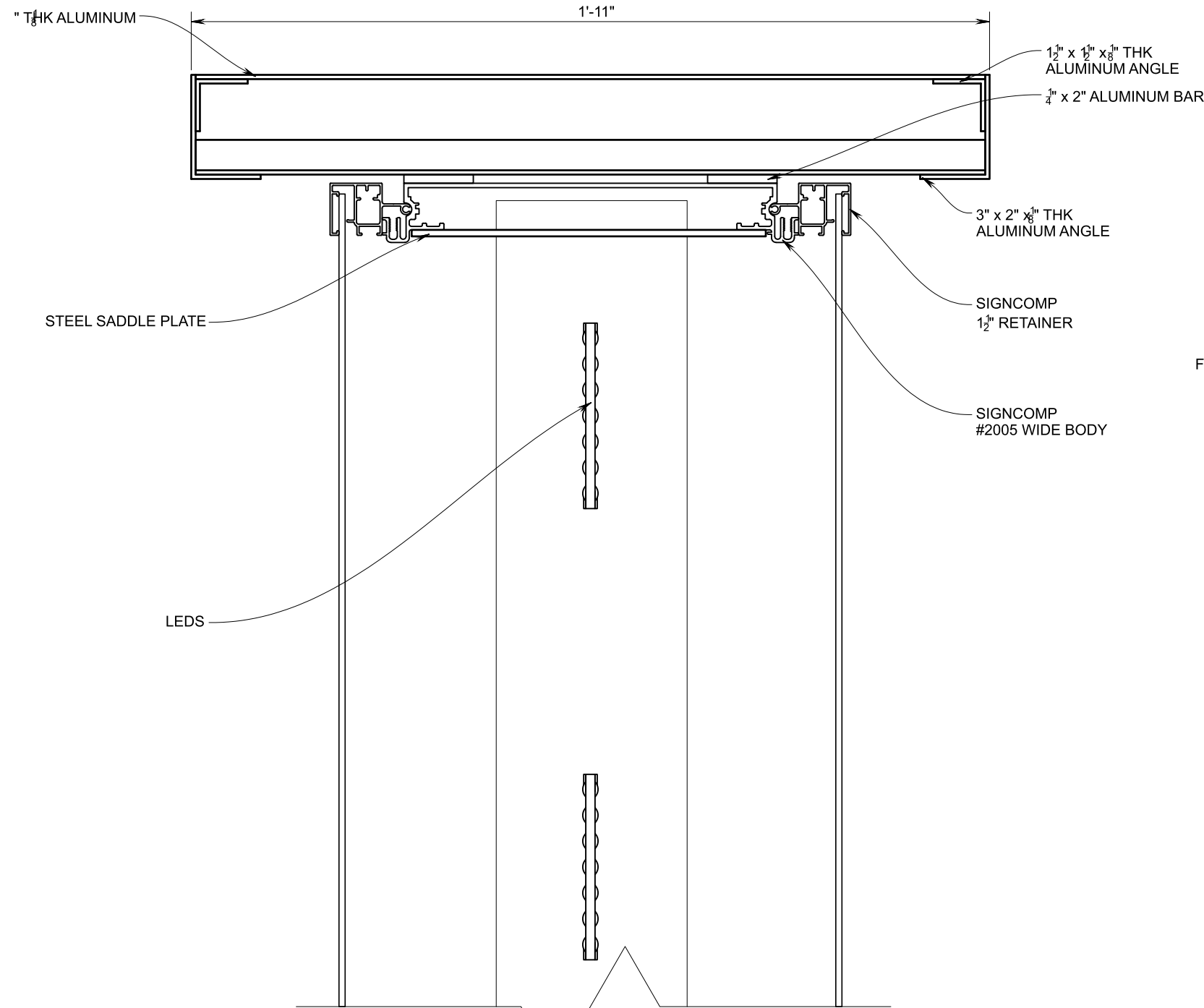
DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

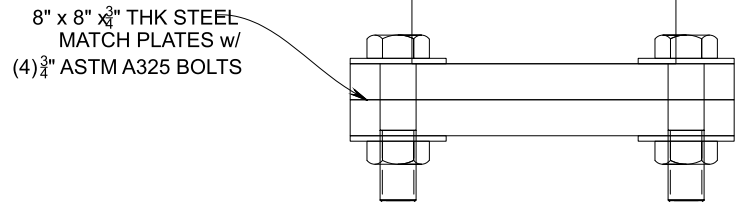
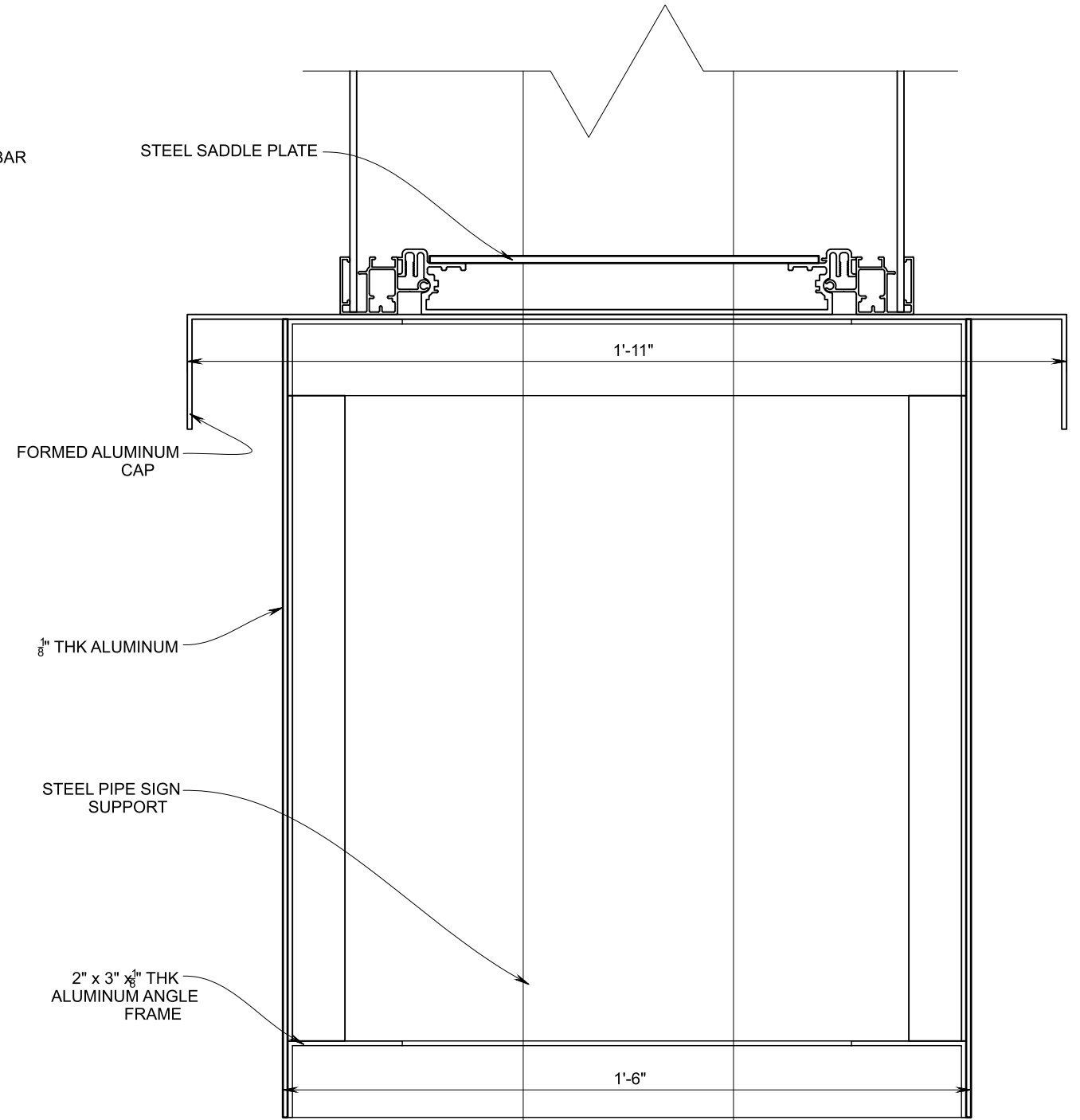
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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	7

O:\Design\Pepper Construction\Des Plaines\PC - 6553346481_v2.cdr



SECTION B
SCALE : 3" = 1'-0"



SECTION B CONT.
SCALE : 3" = 1'-0"



DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION			
ADDRESS	125 E OAKTON			
CITY	DES PLAINES	STATE	IL	DESIGNER KM SALESPERSON PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE: 05.01.2024 SHEET NO. 8

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SIGN SPECIFICATIONS

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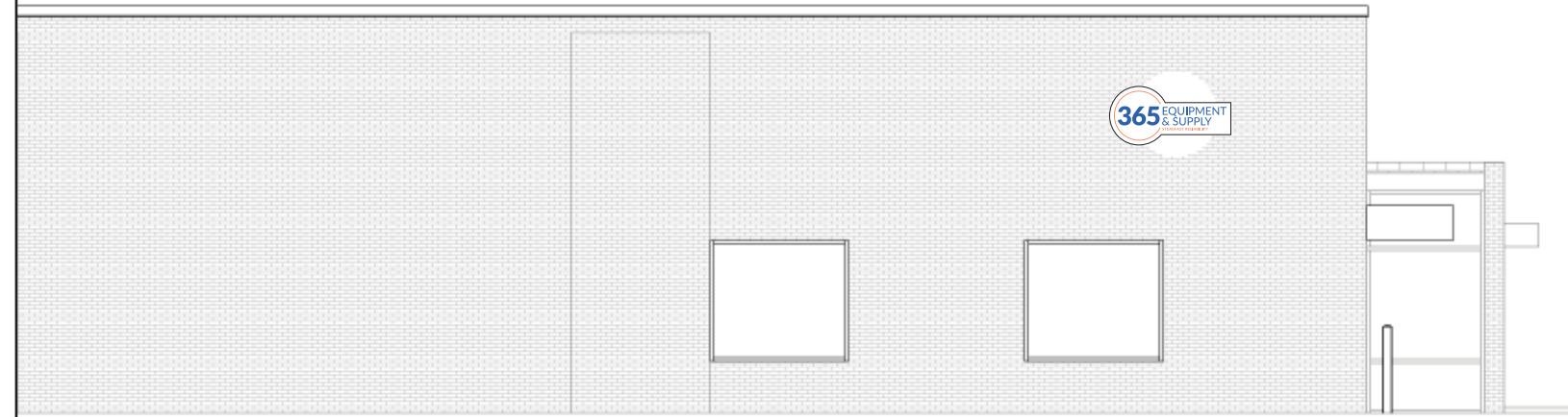
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Return Color: White
Installation: Flush to wall

[B] - GRAPHICS

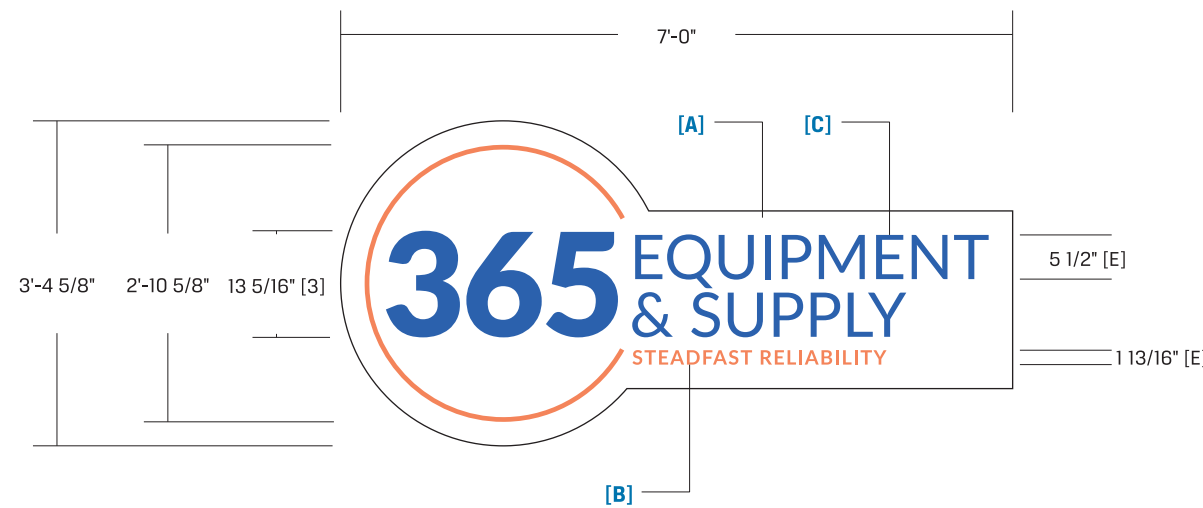
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Color: Print to match PMS 164c Orange

[C] - GRAPHICS

Material: Vinyl
Color: 33M 225-47 Intense Blue



Proposed - 3/32" = 1'-0"



PAN-01

S/F Pan Sign
 Sign Type



DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION				
ADDRESS	125 E OAKTON				
CITY	DES PLAINES	STATE	IL	DESIGNER	KM
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024
		SALESPERSON	PD	SHEET NO.	9

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SIGN SPECIFICATIONS

[A] - PAN

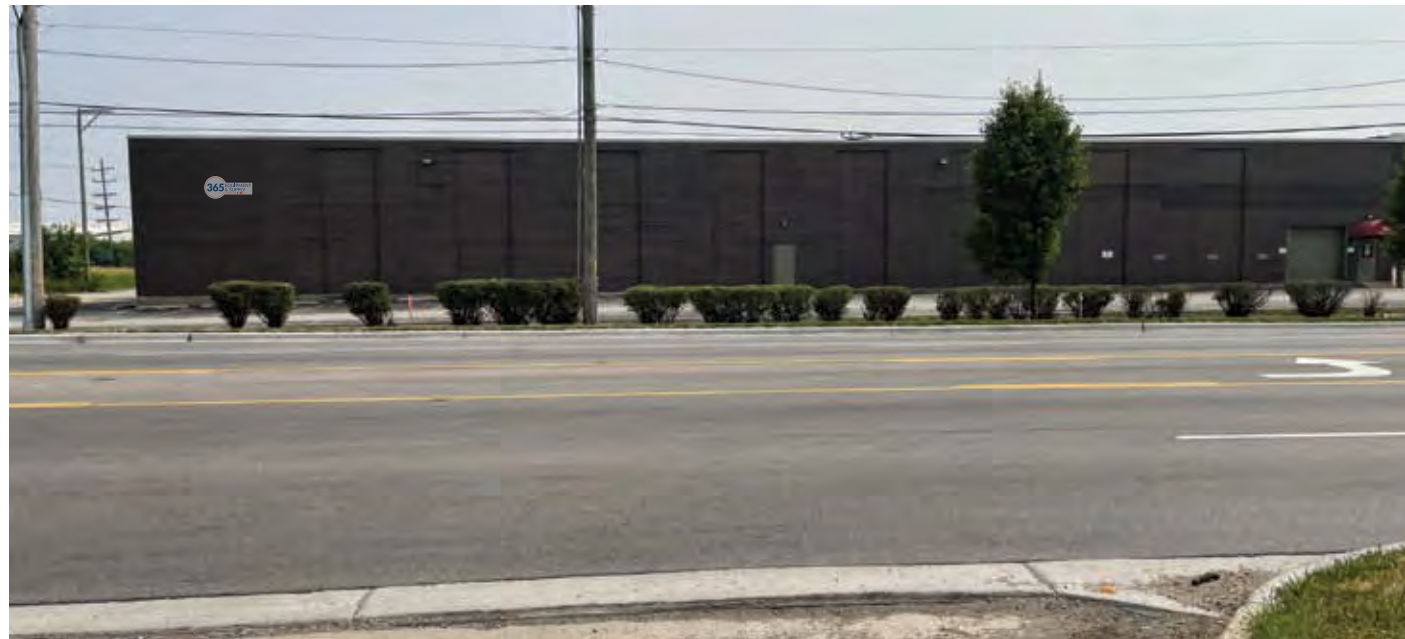
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 Face Color: White
 Return Color: White
 Installation: Flush to wall

[B] - GRAPHICS

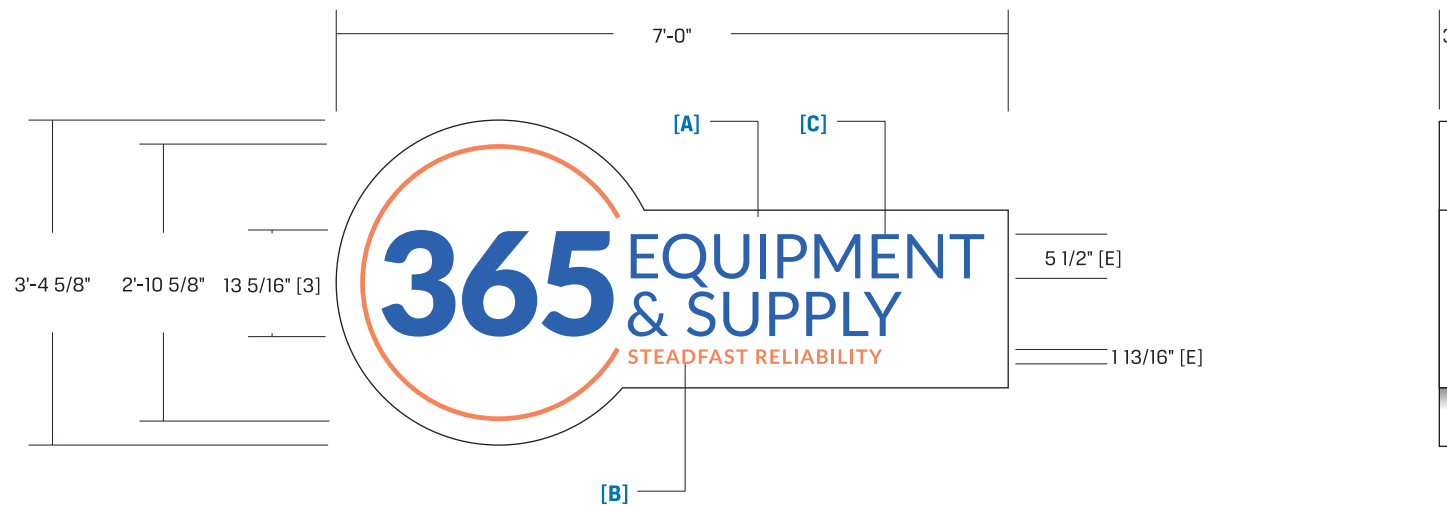
Material: Vinyl
 Color: Print to match PMS 164c Orange

[C] - GRAPHICS

Material: Vinyl
 Color: 33M 225-47 Intense Blue



Proposed - NTS



PAN-01

S/F Pan Sign
 Sign Type



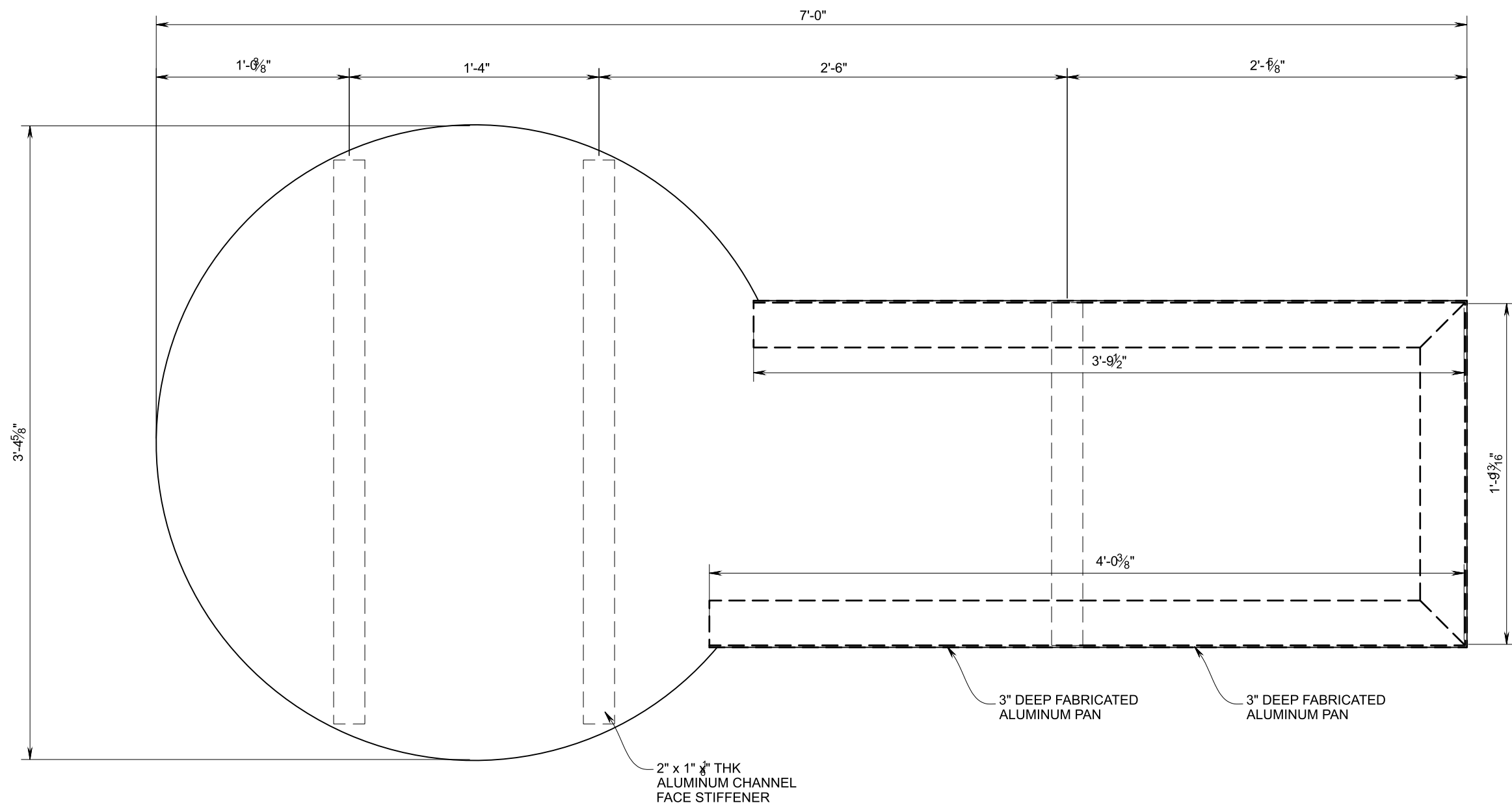
DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	10

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FRONT ELEVATION
SCALE : 1 1/2" = 1'-0"



DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	11

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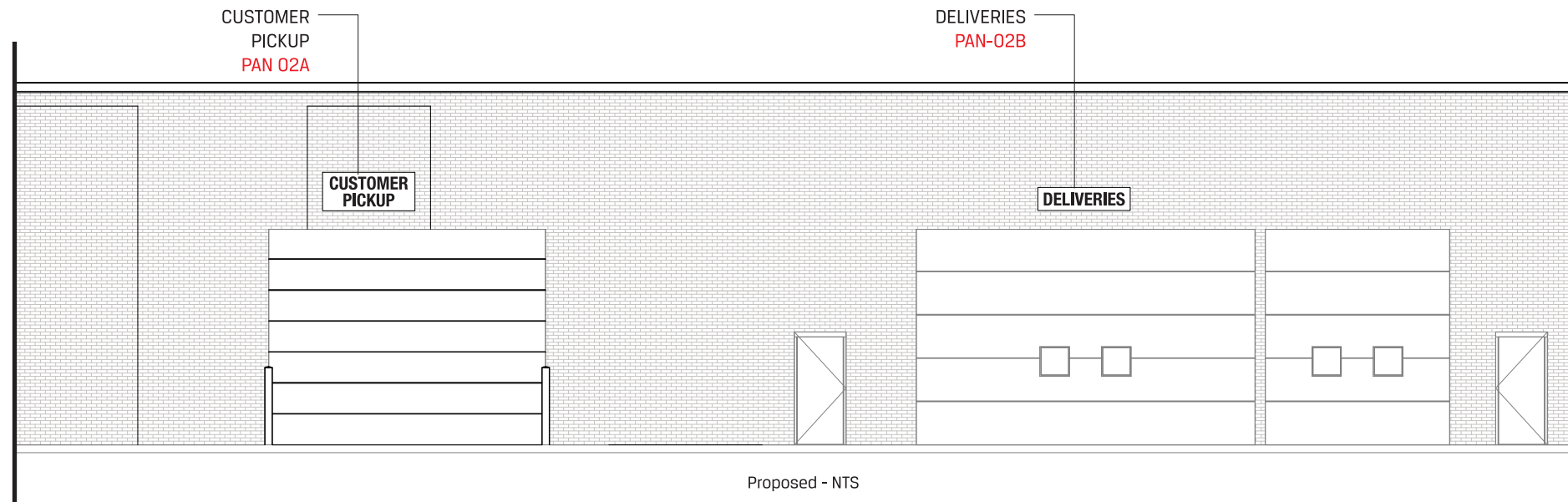
SIGN SPECIFICATIONS

[A] - PAN

Material: Aluminum
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 Face Color: White
 Return Color: White
 Installation: Flush to wall

[B] - GRAPHICS

Material: Vinyl
 Color: 3M 7725-12 Black



PAN-02

S/F Pan Sign
 Sign Type



DATE	REVISION
8.6.24	ADDED SITE PLAN

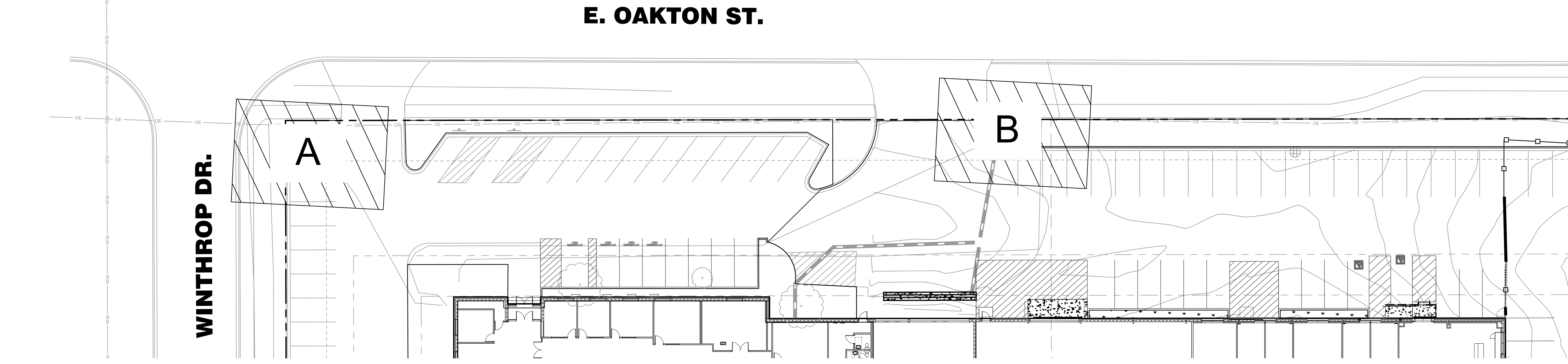
CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION				
ADDRESS	125 E OAKTON				
CITY	DES PLAINES	STATE	IL	DESIGNER	KM
SALESPERSON	PD	DATE:	05.01.2024	SHEET NO.	13
DRWG. NO.	6553346481	SCALE:	NOTED		

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KEY MAP

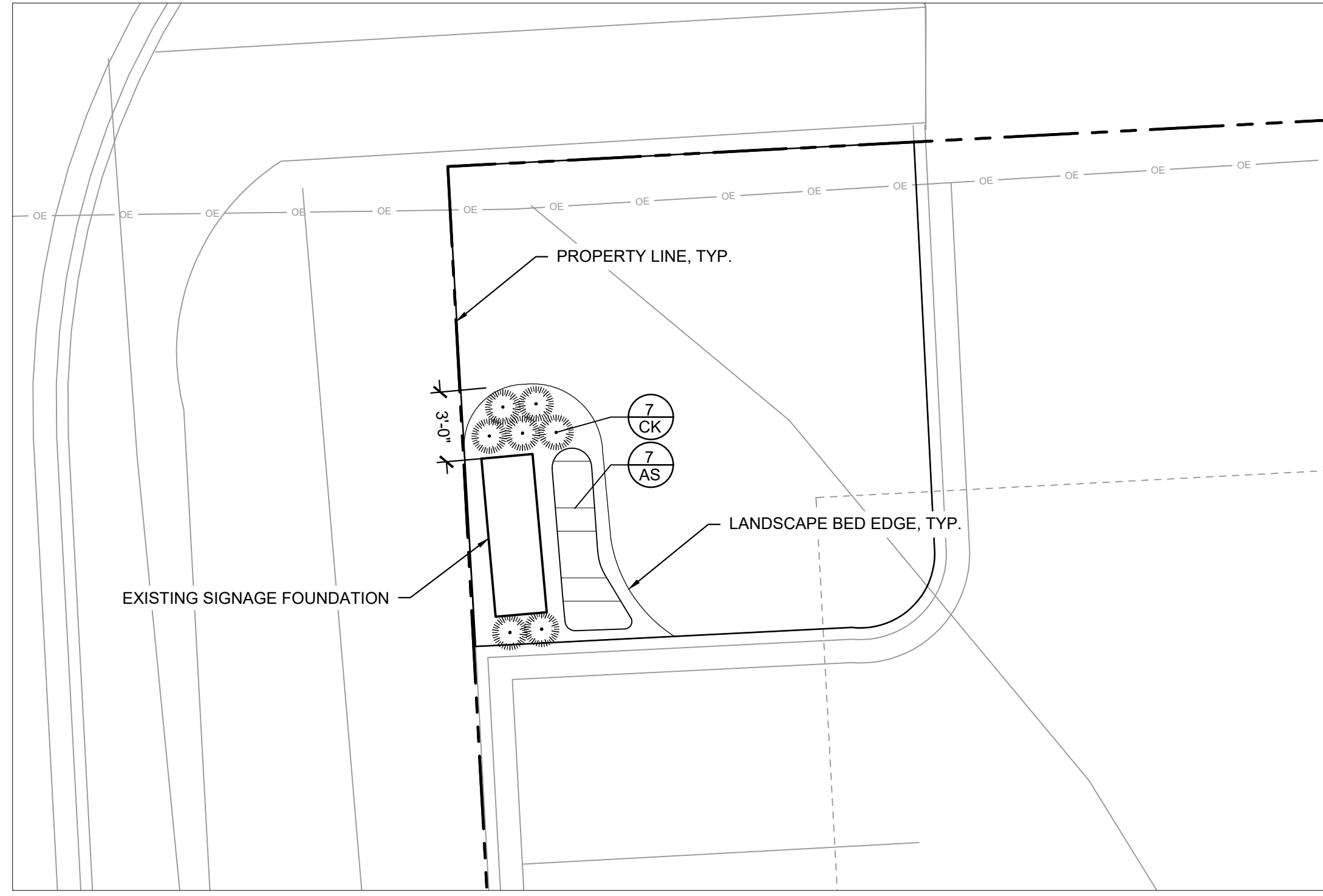


EXHIBIT A - PROPOSED SIGNAGE LANDSCAPE

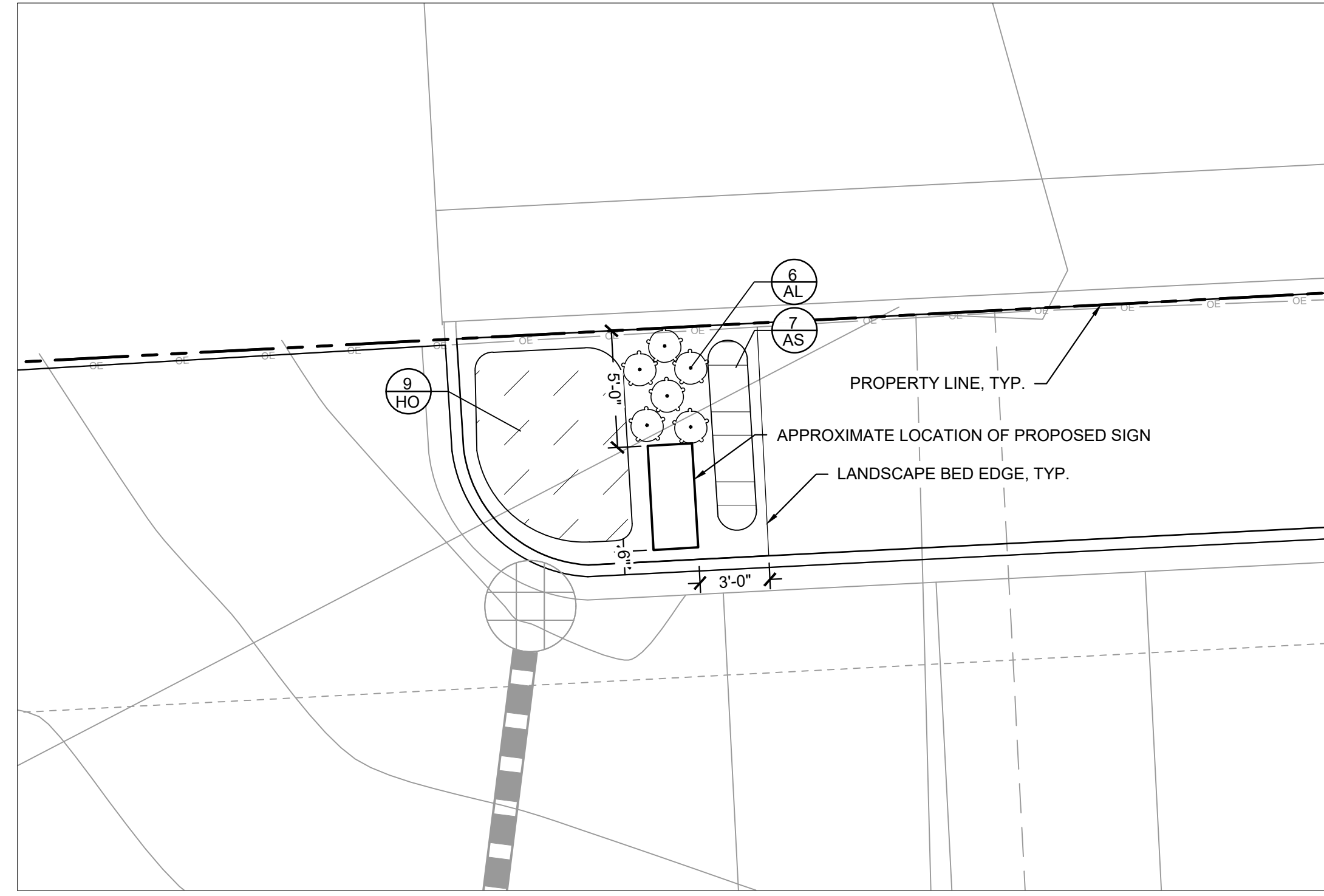
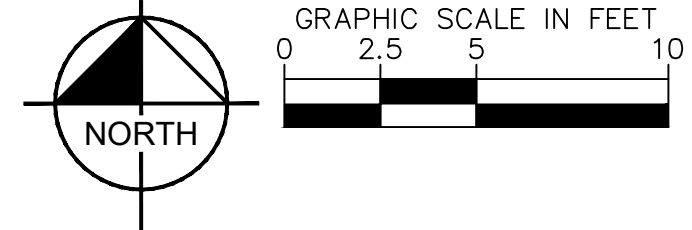
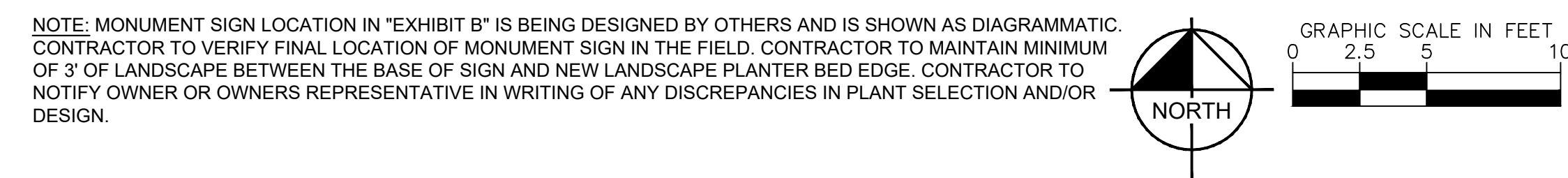


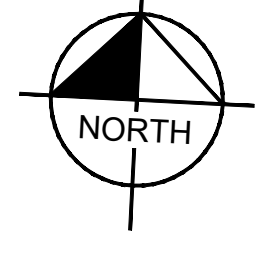
EXHIBIT B - PROPOSED SIGNAGE LANDSCAPE



NOTE: MONUMENT SIGN LOCATION IN "EXHIBIT B" IS BEING DESIGNED BY OTHERS AND IS SHOWN AS DIAGRAMMATIC. CONTRACTOR TO VERIFY FINAL LOCATION OF MONUMENT SIGN IN THE FIELD. CONTRACTOR TO MAINTAIN MINIMUM OF 3' OF LANDSCAPE BETWEEN THE BASE OF SIGN AND NEW LANDSCAPE PLANTER BED EDGE. CONTRACTOR TO NOTIFY OWNER OR OWNERS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN PLANT SELECTION AND/OR DESIGN.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
SHRUBS					
	AL	6	ARONIA MELANOCARPA 'UCCONNAM165' / LOW SCAPE MOUND® BLACK CHOKEBERRY	3 GAL.	SEE PLAN
ORNAMENTAL GRASSES					
	CK	7	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	SEE PLAN
SHRUB AREAS					
	AS	14	ALLIUM X 'SUMMER BEAUTY' / SUMMER BEAUTY ORNAMENTAL ONION	1 GAL.	18" O.C.
	HO	9	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.	30" O.C.



NO.	REVISIONS	DATE	BY
4	CONDITIONAL USE PERMIT COMMENTS	08/06/24	AG
3	CITY COMMENTS	07/09/24	AG
2	SITE PLAN GENERAL NOTES UPDATE	04/23/24	AG
1	CITY COMMENTS	11/21/23	AG

Kimley-Horn
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 111 W. JACKSON BLVD., SUITE 1320, CHICAGO, IL 60604
 PHONE: 312-726-9445
 WWW.KIMLEY-HORN.COM

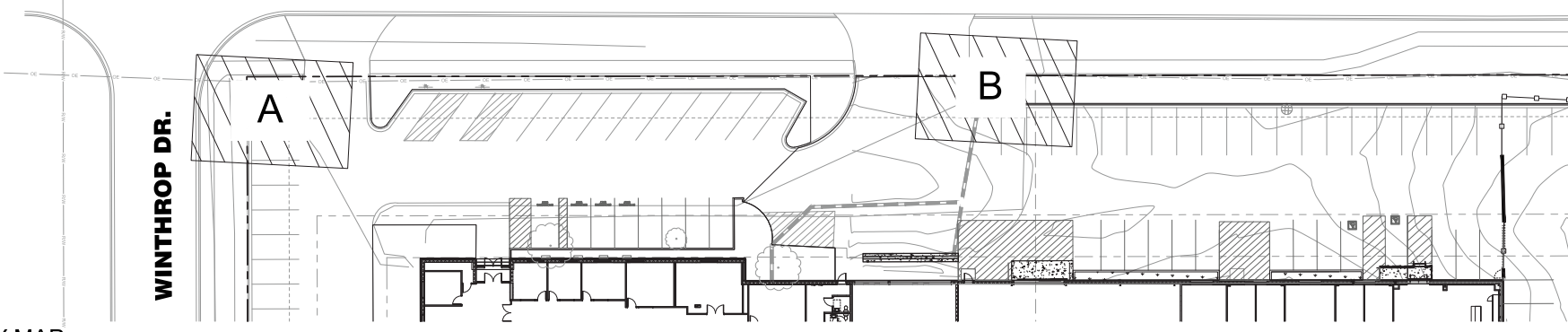
KHA PROJECT 26828000
DATE
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

ENTRY SIGNAGE
LANDSCAPE EXHIBIT

PEPPER CONSTRUCTION
DES PLAINES, IL

SHEET NUMBER
L-100

E. OAKTON ST.



KEY MAP

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
SHRUBS					
	AL	6	ARONIA MELANOCARPA 'UCONNAM165' / LOW SCAPE MOUND® BLACK CHOKEBERRY	3 GAL.	SEE PLAN
ORNAMENTAL GRASSES					
	CK	7	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	SEE PLAN
SHRUB AREAS					
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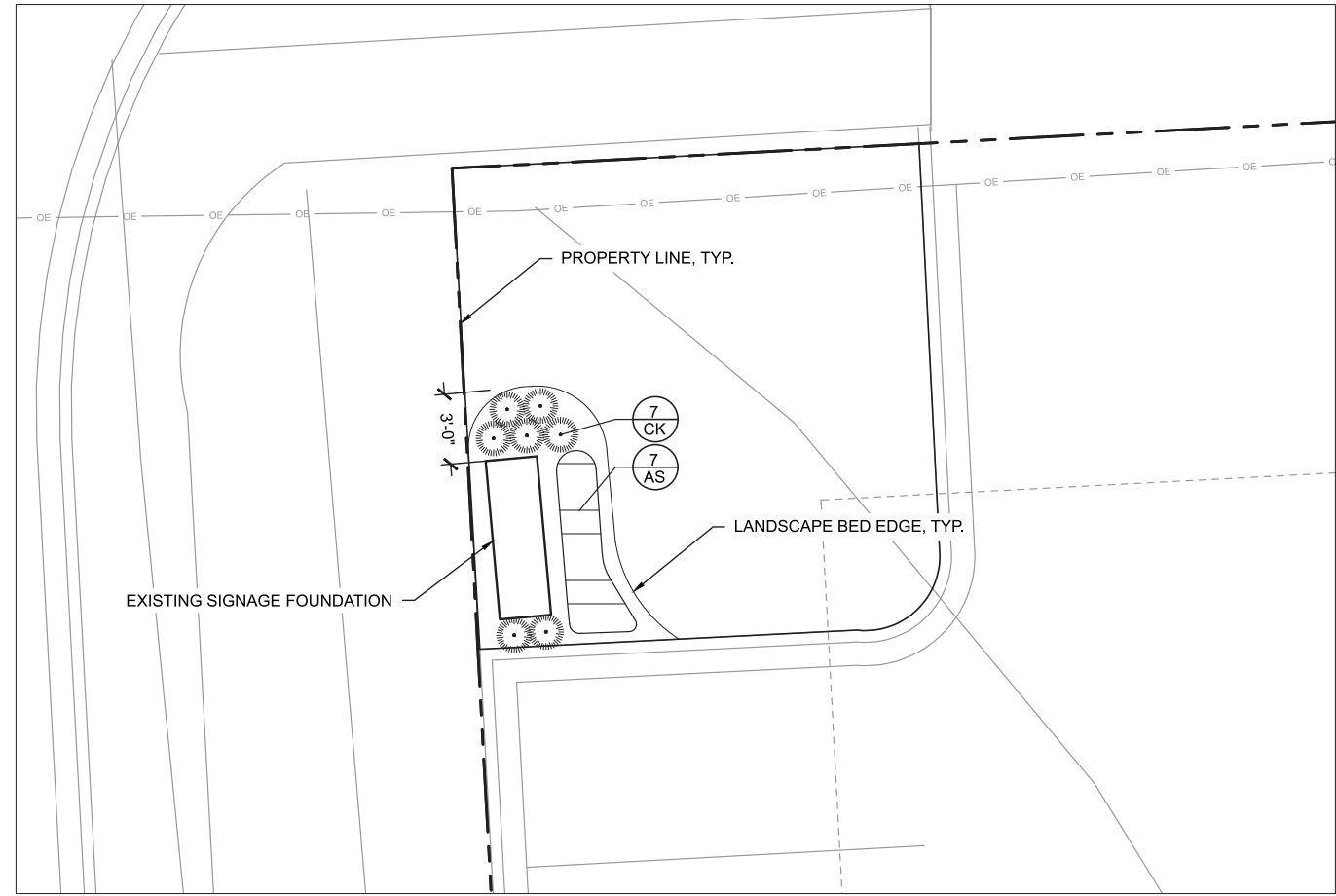


EXHIBIT A - PROPOSED SIGNAGE LANDSCAPE

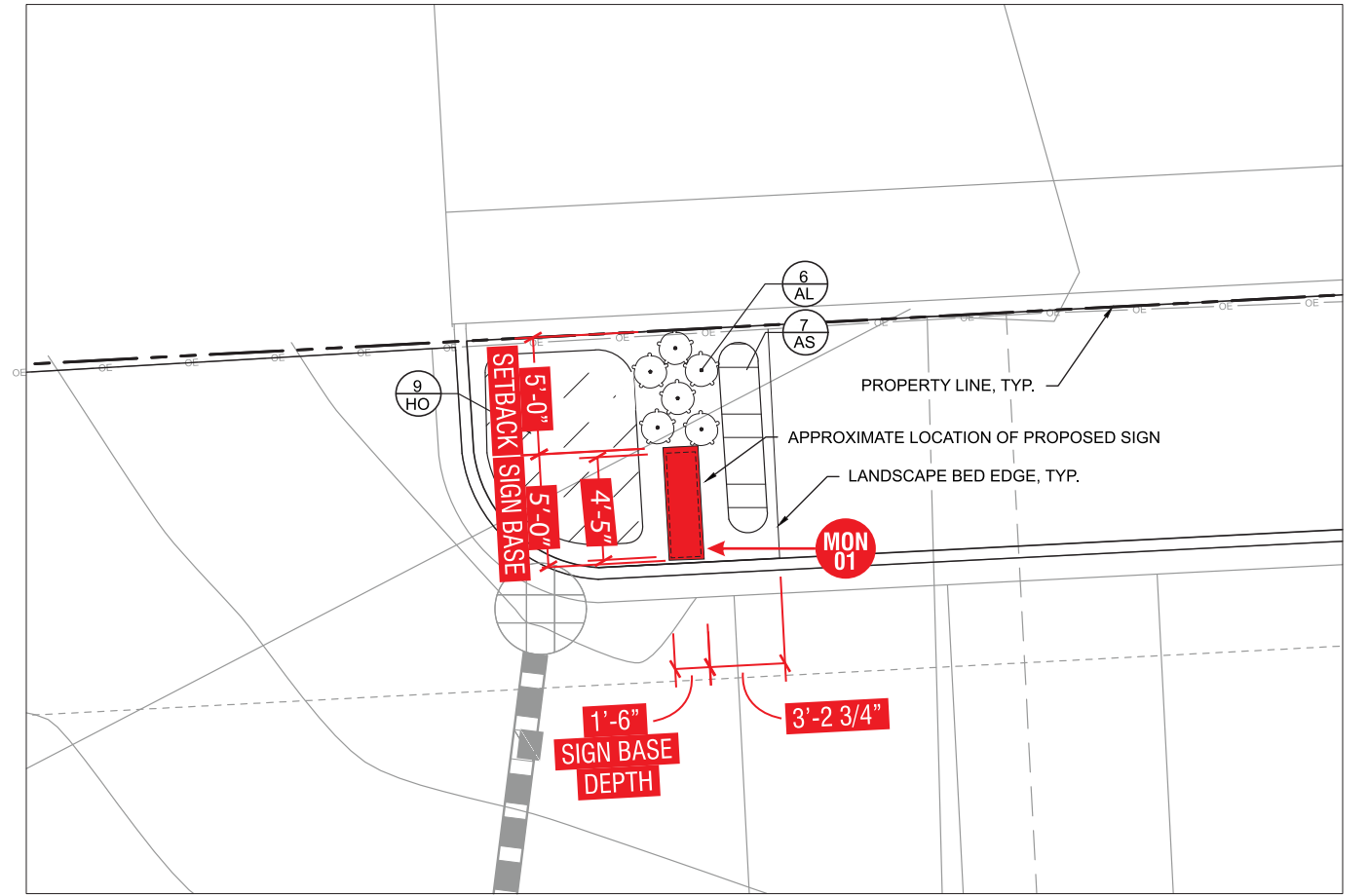
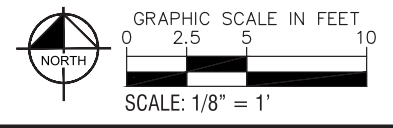
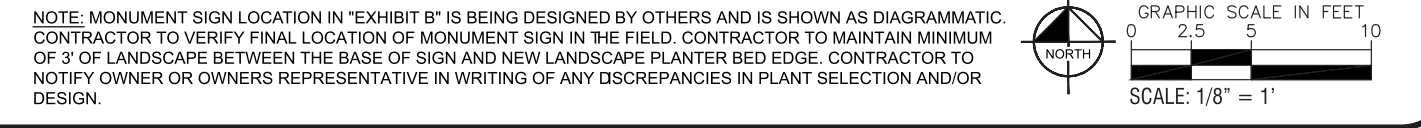


EXHIBIT B - PROPOSED SIGNAGE LANDSCAPE



DATE	REVISION
8.6.24	ADDED SITE PLAN

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	PEPPER CONSTRUCTION						
ADDRESS	125 E OAKTON						
CITY	DES PLAINES	STATE	IL	DESIGNER	KM	SALESPERSON	PD
DRWG. NO.	6553346481	SCALE:	NOTED	DATE:	05.01.2024	SHEET NO.	1

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MEMORANDUM

Date: August 9, 2024
To: Planning and Zoning Board (PZB)
From: Samantha Redman, Senior Planner *SR*
Cc: Jeff Rogers, AICP, Director of Community and Economic Development *JR*
Subject: Zoning Text Amendments Regarding Catering in Commercial Districts

Issue: Consider Zoning Ordinance amendments to: (i) add a definition for “catering kitchen” to Section 12-13-3 and (ii) specify a “catering kitchen” as a conditional use within all commercial zoning districts in Section 12-7-3-K. Staff propose an alternative Zoning Ordinance amendment to add “food processing establishment” as a conditional use in the C-4, Regional Shopping District in Section 12-7-3.K.

PIN: Citywide
Petitioner: Pepi Company of Illinois, LLC, d/b/a Alonti Catering Kitchen, 3512 Lake Street, Houston, TX 77098
Case Number: #24-034-TA

Background

Pepi Company of Illinois, LLC, operating at Alonti Catering Kitchen, are seeking to open a “catering kitchen” in a combined tenant space in The Oaks Shopping Center at 1545-1547 Lee Street. This property is zoned C-4, Regional Shopping District. The proposed type of use has historically been classified as a “food processing establishment”, which is not a permitted or conditional use within the C-4 Zoning District. The definition for food processing establishment is below:

“Establishments producing or processing foods and certain related products. Includes: a) bakery products, sugar and confectionery products (except facilities that produce goods only for on site sales with no wider distribution); b) dairy products processing; c) fat and oil products (not including rendering plants); d) fruit and vegetable canning, preserving, and related processing; e) grain mill products and byproducts; f) meat, poultry, and seafood canning, curing, and byproduct processing (not including facilities that also slaughter animals); and g) miscellaneous food preparation from raw products, including catering services that are independent from food stores or restaurants” (Section 12-13-3).

In 2014, the food processing establishment was defined and added to the C-3 Zoning District and the M-1, Light Manufacturing District as a conditional use and in the M-2, General Manufacturing district as a

permitted use.¹ In 2020, requirements for food processing establishments within the C-3 Zoning District were revised, allowing them as a permitted use if comprised of less than 2,500 square feet and a conditional use for any larger operations.²

As the petitioner discusses in their narrative and response to standards, the intent with the text amendments is to provide a path to allow for this business in this specific location. However, any text amendment is widely applicable to the city as a whole and must be evaluated for any of its impacts. Staff provide an alternative text amendment that would result in a similar outcome, with a narrower scope in greater harmony with the existing zoning ordinance.

Examples from Other Municipalities

The zoning ordinances of six surrounding municipalities were referenced to understand how catering operations are generally regulated by other communities. The definition of this type of use varies, with most having a separate definition for catering and some combining this use with food processing or light manufacturing. Generally, the use is permitted within the manufacturing zoning districts, although many also permit the use with a conditional or special use in commercial or business districts. Refer to Surrounding Community Regulations (Attachment 5).

Proposed Amendments by Petitioner

Definition

A new definition is proposed to be added to Section 12-13-3, see below:

“CATERING KITCHEN: An establishment whose principal business is the sale of edible, prepared foodstuffs and/or beverages specifically for consumption off of the premises.”

Zoning Regulations

The petitioner proposes the follow amendment to the Commercial Use Matrix in Section 12-7-3.K:

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
<u>Catering Kitchen</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>

Refer to the Petitioner’s Standards for Amendment (Attachment 2) for justification of this request.

Proposed Amendments by Staff

Definition

Staff consider the existing food processing establishment definition to adequately encompass the proposed use. Below is the existing food processing establishment definition, with sections underlined presenting similarities to the catering kitchen definition:

“Establishments producing or processing foods and certain related products. Includes: a) bakery products, sugar and confectionery products (except facilities that produce goods only for on site sales with no wider distribution); b) dairy products processing; c) fat and oil products (not including rendering plants); d) fruit and vegetable canning, preserving, and related processing; e) grain mill products and byproducts; f) meat, poultry, and seafood canning, curing, and byproduct processing (not including facilities that also slaughter animals); and g) miscellaneous food preparation from raw products, including catering services that are independent from food stores or restaurants” (Section 12-13-3).

¹ Ordinance Z-13-14
² Ordinance Z-16-20

Therefore, staff do not propose an amendment to add a new definition for catering kitchen. Rather, staff would continue to classify this use under a “food processing establishment.”

Zoning Regulations

The purpose of this amendment by Alonti Foods is to permit this business at 1545-1547 Lee Street, within the C-4 Zoning District. Presently, this use is not permitted in this zoning district. The C-4 Regional Shopping District purpose is stated to be, “to accommodate shopping centers in a location to serve the general public. The district is designed to permit, as of right, uses commonly associated and concentrated within a commercial shopping center.”

C-4 zoned properties are located in four sections of the city: 721 Golf Rd., 101 W. Oakton St., and the properties on the northeast and the northwest corners of the intersection of Oakton Street and Lee Street. Shopping districts are generally intended to concentrate public-facing commercial activities, primarily retail activities into one area. Generally, the range of uses permitted by right or with a conditional use within this zoning district have some type of public facing component.

Staff proposes to add this use as a conditional use, with a footnote requiring incorporation of a public facing component to their business and regulations on number of vehicles. The following amendments are proposed to the Use Matrix for the C-4 District:

Adult Day Service Center	C
Alternative tobacco establishments	C ¹⁸
Animal clinic	C
Artisanal retail establishments	P ¹⁴
Auto filling station	P ⁴
Brewpub	P
Cannabis dispensaries	P ¹⁹
Car wash	C ⁵
Childcare center	C
Commercial art gallery	P
Commercial indoor recreation	P
Commercial shopping center	P
Congregate housing	C
Convenience mart fueling or charging station	P ⁴
Convenience retail store	P
Domestic pet service	C
Drive-through facility (located adjacent to residential use)	C ²
Drive-through facility (not located adjacent to residential use)	C ²
Dry cleaners with plants on premises	P
Financial institutions	P
<u>Food Processing Establishment</u>	<u>C</u>
Grocery retail	P
Hotels	C
Leasing/rental agents, equipment	C

Libraries, private	P
Libraries, public	P
Massage establishments	C
Motor vehicle sales	P
Offices	P
Parks	P
Pharmacies/drugstores	P
Planned developments	C
Post Office	P
Public utilities	P
Radio transmitting towers, public broadcasting	C
Restaurants:	
Class A	P
Class B	P
Retail goods establishments	P
Retail service establishments	P
Specialty food stores	P
Studios, artist, dance and music	P
Taverns and lounges	P
Wholesale goods establishments	C

26 With on-site consumption, public facing retail, or carryout service available. One commercial vehicle associated with the business per 1,000 sq ft is permitted to be parked onsite overnight, or a larger quantity as otherwise authorized by the conditional use ordinance.

The intent with the first half of the proposed footnote 26 is to ensure that this type of use will be compatible with the goals of this zoning district. The intent of the second half provides control over the number of commercial vehicles stored overnight on the property. The limitation is stated to be 1 per 1,000 square feet, but allows some flexibility within the conditional use process to permit additional vehicles on a case-by-case basis. This is intended to prevent an overburdening of parking in shopping centers with fleet vehicles as well as provide limitations on the intensity of operations (i.e. a catering company with two vehicles likely has a different input for the delivery of raw materials and output of delivery for manufactured meals compared to thirty vehicles).

For the proposed Alonti Catering Kitchen Use, the business would be required to demonstrate at time of the conditional use process that they intend to have on-site consumption, public facing retail, or a carryout service available and specify the location and type and number of vehicles to be stored on the property. The proposed commercial space is approximately 2,400 square feet, allowing 2 commercial vehicles to be located on the property overnight, unless a different quantity is permitted with the conditional use. If the text amendment is adopted, the applicant and property owner will need to apply for a a conditional use to consider a potential food processing establishment on the premises, requiring a public hearing before the Planning and Board, and consideration of a recommendation regarding an Ordinance by the City Council.

Standards for Text Amendment:

The following is a discussion of standards for zoning amendments from Section 12-3-7.E. of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided. The PZB may use the statements below as its rationale or adopt its own.

1. Whether the proposed amendments are consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

The proposed text amendments would foster additional commercial options for existing, vacant properties within shopping centers of the city, promoting the economic development initiatives of the Comprehensive Plan.

2. Whether the proposed amendments are compatible with current conditions and the overall character of existing development;

The staff proposed amendments provide an avenue to promote the purpose of the C-4 Zoning District, allowing for this type of use with a public facing component required.

3. Whether the proposed amendments are appropriate considering the adequacy of public facilities and services available;

Staff does not see any indications that the amendments will not affect public facilities and services. The limitation on the number of vehicles in the staff proposed amendments provides greater certainty that sufficient parking will be available for this type of use, and prevent an overburdening of shopping centers with large operations that necessitate a substantial number of fleet vehicles.

4. Whether the proposed amendments will have an adverse effect on the value of properties throughout the jurisdiction; and

The proposed amendments are intended to benefit the value of surrounding properties and overall economic stability of the shopping centers within the city by expanding the range of commercial uses to fill vacant storefronts.

5. Whether the proposed amendments reflect responsible standards for development and growth.

The proposed amendments encourage a range of uses within commercial districts. However, the staff proposed amendments provide a more specific location and limitations for this type of use, preventing potential incompatibilities of uses. The petitioner proposed amendments request a catering kitchen as a conditional use in all zoning districts, which creates the potential for incompatibilities in zoning districts intended for lower intensity businesses.

PZB Procedure and Recommended Conditions: Under Section 12-3-7.C.3 of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve with modifications, or deny the above-mentioned amendments. City Council has final authority on the proposal.

Attachments:

- Attachment 1: Petitioner's Narrative
- Attachment 2: Petitioner's Response to Standards
- Attachment 3: Petitioner's Proposed Text Amendment
- Attachment 4: Staff Proposed Text Amendment
- Attachment 5: Surrounding Community Regulations

Project Narrative

Pepi Company of Illinois, LLC, an Illinois limited liability company (“**Applicant**”), seeks approval for (i) Zoning Text Amendment, and (ii) Conditional Use, in order to establish a catering kitchen for off-site consumption at the property commonly known as 1545-1547 Lee Street in Des Plaines, IL (the “**Property**”) and is located within the C-4 zoning district. If approved, the business intends to operate within a portion of the existing building at the Property consisting of 2,400 square feet.

Alonti Catering Kitchen provides on-demand catering for people at work, Monday through Friday, breakfast and lunch. Our clients include K-12 schools, universities, government organizations, hospitals, and corporations. Alonti started in Houston in 1974, and now serves Chicago, Los Angeles, Orange County, Austin, San Antonio, Dallas, and Fort Worth. We are a 3rd generation family managed business.

In Des Plaines, Alonti would like to build a catering only kitchen, also known as a ghost kitchen. A ghost kitchen is a restaurant that does not have a dining room for on-site dining and food consumption, but focuses exclusively on delivery. What makes Alonti different than other ghost kitchens is we employ our own delivery drivers, we do not contract out to 3rd party companies.

Each Alonti catering-only kitchen employs on average twelve (12) people, one (1) general manager, one (1) catering sales manager, and ten (10) crew members.

Alonti crew members prepare the food and deliver the food. We do not own or operate any company vehicles.

Alonti’s delivery hours are 7 AM till 4:30 PM. Our operations team arrives at 5:00 AM to begin food preparation.

Alonti locations in Chicagoland average net sales of \$1.25 million. In Des Plaines, if we construct an Alonti Catering Kitchen, we are projected to collect **\$106,250** in sales and other taxes. All sales are recognized at the catering kitchen.

- \$78,125 State Sales Tax
- \$6,250 Non-Home Rule Sales Tax
- \$9,375 Regional Transportation Authority Tax
- \$12,500 Food and Beverage Tax

Alonti receives bi-weekly deliveries from Sysco Food. The deliveries are typically delivered during the early morning hours, and sometimes overnight. Alonti also receives daily produce deliveries, deliveries, which are also made early in the morning.

RESPONSES TO STANDARDS – TEXT AMENDMENTS

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the city council.

Applicant seeks a text amendment to the Zoning Code (the “Code”) for the City of Des Plaines by amending Section 12-7-3(K) to add “Catering Kitchens” to Table 3 as an allowable use in the C zoning districts as a Conditional Use. The requested relief consistent and in keeping with the goals, objectives and policies of the 2019 Comprehensive Plan (the “Comprehensive Plan”). Expanding Mixed-Use Developments is the first stated Overarching Principle provided in the Comprehensive Plan. The requested text amendment would encourage mixed-use developments as well as economic development throughout the City.

If the requested text amendment and subsequent conditional use are approved, the Applicant intends to operate a Catering Kitchen business in the existing building located at 1545-47 Lee Street, which is located in the Oakton Street Corridor. The Comprehensive Plan specifically states that a goal of the City is to expand the mixed-use developments in this area.

2. Whether the proposed amendment is compatible with current conditions and the overall character of the existing development in the immediate vicinity of the subject property.

The proposed text amendment is compatible with current conditions and the overall character of the existing development in the immediate vicinity of the subject property. The Property is located within an existing mixed-use development commonly known as The Oaks located at 1515-1591 Lee Street. Current uses at The Oaks include commercial, retail and residential. The Property is also surrounded by properties within the C-3 zoning district which also allows for commercial, retail and residential uses. Accordingly, permitting “Catering Kitchen” upon approval of a Conditional Use in the C-4 district is compatible with the surrounding area.

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property.

If the requested relief is approved, it is not expected that the changes in use as proposed in the text amendment would have any impact on the adequacy of public facilities and services available to the Property or the surrounding properties. The proposed use will not require additional service from the existing public utility system.

4. Whether the proposed amendment will have an adverse effect on the value of properties within the jurisdiction.

The Property is surrounded by other commercial uses such that approving the proposed text amendment will not have an adverse effect on the value of surrounding properties. Alternatively, the Applicant’s intended business will likely have a positive effect on surrounding properties and businesses by activating a vacant commercial storefront with a productive business.

5. Whether the proposed amendment reflects the responsible standards for development and growth.

The proposed text amendment reflects responsible standards for development and growth by allowing for a greater balance and variety of commercial uses. Further, the amendment will allow oversight over the sites at which such expanded uses are permitted through the conditional use process.

PROPOSED TEXT AMENDMENT

Amend

12-7-3.K: Commercial Use Matrix: Amending “Commercial District Use Matrix” to Permit Catering Kitchen as a Conditional Use.

TABLE 3

COMMERCIAL DISTRICTS USE MATRIX

P = Permitted Use

C = Conditional Use Permit required

Uses	C-1	C-2	C-3	C-4	C-5	C-6	C-7
Catering Kitchen ²⁵	C	C	C	C	C	C	C

[...]

12-13-3: Amending “Definition of Terms” to Add Definition of “Catering Kitchen”.

CATERING KITCHEN: An establishment whose principal business is the sale of edible, prepared foodstuffs and/or beverages specifically for consumption off of the premises.

12-7-3: COMMERCIAL DISTRICTS REGULATIONS

Uses	C-3	C-4

Food processing establishment	P ¹⁴	<u>C²⁶</u>

¹⁴ When the total space/use is up to 2,500 square feet. Any total space/use that is over 2,500 square feet must obtain a conditional use permit.

²⁶ With on-site consumption, public facing retail, or carryout service available. One commercial vehicle associated with the business per 1000 sq ft is permitted to be parked onsite overnight, or a quantity as otherwise authorized by the conditional use ordinance. ***

Zoning Ordinance of Surrounding Municipalities

Mt Prospect

Definition: No specific definition for catering or food processing establishment. May be classified as restaurant or light manufacturing.

Zoning Regulations: Conditional use in B-3 (Community Shopping), B-5 (Central Commercial) and B-5C (Core Central Commercial)

Arlington Heights

Definition: Catering Establishments. A facility whose primary purpose is to provide food, generally in large quantities, for banquets or for special events which are held off the premises not including a carry-out restaurant or a sit-down restaurant.

Zoning Regulations: Special use in B-1 (Business District Limited Retail), Permitted by Right in B2 (General Business District), B3 (General Service, Wholesale and Motor Vehicle District), B4 (Limited Service District). Explicitly forbidden as a home occupation.

Glenview

Definition: Catering service listed as a use, but not defined

Zoning Regulations Permitted by right in: Downtown Glenview Road and Waukegan Road, B-1 (main floor), B-2 (General business district), B-3 (General service district). Conditional use in: I-1 (Limited commercial district), PD (Planned Development)

Elk Grove Village

Definition: No definition, but “food processing” in the use matrix.

Zoning Regulations: Special Use: I-2, General Industrial

Niles

Definition: Catering Establishment. A business that prepares food for delivery an off-site location.

Zoning Regulations: Permitted use in C-2 (General Commercial District) and M (Limited Industrial District)

Schaumburg

Definition: An establishment in which food is prepared, generally in large quantities, for consumption off the premises at public or private functions such as wedding, receptions, dinners or banquets. This definition shall not include any over the counter sales of prepared food items.

Zoning Regulations:

Permitted within M-1 Manufacturing District and M-P, Planning Manufacturing Districts

MEMORANDUM

Date: August 6, 2024
To: Planning and Zoning Board (PZB)
From: Jonathan Stytz, AICP, Senior Planner JS
Cc: Jeff Rogers, AICP, Director of Community & Economic Development JWR
Subject: Tentative Plat of Subdivision at 555 Howard Avenue, Case #24-039-TSUB (5th Ward)

Issue: The petitioner is requesting a Tentative Plat of Subdivision to consolidate the existing two lots into one lot of record.

Petitioner: Doug Klein, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

Owner: Doug Klein, 9525 W. Bryn Mawr Avenue, Rosemont, IL 60018

Case Number: 23-039-TSUB

PINs: 09-30-400-002-0000; 09-30-400-032-0000

Ward: #5, Alderman Carla Brookman

Existing Zoning: M-2, General Manufacturing District

Existing Land Use: Industrial building

Surrounding Zoning: North: M-2, General Manufacturing District
South: M-2, General Manufacturing District
East: R-1, Single Family Residential District
West: M-2, General Manufacturing District

Surrounding Land Use: North: Industrial buildings (Manufacturing)
South: Industrial buildings (Manufacturing)
East: Single Family Residences (Residential)
West: Industrial building (Manufacturing)

Street Classification: Wolf Road is a minor arterial street under Illinois Department of Transportation (IDOT) jurisdiction and Howard Avenue is a local street under City of Des Plaines jurisdiction.

Comprehensive Plan:

The Future Land Use map designates this property as industrial.

Project Description:

Overview

Petitioner Doug Klien, on behalf of Bridge Industrial, intends to consolidate the two existing parcels into one lot of record. The subject property is located in the M-2 General Manufacturing district at the southwest corner of the Wolf Road and Howard Avenue intersection and is comprised of two lots totaling approximately 11.77-acres. The subject property is improved with two main structures: (i) a two-story, 59,740-square-foot metal and brick building; and (ii) a one-story brick building consisting of an 11,643-square-foot office area and 219,648-square-foot warehouse space. The subject property also contains multiple surface parking lots, which are accessed from the existing single curb-cut off Wolf Road and the seven existing curb-cuts off Howard Avenue. Approximately 789 feet of the north portion of the property extends to the centerline of Howard Avenue before stair-stepping down outside of the Howard Avenue right-of-way. Please see the attached ALTA/NSPS Land Title Survey for additional information related to the existing improvements on the property.

Proposed Improvements

The proposal includes the removal of all existing site improvements to redevelop the subject property for a new Class A industrial building with surface parking areas as noted in the attached Project Narrative. The petitioner indicates that the proposed development will be constructed as either a speculative building or as a built-to-suit for a potential tenant. While the exact building size of the future development has been finalized, the petitioner has considered installing all underground detention or a mixture of above ground and underground detention, details of which will need to be provided with the final engineering plans at the final plat of subdivision stage.

TENTATIVE PLAT OF SUBDIVISION

Request Description:

Overview

The proposal includes the consolidation of the two existing lots into one 11.77-acre lot. The attached Tentative Plat of Subdivision, titled Bridge Point Des Plaines Subdivision, shows the location, boundary, and size of the proposed consolidated lot. The plat also notes the dedication of the existing 789-foot-long by 40-foot-wide northwest corner of the subject property to the City of Des Plaines to provide a full 80 feet of right-of-way for roadway purposes.

Building Lines and Easements

The subdivision plat shows the following easements and building lines: (i) a new 65-foot front building setback line along Wolf Road where the proposed subdivision abuts the street; (ii) new 25-foot side building setback lines along the north and south side property lines of the proposed subdivision; (iii) a new 25-foot rear building setback line along the west boundary of the proposed subdivision; (iv) an 83-foot public utility easement and 82.5-foot perpetual right and easement for utilities across the northern portion of the subdivision; (v) a 10-foot ComEd easement along the west subdivision line; and (vi) a 15-foot public utility easement along the east subdivision line abutting Wolf Road.

Subdivision Process, Required Public Improvements

Although the petitioner's request is for a Tentative Plat only at this time, the Board and public may benefit from understanding the requirements of a Final Plat, which is the second step in the subdivision approval process. The steps for Final Plat are articulated in Sections 13-2-4 through 13-2-8 of the Subdivision Regulations. In summary, the Final Plat submittal requires engineering plans that must be approved by the City Engineer, in particular a grading and stormwater management plan.

Ultimately a permit from the Metropolitan Water Reclamation District (MWRD) will be required for construction. Tentative Plat approval does not require submittal of engineering plans. The Engineering review is more detailed for plans at the Final Plat stage, as those are accompanied by civil drawings, which are not required at the Tentative Plat stage.

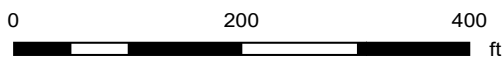
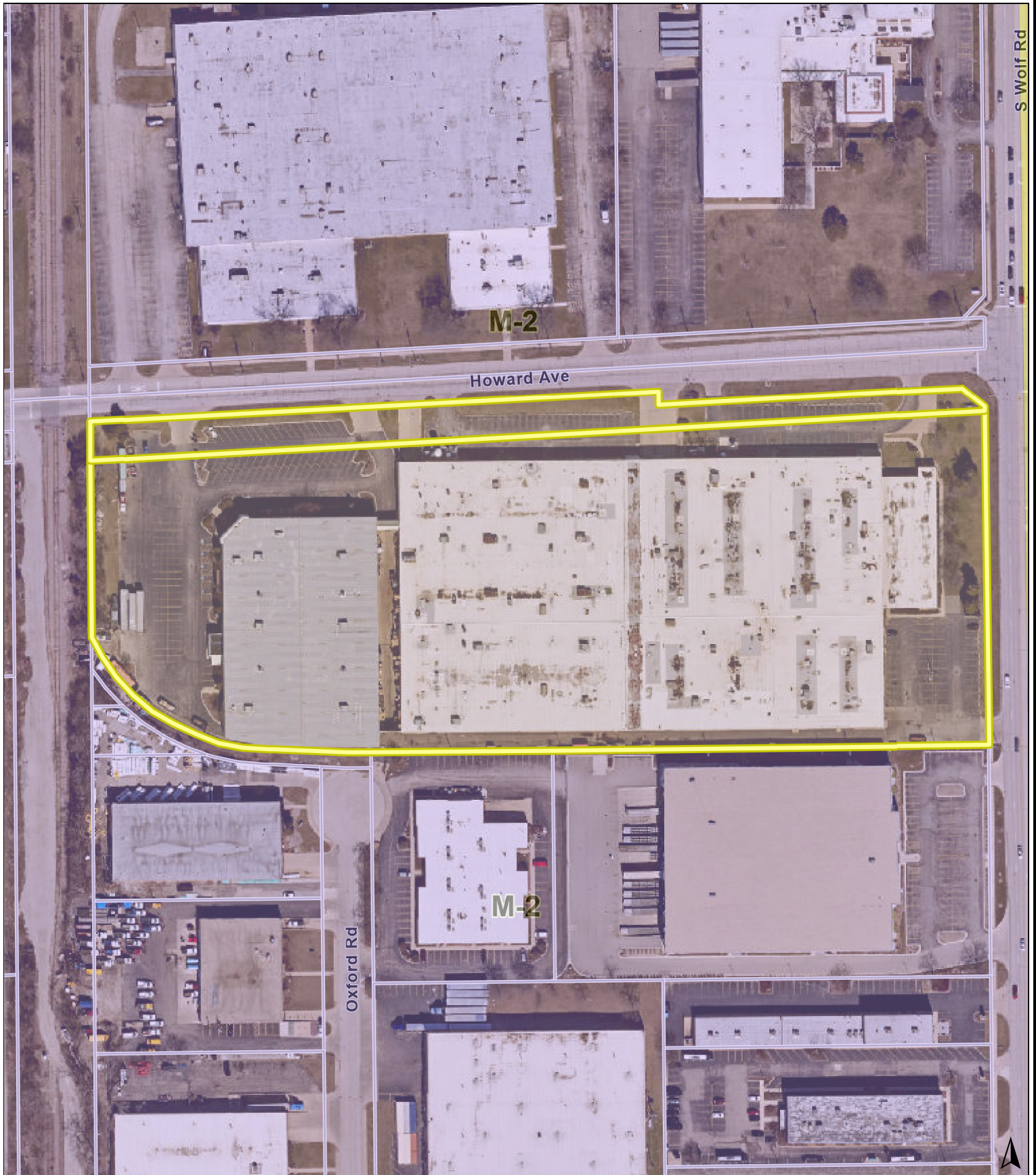
Regardless, the Department of Public Works and Engineering (PWE) has provided brief comments (attached) based on the submittal. The memo comments that a minimum seven-foot walkway shall be provided along Wolf Road and Howard Avenue for the full extent of the subject property.

PZB Procedure and Recommended Conditions:

Under Section 13-2-3 (Planning and Zoning Board's Procedure) of the Subdivision Regulations, the PZB has the final authority to approve, approve with conditions, or deny the Tentative Plat of Subdivision request at 555 Howard Avenue.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Project Narrative
- Attachment 5: Private Utility Company Will Serve Letters
- Attachment 6: Public Works and Engineering (PWE) Department Memo
- Attachment 7: Tentative Plat of Subdivision



Print Date: 8/6/2024

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



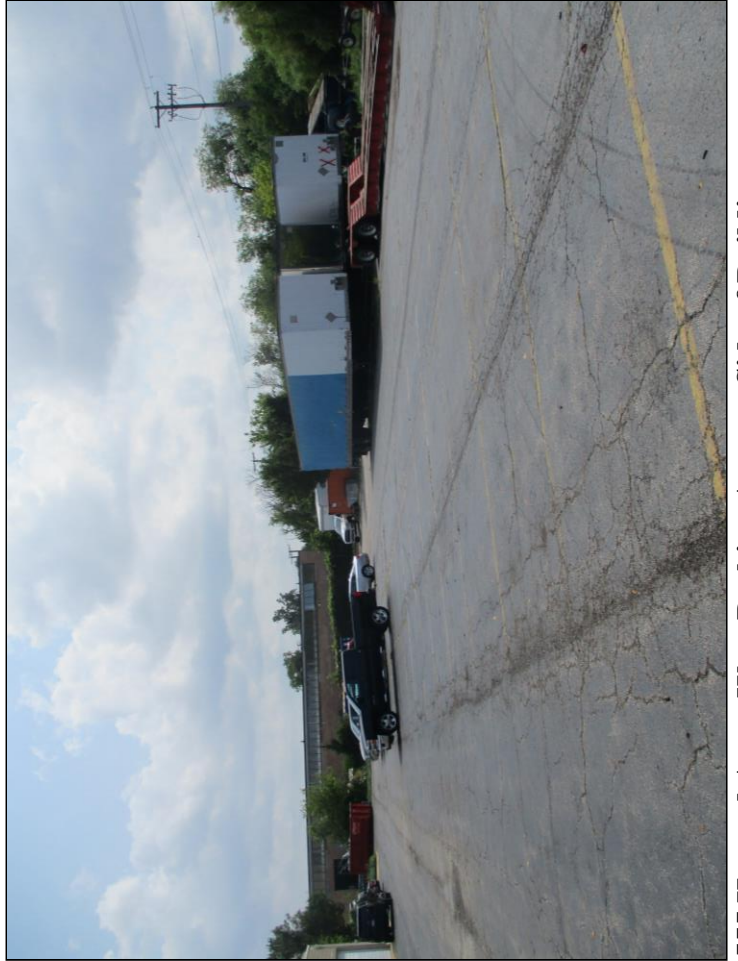
555 Howard Ave – Public Notice Sign at Northeast Corner of Site



555 Howard Ave – North Parking Area Along Howard Ave



555 Howard Ave – North Building Entrance off Howard Ave



555 Howard Ave – West Parking Area on Side of Building



555 Howard Ave – Side of Building from Wolf Rd



555 Howard Ave – South Building Entrance off Wolf Rd



555 Howard Ave – South Parking Area at Rear of Building



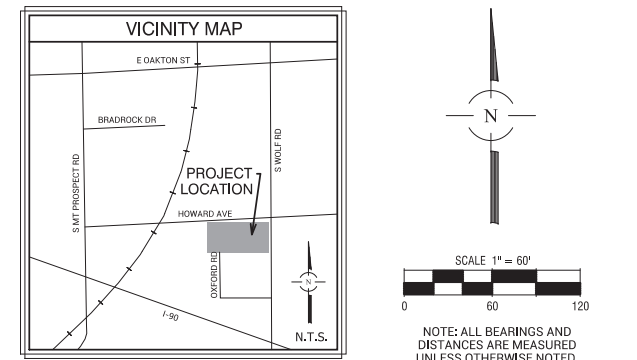
555 Howard Ave – Facing North at Space between Existing Buildings

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

PROPERTY DESCRIPTION:
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF THE SAID SOUTHEAST 1/4 WITH A LINE THAT IS 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SAID WEST 1/2 OF THE SOUTHEAST 1/4; THENCE SOUTH ALONG THE SAID PARALLEL LINE A DISTANCE OF 515.32 FEET; THENCE WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 1163.47 FEET, MORE OR LESS TO THE EAST RIGHT OF WAY LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE NORTH ALONG THE EAST LINE OF SAID RIGHT OF WAY LINE, A DISTANCE OF 163.24 FEET, MORE OR LESS TO THE NORTH LINE OF THE SAID SOUTHEAST 1/4; THENCE EAST ALONG THE NORTH LINE OF THE SAID SOUTHEAST 1/4 A DISTANCE OF 1163.20 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.
 EXCEPTING THEREFROM:
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE POINT INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF A LINE 50.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID WEST 1/2 OF THE SOUTHEAST 1/4; THENCE SOUTH 00 DEGREES 10 MINUTES 22 SECONDS 38 SECONDS EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 515.32; THENCE SOUTH 89 DEGREES 49 MINUTES 22 SECONDS WEST AT RIGHT ANGLES TO SAID PARALLEL LINE, A DISTANCE OF 833.00 FEET TO THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT LAND, THENCE NORTH 87 DEGREES 44 MINUTES 20 SECONDS WEST 94.00 FEET; THENCE NORTHWESTERLY 294.334 FEET ALONG THE ARC OF A CIRCLE OF 277.94 FEET, CONVEX TO THE SOUTHWEST, TANGENT WITH THE LAST DESCRIBED COURSE WHOSE CHORD BEARS NORTH 57 DEGREES 24 MINUTES 04.5 SECONDS WEST, TO A POINT ON THE EAST RIGHT OF WAY LINE OF THE DES PLAINES VILLAGE RAILROAD (NOW THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY); THENCE SOUTH 156.0 FEET ALONG SAID EAST LINE OF THE RIGHT OF WAY TO A POINT ON A LINE DRAWN SOUTH 69 DEGREES 49 MINUTES 22 SECONDS WEST THROUGH THE HEREIN DESIGNATED PLACE OF BEGINNING, THENCE NORTH 89 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 330.47 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.
 AND EXCEPTING THEREFROM:
 THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 WITH A LINE 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE WEST 1/2 OF SAID SOUTHEAST 1/4; THENCE SOUTH ALONG SAID PARALLEL LINE 75 FEET; THENCE NORTHWESTERLY TO A POINT ON THE SOUTH LINE OF THE NORTH 50 FEET OF SAID SOUTHEAST 1/4, 30 FEET (AS MEASURED ON SAID SOUTH LINE) WEST OF THE AFORESAID 50 FOOT PARALLEL LINE, THENCE WEST ON SAID SOUTH LINE TO A POINT 425 FEET WEST OF AND 50 FEET SOUTH OF THE NORTH EAST CORNER OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 (AS MEASURED ON THE NORTH LINE THEREOF AND ON A LINE AT RIGHT ANGLES TO THE SAID SOUTH LINE); THENCE NORTH AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE TO THE SAID NORTH LINE, THENCE EAST ON SAID NORTH LINE, TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	CATV
	UNDERGROUND CITY LINE
	DUCTS/TRUNKS ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	CONDOMINIUM
	EDGE OF WATER
	WETLAND LIMITS
	SURVEY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	CULVERT
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE SPRIG
	ELECTRIC SPRIG
	CABLE TV SPRIG
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	INLET
	GAS VALVE
	HAND-HOLE
	BACK OF CURVE
	BUILDING CORNER
	CENTER
	CORNER CORNER
	EDGE OF PAVEMENT CORNER
	POLE CORNER
	SIGN
	UNIDENTIFIED MONUMENT
	RIGHT OF WAY MONUMENT
	DISC
	IRON STAKE
	IRON PIPE
	CUT CONES
	IRON NAIL
	RAILROAD SPIKE
	FLAG POLE
	LANDSCAPE LIGHT
	ASPHALT
	CONCRETE
	GRAVEL

NOTES:
 THIS SURVEY REFLECTS MATTERS OF TITLE AS LISTED ON A COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. FILE NO.: NCS-1062410-CHE WITH AN EFFECTIVE DATE: APRIL 06, 2021.
 AS REQUIRED UNDER THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, EVIDENCE ON OR ABOVE THE SURFACE OF THE SURVEYED PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK, WHICH EVIDENCE MAY INDICATE UTILITIES LOCATED ON, OVER OR BENEATH THE SURVEYED PROPERTY HAS BEEN SHOWN HEREON.
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
 BEARINGS SHOWN HEREON ARE BASED ON NAD83 ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2011 ADJUSTMENT) AND NAVD83 (GEOID 12B) UTILIZING GNSS EQUIPMENT AND REI-NET CORS RTK NETWORK.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN ADDITION TO THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS.
 SPACECO, INC IS AN ILLINOIS PROFESSIONAL DESIGN FIRM REGISTERED UNDER LICENSE NUMBER 184-001157.
 THE PROPERTY DESCRIPTION IN THE SURVEY IS THE SAME AS THE RECORD DESCRIPTION IN THE TITLE COMMITMENT.
 THAT THE PROPERTY DESCRIPTION IN THE SURVEY AND THE RECORD DESCRIPTION IN THE TITLE COMMITMENT FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, GORES OR OVERLAPS.
 THE SURVEYED PROPERTY HAS DIRECT ACCESS TO A PUBLIC RIGHT OF WAY, HOWARD STREET AND WOLF ROAD.



NOTES (CONTINUED):
 NO CEMETERIES, GRAVESITE OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY. ADDITIONALLY, THIS SURVEYOR HAS NO PRIOR KNOWLEDGE OF CEMETERIES, GRAVESITE OR BURIAL GROUNDS BEING LOCATED ON THE SURVEYED PROPERTY.
 TAX P.L.N.S. (PER TITLE COMMITMENT):
 09-30-400-002-0000 VOL. 95
 09-30-400-032-0000 VOL. 92
 MONUMENTS WERE FOUND/SET AT THE PARCEL CORNERS AS SHOWN. (TABLE A ITEM 1)
 ADDRESS FOR THE SURVEYED PROPERTY OBSERVED:
 555 HOWARD AVENUE, (A/K/A 2000 WOLF),
 555 HOWARD AVENUE
 DES PLAINES, IL 60018
 (TABLE A ITEM 2)
 BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 17031021J MAP WITH AN EFFECTIVE DATE/MAP REVISED OF AUGUST 15, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) - AREA OF MINIMAL FLOOD HAZARD AS IDENTIFIED BY SAID F.I.R.M. MAP. (TABLE A ITEM 3)
 PROPERTY SURVEYED CONTAINS 538,294 SQUARE FEET, OR 12,358 ACRES, MORE OR LESS. (TABLE A ITEM 4)
 A ZONING REPORT CONTAINING CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY WAS PROVIDED TO THE SURVEYOR AS REQUIRED BY THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS EFFECTIVE 2/23/2021. SEE SHEET 2 OF 2. (TABLE A ITEM 5)
 THE EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL, EXTERIOR FOOTPRINT SQUARE FOOTAGES AND BUILDING HEIGHTS ARE SHOWN HEREON. (TABLE A ITEMS 7A, 7B, 7C)
 SUBSTANTIAL FEATURES ARE SHOWN HEREON. (TABLE A ITEM 8)
 THERE ARE A TOTAL OF 258 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY, 8 OF WHICH ARE MARKED HANDICAPPED AND 250 OF WHICH ARE FOR REGULAR PARKING. THIS COUNT IS SUSPECT DUE TO FADED STRIPING. (TABLE A ITEM 9)
 NAME OF THE ADJOINERS SHOWN HEREON ARE CURRENT OWNERS AND/OR TAXPAYERS AS LISTED ON THE COOK COUNTY ASSESSOR'S WEBSITE ACCESSED ON MAY 5, 2021. (TABLE A ITEM 13)
 THIS PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF HOWARD STREET AND WOLF ROAD IN DES PLAINES, IL. (TABLE A ITEM 14)
 THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE A ITEM 16)
 A CALL WAS MADE TO THE CITY OF DES PLAINES ENGINEERING DEPARTMENT, A MESSAGE WAS LEFT BUT NO RESPONSE. THIS SURVEYOR KNOWS OF NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (TABLE A ITEM 17)

NOTES FROM TITLE COMMITMENT:
 3. PERPETUAL RIGHT TO PUT IN A 66 FOOT ROAD ACROSS THE NORTH 82 1/2 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD IN A NORTH AND SOUTH DIRECTION ON SAID PROPERTY AT A LOCATION THEREON AND IN A MANNER WHICH WILL NOT INTERFERE WITH THE OPERATION OF SAID PROPERTY AND WITH THE PERPETUAL RIGHT OF THE PROPERTY OWNER TO CONSTRUCT AND OPERATE AS TO CONNECT WITH THE EXTENSION OF HOWARD STREET OR ANY OTHER STREET WHICH MAY BE BUILT ALONG AND PARALLEL TO THE NORTH LINE OF SAID PROPERTY AND ADJOINING THERETO, THE COST AND MAINTENANCE OF SAID ROAD TO BE BORNE BY THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS AS RESERVED IN DEED FROM WILLIAM D. GRAYDON AND OTHERS TO CHICAGO TITLE AND TRUST COMPANY A CORPORATION OF ILLINOIS AS TRUSTEE UNDER TRUST AGREEMENT DATED MARCH 24, 1954 AND KNOWN AS TRUST NUMBER 36724 DATED DECEMBER 12, 1955 AND FILED DECEMBER 15, 1955 AS LR1600223 (SURVEYOR'S NOTE: THE NORTH 82 1/2 FEET OF THE SURVEYED PROPERTY IS SHOWN HEREON, THE LOCATION OF THE 66 FOOT NORTH/SOUTH ROAD IS NOT DEFINED WITHIN THE DOCUMENT, SEE THE DOCUMENT FOR DETAILS.)
 4. PERPETUAL RIGHT AND EASEMENT TO CONSTRUCT, RECONSTRUCT, OPERATE AND MAINTAIN, IN ALONG UNDER AND ACROSS THE NORTH 25 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD IN A NORTH AND SOUTH DIRECTION ON SAID PROPERTY AT A LOCATION THEREON AND IN A MANNER WHICH WILL NOT INTERFERE WITH THE OPERATION OF SAID PROPERTY AND WITH THE PERPETUAL RIGHT, PRIVILEGE AND EASEMENT TO CONSTRUCT, RECONSTRUCT, RENEW, REPLACE, OPERATE, MAINTAIN, ALTER, REPAIR AND REMOVE ANY ADDITIONAL PIPELINE OR PIPELINES FOR THE TRANSPORTATION OF GAS TOGETHER WITH SUCH DRIPS, VALVES, FITTINGS, METERS AND OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE OPERATION OF GRANTEE THROUGH, UNDER ALONG AND ACROSS LAND TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE AFORESAID PREMISES AS CREATED BY PIPELINE EASEMENT AGREEMENT BY AND BETWEEN J. EMIL ANDERSON & SON, INC., AN ILLINOIS CORPORATION, AND CHICAGO DISTRICT PIPELINE COMPANY, AN ILLINOIS CORPORATION, ITS SUCCESSOR AND ASSIGNS, DATED AUGUST 29, 1960 AND FILED SEPTEMBER 26, 1960 AS LR184154. (FOR FURTHER PARTICULARS, SEE DOCUMENT)
 5. PERPETUAL RIGHT, PRIVILEGE AND EASEMENT TO CONSTRUCT, USE, RECONSTRUCT, RENEW, REPLACE, OPERATE, MAINTAIN, ALTER, REPAIR AND REMOVE THE 36 INCH PIPE EXISTING IN THE NORTH 82 1/2 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SECTION 30, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT FOR THE PROPERTY OWNED BY THE DES PLAINES VALLEY RAILROAD TOGETHER WITH THE PERPETUAL RIGHT, PRIVILEGE AND EASEMENT TO CONSTRUCT, RECONSTRUCT, RENEW, REPLACE, OPERATE, MAINTAIN, ALTER, REPAIR AND REMOVE ANY ADDITIONAL PIPELINE OR PIPELINES FOR THE TRANSPORTATION OF GAS TOGETHER WITH SUCH DRIPS, VALVES, FITTINGS, METERS AND OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE OPERATION OF GRANTEE THROUGH, UNDER ALONG AND ACROSS LAND TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE AFORESAID PREMISES AS CREATED BY PIPELINE EASEMENT AGREEMENT BY AND BETWEEN J. EMIL ANDERSON & SON, INC., AN ILLINOIS CORPORATION, AND CHICAGO DISTRICT PIPELINE COMPANY, AN ILLINOIS CORPORATION, ITS SUCCESSOR AND ASSIGNS, DATED AUGUST 29, 1960 AND FILED SEPTEMBER 26, 1960 AS LR184154. (FOR FURTHER PARTICULARS, SEE DOCUMENT)
 6. GRANT FILED APRIL 26, 1963 AS LR2087903 MADE BY J. EMIL ANDERSON & SON, INC., A CORPORATION OF ILLINOIS, TO THE COMMONWEALTH EDISON COMPANY AND MIDDLE STATES TELEPHONE COMPANY, A CORPORATION OF ILLINOIS, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, THE RIGHT PERMISSION AND AUTHORITY TO CONSTRUCT, LAY, MAINTAIN, RELOCATE, RENEW AND REMOVE EQUIPMENT CONSISTING OF POLES, POLE STRUCTURES, ANCHORS, GUYS, STRIPS, WIRE AND UNDERGROUND CONDUITS, CABLES, CABLE POLES AND OTHER NEW ELECTRICAL FACILITIES TO BE USED FOR HEAT, LIGHT, POWER, TELEPHONE AND OTHER PURPOSES WITH THE RIGHT OF ACCESS TO THE SAME FOR THE MAINTENANCE THEREOF; ALSO TO TRIM OR CUT DOWN AND REMOVE FROM TIME TO TIME SUCH TREES, BUSHES AND SAPLINGS AS MAY BE REASONABLY REQUIRED IN CONNECTION WITH THE INSTALLATION AND MAINTENANCE OF SUCH FACILITIES IN UPON, UNDER AND ALONG THE WEST 10 FEET OF LAND. (FOR FURTHER PARTICULARS, SEE DOCUMENT)
 7. EASEMENT FOR PUBLIC UTILITIES OVER THE NORTH 83 FEET AND THE EAST 15 FEET OF THE LAND AS DISCLOSED BY DEED EXECUTE BY J. EMIL ANDERSON & SON, INC., A CORPORATION OF ILLINOIS, CONVEYING TO ALUMAND BUILDING CORPORATION, AN ILLINOIS CORPORATION FILED APRIL 18, 1962 AS LR2029259. (FOR FURTHER PARTICULARS, SEE DOCUMENT)
 8. EASEMENT OF PRIVATE STREET CONTAINED IN DEEDS FILED AS DOCUMENT NUMBERS LR2093029, LR2118641, LR2123561 AND LR2128247 AFFECTING THE WEST 66 FEET OF THE EAST 916 FEET OF THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 30, AND THE TERMS AND PROVISIONS CONTAINED THEREIN. (FOR FURTHER PARTICULARS, SEE DOCUMENT)
 (SURVEYOR'S NOTE: SAID WEST 66 FEET OF THE EAST 916 FEET OF THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 30 IS SOUTH OF AND PARTIALLY ADJOINING THE SURVEYED PROPERTY AND IS SHOWN HEREON, SEE DOCUMENT FOR DETAILS.)

STATE OF ILLINOIS)
 COUNTY OF COOK)
 I, FIRST AMERICAN TITLE INSURANCE COMPANY
 AND TO: BRIDGE INDUSTRIAL ACQUISITION, LLC
 AND TO: NU-WAY INDUSTRIES, INC., AN ILLINOIS CORPORATION
 AND TO: ASSOCIATED BANK, NATIONAL ASSOCIATION, A NATIONAL BANKING ASSOCIATION, ITS SUCCESSORS
 AND/OR ASSIGNS
 AND TO: BRIDGE POINT DES PLAINES, LLC, A DELAWARE LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 13, 14, 16, 17 and 19 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 15, 2021.

GIVEN UNDER MY HAND AND SEAL THIS 28th DAY OF May 2021 IN ROSEMONT, ILLINOIS.

C. Brian Lounsbury
 C. BRIAN LOUNSBURY, P.L.S., No. 035-2841
 LICENSE EXPIRES: 11-30-2022
 blounsbury@spacecoinc.com

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

PREPARED FOR:
 BRIDGE DEVELOPMENT PARTNERS
 9525 W. BRYN MAWR AVENUE
 SUITE 700
 ROSEMONT, IL 60018

NEARMAP
 AERIAL IMAGE
 DATE OF IMAGE: 10-08-2020

REVISIONS:	DATE:
05/20/2021 COMMENTS	05/06/2021
05/28/2021 SHEET 2	JOB NO: 11332
06/21/2021 COMMENTS	FILENAME: 11332ALTA-01



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



DATE:	05/06/2021
JOB NO:	11332
FILENAME:	11332ALTA-01
SHEET	1 OF 2



AUGUST 1, 2024

Jonathan Stytz
City of Des Plaines
1420 Miner Street, Des Plaines, IL 60016

Bridge Point Des Plaines (555 Howard Ave.) – Project Narrative

Jonathan,

Bridge Industrial is proposing to redevelop the property located at 555 Howard Ave. The current buildings on the property are obsolete and will be demolished to accommodate a new, class A industrial building on the property with modern amenities for the market place.

Bridge is proposing to redevelop this property either as a speculative building or as a build-to-suit for a potential tenant. As such, the building may range from approximately 170k – 250k Rental SF and may house anywhere from one (built to suit option) to five tenants (speculative construction option). Depending on the building size, Bridge is proposing either a mix of surface and underground detention or all underground detention. Car parking will be on the north and east sides of the building and will range from an estimated 150 to 300 parking spaces also depending on building size. All docks and the truck court will be on the south side of the building facing away from and shielded from the surrounding roads.

It is the intent of Bridge to ensure the project, whether speculative or BTS, will meet the requirement of current zoning and all applicable building codes but subject to final design and engineering. Upon formal site plan submittal with the final design, Bridge will detail any requested variances (if any) in their application.

Thank you!

Sincerely,

Douglas S. Klein

Doug Klein | Director, Development
Bridge Industrial
O 630 423 7478 | C 630 803 2575
9525 W. Bryn Mawr Ave., Suite 700
Rosemont, IL 60018
dklein@bridgeindustrial.com





August 6th, 2024

Jim Roggeman,
ARCO/Murray

WILL SERVE LETTER

Dear Mr. Jim,

This letter is in response to your request for information on the availability of AT&T services at proposed 555 Howard Ave, Des Plaines new Development.

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed development at 555 Howard Ave, Des Plaines but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

Kolade Fajimi (Engineer)
Mgr Osp Plng & Eng Design
ATO, Construction & Engineering-MW

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com

ComEd
1910 S. Briggs St
Joliet, IL 60433

August 6, 2024

ATTN. Jim Roggeman
555 Howard Avenue, Des Plaines, IL 60018

ComEd is the electric utility distribution company for your development at parcel 09-30-400-032-000 in Des Plaines, IL. ComEd will layout the design for your project upon receipt of completed site plans, load information, and advance engineering deposit. Additional utility easements may be required for the routing of ComEd power lines on your property. Charges may apply for any work, both on and off property, required to provide additional line capacity or new facilities, necessary to fulfill your power request. Please call ComEd's New Electric number at **866-639-3532** when you are ready to initiate the design process.

Please feel free to contact me at (779) 279-6899 if I may be of further assistance.

Sincerely,

Josh Zychal
Engineering Tech
Field Representative



August 2, 2024

Jim Roggeman
Arco Murray
3110 Woodcreek Dr
Downers Grove, IL 60515

This letter shall serve as Nicor Gas' intention and availability to serve the proposed new construction project located in 555 Howard Ave Des Plaines, IL 60018. Nicor Gas will provide 200' of gas **main** per new customer/meter and 60' of **service** line per new customer/meter at no cost. If your project exceeds these footages, we will determine the cost to you based on an economic evaluation of the project, as well as any unusual condition which may apply, i.e. directional boring charges, etc.

Nicor requires that you complete specified improvements and obtain private property rights before providing service. Curbing established, required sleeves installed at paved intersections and under all pavements for new commercial services.

Private property rights must be obtained, and any easements, rights-of-way and underground utility lines must be staked and clearly marked. All necessary permits need approved prior to all service & gas main installations.

If you have any questions, please feel free to contact me at 779-227-4011.

Best regards,

Jocelyn Hernandez

New Business Construction Consultant



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: August 6, 2024
To: Jonathan Stytz, Senior Planner
From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Cc: John La Berg, P.E., CFM, Civil Engineer
Subject: 555 Howard Avenue – Tentative Plat of Subdivision to consolidate two lots into one

Public Works and Engineering has reviewed the tentative plat submittals and noted the following items that will need to be addressed at time of final engineering and final plat of subdivision:

- A minimum seven-foot-wide walkway shall be added along Wolf Road and Howard Avenue for the full extent of the subdivision in conformance with all City of Des Plaines codes, including but not limited to Section 12-10-7 of the Zoning Ordinance.
- Prior to submitting for final engineering and final plat, the petitioner shall work with the Fire Prevention Bureau and Public Works and Engineering department to determine if a looped fire main and Illinois Environmental Protection Agency (IEPA) permit will be required.
- Final engineering plans and the Engineer's Estimate of Cost will be required for both private and public work and will need to be submitted prior to the application for final plat.
- A Metropolitan Water Reclamation District (MWRD) Watershed Management Ordinance (WMO) permit is required at time of building permit.

TPO/jl

