



Community & Economic Development
1420 Miner Street, Des Plaines, IL 60016
P: 847.391.5392 | W: desplaines.org

Planning and Zoning Board Agenda
SPECIAL MEETING
June 25, 2024
Room 102 – 6:00 P.M.

Call to Order and Roll Call

Public Comment: For matters that are not on the agenda

PZB Workshop to share details on possible redevelopment by Vetter Pharma International USA, Inc.

- **Site: 17.84-acre site at 10 W. Algonquin Road (the northwest corner of Algonquin Road and Mt. Prospect Road)**
 - PINs: 08-24-201-052-0000, 08-24-201-053-0000

Adjournment

Next Agenda – July 9, 2024

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time, and place without publication of a further published notice such as this notice.

MEMORANDUM

Date: June 21, 2024

To: Planning and Zoning Board (PZB)

From: Jeff Rogers, Director of Community and Economic Development *JWR*

Subject: Special Meeting/Workshop - Vetter Pharma International USA, Inc. Development Concept

The PZB will host a special meeting/workshop on Tuesday, June 25, 2024 to discuss a proposed development located at the approximately 17.44-acre site at 10 W. Algonquin Road at the northwest corner of Algonquin Road and Mt. Prospect Road. This site is currently improved with three vacant commercial office buildings, surface parking lots, underground parking, and open space.

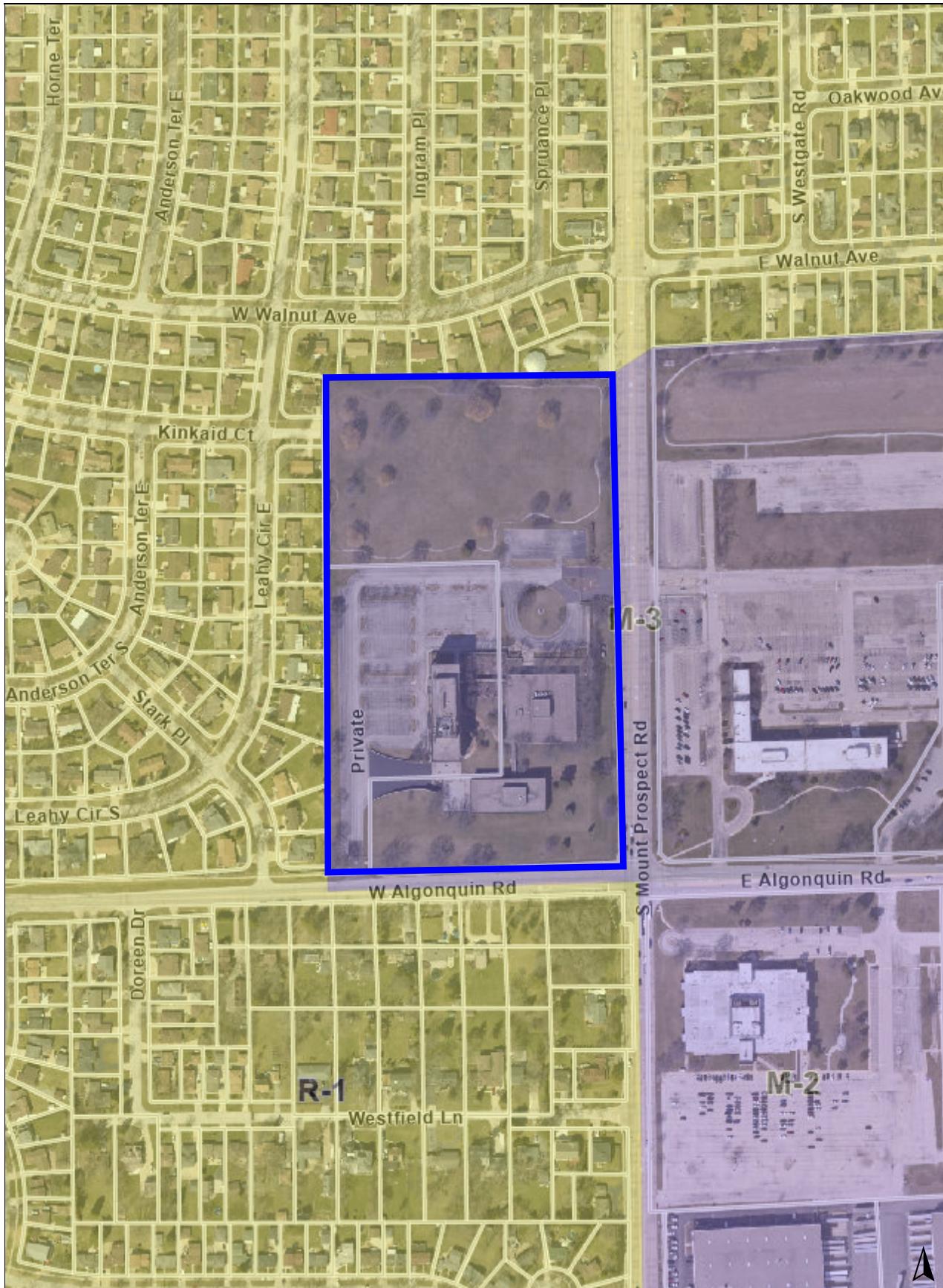
During the workshop, the current property owner's development consultants will deliver an introductory presentation, provide details on their concept development plans, allow opportunity for the public to engage with them and receive clarifications on specific project details, followed by an opportunity for the public to comment and the PZB to ask questions and provide feedback. The workshop is intended to serve as an opportunity to inform the public and the PZB regarding the proposed development concept and *no actions or votes will be taken during this meeting.*

The City's comprehensive plan illustrates this area as intended for manufacturing & light industrial uses. The zoning of the property is M-3, Special Manufacturing District. This zoning district encourages a blend of light manufacturing, distribution, office, and research related facilities. Refer to the applicant's concept plan exhibits (Attachment 2) which include a plat of survey, proposed site plan, elevations, bird's-eye-view axonometric exhibit, and building renderings.

To achieve the developer's contemplated project, a repeal of a 1969 Planned Unit Development (PUD) and adoption of a new PUD with exceptions would be required. If the project proceeds, the entitlement process will require a public hearing process with the Planning and Zoning Board (PZB) and final consideration by City Council. *Note: The developer has not filed a petition for any zoning entitlements at this time. The workshop is intended to provide input into the projects prior to submission of applications.*

Attachments:

- Attachment 1: Zoning Map of Surrounding Area
- Attachment 2: Applicant's Concept Plan Exhibits

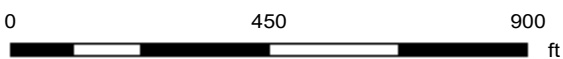


Legend

- Subject Site

Zoning

- M-2: General Manufacturing
- M-3: Special Manufacturing
- R-1: Single Family Residential



Print Date: 6/21/2024

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

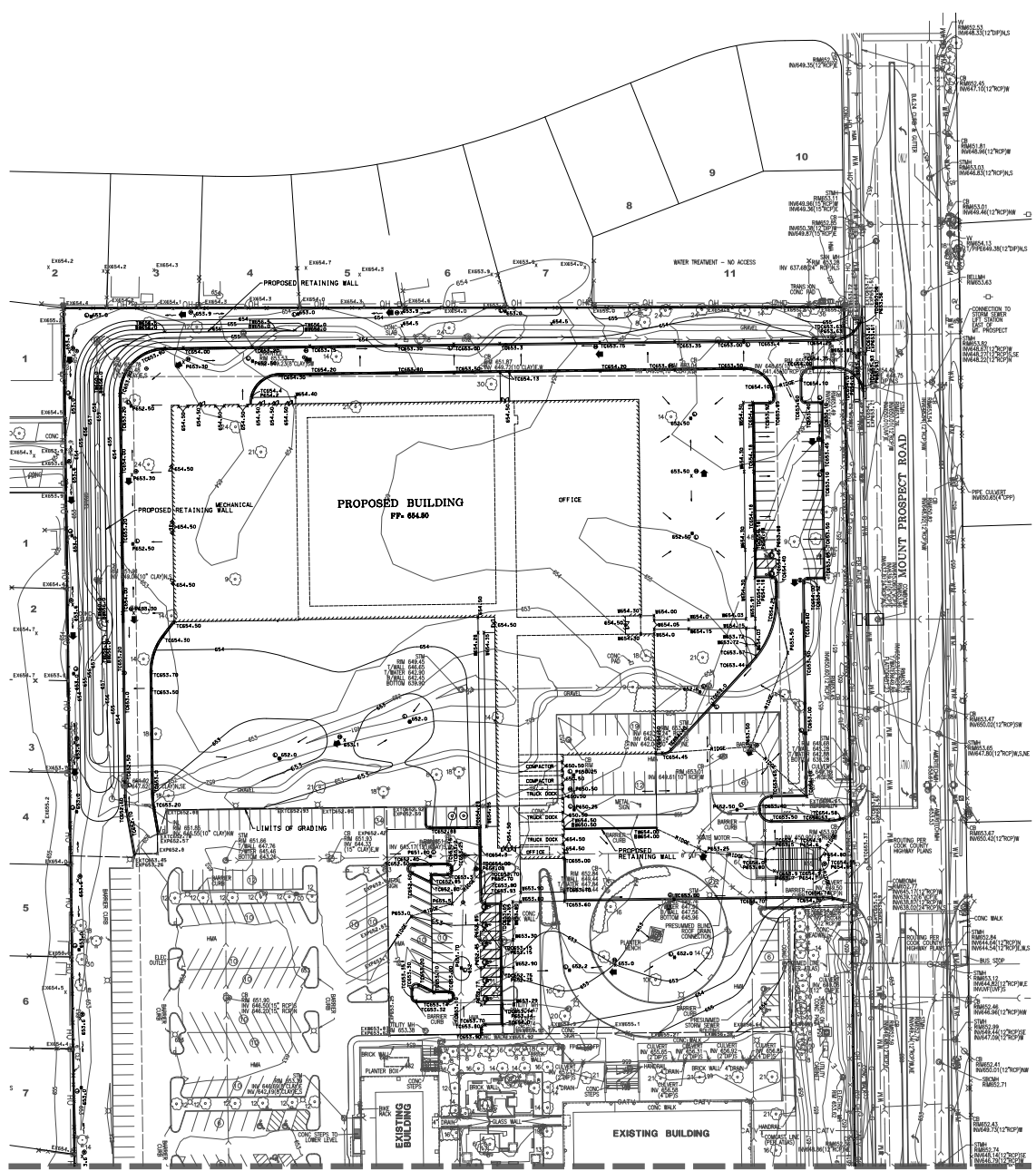
VETTER DEVELOPMENT SERVICES FACILITY

PUD Public Package
June 19th, 2024

Civil Drawings	1 - 7
• Existing Conditions Plan	
• Grading Plan - North	
• Grading Plan - South	
• Utility Plan - North	
• Utility Plan - South	
• Geometrics & Paving Plan - North	
• Geometrics & Paving Plan - South	
 Architectural Drawings	 8 - 13
• Site Axon Diagram	
• Architectural Site Plan	
• Building Elevations	
• Exterior Perspective Renders	
• Interior Perspective Renders	

Table of Contents





- GRADING PLAN GENERAL NOTES**
1. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS IN FEBRUARY 2016. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
 2. ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEEDS.
 3. EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND SHALL REPORT PREPARED FOR THE SITE.
 4. ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL GUTTER ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
 5. GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
 6. ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT OF ANY DRAIN TILE ENCOUNTERS. TO BE INCLUDED IN RECORD DRAWINGS.
 7. OVERFLOW DRAINAGE ROUTES AND SHALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 8. DO NOT INTERRUPT DRAINAGE FROM DRY SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 9. CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.
 10. REFER TO LANDSCAPE PLAN FOR SEEDING REQUIREMENTS. SEEDING SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 250 (SEEDING) OF THE 2007 SPECIFICATIONS.
 11. CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE PERM GENERAL WORKS PERMITS FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. NO WORK SHALL BEGIN UNTIL AN NEPA PERMITS PERMIT HAS BEEN RECEIVED.
 12. RIGHT OF WAY SHALL BE IMMEDIATELY RESTORED UPON DISTURBANCE WITH 6" TOPSOIL AND SO2. (SEEDING PARWAYS WILL NOT BE ALLOWED)

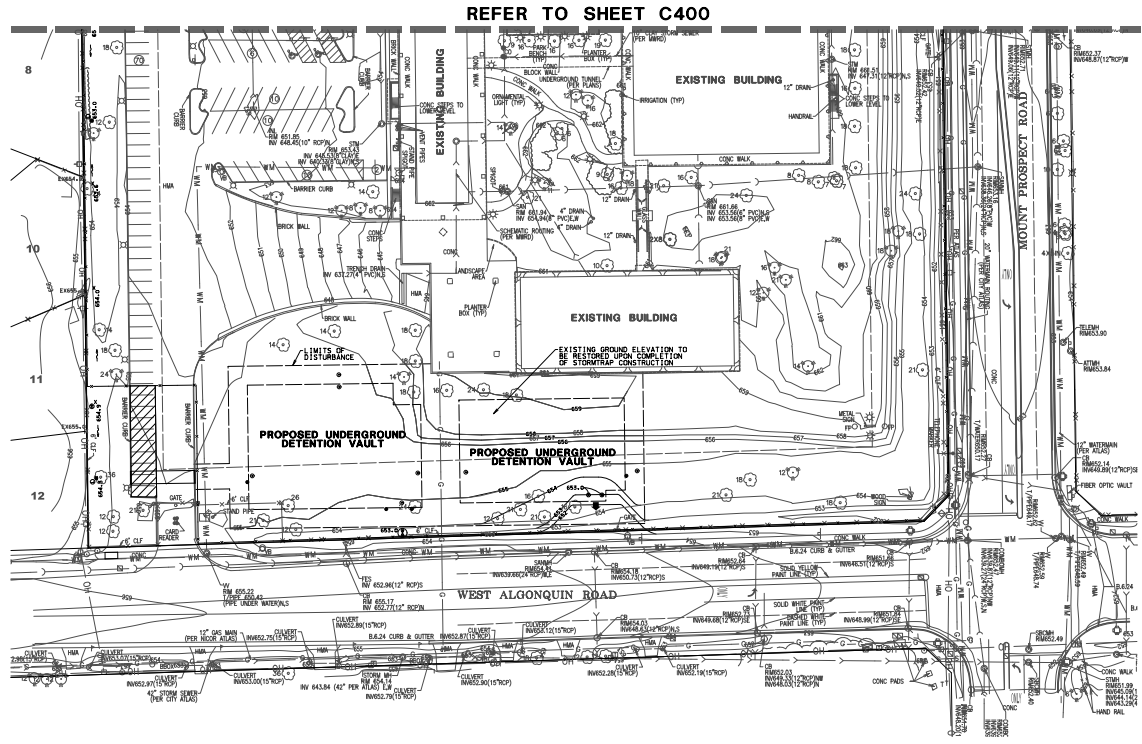
REFER TO SHEET C401

Grading Plan - North



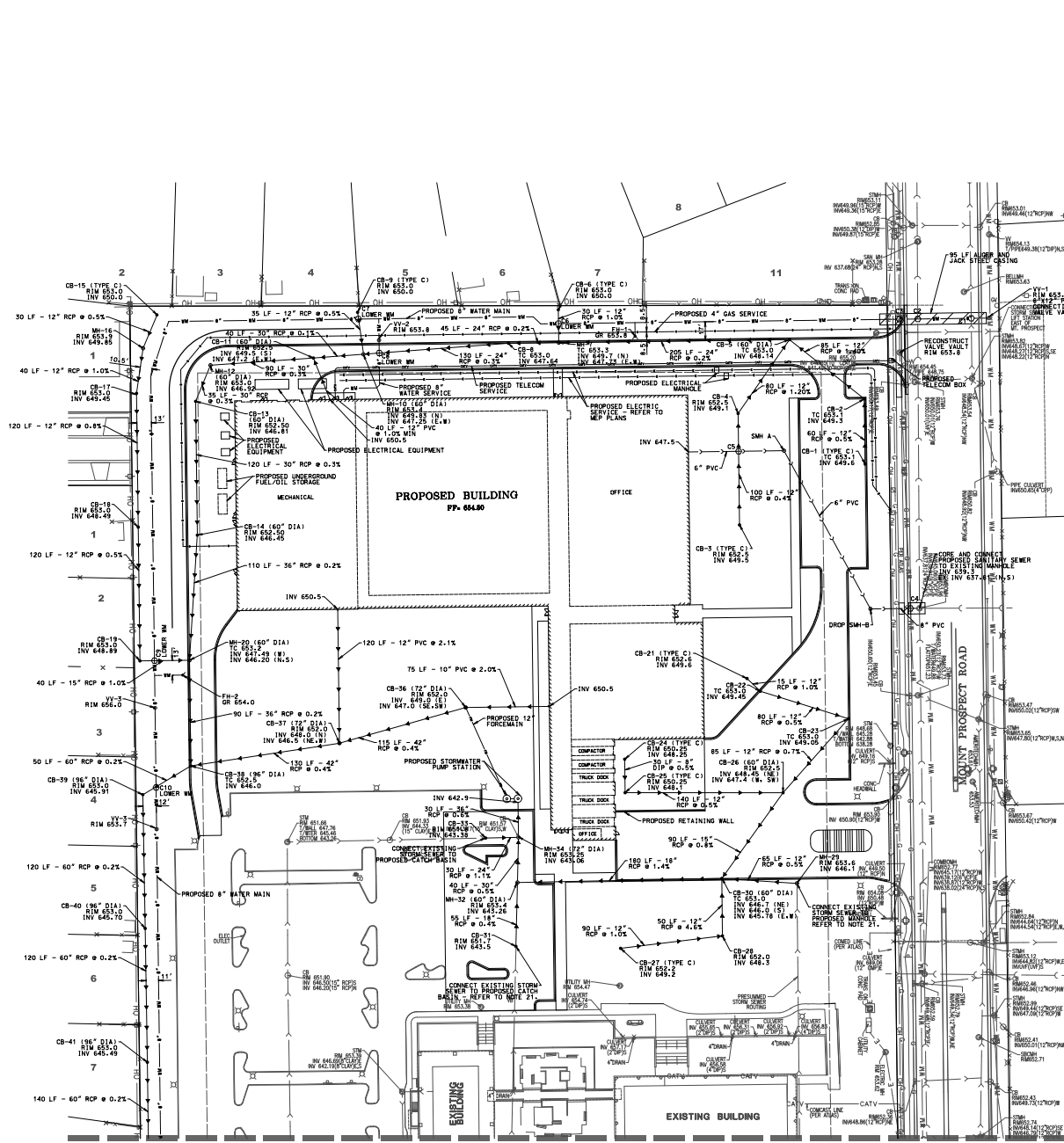


REFER TO SHEET C400
FOR GRADING PLAN
GENERAL NOTES



Grading Plan - South





REFER TO SHEET C601

Utility Plan - North

UNDERGROUND UTILITY GENERAL NOTES

- CITY OF DES PLAINES ENGINEERING DEPARTMENT STANDARDS SUPERSEDES ALL OTHERS.
- ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED. TRADITIONAL 3-FOOT DIAMETER MANHOLES ARE NOT ALLOWED FOR THIS DEVELOPMENT. 3-FOOT DIAMETER CATCH BASINS HAVE BEEN IDENTIFIED WHERE APPLICABLE.
- ALL SANITARY SEWERS LESS THAN 16 FEET DEEP SHALL BE PVC. SDR 26, UNLESS OTHERWISE INDICATED OR APPROVED EQUAL LISTED WITHIN MUNICIPALITY. PVC SANITARY SEWER SHALL HAVE ELASTOMERIC JOINTS IN CONFORMANCE WITH ASTM D-2727.
- ALL WATER MAIN SHALL BE POLYVINYL CHLORIDE PIPE, SDR 25, PRESSURE CLASS 165 PSI, UNLESS OTHERWISE INDICATED. IRON PIPE, CLASS 50, PERMANENT WITH PROTECTIVE TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 1'-4" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE. ALL UTILITY IRON WATER MAIN SHALL BE POLYWRAPPED IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE, MINIMUM CLASS III, WITH ASTM C76 PIPE AND C443 JOINTS, UNLESS OTHERWISE INDICATED.
- GRAVEL TRENCH BACKFILL (CA-10 OR FA-10) SHALL BE PROVIDED FOR ALL SANITARY WATER AND UTILITIES WITH THE TRENCH LIMITS FALL WITHIN 100 FEET OF STREETS, SIDEWALKS, DRIVEWAYS AND IS NOT IN A SANITARY OR WATER MAIN BASE GRADE. ALL TRENCHES WITHIN URBAN PROSPECT ROAD RIGHT-OF-WAY MUST BE BACKFILLED WITH 18" SAND TO ACCORDANCE WITH ARTICLE 650.01 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
- ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. RECORD MUST BE LEFT OF ANY DRAIN TILES ENCOUNTERED, TO BE INCLUDED WITH THE RECORD DRAWINGS.
- ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION RECEIVED FROM THE MUNICIPALITY. UTILITY COMPANIES OF FIELD MEASUREMENTS. THIS INFORMATION WILL BE BELIEVED TO BE COMPLETE AND ACCURATE. CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY CHIMNEY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
- SEE ARCHITECTURAL DRAWINGS FOR SEWER CONNECTION LOCATIONS.
- LOCATION OF ALL BUILDING SIAMASE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHALL.
- CONTRACTOR SHALL CONTACT UTILITY (41-800-800-0223) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
- A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
- IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
- PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR IS TO CONSTRUCT SERVICE TO WITHIN CURB OF BUILDING, EXCEPT WATER INTO BUILDING 1'-0" ABOVE FLOOR WITH BLIND FLANGE AND PROTECTIVE LISTING.
- EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE REQUESTING UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTIAL TO THE CONSTRUCTION.
- EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE TANKS REQUIRING OVER 12-INCHES OF ADJUSTMENT RINGS SHALL USE AN ADDITIONAL BARREL SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.
- LOCATION AND ELEVATION OF EXISTING STORM SEWER IS UNKNOWN. CONTRACTOR SHALL VERIFY PIPE SIZE AND INVERT PRIOR TO START OF CONSTRUCTION. ELEVATIONS AT DOWN STREAM MANHOLES MAY NEED TO BE REVISED ACCORDINGLY.

CROSSING	BTM OF PIPE	TOP OF PIPE SEPARATION
C1	EXSTR 647.07	WTR 646.07 1.5'
C2	WTR 647.47	ISSAN 646.00 1.39'
C3	EXWTR 646.54	WTR 645.04 1.5'
C4	EXWTR 647.2	SAN 646.0 1.2'
C5	STM 649.0	SAN 647.07 1.45'
C6	STM 649.60	WTR 648.15 1.5'
C7	SAN 648.74	WTR 648.24 1.5'
C8	STM 646.98	WTR 645.48 1.5'
C9	STM 648.07	WTR 646.57 1.5'
C10	STM 646.57	WTR 645.83 1.5'

PROPOSED UTILITY LINES TO BE CONSTRUCTED TO PROVIDE A MINIMUM 18" OF SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER. CONSTRUCTED WITH EXISTING WATER MAIN TO BE FIELD LOCATED AND ELEVATION VERIFIED PRIOR TO START OF CONSTRUCTION.

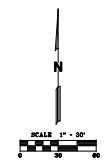
INDICATES WATERMAIN SHALL BE LOWERED TO ACHIEVE REQUIRED SEPARATION.

WHEN WATER MAIN IS BENEATH STORM SEWER OR SANITARY SEWER, 18" OF SEPARATION SHALL BE MAINTAINED. CONTRACTOR SHALL VERIFY SEPARATION FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.

SANITARY SEWER OR STORM SEWER MUST BE CONSTRUCTED WITH MINIMUM QUALITY PIPE FOR TO NOTE ON SHEET C601 FOR WATER MAIN QUALITY MATERIAL REQUIREMENTS.

REFER TO SHEET C801 FOR SANITARY SEWER PROFILE





REFER TO SHEET C600 FOR UTILITY PLAN GENERAL NOTES

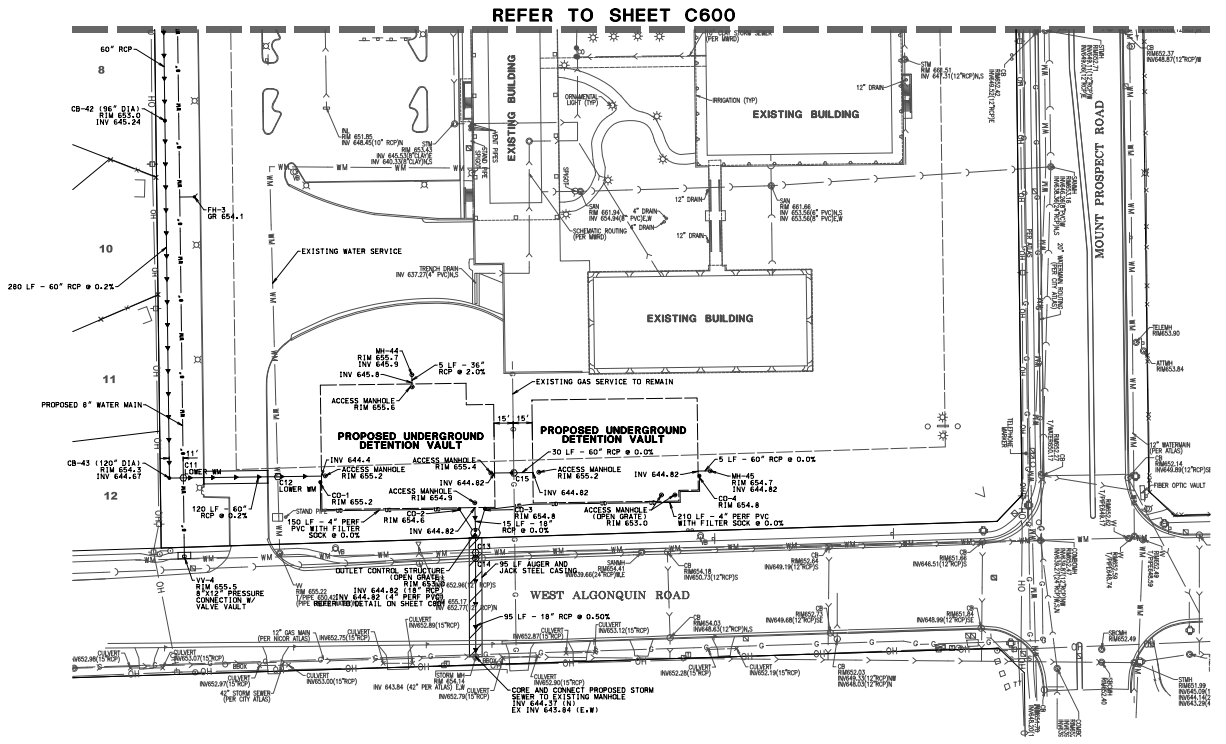
CROSSING	BTM OF PIPE	TOP OF PIPE SEPARATION	SEPARATION
C11	STM 644.05	WTR 642.55	1.5' @
C12	STM 645.73	EXWTR 642.35	1.5' @
C13	EXWTR 649.01	STM 646.52	2.49'
C14	STM 644.48	EXSAN 642.25	2.5'
C15	EXGAS 651.8	STM 650.8	1.0'

PROPOSED UTILITIES TO BE CONSTRUCTED TO PROVIDE A MINIMUM 18" OF SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER OR STORM SEWER. EXISTING WATER MAIN TO BE FIELD LOCATED AND ELEVATION VERIFIED PRIOR TO START OF CONSTRUCTION.

* INDICATES WATERMAIN MUST BE LOWERED TO ACHIEVE REQUIRED SEPARATION.

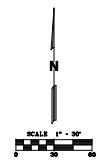
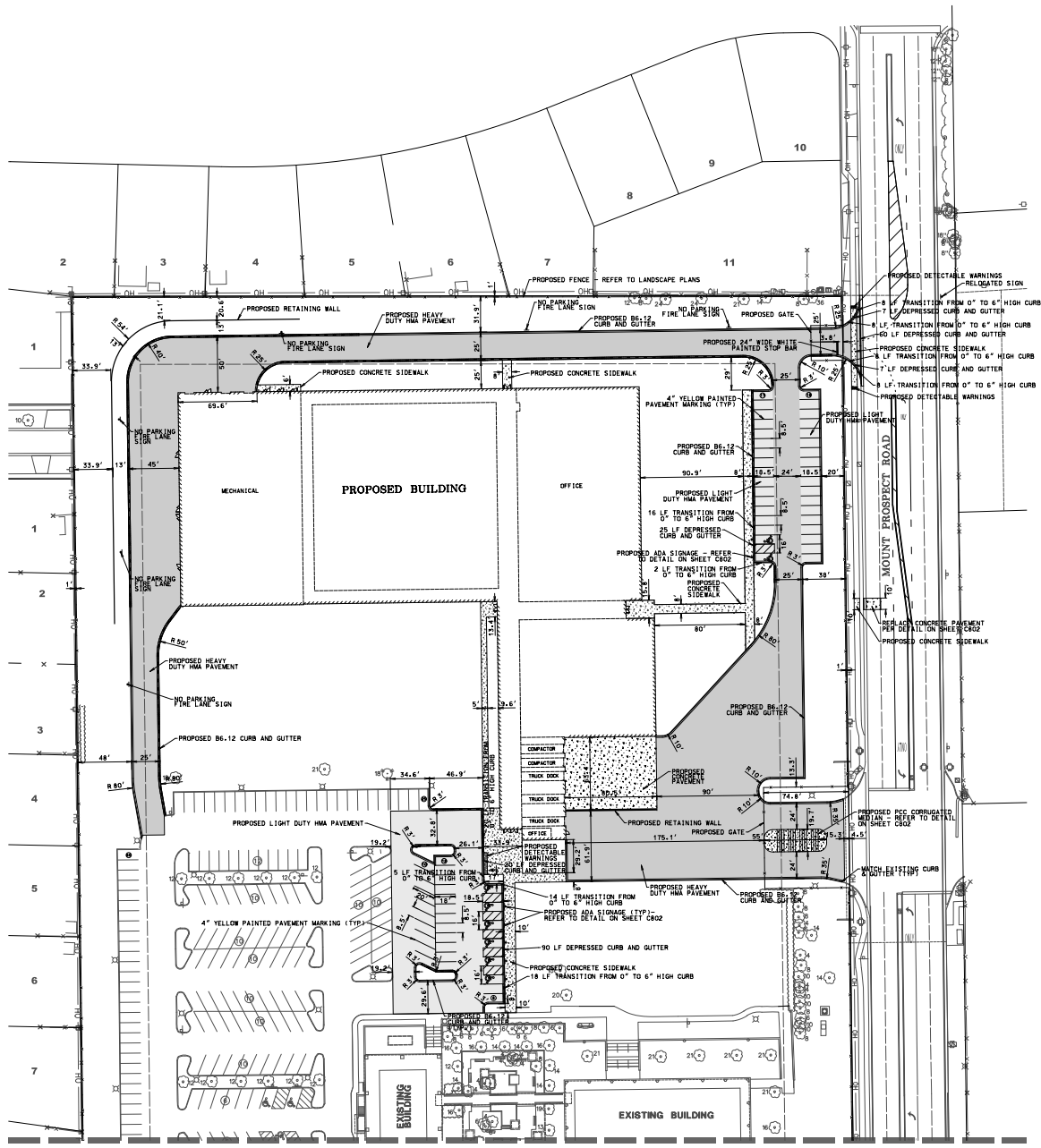
WHEN WATER MAIN IS BENEATH STORM SEWER OR SANITARY SEWER, SEWER MUST BE CONSTRUCTED WITH WATER QUALITY PER STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.

SANITARY SEWER OR STORM SEWER MUST BE CONSTRUCTED WITH WATER MAIN QUALITY PIPE FOR 15' MIN. IN THE 15' OF WATER MAIN REFER TO QUALITY MATERIAL REQUIREMENTS.



Utility Plan - South





PAVING LEGEND	
[Symbol]	LIGHT DUTY PAVEMENT
[Symbol]	HEAVY DUTY PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE SIDEWALK

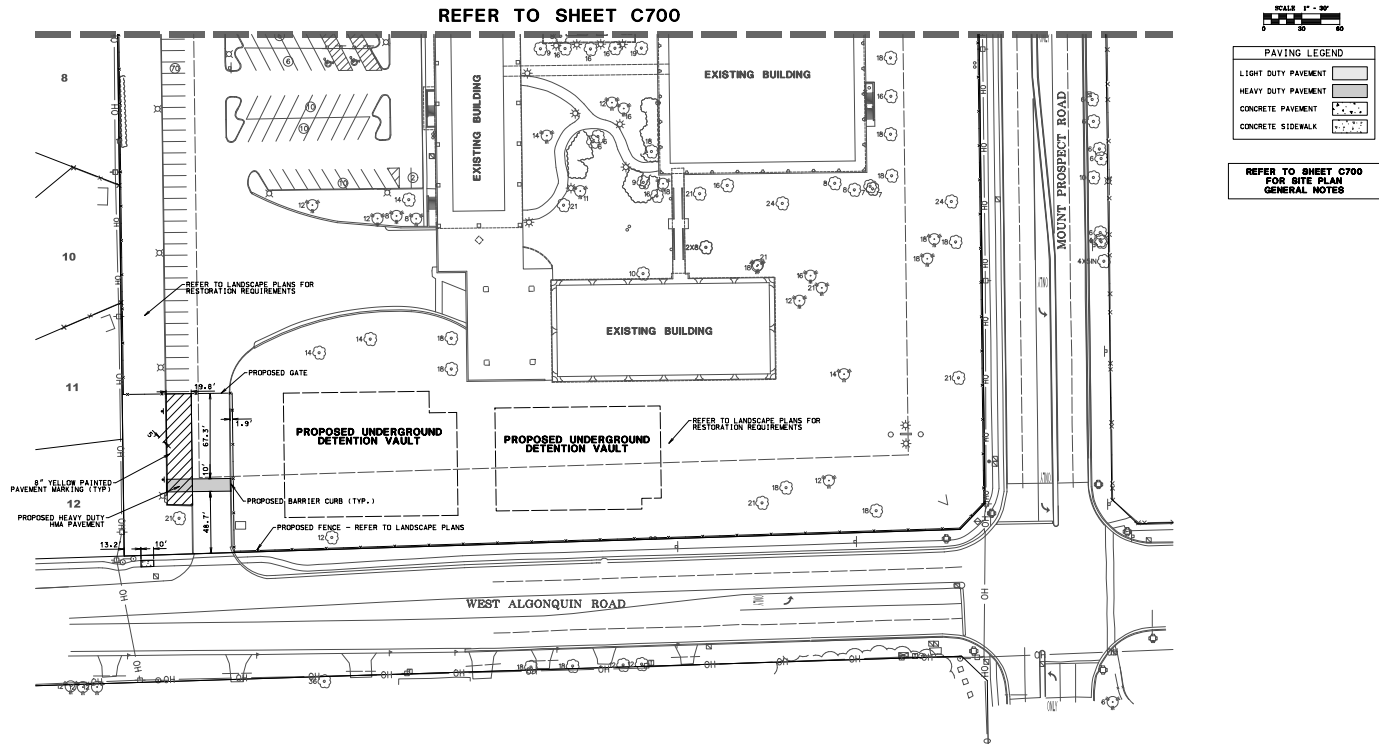
- SITE PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 2. ALL RADI ARE TO BACK OF CURBS, UNLESS OTHERWISE NOTED.
 3. ALL BUILDING DIMENSIONS ARE BASED ON ARCHITECTURAL PLANS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND CONTACT THE ARCHITECT FOR ANY DISCREPANCIES.
 4. ALL DRIVE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
 5. ALL PROPOSED CURBS AND GUTTER SHALL BE 6"-12" AND SHALL BE DERESSED CURB WHERE SIDEWALK MEETS A STREET, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.
 6. ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAUCUT FULL DEPTH WITHIN 24 HOURS OF PLACEMENT.
 7. SEE ARCHITECTURAL PLANS FOR DETAILS OF LOADING DOCK, TRASH COMPACTORS, TRASH COLLECTORS, AND SIDEWALK PLAN.
 8. ALL CURB ISLANDS TO HAVE 1'-0" MINIMUM RADIUS ON CORNERS, UNLESS OTHERWISE SHOWN.
 9. REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS.

REFER TO SEPARATE PLANS FOR IMPROVEMENTS TO MOUNT PROSPECT ROAD

REFER TO SHEET C701

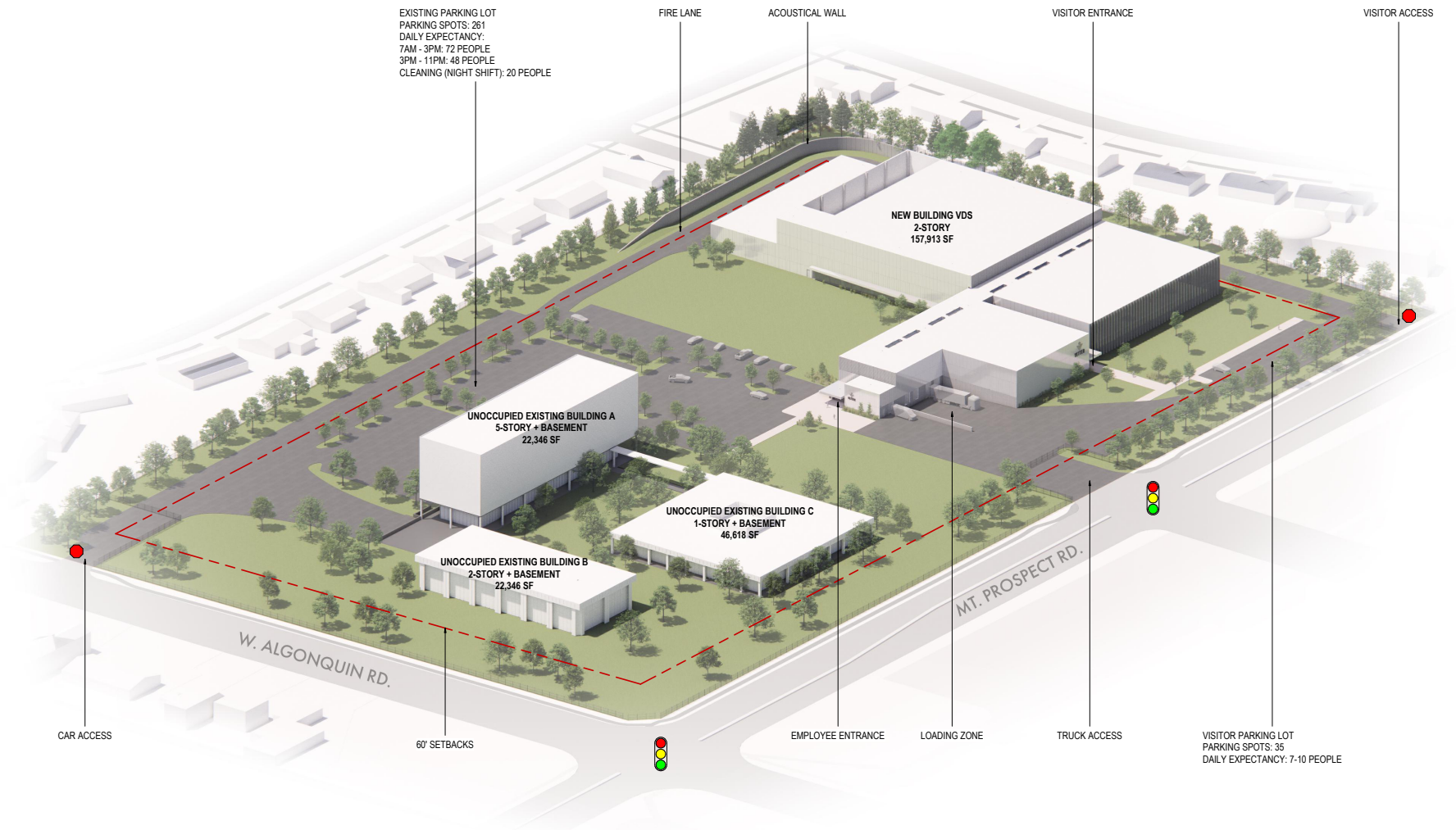
Geometrics & Paving Plan - North





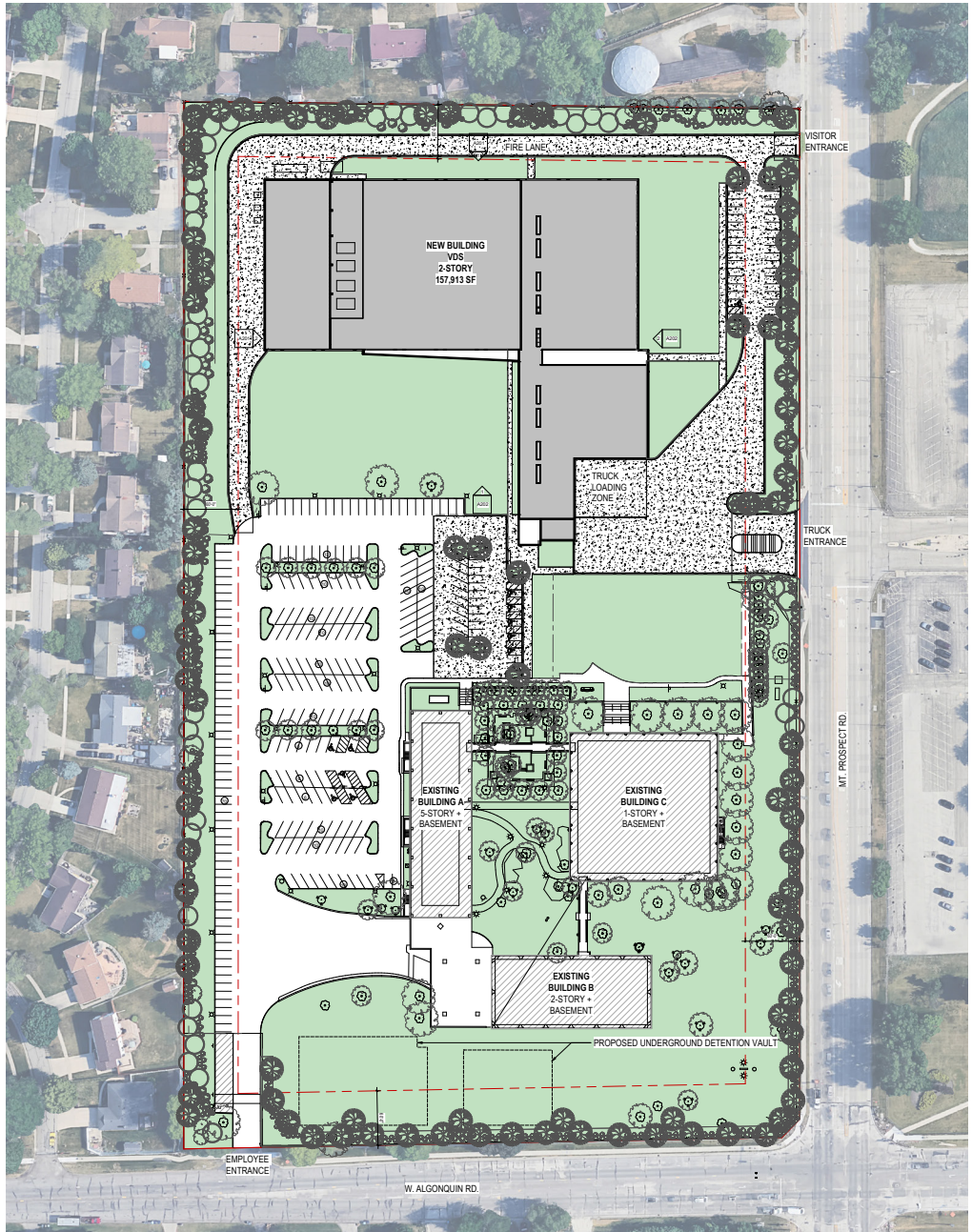
Geometrics & Paving Plan - South





Site Axon Diagram





SITE PLAN LEGEND	
	NEW BUILDING
	EXISTING BUILDING
	NEW PAVING
	GREENSPACE
	PROPERTY LINE
	BY SETBACK LINE
	EXISTING ELEVATOR TAG

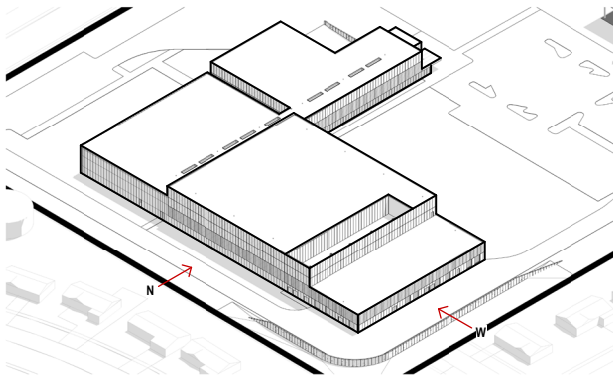
PARKING LEGEND	
	SEE PARKING DEPT. MANUAL FOR EACH PAVEMENT TYPE

1 SITE PLAN
 1" = 40'-0"

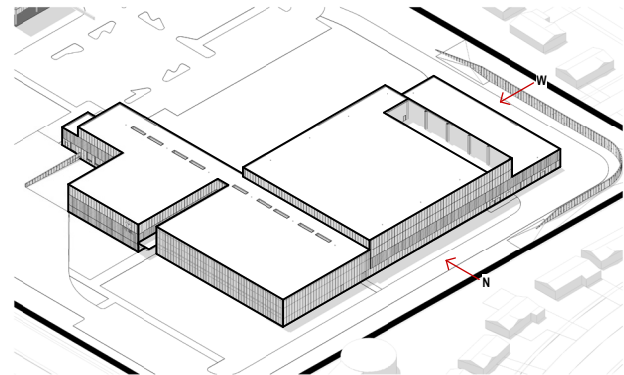


Architectural Site Plan

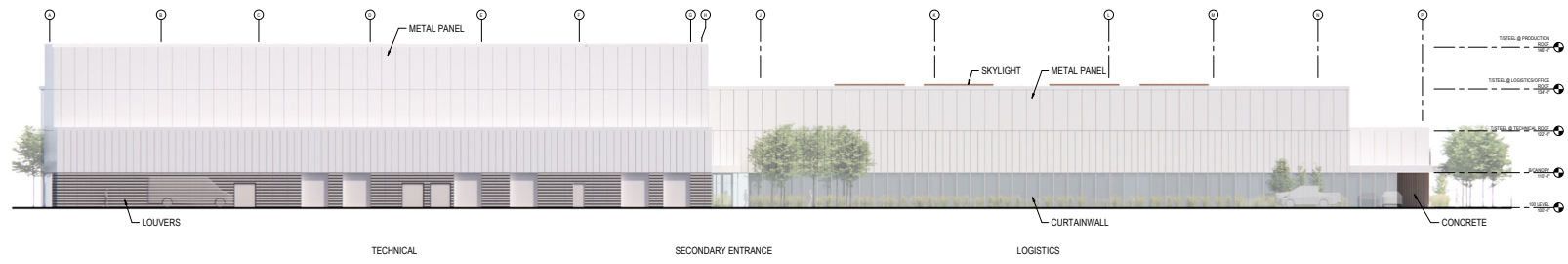




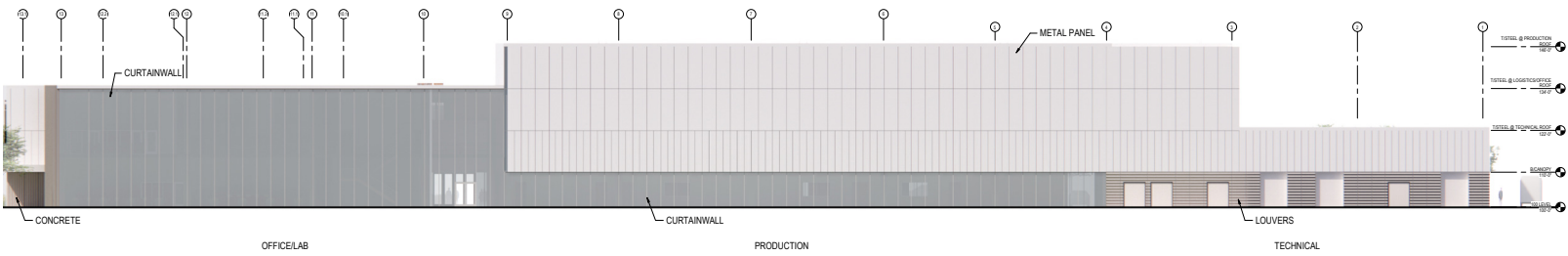
4 EXTERIOR AXON - NORTHWEST



3 EXTERIOR AXON - NORTHEAST



2 BUILDING ELEVATION - WEST
3/22' x 1'-0"

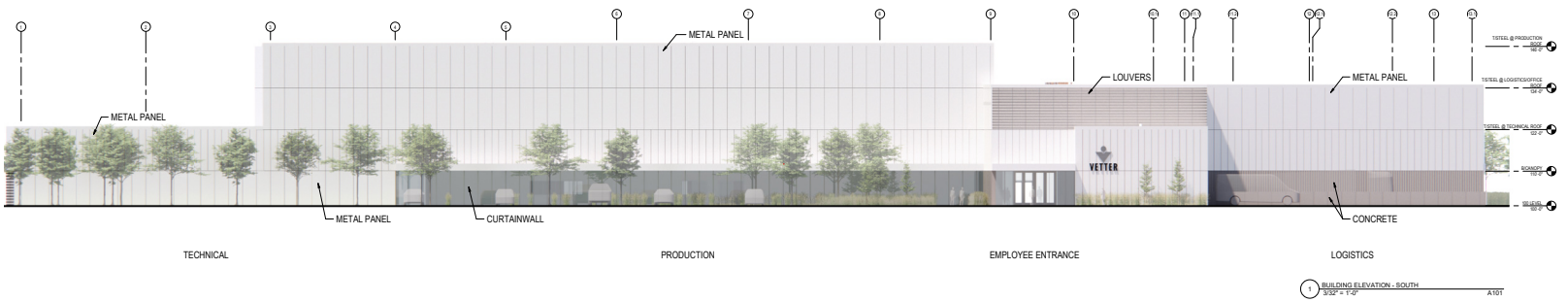
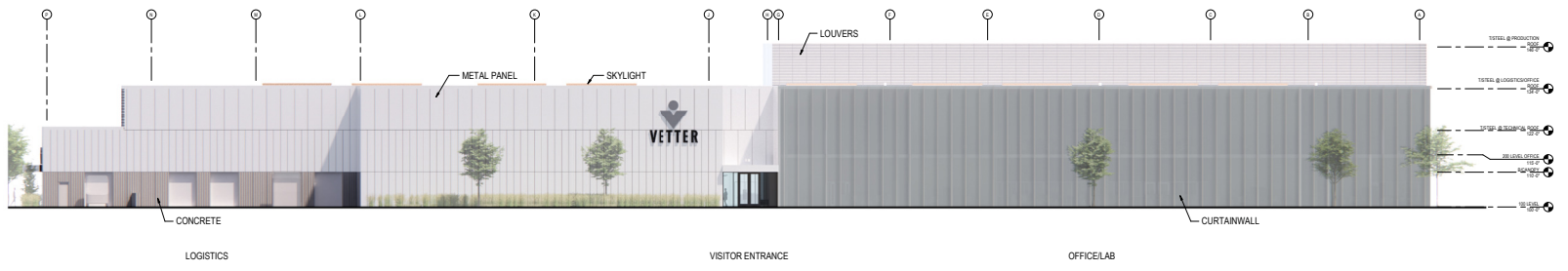
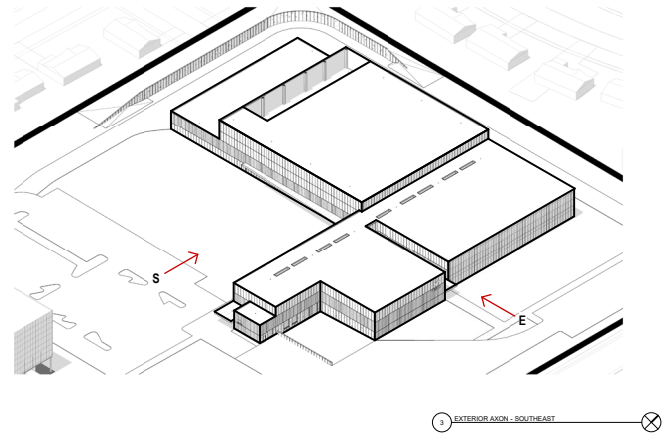
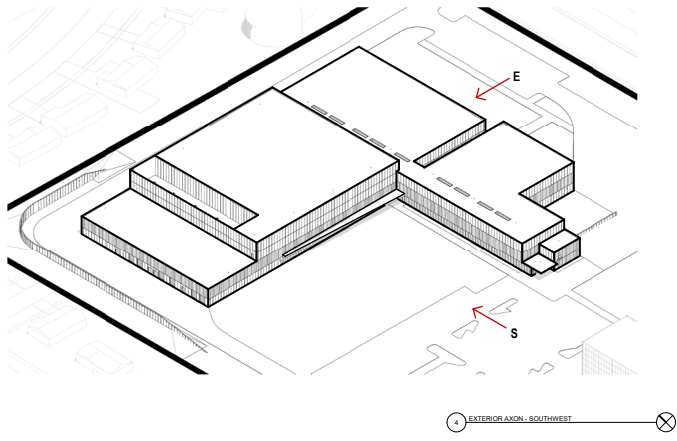


1 BUILDING ELEVATION - NORTH
3/22' x 1'-0"



Building Elevations





Building Elevations

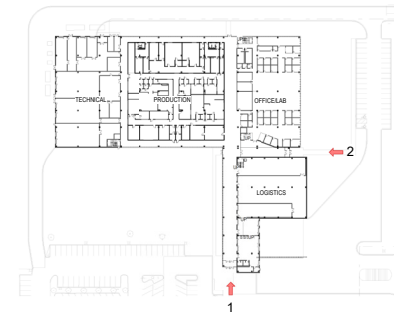




2 EXTERIOR PERSPECTIVE - VISITOR ENTRANCE



1 EXTERIOR PERSPECTIVE - EMPLOYEE ENTRANCE



FIRST FLOOR PLAN
 154' x 113'
 SCALE 1/8" = 1'-0"

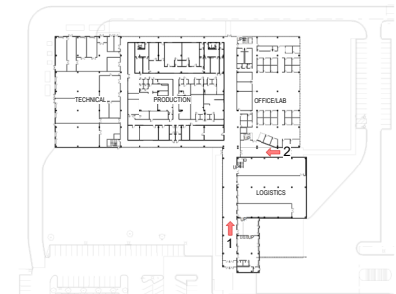
Exterior Perspective Renders



2 INTERIOR PERSPECTIVE - VISITOR ENTRANCE



1 INTERIOR PERSPECTIVE - EMPLOYEE ENTRANCE



FIRST FLOOR PLAN
1/8" = 1'-0"
SCALE 1/8" = 1'-0"

Interior Perspective Renders

