



# Planning and Zoning Board Agenda January 23, 2024 Room 102 – 7:00 P.M.

Call to Order and Roll Call

**Approval of Minutes:** January 9, 2023

Public Comment: For matters that are not on the agenda

**Pending Applications:** 

1. Address: 2285 Webster Lane Case Number: 23-064-FPLAT

The applicant has requested a Final Plat of Subdivision pursuant to Section 13-2-2 of the Subdivision Regulations to split an existing lot into two lots of record in the R-1 Single Family Residential zoning district, and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-29-302-042-0000

**Petitioner:** Jean Bonk, 2285 Webster Lane, Des Plaines, IL 60018 **Owner:** Jean Bonk, 2285 Webster Lane, Des Plaines, IL 60018

2. Address: 622 Graceland and 1332 & 1368 Webford Case Number: 23-005-FPLAT

The petitioner is requesting a combined Tentative and Final Plat of Subdivision to consolidate three lots into one lot of record, and any other variations, waivers, and zoning relief as may be necessary.

**PINs:** 09-17-306-036-0000, 09-17-306-038-0000, 09-17-306-040-0000

**Petitioner:** Mylo Residential Graceland Property LLC, 202 S. Cook St., Suite 210, Barrington IL 60010

Owner: Mylo Residential Graceland Property LLC, 202 S. Cook St., Suite 210, Barrington IL 60010

3. Address: 1183 S. River Road Case Number: 23-047-V

The petitioner has requested a major variation from the fence regulations to allow the finished side of a wood privacy fence to face the subject property instead of facing neighboring properties as required by code, and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-21-105-016-0000

**Petitioner:** Kathryn S. Kuntz, 1183 S. River Road, Des Plaines, IL 60016

Owner: Kathryn S. Kuntz, 1183 S. River Road, Des Plaines, IL 60016

4. Address: 915 Alfini Drive

The petitioner has requested a variation to allow a total building coverage in excess of the maximum 30 percent building coverage permitted for interior lots in the R-1 Single Family Residential district, and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-19-216-006-0000

**Petitioner:** Arthur J. Garceau, 915 Alfini Drive, Des Plaines, IL 60016 **Owner:** Arthur J. Garceau, 915 Alfini Drive, Des Plaines, IL 60016

5. Address: 1504 Oakwood Avenue Case Number: 24-002-V

Case Number: 24-001-V

The petitioner has requested a variation to reduce the required corner side yard to allow for construction of a shed in the R-1 Single Family Residential district, and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-20-210-014-0000

**Petitioner:** Max Larsen, 1504 Oakwood Avenue, Des Plaines, IL 60016 **Owner:** Max Larsen, 1504 Oakwood Avenue, Des Plaines, IL 60016

6. Address: 1628 Rand Road Case Number: 24-004-CU

# NOTE: The petitioner has requested a continuance to the February 13, 2024 meeting. Refer to memo.

The petitioner has requested a conditional use to operate a motor vehicle sales use in the C-3 General Commercial district and any other variations, waivers, and zoning relief as may be necessary.

**PIN:** 09-16-104-022-0000

**Petitioner:** Urszula Topolewicz, 2020 Berry Lane, Des Plaines, IL 60018 **Owner:** Art Investment LLC, 2020 Berry Lane, Des Plaines, IL 60018

**Next Agenda:** Next meeting on February 6, 2023

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

1183 S. River Road 542 Webford Avenue Variation Variation



# DES PLAINES PLANNING AND ZONING BOARD MEETING January 9, 2024 MINUTES

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, January 9, 2024, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chair Szabo called the meeting to order at 7:00 p.m. and roll call was established.

PRESENT: Szabo, Fowler, Weaver, Saletnik, Veremis

ABSENT: Hofherr, Catalano

ALSO PRESENT: Ryan Johnson, Assistant CED Director

Samantha Redman, Senior Planner

Jeffrey Rogers, CED Director in Audience

A quorum was present.

# **APPROVAL OF MINUTES**

A motion was made by Board Member Weaver, seconded by Board Member Saletnik to approve the meeting minutes of November 14, 2023.

AYES: Weaver, Szabo, Saletnik, Veremis, Fowler

NAYS: None

ABSENT: Hofherr, Catalano

ABSTAIN: None

# \*\*\*MOTION CARRIES UNANIMOUSLY \*\*

# **PUBLIC COMMENT ON NON-AGENDA ITEM**

There was no public comment.

# **Pending Applications:**

Address: 1183 S River Road Case Number: 23-047-V

The petitioner, Kathryn Kuntz, is requesting a major variation from Section 12-8-2.D of the Zoning Ordinance to allow a fence design with the finished side of the wood fence facing inward towards the subject property instead of the finished fence side facing neighboring properties as

required. Senior Planner Samantha Redman explained that the petitioner was unable to attend this evening's meeting and requested a continuation.

A motion was made by Board Member Veremis, seconded by Board Member Fowler to continue case Number 23-047-V until January 23, 2024.

AYES: Weaver, Szabo, Saletnik, Veremis, Fowler

NAYS: None

ABSENT: Hofherr, Catalano

ABSTAIN: None

# \*\*\*MOTION CARRIES UNANIMOUSLY \*\*

Case Number: 23-069-V

# 2 . Address: 542 Webford Avenue

The petitioner is requesting a standard variation from Section 12-7-2.J of the Zoning Ordinance to reduce the required front yard setback from 25 feet to nine feet to construct a full second-story addition onto the existing single-family residence at 542 Webford Avenue.

Petitioner: Cortni Jablenski, 542 Webford Avenue, Des Plaines, IL 60016

Owner: Cortni Jablenski, 542 Webford Avenue, Des Plaines, IL 60016

Case Number: 23-069-V

PIN: 09-17-314-017-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: R-1, Single Family Residential District

Existing Land Use: Single Family Residence

Surrounding Zoning: North: R-1, Single Family Residential District

South: R-1, Single Family Residential District East: R-1, Single Family Residential District West: R-1, Single Family Residential District

Surrounding Land Use: North: Single Family Residences (residential)

South: Single Family Residences (residential) East: Single Family Residences (residential) West: Single Family Residences (residential)

Street Classification: Webford Avenue and Woodlawn Avenue are local streets under

Des Plaines jurisdiction.

Comprehensive Plan: Single Family Residential is the recommended use of the property.

Zoning/Property History: Based on historical aerial imagery and information provided in the

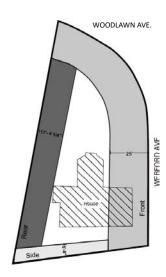
attached.

Petitioner Responses to Standards for Variation, the subject property has contained the same single-family residence since it was constructed in 1926. When constructed, the residence was positioned a little over nine feet from the north (front) property line along Webford Avenue. Since its construction, the Zoning Ordinance has been updated to require a minimum 25-foot-setback between the residence and the front property line, making the existing residence a legal nonconforming structure. The petitioner has attested that no structural changes have been made to the residence since it was built.

# **Project Description:**

# Overview

The petitioner, Cortni Jablenski, is requesting a standard variation to reduce the required front yard setback from 25 feet to nine feet to construct a full second-story addition onto the existing single-family residence at 542 Webford Avenue. The subject property consists of a single, 9,919-square foot (0.23 acre) lot with a 1½-story brick and siding house, detached garage, concrete driveway off Webford Avenue, and residential walkways as shown in the attached Plat of Survey. The property shape is unique as it fronts both Webford Avenue and Woodlawn Avenue on a curve—which serves as the front yard for the property—and does not include a corner side yard as shown on the yard designation diagram below.



# **Existing Non-Conformity**

The existing residence footprint is located a little over nine feet (9'-0 1/4") at its closest point from the north (front) property line abutting Webford Avenue. Since City records indicate that this residence has been in existence on site prior to the adoption of the 1998 Zoning Ordinance, it is classified as a non-conforming structure governed by Section 12-5-6 of the Zoning Ordinance. This section does allow, with some limitations, a nonconforming structure to be repaired, maintained, altered, or enlarged provided that the repair, maintenance, alteration, or enlargement does not:

"create any new nonconformity or increase the degree of the existing nonconformity of all or any part of such structure. For the purposes of this section, the <u>vertical</u> or horizontal <u>extension of a structure shall be considered to increase the degree of an existing nonconformity related to a required yard or setback." (Section 12-5-6.B)</u>

The petitioner's proposal to construct a second story addition on top of the existing building footprint increases the degree of the non-conformity requiring a variation request.

# Proposed Floor Plan and Scope of Work

The new second story addition includes four separate bedrooms—including a master bedroom with its own bathroom—each with their own closets and a separate bathroom and closet area as shown on the attached Site and Architectural Plan. Also included in the proposal is the full remodel of the existing main level of the residence—including alterations to the existing front porch, family room, kitchen, office, closest, and mudroom—and excluding the dining room and bathroom areas as shown in the attached Site and Architectural Plan. Aside from the existing mudroom located at the rear of the residence, which will be repurposed for a storage area, the uses of all other existing areas of the main level will be retained. The walls of the existing screened front porch will be removed but the roof structure will remain. The last portion of the proposal includes the construction of a new wood deck with stairs proposed for the southwest corner of the residence.

# Proposed Elevations and Required Building Design Standards

The proposal will increase the existing residence height to 30 feet, which is under the maximum building height of 35 feet pursuant to Section 12-7-2.J of the Zoning Ordinance for residences located in the R-1 district. The existing exterior building materials for the residence are predominately vinyl siding with some brick accent areas on the north and west elevations. The existing brick will be retained, and the existing vinyl siding will be replaced with new vinyl siding. The proposed second story addition will be constructed entirely with vinyl siding as shown in the attached Site and Architectural Plan.

Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects when there are "appearance altering renovations to the front or corner facades of a principal structure." Since the proposal does alter the front of the residence, the regulations in this section are required to be met. For the subject property, the front façade is the north and northwest elevations facing Webford Avenue and Woodlawn Avenue. The table below provides a comparison between the required building design standards and the proposed alterations to the residence on the subject property. Refer to the attached Site and Architectural Plan for additional information.

	Section 12-3-11: Building Design Standards						
	Requirement	Proposed					
Building Materials – Ground Story	Natural stone, face brick, or anchored or adhered masonry veneer	Existing face brick areas will be retained in their entirety. Existing vinyl siding areas will be replaced with new vinyl siding*					
Building Materials – Upper Story	Ground story materials plus painted or stained wood, stucco, vinyl siding, and fiber cement board	for entire second story addition					
Blank Wall Limitations	No rectangular area greater than 30 percent of a story's facade may be windowless	Compliant, largest windowless area comprises 21 percent of the front facade					
	No part of a story's facade may be windowless for a horizontal distance greater than 15 feet	Compliant, largest windowless area comprises six linear feet					

<sup>\*</sup> Existing legal non-conformity governed under Section 12-5-6 since the residence was constructed prior to the adoption of the building design standards.

# Off-Street Parking

The attached Site and Architectural Plan indicates that there are no proposed changes to the current number of off-street parking spaces and that the existing driveway and detached garage footprint will remain the same. Single family residences are required to provide two off-street parking spaces pursuant to Section 12-9-7 of the Zoning Ordinance. As shown on the attached Plat of Survey, there is ample space for one off-street parking space in the detached garage and multiple off-street parking spaces on the concrete driveway.

<u>Variation Findings:</u> Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

<sup>\*\*</sup> All new vinyl siding must be installed above the first-floor ceiling to be compliant with Section 12-3-11. Adjustments may be necessary so as not to increase the degree of an existing non-conformity.

Comment: The existing residence was constructed prior to current regulations requiring the 25-foot-front-yard-setback and is positioned nine feet from the front property line. Requiring the addition to comply with the required front yard setback would substantially restrict the property owner from making improvements to the existing structure.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Comment: The subject property is located on a curve where Webford Avenue intersects with Woodlawn Avenue creating a uniquely shaped corner lot with three sides and no corner-side yard. The front yard extends along the curve of both Webford Avenue and Woodlawn Avenue reducing the available space on the property for an addition.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

Comment: The unique physical conditions of the subject property are not the result of the current property owner or their predecessor. In addition, the subject property is land-locked preventing the property owner from addressing the physical conditions on the subject property.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Comment: Given the unique physical conditions of the subject property, it can be argued that carrying out the strict letter of this code for the front yard setback could deprive the property owner of the ability to make improvements to the subject property that are commonly enjoyed by other owners of single-family residential lots. The petitioner intends to add the second story addition in lieu of expanding the existing main level in order to preserve the character of the existing residence.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Comment: Granting this variation would not provide a special privilege for the property owner not available to other single-family residential properties. Instead, it allows the property owner the ability to make improvements to the subject property as other property owners along Webford Avenue who reside in homes with similar reduced setback distances as the subject property. The petitioner has noted that there are several homes in the surrounding area that have similar reduced setbacks from the front property line—a characteristic that is prevalent in the neighborhood—and they have made improvements to their residents in a similar fashion. In addition, the granting of this variation does

not inherently allow the property owner to make additional money off the subject property and its development.

6. Title and Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

Comment: The project would allow re-investment into a single-family home, which the Zoning Ordinance and Comprehensive Plan encourage. While one could argue that the proposed second story addition in the location and design identified on the attached Site and Architectural Plan is largely for the benefit of the property owner, a study of the area indicates that many of the neighboring properties are developed in a similar fashion. It can be concluded that the proposed second story addition as proposed will be in harmony with existing development and potentially provide more benefit for the neighborhood as a whole—in relation to property values—than just for the petitioner.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: There are alternatives to the proposed setback variation being requested including a one-story addition on the west side of the existing residence or reduced second-story addition. However, after consideration of these alternatives, it can be argued that either alternative could negatively impact the existing character of the residence making it less harmonious with neighboring properties. Also, the alternative of adding a one-story addition would inherently increase the building coverage of the subject property, which is not necessarily promoted by the Comprehensive Plan for lower-density residential developments. The PZB may wish to ask why certain alternative designs are not feasible.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The approval of the setback reduction would be the minimum relief for the petitioner given their current proposal.

<u>PZB Procedure and Recommended Conditions:</u> Under Section 12-3-6.F (Procedure for Review and Decision for Standard Variations) of the Zoning Ordinance, the PZB has the final authority to approve, approve subject to conditions, or deny the above-mentioned standard variation request for the building setback at 542 Webford Avenue.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-6.H (Findings of Fact for Variations) of the Zoning Ordinance. If the PZB approves the request, staff recommends the following condition.

# Condition of Approval:

1. Architectural plans included with this variation may be revised during final building permit review process without requiring an amendment to this variation ordinance, provided there is no increase in

front yard encroachment or building height and the approved plans conform with Building Design Standards in Section 12-3-11.

Petitioner Cortni Jablenski was sworn it.

Ms. Jablenski explained that the current regulation requires a 25-foot-front-yard-setback, and the front lot line of her house is nine feet from the sidewalk.

Senior Planner Samantha Redman presented staff slides and an overview of the case. The structure was constructed in 1926 prior to the adoption of the current zoning code regulations. Requiring the addition to comply with the required front yard setback would substantially restrict the property owner from making improvements to the existing structure. The structure would be legal non-conforming; however, adding the second story adds to the degree of non-conformity. Proposed plan drawings and elevations were reviewed.

A motion was made by Board Member Veremis, seconded by Board Member Weaver to approve a Standard Variation to reduce the required front yard from 25-feet to 9-feet.

AYES: Weaver, Szabo, Saletnik, Veremis, Fowler

NAYS: None

ABSENT: Hofherr, Catalano

ABSTAIN: None

# \*\*\*MOTION CARRIES UNANIMOUSLY \*\*

# **DISCUSSION**

- a. Legal Training: The City's Legal Counsel proposed a training session for PZB members and members of City Staff. Member Fowler asked if the session could be recorded, or if she could attend remotely via Teams. Staff will consult with Legal Counsel and report back to the Commission. PZB members confirmed the training date of February 6, 2024, 7:00 p.m.
- b. A workshop to discuss the Building Design Review section of Code was proposed for March 5, 2024, 7:00 p.m. Chairman Szabo stated that he likes this idea. Member Fowler added that she likes the idea of design review and that she would like to see standards put in place for developments. Senior Planner Samantha Redman explained that a memo may be created to include the code section in question. Staff also researched building design codes of other communities and has requested information through a Northwest Municipal Conference survey. The results will be shared at the Workshop. CED Director Jeffrey Rogers explained how surrounding communities structure their building design reviews, including the use of design committees.

# **ADJOURNMENT**

Chairman Szabo adjourned the meeting at 7:25 p.m.

Sincerely,

Laura Fast, Deputy City Clerk/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners



# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

# MEMORANDUM

Date: January 19, 2024

To: Planning and Zoning Board (PZB)

From: Samantha Redman, Senior Planner

Cc: Jeff Rogers, Director of Community and Economic Development

Subject: Consideration of Final Plat of Subdivision at 2285 Webster Lane

**Issue:** The applicant is requesting a Final Plat of Subdivision under 13-2 of the Subdivision regulations to subdivide one existing lot into two lots of record.

**Applicant:** Jean Bonk, 2285 Webster Ln, Des Plaines, IL 60018

Owner: Jean Bonk, 2285 Webster Ln, Des Plaines, IL 60018

Case Number: 23-064-FPLAT

**PIN:** 09-29-302-042-0000

Ward: #5, Carla Brookman

**Existing Zoning:** R-1, Single Family Residential

**Existing Land Use:** Single family residence

**Surrounding Zoning:** North: R-1 Single Family Residential District

South: R-1 Single Family Residential District East: R-1 Single Family Residential District West: R-1 Single Family Residential District

**Surrounding Land Use:** North: Single Family Dwellings (Residential)

South: Single Family Dwellings (Residential)
East: Single Family Dwellings (Residential)
West: Single Family Dwellings (Residential)

**Street Classification:** Webster Lane is classified as a local road.

**Comprehensive Plan:** The Comprehensive Plan illustrates the site as single family residential.

**Zoning/Property History:** 

Based on City records, the subject property has been one parcel throughout known history and has been owned by the same property owner for several decades. A single-family detached home has been located on the north half property since approximately 1940, per the Cook County assessor. The area to be subdivided is currently grass and other vegetation.

**Project Description:** 

The petitioner, Jean Bonk, is requesting a Final Plat of Subdivision for the property located at 2285 Webster Lane. The subject property is 21,982 square feet in size and includes one single family residence. A Tentative Plat of Subdivision and a Standard Variation to reduce the lot width from 55 to 50 feet for the property was approved in June 2023.

# **Final Plat of Subdivision Report**

Name of Subdivision: Bonk Subdivision

Address: 2285 Webster Lane

**Request:** Approval of Final Plat of Subdivision

Total Area of

**Subdivision:** 18,682 square feet (0.42 acres)

**Lot Descriptions:** 

The petitioner's Final Plat shows the subdivision of the existing lot into two 9,341 square-foot, 50-foot-wide lots with a 25-foot building line. The property includes no easements, and the final plat does not propose any additional easements, but the plat notes utility lines including gas, water, and overhead electrical lines. The petitioner provided correspondence from ComEd and Nicor that no easements exist on the property for these utilities. Per correspondence between the petitioner and ComEd, easements may be required in the future for ComEd when a new residence is planned, but this location and size will be determined prior to approval of a building permit.

A 3,303-square-foot area (33.03 feet by 100.00 feet) is proposed to be dedicated to the city in the front area of the proposed parcels. The current property line extends into the area that is typically used for parkways and sidewalks along Webster Lane, creating a burden for the property owner in terms of maintenance and taxes, and reduces the ability for the city to easily maintain the street and the proposed parkway and public sidewalk.

Presently, there is no sidewalk or parkway in front of the property. The Preliminary Site Improvement Plan includes a 5-foot-wide sidewalk, parkway, and various other improvements. The required improvements were approved by the Director of Engineering (Refer to Final Engineering Plans) and will be included within the resolution. A financial security in the amount of 125% of the approved engineer's estimate of cost of the public improvements will be collected in a form approved by the City Attorney prior to final recordation of the plat of subdivision.

# **PZB Procedure**:

Under Section 13-2-7 of the Subdivision Regulations, the PZB has the authority to recommend approval, approval subject to conditions, or denial of the request: A Final Plat of Subdivision to split an existing lot into two lots of record at 2285 Webster Lane. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 13-2-7 as outlined in the Subdivision Regulations. Staff does not suggest any conditions in the event of recommended approval.

# **Attachments:**

Attachment 1: Location and Zoning Map Attachment 2: Site and Context Photos

Attachment 3: Plat of Survey

Attachment 4: Final Plat of Subdivision Attachment 5: Final Engineering Plans Attachment 6: Utility Correspondence

# **GIS**Consortium

# **Zoning Map**



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Attachment 1 Page 4 of 15

Notes

Subject Site

C-2: Limited Office Commercial C-3: General Comm R-1: Single Family Residential

Zoning



View of area proposed to be subdivided



View of adjacent properties, facing south



2285 Webster Lane – Public Notice Sign



View of existing house and driveway

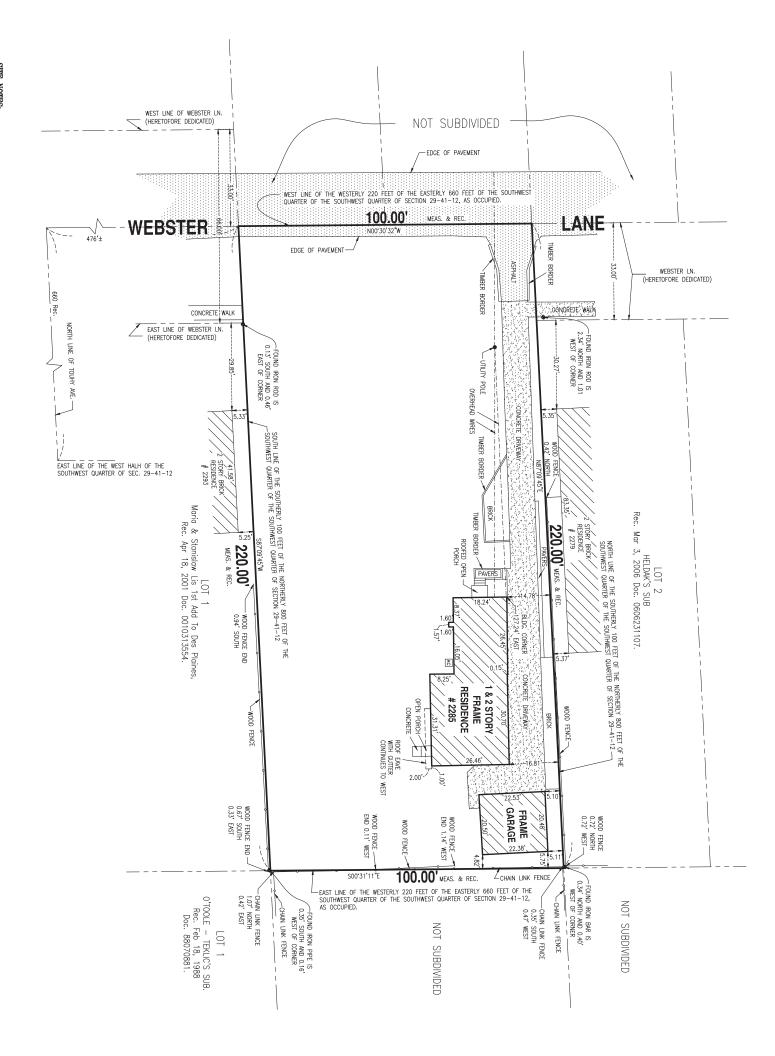
Attachment 2

**Page 5 of 15** 

LEGAL DESCRIPTION:

THE WESTERLY 220 FEET OF THE EASTERLY 660 FEET OF THE SOUTHERLY 100 FEET OF THE NORTHERLY 800 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 2285 WEBSTER LANE, DES PLAINES, ILLINOIS.



# GENERAL NOTES:

sq.

**;** 

oons

. No bancy at once.

B.H. SUHR & COMPANY, INC.

SURPEYORS ESTABLISHED 1911
450 SKOKIE BLVD. SUTTE 105, NORTHBROOK, ILLINOIS, 60062
TEL. (847) 864-6315 / FAX (847) 864-9341
E-MAIL: SURVEYOR@BHSUHR.COM 22-126-A WEBSTER LANE JEAN BONK 23

STATE OF ILLINOIS ss.

Michael E. Farrell Professional Land Surveyor No. 035-License Expiration Date 11/30/24

May 18 20 23					
AND LANGUAGE	THE BASIS OF BEARINGS SHOWN HEREON IS ASSUMED	ABBREVIATIONS: MEAS. = MEASURED REC. = RECORD DIMENSION	GRAPHIC SCALE SCALE, $1^n = 20$ FT.	0' 15' 20' 50	

23	•	oundary survey.		
FOF ILLINOIST	NORTHBROOK	035.002639	FARRELL SO	SONAL LAND

**Attachment 3** 

# FINAL PLAT OF BONK SUBDIVISION

NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29-41-12 LEGAL DESCRIPTION: THE WESTERLY 220 FEET OF THE EASTERLY 660 FEET OF THE SOUTHERLY 100 FEET OF THE NORTHERLY 800 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. COMMONLY KNOWN AS: 2285 WEBSTER LN., DES PLAINES, ILLINOIS. Cook County PIN: 09-29-302-042-00000 hereon, hereby adopt this plat of subdivision; establishes the minimum building restriction lines, dedicates the roads, streets, allevs, walks, and other greas indicated thereon to the public use; and establishes any other easements shown Storm MH SOUTH(15") HELDAK'S SUB Dated this \_\_\_\_\_ , A.D., 20\_\_\_\_ Rec. Mar 3, 2006 Doc. 0606231107. PIN: 09-29-302-206 Aux. Valve NOT SUBDIVIDED Owners Signature PIN: 09-29-302-039 STATE OF ILLINOIS COUNTY OF \_\_ 186.97 , a Notary Public in and for said County, in the State aforesaid, do hereby certify that FRAME 33.03 GARAGE some Person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that she signed and delivered said instrument as his free and voluntary act for the uses and purposes therein set forth. 1-8-2-9TORY TIMBER BORDER FRAME mESIDEN # 2285 RESIDENCE NOT SUBDIVIDED LOT 1 PIN: 09-29-302-043 Given under my hand and official seal IRON PIPE ESSE AT CORNE ER CONCRETE WOOD FENCE this \_\_\_\_\_ day of \_\_\_\_\_ \_\_\_ 5' SIDE YARD SETBACK 50.00 LOT 2 Aren =9.341 Sq. Ft 5' SIDE YARD SETBAC 7' N87'09'45 Approved by the Mayor and the City Council of the City of the Straines, illinois, the council of the City of the Straines, illinois, the council of the City of the Straines, illinois, the council of the City of the Straines, the council of the City of the City of the Straines, the council of the City 33.03 this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, PIN: 09-29-302-166 Maria & Stanislaw Lis 1st Add To Des Plaines, Rec. Apr 18, 2001 Doc. 0010313554. PIN: 09-29-302-181 CITY DIRECTOR OF PUBLIC WORKS AND ENGINEERING CERTIFICATE NORTH(15") Approved by the Director of Public Works and Engineering of the City of Des Plaines, Cook County, Illinois, Approved by the Planning and Zoning Board of the City of Des Plaines, Illinois this day of \_\_\_\_\_ , 2023. on this \_\_\_\_\_ day of \_\_\_ TIMOTHY P. OAKLEY, P.E., DIRECTOR OF PUBLIC WORKS & ENGINEERING SURVEYOR CERTIFICATE: NORTH LINE OF TOURY AVE. STATE OF ILLINOIS ) COUNTY OF COOK ) Underground utilities Note: R-1 Zoning District: Underground utilities Note:
The location of underground utilities shown hereon was established by physical evidence or taken from records and/or field markings normally considered reliable. However, locking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. No responsibility for their accuracy is To the best of our knowledge and belief, the drainage of surface waters will not be changed by THE BASIS OF BEARINGS SHOWN HEREON IS WITH REFERENCE TO ILLINOIS STATE PLANE COORDINATES EAST ZONE GRID NORTH, NSRS(2011). I, Michael E. Forrell, hereby certify that I have prepared the plat shown hereon and that it is correct; the iron pipes have been placed in the ground as indicated hereon, in accordance with the Subdivision Regulations of The City Of Des Plaines; that the property is within the corporate limits of the City Of Des Plaines which has adopted an official comprehensive plan; that the property is not within a special flood hazard area, as identified by the Federal Emergency Front Yard Building Setback = 25.00' the construction of this subdivision or any part thereof, or, if such surface water drainage will be Side Yard Setback (Interior) = 5.00' Rear Yard Setback = 25.00' changed, reasonable provision has been made for collection and diversion of such surface waters TIECENDE into public areas, or drains, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the Management Agency on the most recent flood insurance rate map panal 219 of 832, community Panel No. 17031C0219J adjoining property because of the construction of this subdivision. Dated this 3rd day of January , A.D. 2024 Area Table: 9,341 Sq. Ft. / 0.21444 Acres, More or Less 9,341 Sq. Ft. / 0.21444 Acres, More or Less Illinois Professional Land Surveyor No.2639 Total Lots 1 & 2 18,682 Sq. Ft. / 0.42888 Acres, More or Less Right of Way 3,300 Sq. Ft. / 0.07576 Acres, More or Less License Expiration Date 11/30/24 Total 21,982 Sq. Ft. / 0.50464 Acres, More or Less Area of Dedication to City of Des Plaines is not part of Subdivision

> EXISTING P.I.N. 09-29-302-042-0000 SEND TAX BILL TO: Jean Bonk 2285 Webster Lane Des Plaines, IL. 60018

SUBMITTED BY AND RETURN PLAT TO: CITY OF DES PLAINES Dept. Community Development 1420 Miner St. Room 301 Des Plaines, Illinois 60016

0	CATCH BASIN	
0	CLEAN DUT	
ď	FIRE HYDRANT	
0	MANHOLE	
•	SANITARY MANHOLE	
	STORM INLET	
0	STORM MANHOLE	
-⊙-	UTILITY POLE	
⊠	VALVE	
0	WATER SHUT-OFF VALVE	
->	SANITARY SEWER	
->	STORM SEWER	
	WATER MAIN	
	GAS SERVICE	
OHW —	OVER HEAD WIRE	
AC.	AIR CONDITIONER	
C/0	CLEAN DUT	
CONC.	CONCRETE	
MEAS.	MEASURED DIMENSION	
REC.	RECORDED DIMENSION	

Revised 06/01/2023 - Building Eave lines added. Revised 06/05/2023 - Setbacks and Eove Projection Note added.

# CONSENT OF MORTGAGEE

**OWNER** 

Notary Public

City Clerk

**ZONING VARIATION GRANTED** 

Zoning variation granted on June 13, 2023 for zoning case number 23-020-TSUB-V to allow the construction of a single family residence on lots 1 and 2 and expires on June 13, 2024

PLANNING AND ZONING BOARD

**DRAINAGE CERTIFICATE** 

REGISTERED PROFESSIONAL ENGINEER

, owner of the property shown and described

MAYOR

186.97

			WITHCH	is the holde
a mortgage	lated as of	, 20	_, and record	led in the O
of the Cook	County Recorder, Illin	nois on	, 20_	as
Document No		encumbe	ring the prop	erty describe
on this Plat	of Subdivision, hereb	y consents to	the recording	g of this Pla
Subdivision a	nd agrees that its li	en shall be su	bject to the	provisions of
this Plat of	Subdivision.			
IN WITNESS V	HEREOF, the undersi	aned has caus	ed this Cons	ent to be e
	neneor, the analysis	gilou iluo ouuc		0110 00 00
on				
		, 0		
Rv.				
,				
lts:	A			
.=====				
ATTEST:				
By:				
lts:				
STATE OF N	INOIS )			
STATE OF IL	LINOIS )			
	) SS.			
STATE OF ILL	) SS.			
COUNTY OF The foregoin	) SS. ) g instrument was ac		fore me on	
COUNTY OF The foregoin	) SS. ) g instrument was ac		fore me on	20
COUNTY OF The foregoin	) SS. ) g instrument was ac			the
COUNTY OF The foregoin	) SS. ) g instrument was ac			the
COUNTY OF The foregoin the	) SS.  g instrument was acc 20, t, and Secretary, of	LOT O TOOLE TE	1, KLCS SUB	
COUNTY OF The foregoin the	) SS) g instrument was acc, 20, 1, andSecretary, of	LOT O TOOLE TE	1 KUCS SUB	known to m
COUNTY OF The foregoin the athe identical	) SS.  g instrument was acc 20, 1, and Secretary, of persons who signed	LOT O TOOLE TE, which in the foregoing	1, KUCS SUB dividuals are instrument of	known to m
COUNTY OF The foregoin the athe identical the corporat	g instrument was active and secretary, of persons who signed on for and on behalf	LOT O TOOLE - TE, which in the foregoing	1 KLICS SUB dividuals are instrument a	known to m as such office that they ex
COUNTY OF The foregoin the the identical the corporat the same as	) SS. g instrument was accompany and Secretary, of persons who signed on for and on behalf their free and voluments.	DOT LOT LOT O TOOLE TE LOT which in the foregoing all of said corporation and the corporation and the corporation are the lot	1 KLCS SUB dividuals are instrument a poration, and deed, and as	known to m as such office that they ex
thethe identical the corporat the same as voluntary ac	g instrument was active and secretary, of persons who signed on for and on behalf	DOT LOT LOT O TOOLE TE LOT which in the foregoing all of said corporation and the corporation and the corporation are the lot	1 KLCS SUB dividuals are instrument a poration, and deed, and as	known to m as such office that they ex
thethe identical the corporat the same as voluntary ac mentioned.	g instrument was accompany of the control of the control of their free and volusioned and deed of the control o	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes
thethe identical the corporat the same as voluntary ac mentioned.	) SS. g instrument was accompany and Secretary, of persons who signed on for and on behalf their free and voluments.	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes
thethe identical the corporat the same as voluntary ac mentioned.	g instrument was accompany of the control of the control of their free and volusioned and deed of the control o	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes
thethe identical the corporat the same as voluntary ac mentioned.	g instrument was accompany and Secretary, of persons who signed on for and on behalt their free and volusiand deed of the company hand and official	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes
COUNTY OF The foregoin the  a the identical the corporat the same a: voluntary ac mentioned. Given under	g instrument was accompany and Secretary, of persons who signed on for and on behalt their free and volusiand deed of the company hand and official	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes
the the identical the corporat the same a voluntary ac mentioned.	g instrument was accompany and Secretary, of persons who signed on for and on behalt their free and volusiand deed of the company hand and official	DOY LOT OTODE TE	1 KLCS SUB dividuals are instrument a poration, and deed, and as the uses an	known to m as such office that they e: s the free a d purposes

# **DIRECTOR OF FINANCE**

I certify that there are no delinquent or current unpaid special assess on the property shown on this plat.  Date:						
Date:		or	current	unpaid	special	assess
	late:					

# SURVEYOR PERMISSION TO RECORD:

(SEAL)

Dated this 3rd day of January , A.D. 202-



DRAFTER 6 2021 S. E. Subr & Company, Inc. All rights reserved

B.H. SUHR & COMPANY, INC.

2285 Webster Lane SURVEY DATE, SEPTEMBER 3

22-126 ORDERED BY :\_\_\_\_

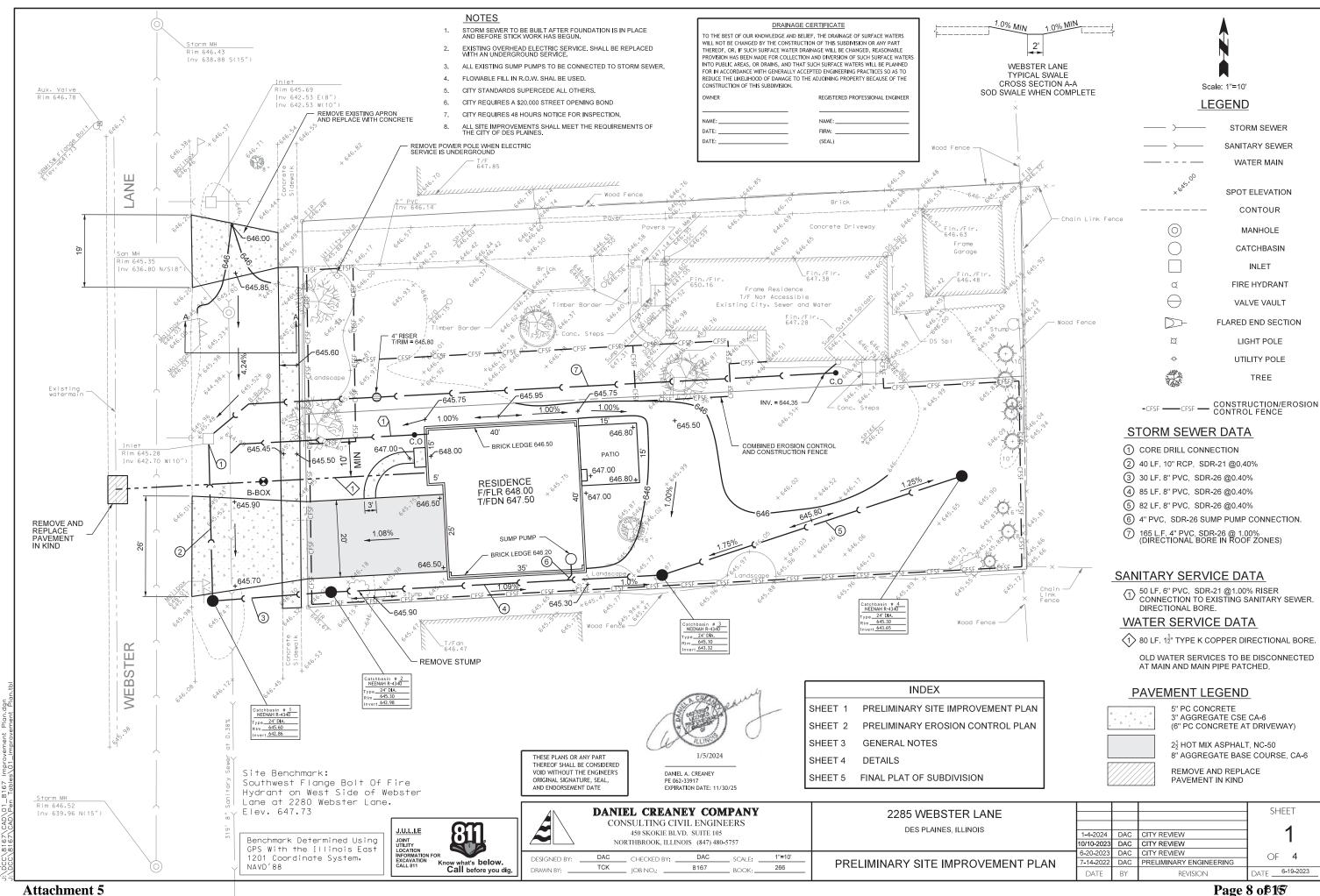
SURVEYORS ESTABLISHED 1911

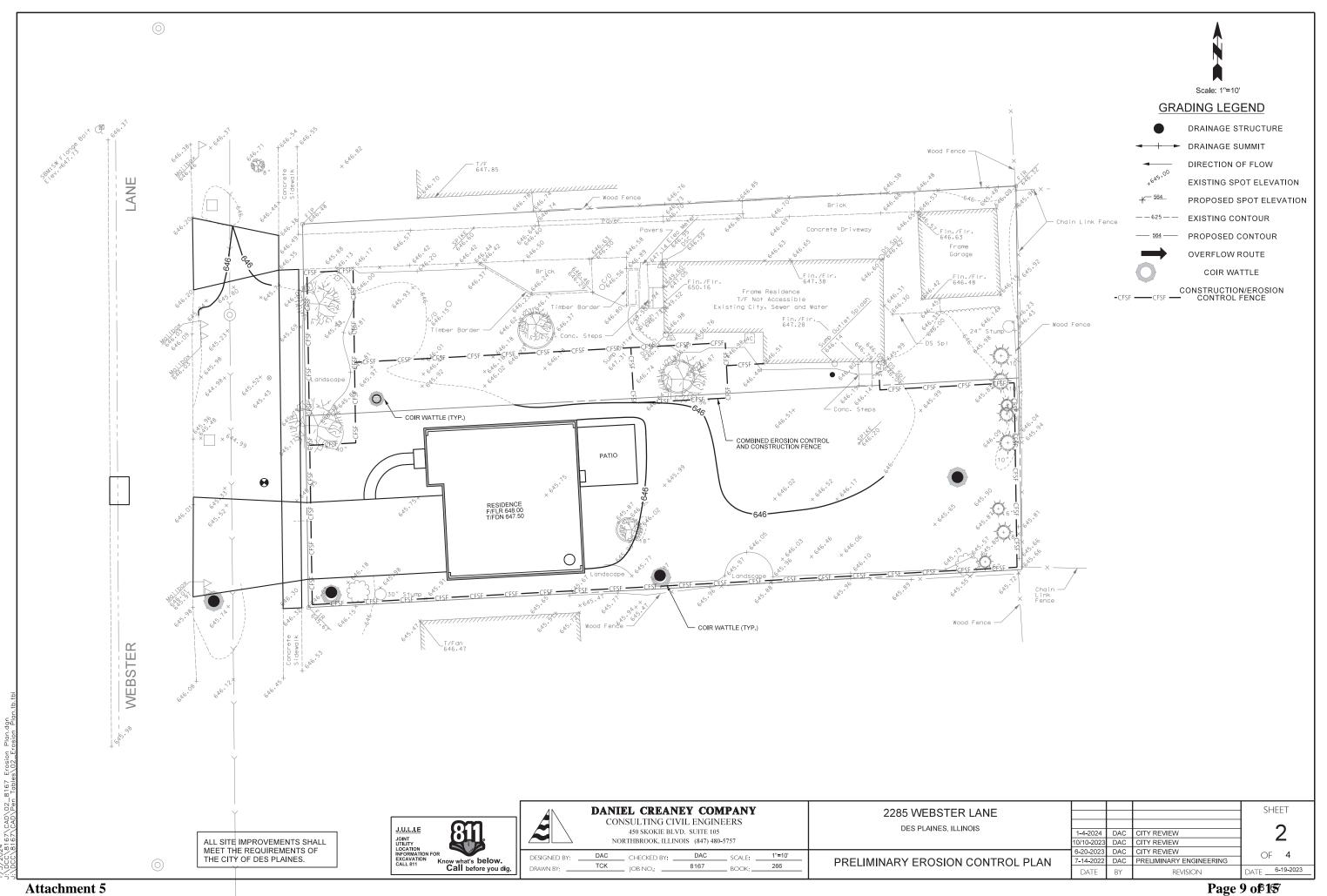
450 SKOKIE BLVD, SUITE 105, NORTHBROOK, ILLINOIS, 60062

TEL. (947) 864-6315 / FAX (947) 864-9311

E-MAIL: SURVEYOR@ BHSUIR. COM

Jean Bonk





GENERAL

- EARTHWORK AND PAVING SPECIFICATIONS
  THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD
  SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST
  EDITION, AND ALL ADDENDA THERETO, SHALL GOVERN THE
  EARTHWORK AND PAVING WORK UNDER THIS CONTRACT, EXCEPT
  AS MODIFIED BY THESE SPECIFICATIONS.
- UNDERGROUND SPECIFICATIONS
  THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN
  CONSTRUCTION IN ILLINOIS", LATEST EDITION, SHALL GOVERN
  THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS
  MODIFIED BY THESE SPECIFICATIONS.
- WORK
  WORK SHALL MEAN THE FURNISHING OF ALL LABOR MATERIAL
  EQUIPMENT AND OTHER INCIDENTALS NECESSARY OR CONVENIENT
  TO THE SUCCESSFUL COMPLETION OF THE IMPROVEMENTS DESIGNED
  BY THE ENGINEER AND SHOWN ON THIS SET OF PLANS. WORK
  SHALL ALSO INCLUDE CARRYING OUT OF ALL THE DUTIES AND
  DELIGATIONS IMPOSED BY THE AGREEMENT BETWEEN THE OWNER
  AND THE CONTRACTOR FOR THE PROPER INSTALLATION AND
  ACCEPTANCE OF THE IMPROVEMENTS DESIGNED BY THE ENGINEER
  AND SHOWN ON THIS SET OF PLANS.
- COMPLIANCE WITH LOCAL ORDINANCES
  ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN
  ACCORDANCE WITH THE LOCAL AUTHORITY'S ORDINANCES AND
  STANDARD.
- GUARANTEE
  ALL WORK PERFORMED BY THE CONTRACTOR AND/OR
  SUBCONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED
  TO THE LOCAL AUTHORITY AND OWNER BY EACH CONTRACTOR AND
  SUBCONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS
  AFTER FINAL ACCEPTANCE OF THE WORK AGAINST ALL DEFECTS
  IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.
- IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.

  EXISTING UTILITIES
  WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION
  PERTAINING TO THE LOCATION AND ELEVATIONS OF UTILITY
  FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION
  OF THE ENGINEER AS TO LOCATION AND ELEVATION OF SUCH
  UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE
  BIDDERS. THE ENGINEER AND THE OWNER ASSUME NO
  RESPONSIBILITY WHATEVER IN RESPECT TO THE SUFFICIENCY OR
  ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO
  THE LOCATION AND ELEVATION OF UTILITY FACILITIES, NOR THE
  MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED, IT
  IS EACH CONTRACTOR SAND SUBCONTRACTOR SESPONSIBILITY
  TO WISIT THE SITE AND DETERMINE THE ACTUAL LOCATION AND
  ELEVATION OF ALL UTILITIES. EACH CONTRACTOR AND
  SUBCONTRACTOR SHALL OBTAIN FROM ALL RESPECTIVE UTILITY
  COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION
  AND ELEVATION OF THEIR FACILITIES AND THE WORKING
  SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR
  ADJUSTING THEM.

EACH CONTRACTOR AND SUBCONTRACTOR PERFORMING UNDERGROUND WORK SHALL CONTACT J.U.L.I.E. AT 1-800-892-0123 AT LEAST 48 HOURS PRIOR TO START OF WORK.

- SAFETY OF WORK FACH CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE EACH CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBL FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. EACH CONTRACTOR AND SUBCONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF, AND SHAGE, PROVIDE THE BICESSARY PROTECTION TO PREVENT DAMAGE,
- A) ALL EMPLOYEES ON THE WORK AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED THEREBY:
- ALL THE WORK AND MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE; AND
- OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
  INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS
  ROADWAYS, STRUCTURES, UTILITIES AND UNDERGROUND
  FACILITIES NOT DESIONATED FOR REMOVAL, RELOCATION
  OR REPLACEMENT IN THE COURSE OF CONSTRUCTION.
- EACH CONTRACTOR AND SUBCONTRACTOR SHALL DESIGNATE A RESPONSIBLE REPRESENTATIVE AT THE SITE WHOSE DUTY SHALL BE THE PREVENTION OF ACCIDENTS. THIS PERSON SHALL BE THE CONTRACTOR'S SUPERINTENDENT UNLESS OTHERWISE DESIGNATED IN WRITING BY THE CONTRACTOR TO OWNER.
- EXISTING ELEVATIONS AND LOCATIONS
  EVERY CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY THE
  ELEVATIONS AND LOCATIONS OF ALL EXISTING INFORMATION AS SHOWN
  ON THE PLANS AND NOTIFY THE ENGINEER OF ALL DISCREPANCIES,
  IN WRITING, PRIOR TO THE COMMENCEMENT OF THE WORK.

EXISTING UNDERGROUND UTILITIES SHALL BE EXPOSED BY THE CONTRACTORS AND SUBCONTRACTORS PRIOR TO THE START OF CONSTRUCTION TO DETERMINE IF A PROBLEM OR CONFLICT EXISTS WITH THE PROPOSED IMPROVEMENTS AND TO AVOID DELAYS IN THE PROGRESS OF THE WORK COMENUES.

- NOTIFICATION
  THE LOCAL AUTHORITY'S ENGINEER SHALL BE NOTIFIED BY
  EVERY CONTRACTOR AND SUBCONTRACTOR AT LEAST TWO
  WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- COMPLIANCE WITH LAWS AND REGULATIONS
  COMPLIANCE WITH LAWS AND REGULATIONS
  EVERY CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE
  SAFETY LAWS, REGULATIONS AND ORDINANCES; AND FEDERAL
  SAFETY LAWS, REGULATION SHOWS AND REGULATION SHOWS AND RESPONSIBLE FOR AND SHOWITH
  ALL PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY
  AND HEALTH ADMINISTRATION (OSHA) STANDARDS, EACH CONTRACTOR
  AND SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING A SAFE
  WORKING PLACE FOR HIS EMPLOYEES. EACH CONTRACTOR AND
  SUBCONTRACTOR IS RESPONSIBLE FOR THE SUPERVISION,
  DIRECTION AND CONDUCT OF THEIR EMPLOYEES, AGENTS,
  MATERIAL SUPPLIERS AND VENDORS.
- NDEMNIFY AND HOLD HARMLESS
  EVERY CONTRACTOR AND SUBCONTRACTOR, BY USING THESE PLANS
  FOR HIS WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE
  OWNER, THE LOCAL AUTHORITY, DANIEL CREANEY COMPANY (THE
  ENGINEER), HIS EMPLOYEES AND AGENTS WHILE ACTING WITHIN
  THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL
  LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE
  ARISING OUT OF THE CONTRACTORS ON SUBCONTRACTOR'S
  RESULT OF THE CONTRACTORS OF SUBCONTRACTOR'S
  NOT UDING THE SOLE NEGLIGENCE OF THE EXEM, BUT NOT
  INCLUDING THE SOLE NEGLIGENCE OF THE EXEM, BUT WOT
  THE ENGINEER, HIS EMPLOYEES AND AGENTS.

EVERY CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE TO THE LIMITS REQUIRED BY THE OWNER AND LOCAL AUTHORITY PRIOR TO THE START OF CONSTRUCTION BY USE OF THESE PLANS, EACH CONTRACTOR AND SUBCONTRACTOR AGREES TO NAME THE LOCAL AUTHORITY, DANIEL CREANEY COMPANY, ITS EMPLOYEES AND AGENTS, AND THE OWNER AS ADDITIONAL INSURED.

TRAFFIC CONTROL
TRAFFIC CONTROL
SHALL BE USED WHEN NECESSARY AS DETERMINED
BY THE CONTRACTOR AND SUBCONTRACTOR AND SHALL BE IN
ACCORDANCE WITH THE LOCAL AUTHORITY AND THE ILLINOIS
DEPARTMENT OF TRANSPORTATION STANDARDS. COST OF TRAFFIC
CONTROL SHALL BE INCIDENTAL TO THE CONTRACT.

- 13. SEWERS CROSSING WATER MAINS HORIZONTAL SEPARATION WATER MAINS AND SEWERS:
  - WATER MAINS SHALL BE LOCATED AT LEAST TEN FEET (10) HORIZONTALLY FROM ANY EXISTING OR PROPOSE DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
  - WATER MAINS MAY BE LOCATED CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
    - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND
    - THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
    - THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
  - WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

## VERTICAL SEPARATION - WATER MAINS AND SEWERS:

- A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERTIS A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN THE FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN CROSSED.
- BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SUP-ON OF MECHANICAL JOINT CAST OR DUCTILE IRON PIPE. ASBESTOS-CEMENT PRESSURE PIPE, PRESTRESSED CONCRETE PIPE. OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONST
- IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
- THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
- A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATEF MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN. AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

#### WATER SERVICE LINES:

- THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM SEWERS, SANITARY SEWERS, OOMBINED SEWERS OR ANY DRAIN OR SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION DESCRIBED ABOVE.
- WATER PIPE DESCRIBED ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED.
- 14. MANHOLES, CATCH BASINS AND INLETS
  MANHOLES. CATCH BASINS AND INLETS SHALL BE PRECAST
  REINFORCED CONCRETE WITH PRECAST REINFORCED CONCRETE
  BOTTOMS CONFORMING TO ASTM C-478.
- FRAMES & LIDS
  ALL FRAMES AND GRATES SHALL BE NEENAH MANUFACTURE OF THE
  TYPES SHOWN ON THE PLANS. MANHOLE AND VALVE VAULT COVERS
  SHALL BE TYPE "8" MACHINED BEARING WITH CONCEALED PICK
  HOLES AND SHALL BE MYPRINTED WITH THE WORD 'SANITARY',
  "STORM" OR "WATER", AS APPROPRIATE, CATCH BASIN AND
  INLET GRATES SHALL BE TYPE "D."
- 16. UTILITY TRENCHES
  ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF
  PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC., SHALL BE
  BACKFILLED WITH CA-6 CRUSHED STONE (GRADE 8 OR 9),
  COMPACTED IN 9' LIFTS TO 99% OF MODIFIED PROCTOR.
- GRASS AREAS WITHIN RIGHT-OF-WAY ALL GRASS AREAS WITHIN THE RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY PLACING A MINIMUM 6" TOPSOIL AND SOD.
- EXISTING DITCH DRAINAGE EXISTING DITCH DRAINAGE SHALL BE MAINTAINED DURING CONSTRUCTION. THE DITCH SHALL BE RESTORED BY GRADING TO UNIFORM SLOPE AND SEEDING.
- PAVEMENT DISTURBED DURING CONSTRUCTION
   ANY EXISTING ROADWAY PAVEMENT OR SHOULDER DISTURBED
   DURING CONSTRUCTION SHALL BE RESTORED IN ACCORDANCE
   WITH THE LOCAL AUTHORITY AND I.D.O.T. STANDARDS.
- EXISTING DRAIN TILE
  ALL EXISTING FIELD DRAINAGE TILE ENCOUNTERED OR DAMAGED
  DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL
  CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE
  STORM SEWER SYSTEM.
- 21. ITEMS NOT SPECIFICALLY SHOWN
  ALL ITEMS THAT ARE NOT SPECIFICALLY SHOWN ON THE PLANS
  OR IN THE SUMMARY OF QUANTITIES BUT CAN REASONABLY BE
  INTERPRETED TO BE INCLUDED IN THE WORK DESCRIBED SHALL
  BE INCIDENTAL TO THE COST OF THE CONTRACT.
- 22. EXCESS TRENCH MATERIAL THE UNDERGROUND CONTRACTOR SHALL DISPOSE OF EXCESS TRENCH MATERIAL OFFSITE.
- 23. FINAL FRAME ADJUSTMENTS
  THE PAVING CONTRACTOR SHALL MAKE ALL NECESSARY FINAL
  ADJUSTMENTS TO EXISTING AND PROPOSED FRAMES, GRATES,
  LIDS AND STRUCTURES TO MEET FINAL FINISHED GRADES.
- 24. RECORD DRAWINGS
  EACH CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN AND
  KEFP UP TO DATE A SET OF "RECORD DRAWINGS" SHOWING ALL
  CHANGES FROM THE ORIGINAL PLANS. ALL CONTRACTORS AND
  SUBCONTRACTORS SHALL DELIVER THE "RECORD DRAWINGS" TO
  THE ENGINEER AT THE CONCLUSION OF THE PROJECT.
- SHEETING AND BRACING WHERE DETERMINED BY THE CONTRACTOR AND/OR SUBCONTRACTOR SHEETING AND BRACING SHALL BE PLACED IN THE TRENCH AS MAY BE NECESSARY FOR THE SAFETY OF THE WORK AND PUBLIC, FOR THE PROTECTION OF THE WORKMEN. ADJACENT PROPERTIES, PAVEMENT OR STRUCTURES, AND FOR THE PROPER INSTALLATION OF THE WORK IN ANY EVENT, THE MINIMUM PROTECTION SHALL CONFORM TO THE RECOMMENDATIONS IN O.S.H.A. SAFETY AND HEALTH STANDARDS FOR CONSTRUCTION.

- 26. NOTICE TO CONTRACTOR
  BEFORE BEGINNING CONSTRUCTION, EACH CONTRACTOR AND
  SUBCONTRACTOR MUST VERIEY THE LINE AND GRADE STAKES, IF
  THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE
  PLANS, THEY MUST MMEDIATELY REPORT SAME TO ENGINEER
  BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR AND SUBCONTRACTOR ASSUMES FULL RESPONSIBILITY
- CONTRACTOR(S)
  FOR THE PURPOSES OF THESE SPECIFICATIONS. THE TERMS
  CONTRACTOR AND SUBCONTRACTOR SHALL MEAN ANY PERSON OR
  ENTITY THAT PROVIDES WORK FOR THE IMPROVEMENTS AS SHOWN
  ON THESE PLANS. THE BOIGNEER, OWNER AND THE ARCHITECT
  ARE NOT CONSIDERED CONTRACTORS OR SUBCONTRACTORS.
- 28. A COLOR VIDEO TAPE WITH LOG AND LABELED DRAWING FOR STORM AND SANITARY SEWERS SHALL BE PROVIDED BY THE CONTRACTOR. THE VIDEO CAMERA SHALL SWIVEL AND SHALL VIEW EACH SERVICE CONNECTION.

- ALL P.V.C. SEWER AND SERVICE SHALL BE POLYVINYL CHLORIDE PIPE, SDR-26, CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
- ALL D.I.P. SEWER AND SERVICES SHALL BE DUCTILE IRON PIPE (CLASS 52) CONFORMING TO ANSI A21.51, WITH JOINTS CONFORMING TO ANSI A21.11.
- ALL H.D.P.E. PIPE SHALL CONFORM TO TYPE III, CLASS B (OR BETTER), CATEGORY 5, GRADE P34 AS DEFINED IN ASTM D-1248 AND/OR D-3350 WITH CELL CLASSIFICATION PE34534C OR HIGHER. THE JOINING METHOD SHALL CONFORM TO ASTM D-2657.
- SANITARY SEWER SERVICE SHALL BE LAID AT A MINIMUM SLOPE OF 1.00% AND A MAXIMUM SLOPE OF 33.0%.
- 4. SANITARY SEWERS AND SERVICES SHALL HAVE GRANULAR BEDDING FROM A MINIMUM 4" BELOW THE BOTTOM OF THE PIPE TO THE SPRING LINE FOR D.I.P. AND 12" ABOVE THE PIPE FOR P.V.C. PIPE. ALL FLEXIBLE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D232-459 WITH CLASS II BEDDING, PROCESSED MATERIAL PRODUCED FOR HIGHWAY CONSTRUCTION CLASSIFIED ACCORDING TO PARTICLE SIZE SHAPE. AND GRADATION SHALL BE IN ACCORDANCE WITH ASTM D2321-39, SECTION 9 AND TABLE 1, RIGID SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C12 WITH CLASS B BEDDING.
- SANITARY MANHOLE SHALL HAVE AN INSIDE DIAMETER OF 48" AND SHALL BE CONSTRUCTED USING PRECAST CONCRETE UNITS WITH MASTIC JOINTS, CONFORMING TO ASTM C-478, FRAME AND LID SHALL BE OF NEENAH MANUFACTURE, OF THE TYPE SHOWN ON THE
- SANITARY MANHOLES SHALL BE EQUIPPED WITH CAST IN PLACE RUBBER CONNECTION BOOTS WITH STAINLESS STEEL BANDS.
- NON SHEAR "BAND-SEAL" CONNECTORS WITH STAINLESS STEEL CONNECTORS, OR EQUAL, SHALL BE USED TO CONNECT SEWER PIPES OF DISSIMILAR MATERIALS.
- MAXIMUM ALLOWABLE INFILTRATION SHALL BE 100 GAL./IN. DIA./MILE/DAY.
- SANITARY SEWER SHALL BE DEFLECTION TESTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION.
- SANITARY SEWER SHALL BE AIR TESTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION.
- 11. SANITARY MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOS!", LATEST EDITION,

- CONCRETE STORM SEWER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM G-76. STORM SEWERS 8" TO 18" IN DIAMETER SHALL BE CLASS IV AND STORM SEWERS LARGER THAN 18" SHALL BE CLASS III.
- STORM SEWER PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE PIPE MANUFACTURED WITH AN INTEGRALLY FORMED SMOOTH INTEGRING. MEETING THE REQUIREMENTS OF AASHTO M-252 AND M-294, TYPE 5 (4\* 36\*) OR TYPE D (12\* 48\*). THE PIPE MATERIAL SHALL BE ADS M-12 (4\* 36\*) AND ADS M-1216 (4\* 36\*) AND ADS M-121
- ALL P.V.C. STORM SEWER SHALL BE POLYVINYL CHLORIDE PIPE, SDR-26, CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
- WHERE DUCTILE IRON PIPE IS SPECIFIED, THE SEWER SHALL BE D.I.P. (CLASS 52) CONFORMING TO ANSI A21.51, WITH JOINTS CONFORMING TO ANSI A21.11.
- MANHOLES, CATCHBASINS & INLETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE UNITS WITH MASTIC JOINTS CONFORMING TO ASTM C-478, FRAME AND LID SHALL BE OF NEENAH MANUFACTURE OF THE TYPE SHOWN ON THE PLAN OR DETAILS.
- ALL NYLOPLAST BASINS SHALL BE CONSTRUCTED AND INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS AND WITH THE PROPER FITTINGS AT THE PIPE CONNECTION POINTS, ALL BASINS AND GRATES SHALL BE RATED FOR H-20 TRAFFIC LOADING IN PAVEMENT AND TRAFFIC RAEAS AND H-10 TRAFFIC LOADING IN LAWW AREAS.
- STORM SEWER JOINTS FOR CONCRETE PIPE SHALL BE RUBBER GASKET "O" RING TYPE CONFORMING TO ASTM C-443.
- FRAME AND GRATE SHALL BE OF NEENAH MANUFACTURE, OF THE TYPE SHOWN ON THE PLAN OR DETAILS FOR CONCRETE STRUCTURES.

- WATER MAIN SHALL BE DUCTILE IRON, ASA A21.51, CLASS 52, CEMENT-LINED. JOINTS SHALL BE "BELL TITE", OR EQUAL, CONFORMING TO AWWA STANDARDS C-102-74, C-150-71, AND C-141-71.
- FOR DIRECTIONAL BORING: HDPE WATER MAIN SHALL BE HIGH DENSITY POLYETHYLENE MEETING THE REQUIREMENTS FOR THE TYPE III. GRADE P345 POLYETHYLENE WATERIAL AS DEFINED IN ASTM D1248(PE 3408) CLASS 200/SDR11. HDPE SHALL MEET AWWA C906-07 POLYETHYLENE (PE) PRESSURE PIPE AND HTTINGS 4" THROUGH 63" FOR WATER DISTRIBUTION AND TRANSMISSION.
- GATE VALVES SHALL BE TRAVERSE CITY OR CLOW (AS APPROVED BY THE WATER AUTHORITY), NRS, OPEN LEFT, STANDARD OPERATING NUT, "O" RING SEALS, RESILIENT SEATING TYPE.
- VALVE VAULTS SHALL HAVE AN INSIDE DIAMETER AS SHOWN ON THE PLANS AND SHALL BE CONSTRUCTED USING PRECAST CONCRETE UNITS. FRAME AND LID SHALL BE OF NEENAH MANUFACTURE OF THE TYPE SHOWN ON THE PLAN.

- 5. WATER MAIN SHALL BE LAID TO A DEPTH OF AT LEAST 5-1/2 FEET BELOW PROPOSED FINISHED GRADE.
- WATER MAIN SHALL BE CONSTRUCTED, TESTED AND CHLORINATED IN ACCORDANCE WITH AWWA C-600 AND C-601 AND THE LOCAL AUTHORITY'S REQUIREMENTS. THE MAIN SHALL BE PRESSURE TESTED AT 150 PSI FOR TWO HOURS.
- WATER SERVICE SHALL BE TYPE K COPPER CONFORMING TO ASTM B-88 AND B-251 UNLESS OTHERWISE SPECIFIED ON THE

- BASE COURSE SHALL BE AGGREGATE BASE COURSE, TYPE B (CRUSHED STONE, CA-6), CONFORMING TO THE STANDARD SPECIFICATIONS. (SEE PLANS FOR THICKNESS)
- SURFACE COURSE AND BINDER COURSE SHALL BE HOT MIX ASPHALT CONFORMING TO IDOT STANDARDS. (SEE PLANS FOR THICKNESS)
- CURB AND GUTTER AND BARRIER CURB SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF 5%+1-4%. AN SI MIX SHALL BE USED, MAXIMUM ALLOWABLE SLUMP IS 3 INCHES. CURING COMPOUND SHALL BE APPLIED AFTER FINISHING. CURB BACKFILL SHALL BE INCIDENTAL TO THE CURB CONTRACT.
- A 3/4 INCH FIBER EXPANSION JOINT SHALL BE INSTALLED WHERE THE CURB ABUTS AN EXISTING CURB, A SIDEWALK, FOUNDATION WALL OR OTHER STRUCTURE.
- CURB AND GUTTER SHALL HAVE SAWED CONTRACTION JOINTS AT MAXIMUM INTERVALS OF 20 FEET AND 3/4 INCH FIBER EXPANSION JOINT AT MAXIMUM INTERVALS OF 60 FEET.
- SIDEWALKS SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF 5%+/-1%, CLASS SI MIX SHALL BE USED MAXIMUM ALLOWABLE SLUMP IS 4 INCHES, CURING COMPOUND SHALL BE APPLIED AFTER FINISHING, SIDEWALK THICKNESS SHALL BE 5 INCHES AND 6 INCHES THICK AT DRIVEWAYS OVER 2" OF COMPACTED CA-6.
- SUBGRADE SHALL BE FINISHED TO DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- THE BASE COURSE SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SOUARE YARD WITH A LIQUID ASPHAIL CONFORMING TO I.D. O.T. STANDARDS AND APPROPRIATE FOR PREVAILING WEATHER CONDITIONS. PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF SECTION 300 OF THE STANDARD SPECIFICATIONS.
- PRIOR TO PLACEMENT OF THE PROPOSED PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED BY THE PAVING CONTRACTOR WITH A FULLY LOADED TANDEM AXIE DUMP TRUCK (MINMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE MATERIALS CONSULTANT OR ENGINEER.
- 10. DRIVEWAY APRONS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE 8" P.C.C. WITH 6" X 6" W2.9 X W2.9 WELDED WIRE FABRIC ON 4" CRUSHED STONE BASE COURSE.
- FABRIC SHALL BE APPLIED TO EXISTING PAVEMENT IN AREAS SO INDICATED ON THE PLANS. FABRIC SHALL BE "AMOPAVE 4599" AS MANUFACTURED BY AMOCO FABRICS COMPANY. OR APPROVEI EQUAL, AND SHALL BE APPLIED IN FULL COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- PAVEMENT MARKINGS SHALL BE FACTORY MIXED, QUICK DRYING AND NON-BLEEDING CHLORINATED RUBBER-BASED PAINT COMPLYING WITH FS TIP-115CM. TYPE III. STRIPES SHALL BE 4 INCHES IN WIGHT, EXCEPT WHERE OTHER WIDTHS ARE SPECIFIED OF
- ALL EXISTING AND PROPOSED STRUCTURES WITHIN AREAS OF PROPOSED PAVING (MANHOLES, VALVE BOXES, ETC.) SHALL BE ADJUSTED BY THE PAVING CONTRACTOR TO MEET THE PROPOSED
- THE PAVING CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE ON THE PROPOSED PAVEMENT. WHERE THE CONTRACTOR IS IN DOUBT ABOUT THE PROPER DIRECTION OF DRAINAGE, HE SHALL REQUEST ASSISTANCE FROM THE ENGINEER.
- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF ALL PAVEMENT SLOPES WITHIN ACCESSIBLE PARKING AREAS AND ACCESSIBLE PATHS TO BE MAXIMUM 1.9% IN ALL DIRECTIONS. RAMPS TO BE CONSTRUCTED TO NOT EXCEED SLOPES SHOWN ON THE PLANS.

# F. EARTHWORK

- EARTHWORK UNDER THIS CONTRACT WILL INCLUDE, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWING:
  - INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED.
- PROTECTION OF CERTAIN TREES, AS DIRECTED BY THE LOCAL AUTHORITY OR OWNER.
- REMOVAL OF EXISTING PAVEMENT FROM THE SITE
- STRIPPING OF ALL TOP SOIL AND OTHER UNSUITABLE MATERIALS AND STOCKPILING WHERE DIRECTED BY THE LOCAL AUTHORITY OR OWNER.
- CLAY EXCAVATION, PLACEMENT AND COMPACTION AS NECESSARY TO OBTAIN DESIGN SUBGRADE ELEVATIONS FOR PAVEMENT, LAWN, AND STORM WATER DETENTION
- REMOVAL OF ALL EXCESS MATERIALS FROM THE SITE LEAVING SUFFICIENT TOPSOIL FOR LANDSCAPING, INCLUDING BERMS.
- GRADING OF ALL SWALES AS INDICATED ON PLANS.
- ALL WORK SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION 200 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT AREAS SHALL BE GRADED TO THE PROPOSED SUBGRADE ELEVATION. FINE GRADING OF PAVEMENT AREAS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- EMBANKMENTS FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%), BASED ON ASTM D-1557-90 LABORATORY PROCEDURE. EMBANKMENTS IN LAWN AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) BASED ON ASTM D-1557-90.

- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT WILL
- ALL EXCAVATED EARTH, DEBRIS, ROOTS AND OTHER MATERIAL REMOVED FROM SITE SHALL BE HAULED AWAY BY THE CONTACTOR FOR DISPOSAL. THE CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR CLEAN CONSTRUCTION DEMOLITION (C. C. D.) TESTING BY A CERTIFIED LAB, OBTAINING ALL PERMITS INCLUDING IPEA PERMIT CPC-683 AND DISPOSING OF THE MATERIAL AT A SUITABLE DUMP SITE. AND FOR FEES AND COSTS ASSOCIATED WITH THE C.C. D.D. PERMITTING AND DUMPING OF SUCH MATERIALS, AND NO ADDITIONAL COST SHALL BE PAID FOR THEIS WORK.

#### G. SOIL EROSION CONTROL

- SILT FENCE OR SILT WORM SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATION.
- ALL STORM STRUCTURES SHALL BE PROTECTED BY COIR WATTLE FILTERS, "CATCH-ALL" FILTER BASKETS OR EQUAL, UNTIL PAVEMENT HAS BEEN INSTALLED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- CONTRACTOR AND SUBCONTRACTOR SHALL INSPECT THE COIR WATTLE FILTERS. "CATCH-ALL" FILTER BASKETS, OR EQUAL AND SILT FENCING EVERY FIVE (6) DAYS AND AFTER A RAINFALL OF 0.50 INCHES OR MORE AND MAINTAIN OR REPLACE AS NECESSARY.
- ALL OTHER SOIL EROSION CONTROL DEVICES AND MEASURES DEEMED NECESSARY BY THE VILLAGE ENGINEER SHALL BE IMPLEMENTED IMMEDIATELY UPON NOTIFICATION OF THE CONTRACTOR AND SUBCONTRACTOR.
- THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS AS SHOWN ON THE PLANS AND ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, UNLESS A SEPARATE PAY ITEM IS SHOWN.

#### H. STREET LIGHTING

- THE LIGHTING CONTRACTOR SHALL PROVIDE AND INSTALL POLE, LUMINAIRE AND PHOTOELECTRIC CELL CONFORMING TO THE LOCAL AUTHORITY'S STANDARDS.
- THE LIGHTING CONTRACTOR SHALL PROVIDE A TEMPORARY POWER CONNECTION TO COMMONWEALTH EDISON COMPANY FACILITIES.
- THE LIGHTING CONTRACTOR SHALL PROVIDE AND INSTALL 2-INCH DIAMETER GALVANIZED STEEL CONDUIT AS SHOWN ON THE PLANS, WIRNIG WILL BE PROVIDED BY OTHERS AT THE TIME OF FUTURE EXTENSION OF THE SYSTEM.

# RESTORATION AND TREE PRESERVATION

- ALL OFF-SITE AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, EXCEPT WHERE SOD IS SPECIFICALLY INDICATED ON THE PLANS.
- SEEDING SHALL INCLUDE A MINIMUM OF 6 INCHES OF TOPSOIL AND SHALL BE DONE IN CONFORMANCE WITH SECTION 250 OF I.D.O.T. STANDARD SPECIFICATIONS FOR CLASS 1 SEEDING.
- CERTAIN TREES WILL BE DESIGNATED BY THE OWNER TO BE PRESERVED. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO SUCH TREES AND SHALL PROVIDE TEMPORA! FENCES AND OTHER MEASURES. AS NECESSARY, WITH ALL SUCH MEASURES CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- ALL DISTURBED LAWN AREAS WITHIN THE PUBLIC RIGHT-OF-WAY/ EASEMENTS WILL BE RESTORED WITH 6" OF TOPSOIL AND SOD AND ALL DAMAGED PORTIONS OF PUBLIC SIDEWALK ARE TO BE REPLACED WITH 5" P.C.C., CLASS S1 OVER A 3" CA-6 BASE.

DANIEL CREANEY COMPANY CONSULTING CIVIL ENGINEERS 450 SKOKIE BLVD. SUITE 105 NORTHBROOK, ILLINOIS (847) 480-5757

\_\_\_ CHECKED BY: \_\_\_\_\_ DAC \_\_\_\_\_ | DAC \_\_\_\_\_ 8167 DAC N/A DESIGNED BY: \_\_ \_\_\_\_ SCALE: \_\_ TCK JOB NO.:

2285 WEBSTER LANE DES PLAINES, ILLINOIS

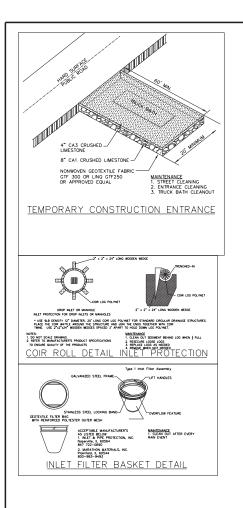
1-4-2024 CITY REVIEW DAC 0/10-2023 CITY REVIEW -20-202 DAC CITY REVIEW **GENERAL NOTES** 7-14-2022 DAC PRELIMINARY ENGINEERING

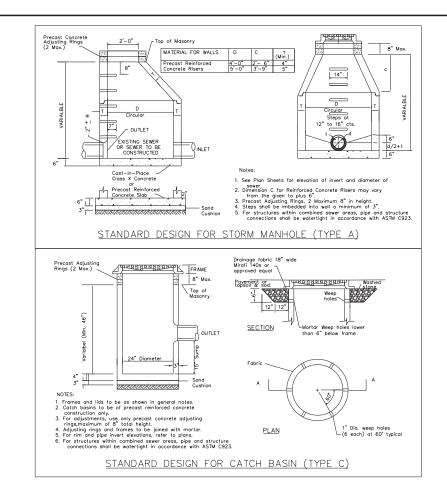
DATE

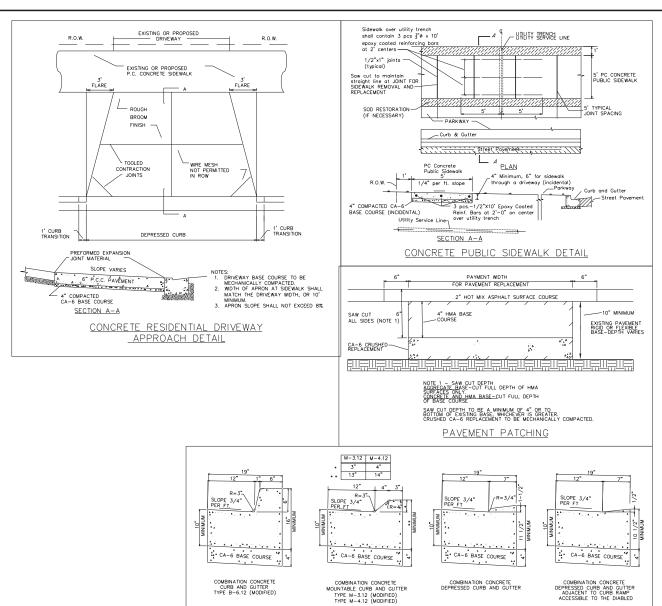
SHEET

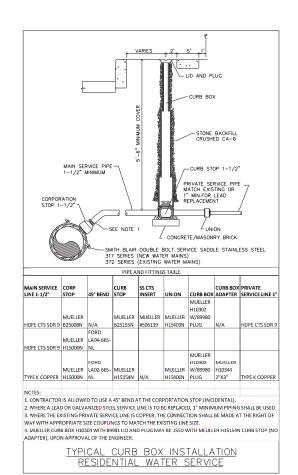
OF

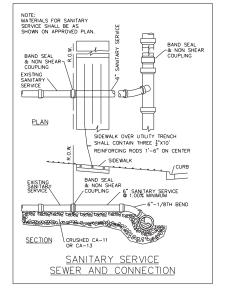
3

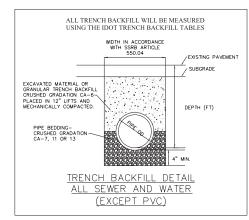


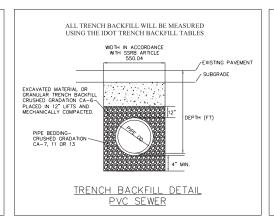


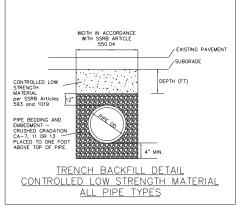












CONCRETE CURB AND GUTTER DETAILS

DANIEL CREANEY COMPANY  CONSULTING CIVIL ENGINEERS  450 SKOKIE BLVD. SUITE 105  NORTHBROOK, ILLINOIS (847) 480-5757	2285 WEBSTER LANE DES PLAINES, ILLINOIS			CITY REVIEW CITY REVIEW	SHEET <b>4</b>
, , , , , , , , , , , , , , , , , , ,				CITY REVIEW	OF 4
DESIGNED BY: DAC CHECKED BY: DAC SCALE: NIA  DRAWN BY: TCK JOB NO.: 8167 BOOK: 266	GENERAL NOTES	7-14-2022 DATE	DAC	PRELIMINARY ENGINEERING REVISION	DATE 6-19-2023



June 16, 2022

Ms. Jean Bonk 2285 Webster Ln Des Plaines, IL 60018

Re: Utility Easement Encroachment Request for 2285 Webster Ln Des Plaines, IL 60018

Dear Ms. Bonk:

Astound has no objection to the encroachment of your project on the property / easement in question.

However, this is not a release or waiver of any rights Astound may have in or to the utility easement. Further, any expense Astound may incur in exercising its rights in the utility easement shall be borne by the property owner.

If you have any questions or concerns please feel free to contact me.

Sincerely,

Paul Flinkow

Paul Flinkow
Manager, Construction
Astound Broadband Powered by RCN

1130 Carolina Drive West Chicago IL, 60185 C: 630-803-9660 | E: paul.flinkow@astound.com

Attachment 6 Page 12 of 15



# 2285 Webster Ln., Des Plaines, IL. 60018

Dillon, Russell D:(ComEd) <Russell.Dillon@comed.com>To:

Mon, Apr 25, 2022 at 12:09 PM

Hi Jean,

me. For the existing utilities to be depicted on the Plat, as requested in the guidelines, your surveyor would have to locate them on the Plat, but would need to call a residence, this would determine if any easements would be required or not. That would be something that would be addressed in the future. This plat looks okay to l looked at our internal maps and see there is a pole line within west side of the road Right-of-Way of Webster Lane that is currently serving all lots in this block. As residence. A ComEd Engineer would have to design any required new service for a future home here, but that would not happen until there is a Site Plan for a new of now, I do not see a need for easements on these 2 lots since they would have to be served off of this existing pole line. There may be a need for easements in the future if the plan is to have an additional home built on Lot 2, but cannot speak to that now since there is no exact layout or Site Plan depicting a proposed JULIE locate in at 811 to have any underground utilities located. From ComEd, I do not see any underground utilities located on these 2 proposed lots per our internal maps. I have never had a request like this before, but I hope this helps!

Thank you,

# **Russ Dillon**

Real Estate Specialist-South Region

3 Lincoln Centre, 4<sup>th</sup> Floor

Oakbrook Terrace, IL 60181

russell.dillon@comed.com

T 630-437-2463

M 219-730-7440 (preferred)

ComEd An Exelon Company

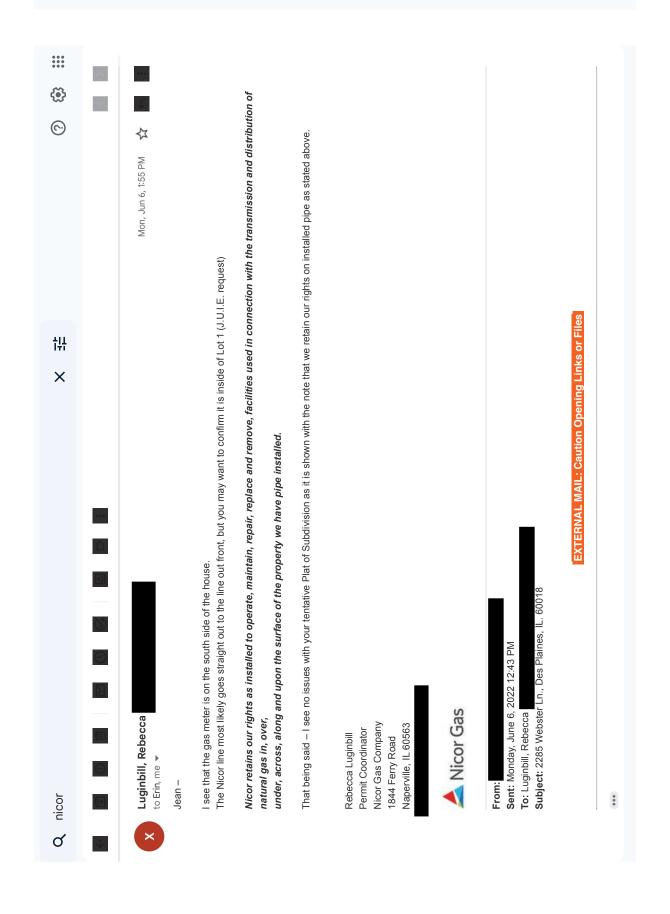
Subject: [EXTERNAL]2285 Webster Ln., Des Plaines, IL. 60018

EXTERNAL MAII. Do not click links or open attachments from unknown senders or unexpected Email.

[Quoted text hidden]

Corporation or its affiliates ("Exelon"). This Email is intended solely for the use of the person(s) to which it is addressed. If you are not an intended recipient, or the This Email message and any attachment may contain information that is proprietary, legally privileged, confidential and/or subject to copyright belonging to Exelon employee or agent responsible for delivery of this Email to the intended recipient(s), you are hereby notified that any dissemination, distribution or copying of this Email is strictly prohibited. If you have received this message in error, please immediately notify the sender and permanently delete this Email and any copies. Exelon policies expressly prohibit employees from making defamatory or offensive statements and infringing any copyright or any other legal right by Email communication. Exelon will not accept any liability in respect of such communications. -EXCIP

Attachment 6 Page 14 of 15



Attachment 6 Page 15 of 15



# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

# **MEMORANDUM**

Date: January 19, 2024

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner \( \sqrt{S} \)

Jeff Rogers, Director of Community and Economic Development

Cc: Tim Oakley, Director of Public Works and Engineering (PWE)

John LaBerg, Civil Engineer

Stew Weiss, Partner, Elrod Friedman, General Counsel

Subject: Proposed Mixed-Use Residential, Commercial, and Parking Development at 622

Graceland Avenue and 1332 and 1368 Webford Avenue: Consideration of a Combined

Tentative and Final Plat of Subdivision (3<sup>rd</sup> Ward)

**Issue:** The applicant is requesting a combined Tentative and Final Plat of Subdivision under the Subdivision Regulations to consolidate the three existing lots of record on the subject property into one, as required by Section 13-1-2 of the Subdivision Regulations.

After the PZB's Plat of Subdivision review, the applicant intends to seek the following approvals from the City Council: (i) an amount for a Fee in Lieu of Dedication of Park Lands, the requirement for which is established in Chapter 13-4 of the Subdivision Regulations; and (ii) an amended redevelopment agreement.

**Applicant:** Formerly 622 Graceland Apartments, LLC, Now Mylo Residential Graceland

Property, LLC (Manager: Joe Taylor, Principal of Compasspoint

Development), 202 S. Cook Street, Suite 210, Barrington, IL 60010

Owner: Formerly 622 Graceland Apartments, LLC, Now Mylo Residential Graceland

Property, LLC (Manager: Joe Taylor, Principal of Compasspoint

Development), 202 S. Cook Street, Suite 210, Barrington, IL 60010

Case Number: 23-005-FPLAT

**PINs:** 09-17-306-036-0000; -038; -040

Ward: #3, Alderman Sean Oskerka

**Existing Zoning:** C-5, Central Business District

**Existing Land Use:** Vacant Building (former Journal of Topics headquarters)

**Surrounding Zoning:** North: Railroad tracks; then C-3 General Commercial District

South: C-3, General Commercial / R-1 Single-Family Residential Districts

East: C-5, Central Business District West: C-3, General Commercial District

**Surrounding Land Use:** North: Multi-Family Residents (Residential)

South: Railroad; Single-Family Residents (Residential) East: Multi-Family Residential Building (Residential)

West: Restaurant (Commercial)

**Street Classification:** Graceland Avenue is an arterial, and Webford Avenue is a local roadway.

**Comprehensive Plan:** The Comprehensive Plan illustrates the site as commercial.

•

The principal building at 622 Graceland is the former headquarters of the Journal & Topics newspaper. According to the Des Plaines History Center, the building was constructed as a Post Office in 1940-1941. A smaller accessory building is also part of the Journal & Topics property. At 1332 Webford is a surface parking lot that was sold by the City to the applicant through Ordinance M-22-22, which was approved on September 6, 2022.

On August 1, 2022, the City Council approved a zoning map amendment for the subject property, which spans 43,500 square feet, from the C-3 General Commercial to C-5 Central Business District to accommodate the proposed development. However, the effectiveness of the approval was contingent upon the developer finalizing acquisition of the 1332 Webford Avenue property and completion of other requirements, including the approval of a Tentative and Final Plat of Subdivision to consolidate 622 Graceland and 1332-1368 Webford into one lot of record. The applicant's original tentative plat request was denied by PZB in 2022. Between 2022 and 2024, a different tentative and final plat of subdivision was submitted and approved that included an adjacent property (1330 Webford). However, the applicant has revised their proposal and submitted a new combined Tentative and Final Plat request for consideration, which includes only 622 Graceland and 1332 and 1368 Webford.

# **Request Summary:**

**Zoning/Property History:** 

# **Tentative and Final Plat of Subdivision**

# Overview

The petitioner Mylo Residential Graceland Property, LLC has requested a combined Tentative and Final Plat of Subdivision to consolidate the existing three parcels detailed in the table below into one lot of record.

Address	PIN	Size	Use
622 Graceland	09-17-306-036-0000	0.52 acres	Journal & Topics
1332 Webford	09-17-306-040-0000	0.31 acres	Former City parking lot
1368 Webford	09-17-306-038-0000	0.17 acres	Journal & Topics

The proposed *Tentative and Final Plat of Graceland/Webford Subdivision* will consist of a 43,500-square-foot lot with 150 feet of frontage along Graceland Avenue (front) to the east and 290 feet of frontage on Webford Avenue (side) to the south. The subdivision will abut the Metra tracks to its north and an existing commercial building to its west. The subdivision will be 290 feet in depth in conformance with Section 13-2-5.R of the Subdivision Regulations.

Easements, Building and Setback Lines, Utility Correspondence The attached Tentative and Final Plat of Subdivision shows the following easements and building lines: (i) a 25-foot building line, to reflect the required side yard for the C-5 district, extending approximately 90 feet along Webford where the subject property is adjacent to residentially-zoned property; (ii) a 5-foot building line, to reflect the required side yard for the C-5 district, extending approximately 200 feet along Webford where the subject property is adjacent to commercially zoned property; (iii) a 7-foot public sidewalk easement extending along the south property line along Webford; (iv) an approximately 5-foot-wide public utilities and drainage easement on the northwestern corner of the proposed Lot 1; (v) a 16.5-foot-wide storm water detention area (bubble-hatched area); and (vi) various public utilities and drainage easements throughout the proposed Lot 1 (shaded areas). Written correspondence from major private utility providers to the applicant is attached.

# Public Improvements and Final Engineering, PWE and Fire Review

Under Section 13-3-1 of the Subdivision Regulations, the developer is required to complete certain public improvements. The improvements will include widening the segment of Webford in front of the proposed development and install/replace existing appropriate streetscaping (for example, sidewalk, street lighting, etc.) to match the downtown aesthetic, which is already present along the Graceland side of the site. Under the proposal, this style would be extended around the corner and onto the Webford sidewalk, with an emphasis for the area in front of the proposed restaurant/commercial space at the corner. Certain underground infrastructure, such as water mains and sewers, are required to be replaced and installed to the standards required by PWE. Specifically, the developer will be required to separate the existing combined storm and wastewater system for the entire 1300 block of Webford.

The developer has provided the City Engineer with an estimated cost of public improvements, an amount for which the City Engineer has approved in the attached memo. A performance security in the form of a letter of credit, with the City named as the beneficiary, will be required to secure the improvements. An attached memo serves as the City Engineer's approval (as noted) under Section 13-2-4. The Fire Department also reviewed the Plat and Final Engineering submittal and has no changes from its recommendation regarding the design of the project from its 2022 memo (see attached).

# Open Space and Recreation; Park Land Dedication or Fee-in-Lieu

For residential developments at the proposed scale, Chapter 13-4 of the Subdivision Regulations requires providing public park land and/or paying a fee in lieu. The rationale is that residential developments increase demand for parks and recreation. As described above, private recreational areas within the building are intended to meet needs of the anticipated future residents and potentially lessen the demand for public park facilities generated by those residents. The developer's providing of these areas may make the project eligible for credits and reductions in their obligation. However, the approval of the amount of that obligation rests with City Council.

**PZB Action and Conditions:** Pursuant to Sections 13-2-3 and 13-2-7 of the Subdivision Regulations, the PZB should take two separate motions:

- Vote on the approval or denial of the Tentative Plat of Subdivision; and
- Vote on *approval, approval with conditions, or denial* of the Final Plat of Subdivision, to be forwarded to the City Council for final decision.

If the PZB votes to forward Final Plat *approval* to the City Council, staff recommends the following condition.

# **Condition of Approval:**

1. That construction-level street lighting detail as required in the attached Engineering memo is provided and approved by the PWE Department prior to issuance of any building or right-of-way permits.

# Attachments

Attachment 1: Location Map

Attachment 2: Site and Context Photos

Attachment 3: ALTA Survey

Attachment 4: Engineering Memo

Attachment 5: Fire Comments and 2022 Memo

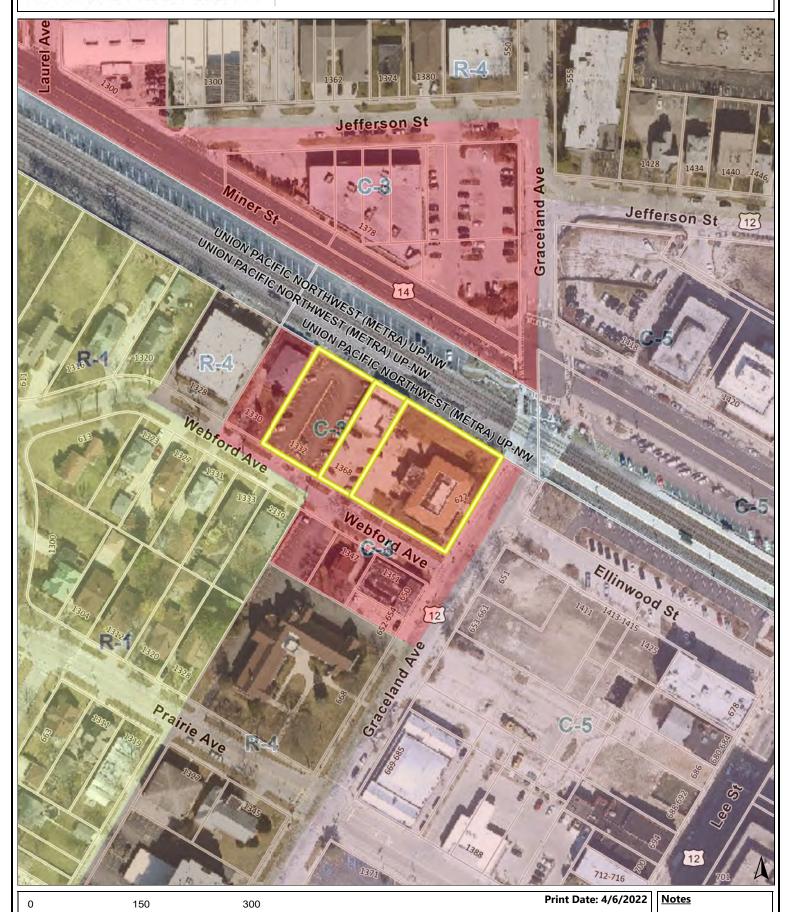
Attachment 6: Utility Correspondence

Attachment 7: Tentative and Final Plat of Subdivision

Attachment 8: Final Engineering Drawings, including Drainage Report

# **GIS**Consortium

# 622 Graceland Ave, 1332 & 1368 Webford Ave



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Attachment 1 Page 5 of 44









Page 6 of 44 **Attachment 2** 

622 Graceland, 1332 & 1368 Webford - Facing NW at Front of Site

GENTILE AND ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

550 E. ST. CHARLES PLACE LOMBARD, ILLINOIS 60148 PHONE : (630) 916-6262

LOTS 35, 36 AND 37 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS. PROPERTY COMMONLY KNOWN AS: 622 GRACELAND AVE., DES PLAINES, IL. 60016 CONTAINING: 22,509.41 SQ. FT., 0.52 AC. (MORE OR LESS)

PARCEL 1:

LEGAL DESCRIPTION:

LOT 34 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS. PROPERTY COMMONLY KNOWN AS: 1368 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 7,503.12 SQ. FT., 0.17 AC. (MORE OR LESS)

### PARCEL 3:

WFRFORD

A VFNUF

© GAS VALVE

UTILITY POLE

──○ LIGHT POLE

- SIGN POST

CHECKED BY

ORDER NO.

TIRE HYDRANT

UTILITY POLE WITH TRANSFORMER

BASE SCALE : 1 INCH = \_\_20\_\_ FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY : \_\_\_\_RWG\_ENGINEERING, LLC

21-22439 (REV1)

**Attachment 3** 

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT

SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING

→ "GUY" ANCHOR W/ WIRE

\_\_\_\_JFG

SURVEYED BY : \_\_\_\_JG\_RG\_

THE SOUTHEASTERLY 40 FEET OF LOT 32 AND ALL OF LOT 32 IN BLOCK 1 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563,

PROPERTY COMMONLY KNOWN AS: 1332 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 13,499.99 SQ. FT., 0.31 AC. (MORE OR LESS)

COMBINATION SEWER MANHOLE

FINISHED FLOOR ELEVATION

TREE WITH TRUNK DIAM. SIZE

ASPHALT

BRICK PAVERS

GROUND ELEVATION

PAVEMENT FLEVATION

T/FDN = TOP OF FOUNDATION ELEVATION

TOP OF WALL

CONCRETE

PAVEMENT

XXX XX

TRAFFIC SIGNAL CONTROL VAULT

(D) CLOSED COVER DRAINAGE STRUCTURE

OPEN COVER DRAINAGE STRUCTURE

RAILROAD GATE ARM

■ ELECTRIC HANDHOLE

W WATER METER VALUET

of FLAGPOLE

SOIL BORING

STORM SEWER

SANITARY SEWER

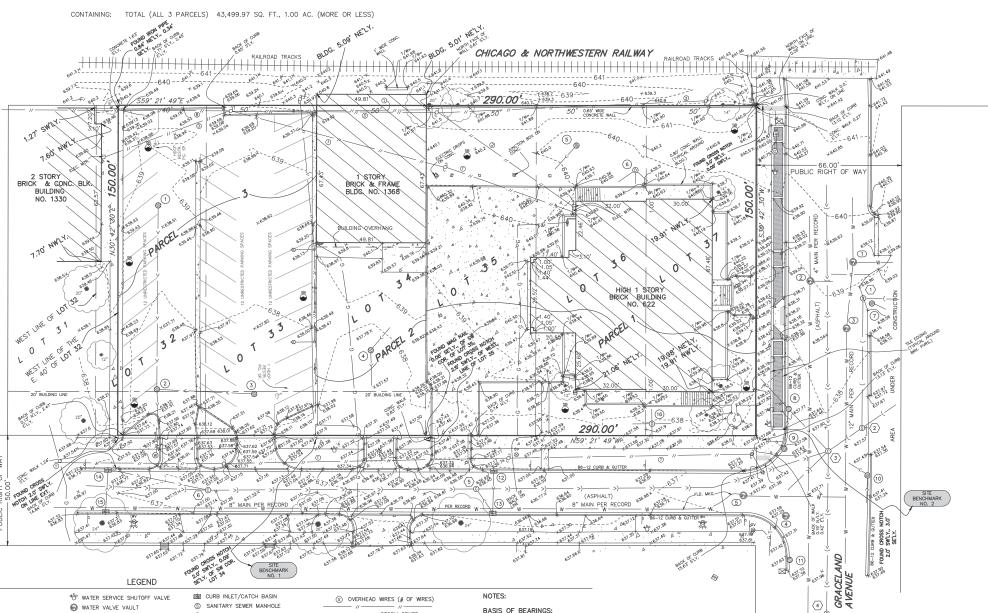
\_\_ E \_\_UNDERGROUND\_ELECTRIC

GAS MAIN

WATER MAIN

TRUNCATED DOME (HDCP. ACCESS)

UNDERGROUND TELEPHONE



NO. 1

ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

THE RAILROAD TRACKS AND 12' NORTH OF THE EDGE OF PAVEMENT OF PRAIRIE

CROSS NOTCH 2' SOUTH AND 3' EAST OF THE SOUTHEAST CORNER OF LOT 37

ELEVATION 640.05 (NAVD 88 DATUM), MEASURED ELEVATION 640.12

CROSS NOTCH 2' SOUTH OF THE SOUTHWEST CORNER OF LOT 34

ELEVATION 637.57 (NAVD 88 DATUM)

CITY OF DES PLAINES BENCHMARK NO. 61. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF PRAIRIE & FIRST AVENUE, 75' EAST OF

TITLE POLICY PROVIDED FOR PARCEL 3 MAKES NOTE OF AN EXCEPTION TO COVERAGE THAT INCLUDES AN EASEMENT FOR SEVERAL UTILITIES PER DOC. NO. LR1429065. SURVEYOR WAS NOT PROVIDED DOCUMENT BY TITLE COMPANY AND WAS NOT ABLE TO OBTAIN DOCUMENT FROM COOK COUNTY RECORDER'S OFFICE. BEFORE EXCAVATION, BUILDING OR ANY DISTURBANCE WITHIN SUBJECT PROPERTY OBTAIN DOCUMENT FOR PARTICULARS AND LOCATION OF SAID EASEMENT.

O STORM SEWERS ① CATCH BASIN RIM 638.65

16 STORM MANHOLE RIM 638.82 N INV 632.22 S INV 632.22 E INV 632.27 W INV 632.42 6" VCP S INV 634.23 2 CATCH BASIN RIM 637.06 6" VCP N INV 632.46 6" VCP(+/-) S INV 632.46 ALL PIPES ARE +/-8" 10" RCP E INV 633.66

3 CATCH BASIN 10" RCP W INV 634.26

(4) CATCH BASIN RIM 637.28 4" CIP NE INV 635.98 6" CIP S INV 634.73

5 INLET RIM 639.01 L" SW INV 635.51 6 STORM MANHOLE

TOP OF 8" (+/-)PIPE S 630.63 SW INV 631.20 SE INV 630.80

7 CATCH BASIN RIM 638.58 12" RCP SE INV 636.53

8 CATCH BASIN RIM 637.45 6" VCP NW INV 634.90 6" PVC S INV 634.20

9 INLET RIM 6.37.41 6" PVC N INV 635.01

(1) CATCH BASIN RIM 637.20 6" VCP NW INV 632 70

① INLET RIM 637.04 FILLED WITH DEBRIS

CURB CATCH BASIN RIM 636.40 TOP OF PIP[E TO SOUTH 634.40

(3) CURB CATCH BASIN RIM 636.46 TOP OF PIPE TO NORTH 634.16 NW INV 632.86

CURB CATCH BASIN RIM 636.72 TOP OF 12" PIPE TO EAST 634.37 12" RCP S INV 633.47

(5) CURB CATCH BASIN RIM 636.74 TOP OF PIPE TO NORTH 634.69 (PVC INSIDE RCP)

SANITARY SEWERS

SANITARY MANHOLE RIM 638.77 15" VCP E INV 632.47 10" VCP SE INV 633.12 15" VCP S INV 632.42

SANITARY MANHOLE 2 RIM 637.57 15" VCP N INV 632.37 10" NE INV 632.67 15" SW INV 632.07

 $\langle 3 \rangle$ RIM 637.83 RIM 637.83
N INV 631.39
(RECORDS SHOW A MANHOLE
IN THE STREET NEAR NORTH
END OF PROPERTY, NONE
WAS FOUND AND NO
INDICATION OF ONE WAS FOUND) 15" VCP NE INV 632.33 24" S INV 632.35

COMBINATION MANHOLE

10" SE INV 632.34 +/-24" W INV 631.43 (CONNECTING MANHOLE TO THE WEST SHOWS A 12"
INVERT TO THE EAST, NO
INFORMATION AS TO WHERE
SIZE CHANGES AVAILABLE) 10" NW INF 632.83

COMBINATION MANHOLE RIM 638.61 24" N INV 630.61 24" S INV 630.71

COMBINATION MANHOLE RIM 636.78 12" E INV 631.33 12" W INF 631.38 SE INV 631.60

COMBINATION MANHOLE 6 RIM 637 17 12" E INV 631.42 12" NW INV 632.87 12" W INV 631.57

3 WATER MAINS

VICINITY MAP

00

SITE

① WATER VALVE VAULT (NEW) RIM 639.28
TOP OF PIPE 632.28
PER RECORDS THE NEW MAIN GOING EAST IS 10" D.I.P. AND THE SOUTH IS D.I.P. AND THE SOUTH IS 8"-RECORD SHOWS NO MAIN HEADING NORTH, BUT IS VISIBLE IN FIELD. RECORDS SHOW IT CONNECTING TO OLD MAIN COMING FROM VAULT NO. 2 BUT NOT VISIBLE IN FIELD

WATER VALVE VAULT RIM 638.95 TOP OF PIPE 633.45 RECORD SAY IT IS 8"

3 WATER VALVE VAULT RIM 638.55 TOP OF PIPE 633.75 THIS IS A NEW MAIN ALSO RECORDS SHOW NO VAULT HERE BUT FOUND IN FIELD

4 WATER VALVE VAULT WATER VALVE VAULT
RIM 637.46
FULL OF SILT AT ELEV.
634.76
MOST LIKELY HAVING BEEN
PART OF THE OLD MAIN
CONNECTING TO VAULT NO.
2, RECORDS SHOW NO
VAULT HERE WHERE FOUND
IN FIELD

4 WATER VALVE VAULT RIM 637.42 TOP OF PIPE 628.12 RECORDS SAY THIS IS 8"
AND GENERALLY AGREE
WITH FIELD MARKINGS AND
CONNECTION TO NEW MAIN IN THE EASTERLY SIDE OF THE RIGHT OF WAY

# FLOOD ZONE INFORMATION:

PER FEMA E.L.R.M. NO. 17031C0217J. DATED 08/19/2008 PROPERTY IS IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD.

EACH OF THE ADDITIONAL TABLE "A" ITEMS LISTED IN SURVEYOR'S CERTIFICATE (AS REQUESTED BY CLIENT) HAVE BEEN ADDRESSED. THE FOLLOWING ITEMS NO'S. HAVE NO NOTATION ON THIS PLAT AS THE REFERENCED CONDITIONS DO NOT EXIST ON, OR APPLY TO SUBJECT PROPERTY:

16, 17

STATE OF ILLINOIS) S.S.

TO: COMPASSPOINT DEVELOPMENT, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY CITY OF DES PLAINES, A MUNICIPAL CORPORATION OF THE STATE OF ILLINOIS CHICAGO TITLE INSURANCE COMPANY ATTORNEYS' TITLE GUARANTY FUND, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS\_LAND\_TITLE\_SURVEYS, JOINTLY\_ESTABLISHED\_AND\_ADOPTED\_BY\_ALTA\_AND\_NSPS, AND

1, 2, 3, 4, 5, 7(a), 8, 9, 11, 14, 16, 17, 20 OF TABLE A THEREOF NOVEMBER 20, A.D. 20 21 THE FIFLD WORK WAS COMPLETED ON

DECEMBER 10, A.D. 2021 DATE OF PLAT:

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925 MY LICENSE EXPIRES NOVEMBER 30, 2022 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870

**Page 7 of 44** 



# PUBLIC WORKS AND ENGINEERING DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5390 desplaines.org

# **MEMORANDUM**

Date: January 19, 2024

To: Jonathan Stytz, Senior Planner

From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering

Cc: Becka Shipp, P.E., Assistant Director of Public Works and Engineering

Subject: 628 Graceland Mylo proposed Apartment building

Public Works and Engineering has reviewed the subject final engineering plans and the Engineer's Estimate of Cost for both private and public work. We are satisfied with both. Work can commence once the MWRD WMO permit is approved and a street lighting plan is submitted and approved by Public Works.

JL/jl

Attachment 4 Page 8 of 44



# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

	T	$\cap$ D	ANT	THE REAL PROPERTY.	T & 4
$-\mathbf{N}$	$\mathbf{I} = \mathbf{A} A$	OR	$\Delta N$		$1 \Lambda \Lambda$

-		
	ata:	۰
v	aic.	۰

March 1, 2023

To:

Dave Schuman, Division Chief, Fire Prevention

John T. Carlisle, AICP, Director of Community & Economic Development

Pawel Matyja, Plan Coordinator Samantha Redman, Associate Planner

From:

Jonathan Stytz, AICP, Senior Planner

Subject:

Request for Comments for 622 Graceland Avenue and 1332-1368 Webford Avenue –

Combined Tentative and Final Plat of Subdivision

We have received an application requesting a combined Tentative and Final Plat of Subdivision in the C-3 General Commercial district at 622 Graceland Avenue and 1332-1368 Webford Avenue to consolidate the existing lots into one (Note: The map amendment from C-3 to C-5 approved last year is not effective until certain items are completed, one of which being the subdivision). This request is related to the proposed mixed-use development from last year including 131 private multi-family residential units and approximately 2,800 square feet of commercial public restaurant space. The Tentative Plat must be approved by the PZB prior to the consideration of the Final Plat by the City Council.

Please review the attached exhibits and provide a recommendation and comments, if any, to me via BlueBeam by Wednesday, March 8, 2023. Also, confirm to me via email if any updates are required to the attached building and fire prevention memos provided for this case last year.

Recommend approval of the requests	
Recommend approval of the requests, subject to conditions ar	nd/or comments
Recommend disapproval of the requests	
Comments: No updates to fice memo	
Signature: Date	: 3/1/23
/ PLEASE SEND COMMENTS BACK TO ME	VIA BLUEBEAM

Attachment 5 Page 9 of 44



# FIRE DEPARTMENT

405 S. River St Des Plaines, IL 60016 P: 847.391.5333 desplaines.org

# **MEMORANDUM**

Date: May 16, 2022

To: John Carlisle, Director of Community and Economic Development

From: Daniel Anderson, Fire Chief

Subject: Compass Point Project

The Fire Department has been involved in the Compass Point Development since their initial interest. Staff reviewed the initial concept plans from a public safety perspective including access to upper levels via aerial ladder trucks. Staff commented on the lack of any access to any of the west side of the building. Staff provided some alternate building options to the developer that would create an acceptable access point to the west side of the building.

The developer came back with the first proposed plan which incorporated fire department staff access concerns. The proposed plan allows access points to the east, west and south sides of the building. Each of the access points would be consistent with the similarly situated properties within the City.

After receiving feedback during planning and zoning meetings the developer has provided modified plans which has maintained sufficient access points for the project as requested and required by building codes. The Compass Point Development project discussion has raised some concern regarding the fire department being able to access the building with its ladder truck. This development is not unlike many similar projects already built in the city and pose no more of a risk than those already completed.

The Fire Department has a 100-foot aerial tower ladder truck ("tower ladder") located at its headquarters station which is at 405 S. River Road. Each of our neighboring communities each have similar units with the next two closest units being in Park Ridge and Niles.

There was a question regarding how our tower ladder compares to those in service in the Chicago Fire Department. The Chicago Fire Department has approximately 60 aerial ladder trucks dispersed throughout their service area and are typically 95 to 105 feet in length. The Chicago Fire Department does have one aerial ladder truck that has a reach of approximately 135 feet.

The Fire Department does not have any specific concerns related to the project other than to maintain the standards of construction as well as required fire alarm and sprinkler/standpipe systems. The greatest concern for the fire department is during it construction up to the point where drywall has been completed. The wood frame construction is at its most vulnerable point during the framing when there is the greatest risk for fire spread should one begin.

Attachment 5 Page 10 of 44

Fire Department staff will continue to review any and all submissions regarding this project and make the appropriate recommendations to address any concerns that may be raised.

Attachment 5 Page 11 of 44



March 1, 2023

Joe Taylor, III Compasspoint Development, LLC

### WILL SERVE LETTER

Dear Mr. Joe,

This letter is in response to your request for information on the availability of AT&T service at proposed 622 Graceland Ave & 1330/1332 Webford Ave proposed Development.

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed development at 622 Graceland Ave & 1330/1332 Webford Ave but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

**Kolade Fajimi (Engineer)** 

Mgr Osp Plng & Eng Design ATO, Construction & Engineering-MW

AT&T

1000 Commerce Dr, Oak Brook, IL 60523 M 847-226-7885 | kf129f@att.com

Attachment 6 Page 12 of 44



March 1, 2023

Mr. Joe Taylor, III Compasspoint Development, LLC

Re: 622 Graceland Ave, Des Plaines with additional addresses 1330/1332 Webford Ave, Des Plaines.

Dear Mr. Taylor:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Tom Jones at (847) 849-3727 with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,

Robert L. Schulter Jr.

Central Division Director of Construction

Robert L. Chulter L.

(224) 229-5863

Attachment 6 Page 13 of 44



3/1/2023

David Taylor Compasspoint Development, LLC

### Request for Electrical Service Letter – 622 Graceland Ave, Des Plaines, IL

Dear David Taylor:

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 779-231-2782

Thanks,

Chris

Chris Topete
DCC | Field Representative
ComEd | An Exelon Company
779-231-2782



Attachment 6 Page 14 of 44



August 17, 2022

Dear Customer,

ComEd has made significant investments throughout the years to ensure all customers have access to a safe, secure, dependable, and resilient electric grid. We are proactively reaching out to keep you in the know regarding potential equipment delays for new projects.

Like many companies throughout the world, electric utilities in the U.S. are seeing supply chain delays and material shortages stemming from the long-term impact of the COVID-19 pandemic. We are also experiencing these challenges. As a result, there are longer lead times for equipment required for new projects. It's possible that these challenges may continue into late 2024. However, there should be no impact to your existing service.

The delivery time for electrical transformer orders from our suppliers has increased significantly because manufacturers cannot obtain raw materials that are often sourced overseas. We have an adequate supply of materials and equipment to respond during storms, and to replace equipment that is otherwise damaged or at end-of-life.

No action is required on your part. Please know that we are monitoring this situation closely. While we are doing everything possible to mitigate the impact of these shortages, we are notifying customers so that they can anticipate delays in new projects that require materials and equipment provided by ComEd.

Please contact your ComEd representative in Large Customer Services, External Affairs or New Business assigned to your project.

Sincerely,

Melissa Washington SVP Customer Operations Chief Customer Officer

Attachment 6 Page 15 of 44



Date 1/23/2023

Attn: Joe Taylor, III

Address: 622 Graceland, Des Plaines

RE: 622 Graceland, Des Plaines

Dear Joe,

This letter will serve as Nicor Gas' intention to provide service to the above, potential project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Please complete the attached New Service Agreement and submit the following to initiate the installation process; Plat of Subdivision, Over-all Site Utility Plan with gas meter locations marked (commercial buildings only), Gas loads and delivery pressure for each unit along with Contact information.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Zack Jarling at start up in order to coordinate the gas service/main installation timetable. I can be reached at 224-239-3341 or by email at zjarling@southernco.com

If you have any additional questions, please let me know

Sincerely,

Zack Jarling

New Business Construction Consultant Customer Development, Nicor Gas

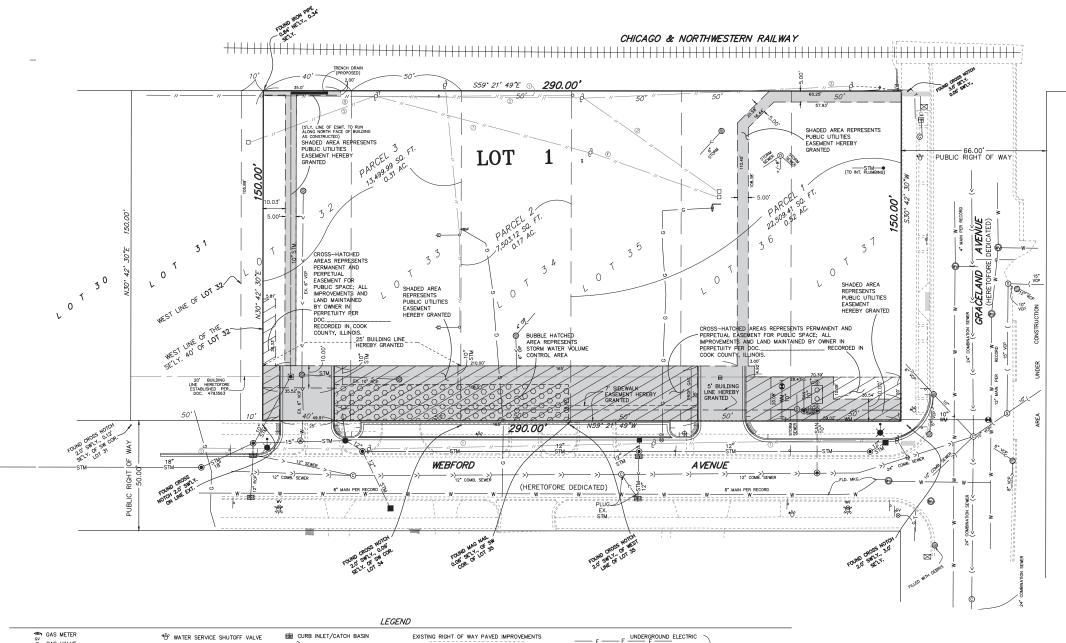
Attachment 6 Page 16 of 44

### GRACELAND/WEBFORD SUBDIVISION

TO CONSOLIDATE LOTS

BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ALL OVERHEAD UTILITIES TO BE RELOCATED UNDERGROUND





S SANITARY SEWER MANHOLE (W) WATER METER VAULT PROPOSED SANITARY SEWER MANHOLE (D) CLOSED COVER DRAINAGE STRUCTURE © COMBINATION SEWER MANHOLE OPEN COVER DRAINAGE STRUCTURE PROPOSED WATER VALVE VAULT

1 1/13/23

NO. DATE

· ELECTRIC DROPS (ON CONC)

FIRE HYDRANT

PREPARED FOR: RWG ENGINEERING, LLC

ORDER NO.: 22439-23 (T/F)

DRAWN BY: VAF

W WATER SHUTOFF VALVE WITH 8" CASING

☐ ELECTRIC METER (ON BLDGS.)

PROFESSIONAL LAND SURVEYORS

SHEEA ttachment

ILLINOIS PROFESSIONAL DESIGN

550 E. ST. CHARLES PLACE LOMBARD, ILLINOIS 60148 PHONE (630) 916-6262

PROPOSED LIGHT POLE GENTILE & ASSOCIATES, INC. 12/19/23 STM WTR VOL CTRL, NEW STM & INL, REV 2 CERTS, WIDEN PUE, NOTE REMOVE PAR. 4; REV. BLDG.; REV. ESMTS; PER LTST. ENGRG. 10/12/23 5 7/12/23 PER 3/02/23 CITY REVIEW DISCUSSION 4 3/03/23 3 2/23/23 ADD P.U.& D. AND PARK ESMTS; UTIL SIG. BLKS. 2 2/1/23 REMOVE PARCEL 4 FROM SUBD. INCLUSION VAF

PER 12/20/22 CITY 1ST REVIEW COMMENTS

OWNER! COMPASSPOINT DEVELOPMENT LLC 202 S. COOK ST. SUITE 210 BARRINGTON, IL 60010 CONTACT: JOE TAYLOR III 773.706.4301

PROPOSED STORM SEWER

EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER

---stm-

UNDERGROUND TELE

GAS MAIN

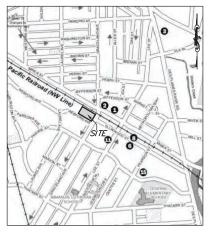
WATER MAIN

PROPOSED WATER MAIN

(EXISTING PER FIELD

MARKINGS UNLESS OTHERWISE SPECIFIED)

VICINITY MAP



### LEGAL DESCRIPTION:

PARCEL 1:
LOTS 35, 36 AND 37 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A
SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12
EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF
RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS,
PROPERTY COMMONLY KNOWN AS: 622 GRACELAND AVE., DES PLAINES, IL. 60016 CONTAINING: 22,509.41 SQ. FT., 0.52 AC. (MORE OR LESS)

PARCEL 2:
LOT 34 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS.
PROPERTY COMMONLY KNOWN AS: 1368 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 7,503.12 SQ. FT., 0.17 AC. (MORE OR LESS)

PARCEL 3.
THE SOUTHEASTERLY 40 FEET OF LOT 32 AND ALL OF LOT 33 IN BLOCK 1 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563. IN COOK COUNTY, ILLINOIS. 479305, IN COOK COUNTY, ILLINOIS, 1332 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 13,499.99 SQ. FT., 0.31 AC. (MORE OR LESS)

CONTAINING: TOTAL (ALL 3 PARCELS) 43,499.97 SQ. FT., 1.00 AC. (MORE OR

### ZONING INFORMATION:

PROPERTY (PARCELS 1 THROUGH 3) IS ZONED C-5, CENTRAL BUSINESS

### FLOOD ZONE INFORMATION

PER FEMA F.I.R.M. NO. 17031C0217J, DATED 08/19/2008, PROPERTY IS IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD.

### NOTES:

PUBLIC UTILITY EASEMENTS PROVIDED, SHALL BE FOR THE USE OF MUNICIPAL SEWER AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES, LINES FOR ANY CABLE TELEVISION FRANCHISE GRANTED

THE DESCRIPTION AND LOCATION OF SURVEY MONUMENTS ERECTED IN THE SUBDIVISION ARE SHOWN ON THE PLAT.

### SURVEYOR CERTIFICATE

STATE OF ILLINOIS COUNTY OF DUPAGE S.S.

THIS IS TO CERTIFY THAT I, JOSEPH GENTILE, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 2925, HAVE SURVEYED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY FOR THE PURPOSE OF CONSOLIDATING PARCELS (AS SHOWN HEREON) AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. CORNER MONUMENTS HAVE BEEN FOUND AS SHOWN HEREON IN ACCORDANCE WITH THE SUBDIVISION REFULATIONS OF THE CITY OF DES PLANES CODE. I FURTHER CERTIFY THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLANES WHICH HAS ADDPTED AN OFFICIAL COMPREHENSIVE PLAN, THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 217 OF 832, COMMUNITY PANEL NO. 17031C02175J, EFFECTIVE 8/19/2008.

BASIS OF BEARINGS: ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 23TH DAY OF \_\_\_FEBRUARY\_, A.D. 20 23





### OWNER'S CERTIFICATE STATE OF ILLINOIS COUNTY OF THIS IS TO CERTIFY THAT THE UNDERSIGNED ARE THE AUTHORIZED REPRESENTATIVES OF MYLO RESIDENTIAL GRACELAND PROPERTY LLC., WHICH IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAVE CAUSED THE SAME TO BE SURVEYED AND PLATIFICD AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN INDICATED, AND DO HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BULLDING RESTRICTION LINES, BEDICATE THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON. DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY: \_\_\_\_\_(NAME) ATTEST: \_\_\_\_\_(NAME) (TITLE) (TITLE) NOTARY'S CERTIFICATE STATE OF ILLINOIS I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY DO HEREBY CERTIFY THAT \_\_\_\_\_\_(NAME) AS \_\_\_\_\_\_ (TITLE) AND \_\_\_\_\_(NAME) AS \_\_\_\_\_\_(TITLE) OF MYLO GRACELAND RESIDENTIAL PROPERTY LLC, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHO'SE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED AND DELUVERED THE SAID INSTRUMENT AT HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_. NOTARY PUBLIC COMMISSION EXPIRES MORTGAGEE'S CERTIFICATE COUNTY OF \_\_\_\_\_ \_\_\_\_\_, which is the holder of a mortgage dated as of \_\_\_\_\_, 20\_\_\_, and recorded in the Office of the\_\_\_\_\_ County Recorder, Illinois on \_\_\_\_\_\_\_, 20\_\_\_ as Document No.\_\_\_\_\_ encumbering the property described on this Plat of Subdivision, hereby consents to the recording of this Plat of Subdivision and agrees that its lien shall be subject to the provisions of this Plat of Subdivision. IN WITNESS WHEREOF, the undersigned has caused this Consent to be executed on . 20 . ATTEST: \_\_\_\_\_\_ Its: \_\_\_\_\_\_ \_\_\_\_\_\_Its: \_\_\_\_\_\_ NOTARY'S CERTIFICATE STATE OF ILLINOIS The foregoing instrument was acknowledged before me on \_\_\_\_\_\_, individuals are known to me to be the identical persons who signed the foregoing instrument as such officers of the corporation for and on behalf of said corporation, and that they executed the same as their free and voluntary act and deed, and as the free and voluntary act and deed of the corporation, for the uses and purposes Given under my hand and official seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_. NOTARY PUBLIC

COMMISSION EXPIRES

PREPARED FOR: RWG ENGINEERING, LLC

GENTILE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

ILLINOIS PROFESSIONAL DESIGN SHEET TRACEMENT FIRM LICENSE NO. 184.002870 NO. DATE

550 E. ST. CHARLES PLACE LOMBARD, ILLINOIS 60148 PHONE (630) 916-6262

TENTATIVE AND FINAL PLAT OF SUBDIVISION GRACELAND/WEBFORD SUBDIVISION

TO CONSOLIDATE LOTS	3
MAYOR'S CERTIFICATE	
STATE OF ILLINOIS S.S.	
Approved by the Mayor and the City Co	ouncil of the City of Des Plaines, Illinois on this
day of	, A.D. 20
	ATTEST.
Mayor	ATTEST:
PLANNING AND ZONING BOARD CERTIFICA	ATE
STATE OF ILLINOIS S.S.	
	Board of the City of Des Plaines, Illinois on this
Chairman	
DIRECTOR OF FINANCE CERTIFICATE	
STATE OF ILLINOIS S.S. COUNTY OF COOK	
I certify that there are no delinquent o shown on this plat.	or current unpaid special assessments on the property
Date:	
Director of Finance	
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN	
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN	
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS  COUNTY OF COOK  S.S.	JEERING CERTIFICATE  ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK S.S.  Approved by the Director of Public Work	ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS  COUNTY OF COOK  S.S.	ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS  COUNTY OF COOK   Approved by the Director of Public Work	ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS  COUNTY OF COOK  Approved by the Director of Public Work  this day of	ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK S.S.  Approved by the Director of Public Work  this day of  Timothy P. Oakley, P.E. Director of Public	ks & Engineering of the City of Des Plaines, Illinois on
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK  Approved by the Director of Public Work this day of  Timothy P. Oakley, P.E. Director of Public DRAINAGE CERTIFICATE  STATE OF ILLINOIS COUNTY OF COOK  To the best of our knowledge and belie by the construction of this subdivision of will be changed, reasonable provision has surface waters into public areas, or dra such surface waters will be planned for	ks & Engineering of the City of Des Plaines, Illinois on, A.D. 20lic Works & Engineering  of, the drainage of surface waters will not be changed
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK  Approved by the Director of Public Work this day of  Timothy P. Oakley, P.E. Director of Public  DRAINAGE CERTIFICATE  STATE OF ILLINOIS COUNTY OF COOK  S.S.  To the best of our knowledge and belie by the construction of this subdivision to surface waters into public areas, or dra such surface waters will be planned for practices so as to reduce the likelihood construction of this subdivision.  OWNER	ks & Engineering of the City of Des Plaines, Illinois on, A.D. 20 lic Works & Engineering  if, the drainage of surface waters will not be changed or any part thereof, or, if such surface water drainage as been made for collection and diversion of such ins approved for use by the city engineer, and that in accordance with generally accepted engineering
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK S.S.  Approved by the Director of Public Work this day of  Timothy P. Oakley, P.E. Director of Public  DRAINAGE CERTIFICATE  STATE OF ILLINOIS COUNTY OF COOK S.S.  To the best of our knowledge and belie by the construction of this subdivision of will be changed, reached by the construction of this subdivision of surface waters into public areas, or dra such surface waters will be planned for practices so as to reduce the likelihood construction of this subdivision.  OWNER	ks & Engineering of the City of Des Plaines, Illinois on, A.D. 20  lic Works & Engineering  of, the drainage of surface waters will not be changed or any part thereof, or, if such surface water drainage as been made for collection and diversion of such clins approved for use by the city engineer, and that in accordance with generally accepted engineering d of damage to the adjoining property because of the
Director of Finance  DIRECTOR OF PUBLIC WORKS AND ENGIN  STATE OF ILLINOIS COUNTY OF COOK  Approved by the Director of Public Work this day of  Timothy P. Oakley, P.E. Director of Public  DRAINAGE CERTIFICATE  STATE OF ILLINOIS COUNTY OF COOK  To the best of our knowledge and belie by the construction of this subdivision of will be changed, reasonable provision has surface waters into public areas, or dra such surface waters will be planned for practices so as to reduce the likelihood construction of this subdivision.  OWNER	ks & Engineering of the City of Des Plaines, Illinois on, A.D. 20  lic Works & Engineering  of, the drainage of surface waters will not be changed or any part thereof, or, if such surface water drainage as been made for collection and diversion of such pairs approved for use by the city engineer, and that in accordance with generally accepted engineering of damage to the adjoining property because of the  REGISTERED PROFESSIONAL ENGINEER

A permanent and perpetual easement is hereby granted to the City of Des Plaines. Cook County, Illinois ("City"), its successors and assigns, to survey, construct, reconstruct, use, operate, maintain, test, inspect, repair, replace, alter, remove or abandon in place water, sanitary sewer and storm sewer mains together with related attachments, equipment and appurtenances thereto, in, upon, under, along and across the areas designated "Easement for Public Utilities" on this subdivision plat. The owners of the property subdivided on this plat or any part thereof hereby reserve the right to use the areas designated 'Easement for Public Utilities' and the adjacent property in any manner that will not prevent or interfere with the exercise by the City of the rights hereby granted; provided, however, that the owners shall not in any manner disturb, damage, destroy, injure, obstruct or permit to be obstructed the Easement for Public Utilities" at any time whatsoever without the express prior written consent of the City. After the installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

OWNER:

VAF

COMPASSPOINT DEVELOPMENT LLC

CONTACT: JOE TAYLOR III 773.706.4301

6 10/12/23 REMOVE PAR. 4; REV. BLDG.; REV. ESMTS; PER LTST. ENGRG. VAF

5 7/12/23 RESIZE UTIL. ESMTS., MOVE DET. EASEMENT VAF

2 2/1/23 REMOVE PARCEL 4 FROM SUBD. INCLUSION

4 3/03/23

3 2/23/23

1 1/13/23

PER 3/02/23 CITY REVIEW DISCUSSION

PER 12/20/22 CITY 1ST REVIEW COMMENTS

REVISION DESCRIPTION

ADD P.U.& D. AND PARK ESMTS: UTIL SIG. BLKS. VAF

EASEMENT APPROVED AND ACCEPTED	EASEMENT APPROVED AND ACCEPTED			
COMMONWEALTH EDISON COMPANY	AT & T			
BY: DATE:	BY: DATE:			
TITLE:	TITLE:			
NICOR	COMCAST			
BY:DATE:	BY:DATE:			
TITLE:	TITLE:			

P.I.N.s 09-17-306-036-0000 09-17-306-038-0000 09-17-306-040-0000

 COOK COUNTY RECORDER

### FASEMENT FOR STORM SEWER

A permanent and perpetual easement is hereby granted to the City of Des Plaines, Cook A permanent and perpetual easement is hereby granted to the City of Des Plaines, Cook County, Illinois ("City"), its successors and assigns, to survey, construct, reconstruct, use, operate, maintain, test, inspect, repair, replace, alter, remove or abandon in place storm sewer mains together with related attachments, equipment and appurtenances thereto, in, upon, under, along and across the areas designated "Easement for Storm Sewer" on this subdivision plat. The owners of the property subdivided on this plat or any part thereof hereby reserve the right to use the areas designated "Easement for Storm Sewer" and the adjacent property in any manner that will not prevent or interfere with the exercise by the City of the rights hereby granted; provided, however, that the owners shall not in any manner disturb, damage, destroy, injure, obstruct or permit to be obstructed the "Easement for Storm Sewer" any time whatsoever without the express prior written consent of the City Sewer"at any time whatsoever without the express prior written consent of the City.

### EASEMENT FOR STORM WATER DRAINAGE

A permanent and perpetual easement is hereby granted to the City of Des Plaines, Cook County, Illinois ("City"), its successors and assigns, and to, and for the use and benefit of, the owners of all of the lots in this subdivision, for the sole purpose of storm water drainage, in, upon, under, along and across the areas designated "Easement for Storm Water Drainage" on this subdivision plat. No change shall be made in the finished grade of the land within any Easement for Storm Water Drainage," and no construction of any kind whatsoever shall be erected or permitted to exist within any Easement for Storm Water Drainage" that might erected or permitted to exist within any "Easement for Storm Water Drainage" that might materially reduce the storm water drainage capacity thereof. Trees, shrubs, fences, and normal landscape planting shall be permitted within any "Easement for Storm Water Drainage" only with the prior written approval of the Director of Public Works of the City of Des Plaines. Each owner of a lot with any "Easement for Storm Water Drainage"located on it shall maintain a grass cover on the surface of that portion of such lot located within the "Easement for Storm Water Drainage," and shall keep such grass and landscaping in a first—class and trimmed condition. The owners of lots on which any "Easement for Storm Water Drainage" is located shall not in any manner damage, destroy, injure, obstruct, or permit to be obstructed the "Easement for Storm Water Drainage" at any time whatsoever without the express prior written consent of the Director of Public Works of the City of Des Plaines.

### RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER VOLUME CONTROL AREA (NO HOA)

1. The area of the property designated on this plat as "Storm Water Volume Control Area" shall be continuously maintained in a first rate manner by owners of Lot One (the "Volume Control Area Lot") and an easement on, under and above the Storm Water Volume Control Area is hereby granted to, and for the use and benefit of, all of the lots in this subdivision for the sole purpose of storm water volume control and drainage.

2. No change shall be made in the finished grade of the land within the Storm Water Volume

Control Area, nor shall any construction of any kind whatsoever be erected or permitted to exist within the Storm Water Volume Control Area that might materially impede storm water drainage therein or materially reduce the storm water volume control capacity thereof. Trees, shrubs, fences and normal landscape planting shall be permitted within the Storm

Water Volume Control Area only with the prior written approval of the Director of Public Works of the City of Des Plaines, Cook County, Illinois (the "City"). Each owner of a Volume Control Area Lot shall maintain a grass cover on the surface of that portion of his lot located within the Storm Water Volume Control Area and shall keep such grass in a neat and trimmed

3. In the event the City determines, in its sole and absolute discretion, that prior maintenance of the Storm Water Volume Control Area is not performed at any time, the City, after ten (10) days prior written notice to the owners of the Volume Control Area Lots, may, but shall not be obligated to, enter upon any or all of the Volume Control Area Lots for the purpose of performing maintenance work on and to the Storm Water Volume Control Area. 4. In the event that the City shall cause to be performed any work pursuant to these paragraphs, the City shall have the right to charge the owners of the Volume Control Area Lots an amount sufficient to defray the entire cost of such work or action, including administrative costs, either before or after such cost is incurred. If the amount so charged is not paid by the owners of the Volume Control Area Lots within thirty (30) days following a demand in writing by the City for such payment, such charge, together with interest and costs of collection, shall become a lien upon the Volume Control Area Lots and the City shall have the right to collect such charge, with interest and costs, and to enforce such lien as in foreclosure proceedings as permitted by law.

5. Nothing in these paragraphs shall be construed to constitute a dedication of any portion

of the Storm Water Volume Control Area or of the Volume Control Area Lots to, or a acceptance thereof by, the City.

6. The City shall be under no obligation to exercise the rights granted in these paragraphs except as it shall determine to be in its best interest. No failure to exercise at any time any right herein granted to the City shall be construed as a waiver of that or any other rights.

7. These covenants shall run with the land in the subdivision shown on this plat, and shall be binding upon and inure to the benefit of the owners of all lots of record therein, their respective successors, assigns and grantees and all parties claiming by, through and under them. Enforcement of these covenants may be sought by the owners of any lots of record in this subdivision, any person with an interest in any of said lots of record, or the City of Des Plaines by any proceeding at law or in equity against any person or persons violating or attempting to violate any covenant, either to restrain violation, to compel affirmative action, or to recover damages, and against the land to enforce any lien created by these covenants.

$D \cap$	Т	CERTIFICATE

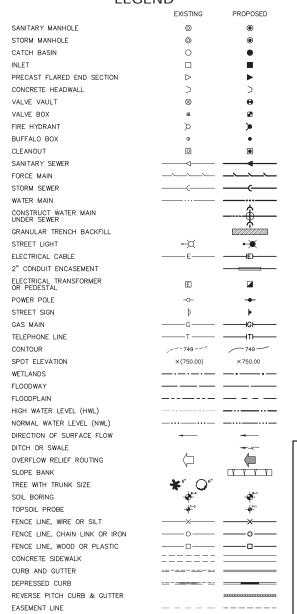
STATE	OF	ILLINOIS	26.
COUNT	Y OI		5 3

This plat has been approved by the Illinois Department of Transportation with respect To roadway access pursuant of \$2 of "An Act to revise the law in relation to plats." as amended. A plan that meets the requirements contained in the Department's 'Policy on Permits for Access Driveways to State Highways" will, be required by the Department.

	Rios, P.E			
Region	One E	ngineer		

THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPILITINESS OF THE DELIVERABLES HERBIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, DIVISIONS, OR SOSCREPANCIES, ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NICESSARY TO RESOLVE THEM FALLIER TO PROMPTLY NOTIFY THE REINGERE OF SICH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSCIUNCES OF SUCH FALLIER. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER OF SICH CONSCIUNCED THE SUCH THE PROMPT OF THE PARTIES RESPONSIBLE SHALL BESONS HERE OF SICH THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

### **LEGEND**



### FINAL ENGINEERING PLANS

DESPLAINES, ILLINOIS

622 GRACELAND AVE. APARTMENTS

### **LOCATION MAP**

### **CONTACTS**

CITY OF DESPLAINES
Northern Illinois Gas (NICOR)
Mr. David Surina
1844 West Ferry Road, Naperville, IL 60563
630-629-3500 (x335), Dsurina@aglresources AT&T (Formerly SBC or Illinois Bell Telephone Company)
Ms. Sue Manshum 2004 Dempster/Miner Street, Des Plaines, IL 60016 847-759-5603, sm9231@att.com Commonwealth Edison (Excelon) Mr. Jack O'Brien 3 Lincoln Centre, Oak Brook Terrace, IL 60181 630-437-2463, john.obrien@comed.com Wide Open West (WOW) (Cable Television) 1030 National Parkway, Schaumburg, IL 60173 630-699-5227 Comcast (Cable Television) Mr. Frank Gautier, Right-of-way Engineer 688 Industrial Drive, Elmhurst IL 630-600-6348, Frank\_Gautier@cable.comcast.com City of Des Plaines Community & Economic 1420 Miner Street Des Plaines, IL 60016 Public Works Department: 847-391-5464 1111 Joseph J Schwab Rd Des Plaines, IL 60016

PROJECT LOCATION Q C & H AU CITY OF DES PLAINES STORM SEWER N.T.S. 24" CITY OF DES 8" CITY OF -ES PLAINES TORM SEWER Science & Arts Acad Phesstentials 0 Map Data © 2022 Goog

**GENERAL NOTES** 

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE "TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFAGE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS PROJECT, OR, THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFAGE WATERS INTO PUBLIC AREAS, OR DRAINS APPROVED FOR USE BY THE CITY, AND THAT SUCH SURFAGE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED A DRIVINE PRINCIPLE PRACTICES SO AS TO GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS Maureen R. Mulligan

EXPIRATION DATE: 11/30/23

### ADDDEVIATIONS

	ABBREVIA	ALIO	NS
BL	BASE LINE	NWL	NORMAL WATER LEVEL
С	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW		TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

The contractor shall notify the following governmental agencies at least two working days prior to commencement of construction:

City of Des Plaines Public Works Department (847–391–5464)
MWRD Local Sewer System Sections Field Office (708–588–4055)

The contractor shall notify all utility companies and arrange for their facilities to be located prior to work in any easement, right—of—way, or suspected utility location. Repair of any damage to existing facilities shall be the responsibility of the contractor. Utility locations shown herein are for raphic illustration only and are not to be relied upon

Prior to commencement of any offsite construction, the contractor shall secure written authorization that all offsite easements have been secured, and that permission has been granted to enter onto private property.

4. Elevations shown herein reflect NAVD 1988 datum.

5. The boundary and topographic survey data for this project is based on a field survey prepared by Gentile and Assiciates, Inc, dated September 19, 2022. The contractor shall verify existing conditions prior to commencing construction and shall immediately notify the engineer in writing of any

safety of any party at or on the construction site. Safety is the sole responsibility of the contractor, and any other entity performing work at the site. Neither the owner nor the engineer assumes any responsibility for job site safety or for the means, methods or sequences of construction.

7. Except where modified by the contract documents, all work proposed hereor shall be in accordance with the following specifications, which are hereby made a part hereof:

A. "Standard Specifications for Road and Bridge Construction in Illinois," as prepared by I.D.O.T. latest edition.

B. "Standard Specifications for Water and Sewer Main Construction in Illinois," latest edition.

C. "Illinois Recommended Standards for Sewage Works," as published by the I.E.P.A., latest edition.

D. The subdivision and development codes and standards of the City of Des Plaines, as published by the Municipality

E. "Illinois Accessibility Code" as published by the State of Capital Development Board, effective October 23, 2018.

G. "Illinois Urban Manual" as prepared by the U.S. Dept. of Agriculture

The City of Des Plaines Development Ordinance shall take precedence if a conflict in project specifications occurs. City details to supercede all other

City requires 48 hour notice for inspections. 🔏

### PLANS PREPARED FOR

### COMPASSPOINT DEVELOPMENT, LLC

2020 S. COOK STREET, SUITE 210 BARRINGTON, ILLINOIS (630) 577-5203

### **INDEX OF SHEETS**

1. TITLE SHEET

2. EXISTING CONDITIONS PLAN - EAST

3. EXISTING CONDITIONS PLAN - WEST

4. DEMOLITION PLAN - EAST

5. DEMOLITION PLAN - WEST

6. SITE GEOMETRIC AND PAVING PLAN - EAST

7. SITE GEOMETRIC AND PAVING PLAN - WEST

8. SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN - EAST

9. SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN - WEST

10. GRADING PLAN - EAST

11. GRADING PLAN - WEST

12. UTILITY PLAN - EAST

13. UTILITY PLAN - WEST

14. PROJECT NOTES AND SPECIFICATIONS

15. CONSTRUCTION STANDARDS AND DETAILS

16. CONSTRUCTION STANDARDS AND DETAILS

17. CONSTRUCTION STANDARDS AND DETAILS

18. IDOT CONSTRUCTION STANDARDS AND DETAILS

19. IDOT CONSTRUCTION STANDARDS AND DETAILS

20. IDOT CONSTRUCTION STANDARDS AND DETAILS

### **BENCHMARKS**

### BASIS OF BEARINGS:

ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

### BENCHMARK:

CITY OF DES PLAINES BENCHMARK NO. 61. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF PRAIRIE & FIRST AVENUE, 75' EAST OF THE RAILROAD TRACKS AND 12' NORTH OF THE EDGE OF PAVEMENT OF PRAIRIE ELEVATION 640.05 (NAVD 88 DATUM), MEASURED ELEVATION 640.12

CROSS NOTCH 2' SOUTH OF THE SOUTHWEST CORNER OF LOT 34

CROSS NOTCH 2' SOUTH AND 3' EAST OF THE SOUTHEAST CORNER OF LOT 37 ELEVATION 637.57 (NAVD 88 DATUM)

TITLE POLICY PROVIDED FOR PARCEL 3 MAKES NOTE OF AN EXCEPTION TO COVERAGE THAT INCLUDES AN EASEMENT FOR SEVERAL UTILITIES PER DOC. NO. LR1429065. SURVEYOR WAS NOT PROVIDED DOCUMENT BY ITILE COMPANY AND WAS NOT ABLE TO OBTAIN DOCUMENT FROM COOK COUNTY RECORDER'S OFFICE. BEFORE EXCAVATION, BUILDING OR ANY DISTURBANCE WITHIN SUBJECT PROPERTY OBTAIN DOCUMENT FOR PARTICULARS AND LOCATION OF SAID FASEMENT





1 of 20

January 17, 2024 1:16:38 p.m. AcadVer:24.2s (LMS Tech)
Drawing: S:\63912021 - 622 GRACELAND AVE APTS\300\_ENGINEERING\310\_CADD\FINAL\639\_BASE.DWG

**Attachment 8** 

now what's helow

Call before you dig

Formerly JULIE 1-800-892-012

Page 19 of 44

S

GRACELAND AVE. APARTMENT DESPLAINES, ILLINOIS TITLE SHEET

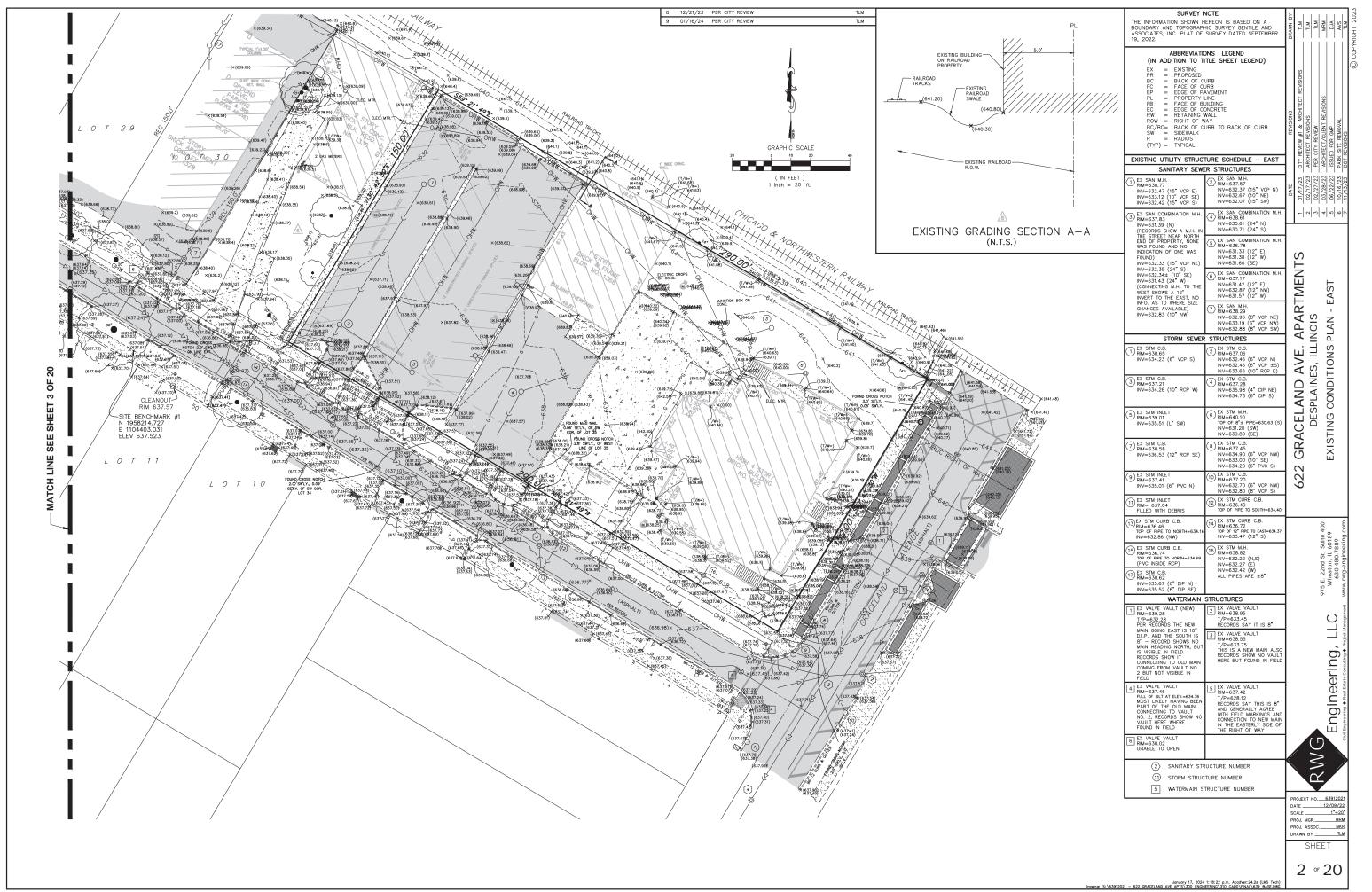
 $\sim$ 

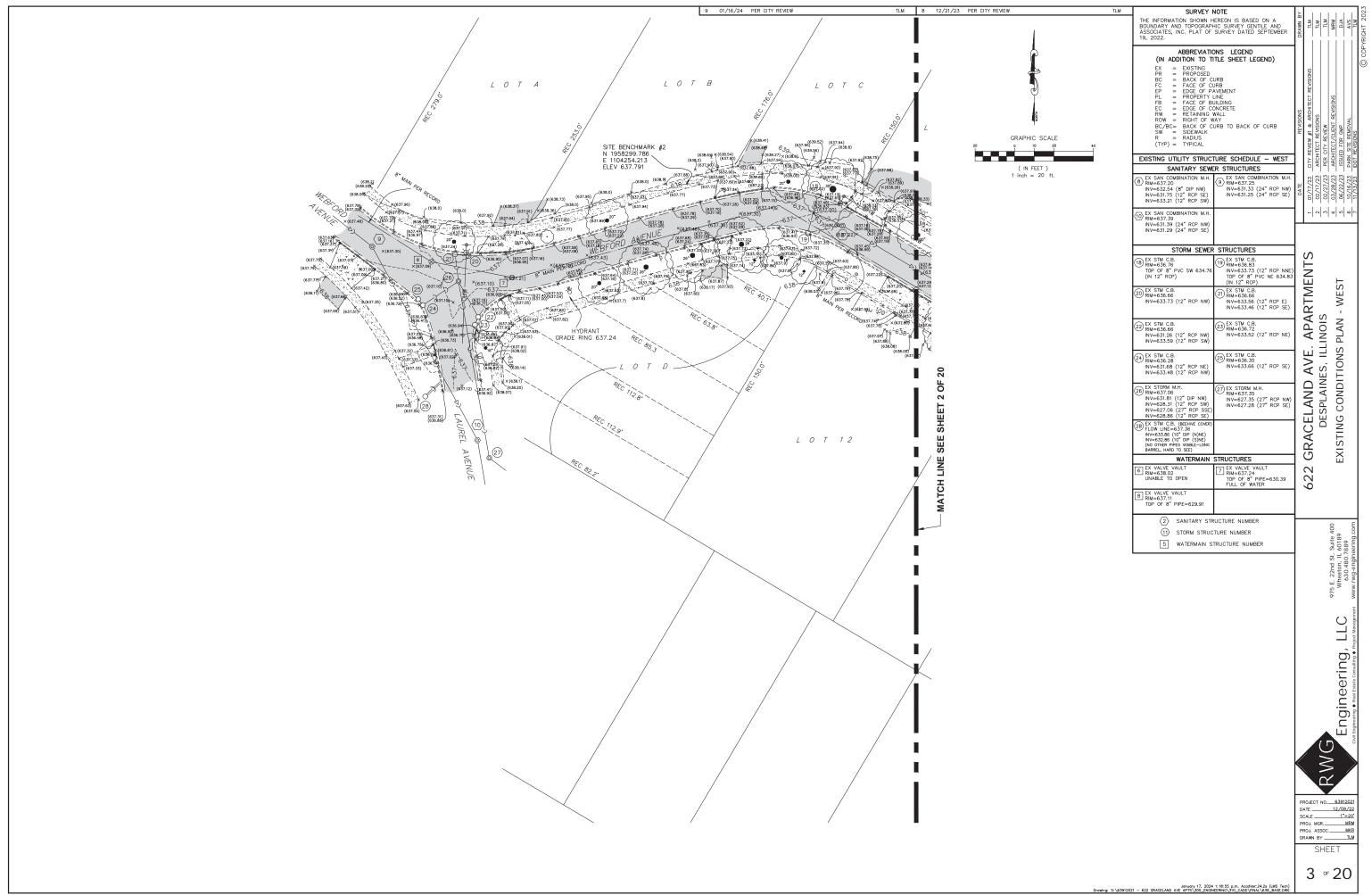
 $\circ$ 

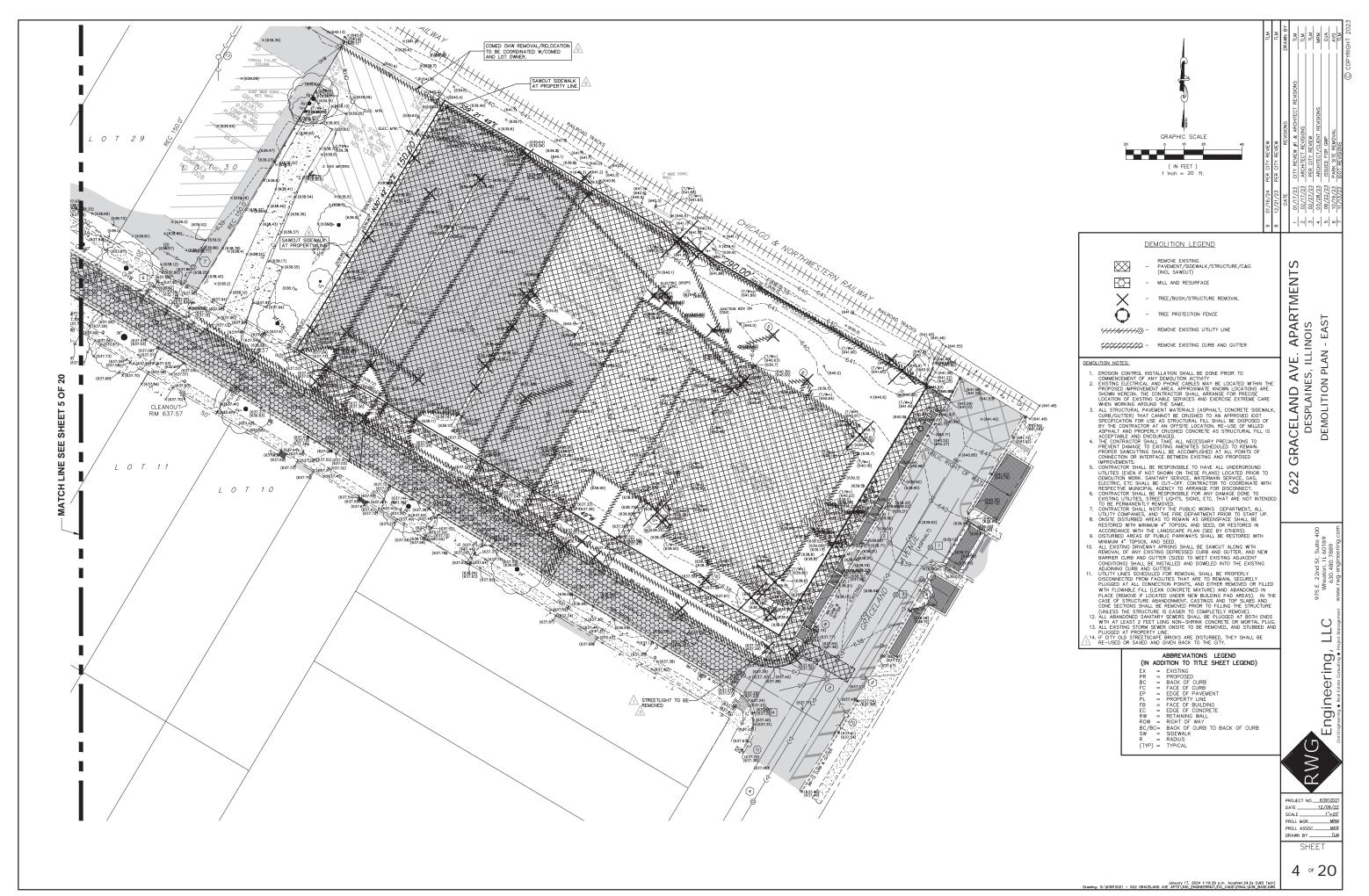
Engineering,

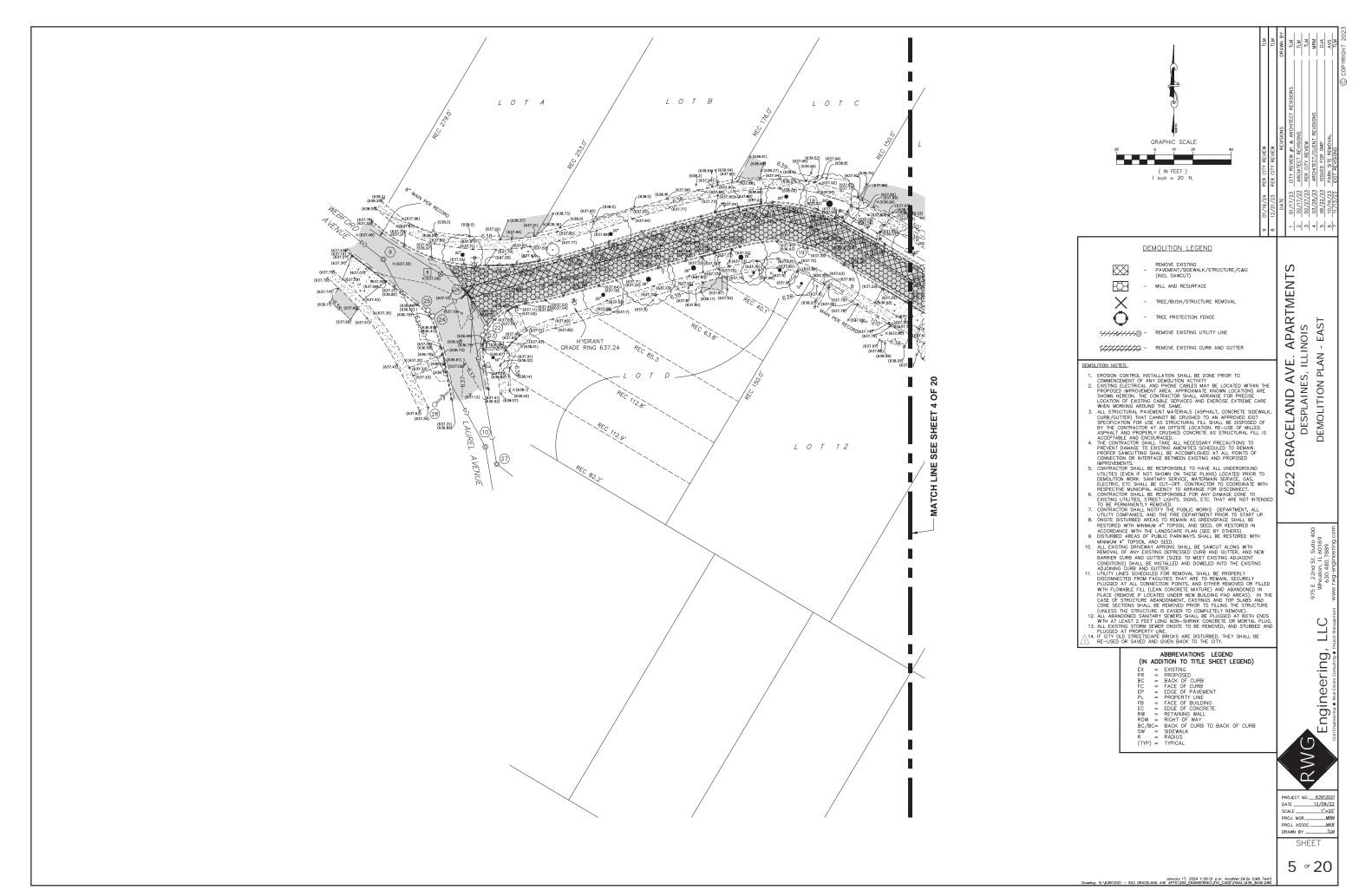
PROJECT NO. 6391202 PROJ. MGR. MRM

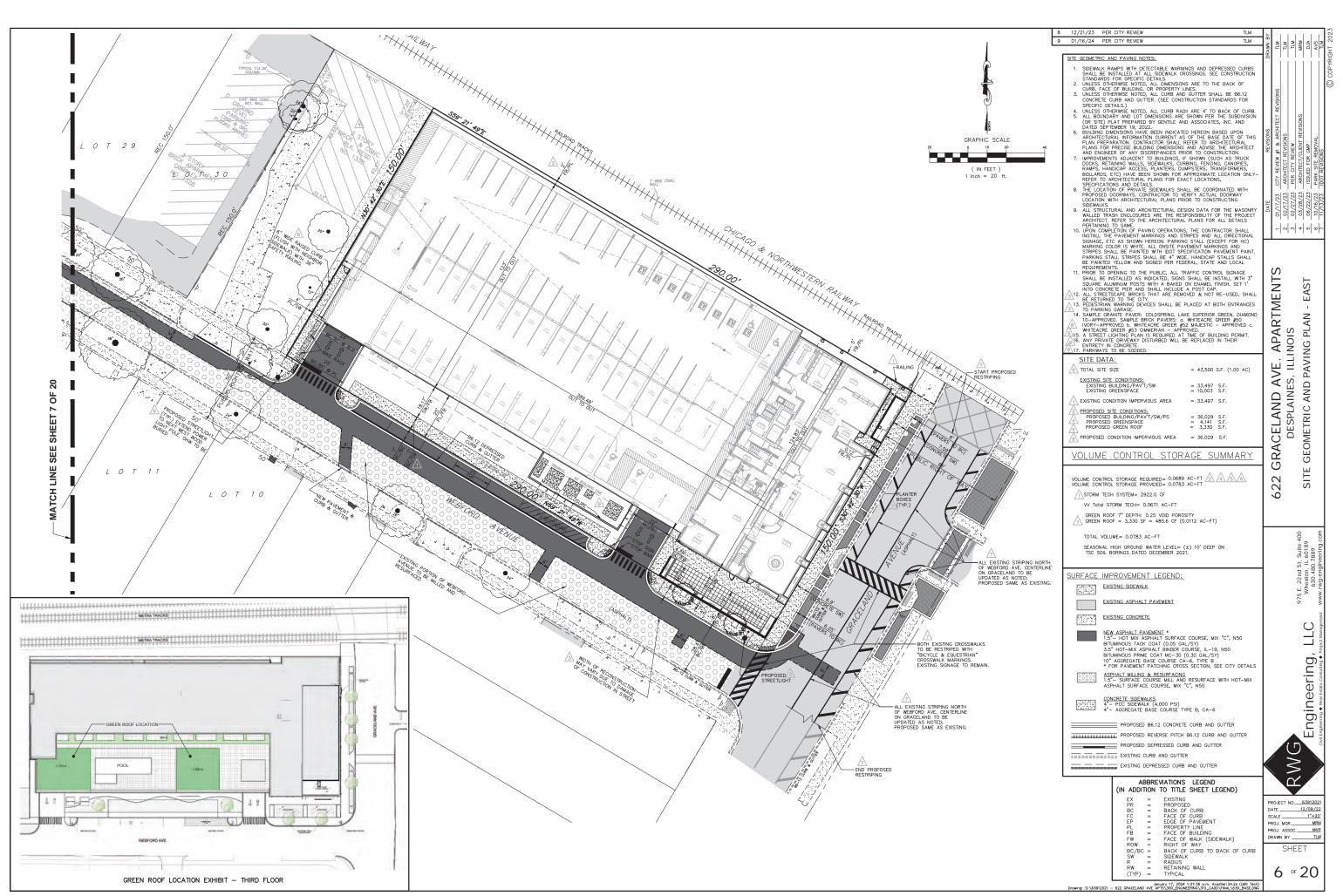
SHEET

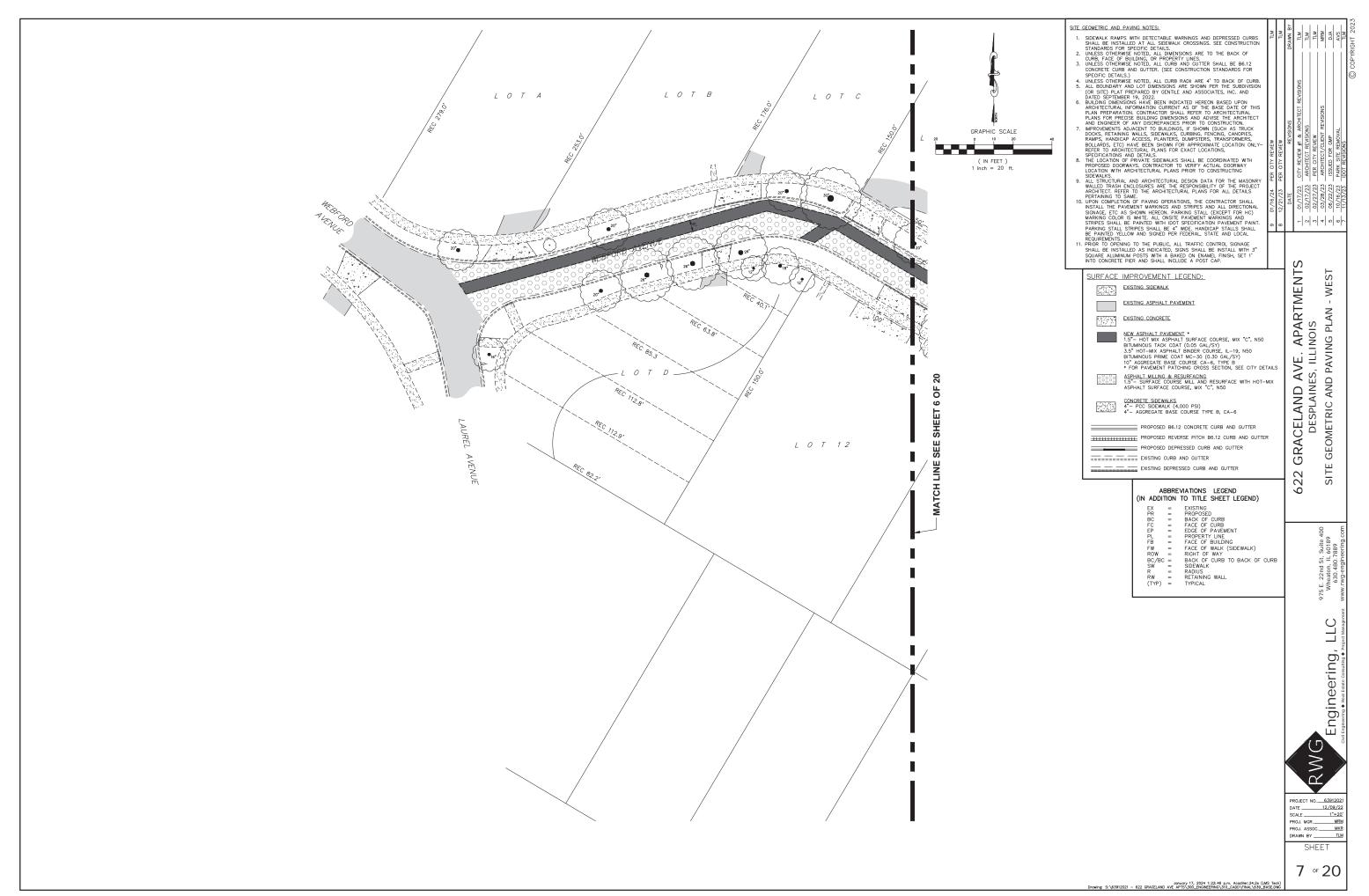


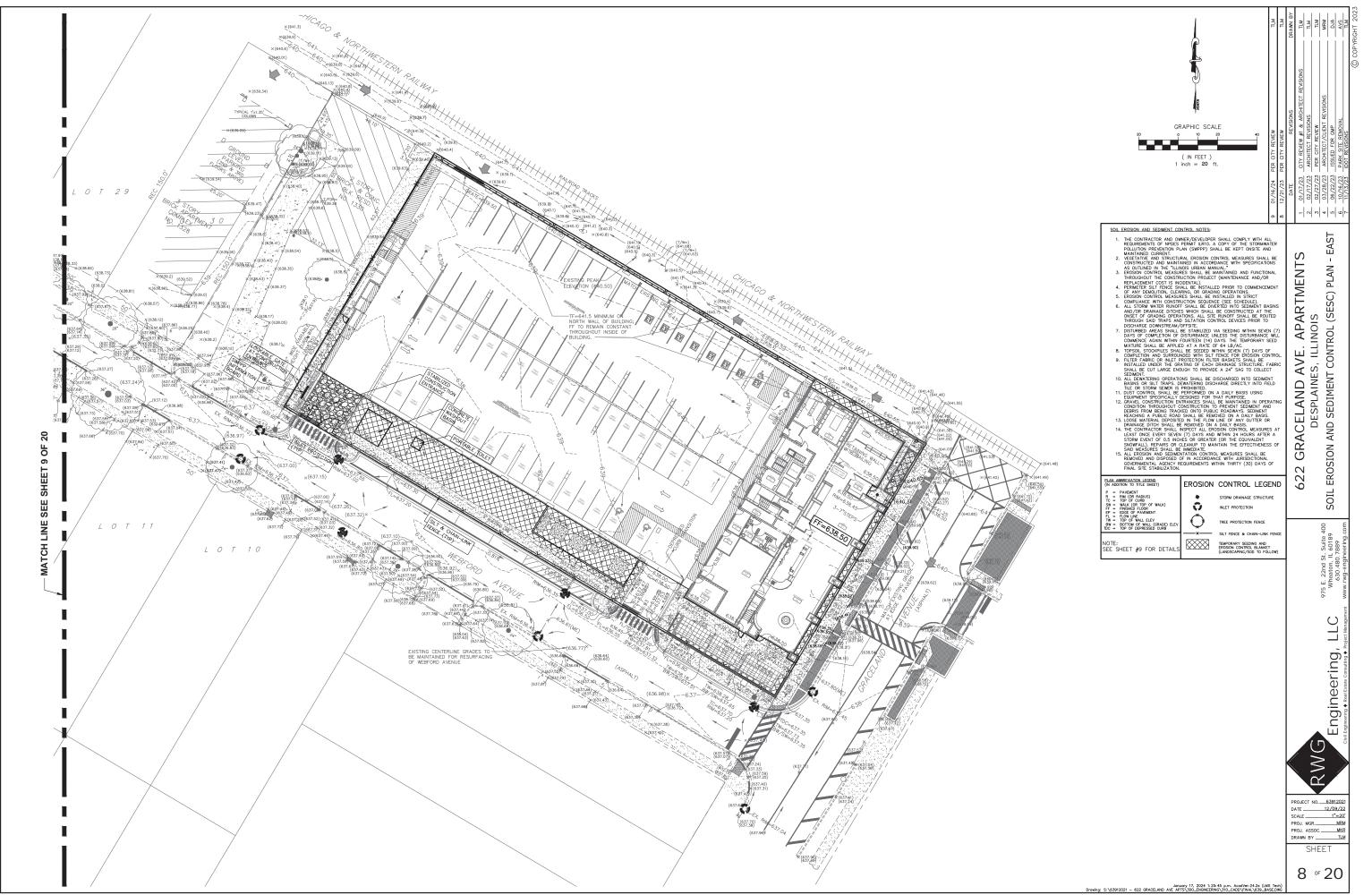


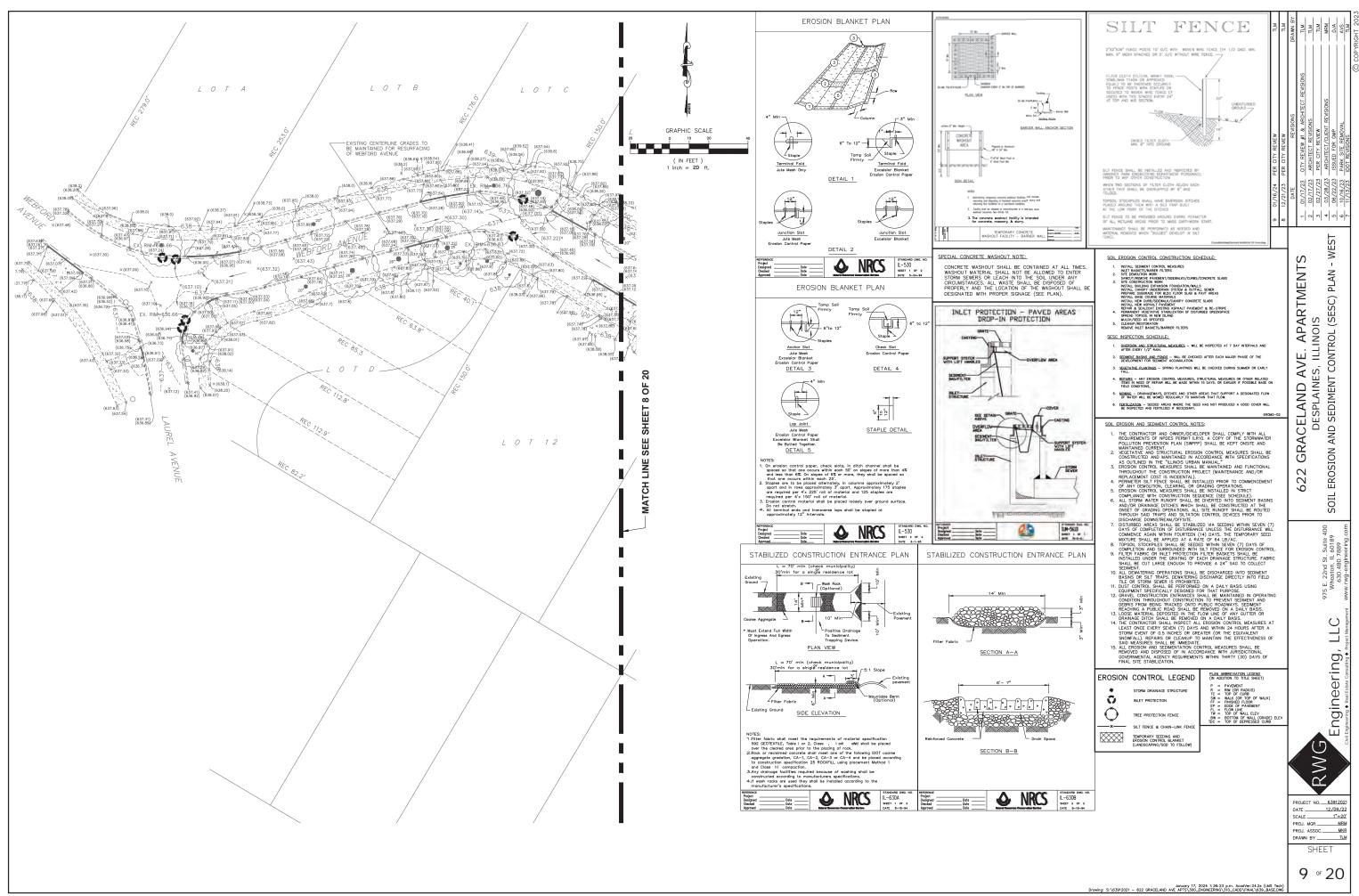


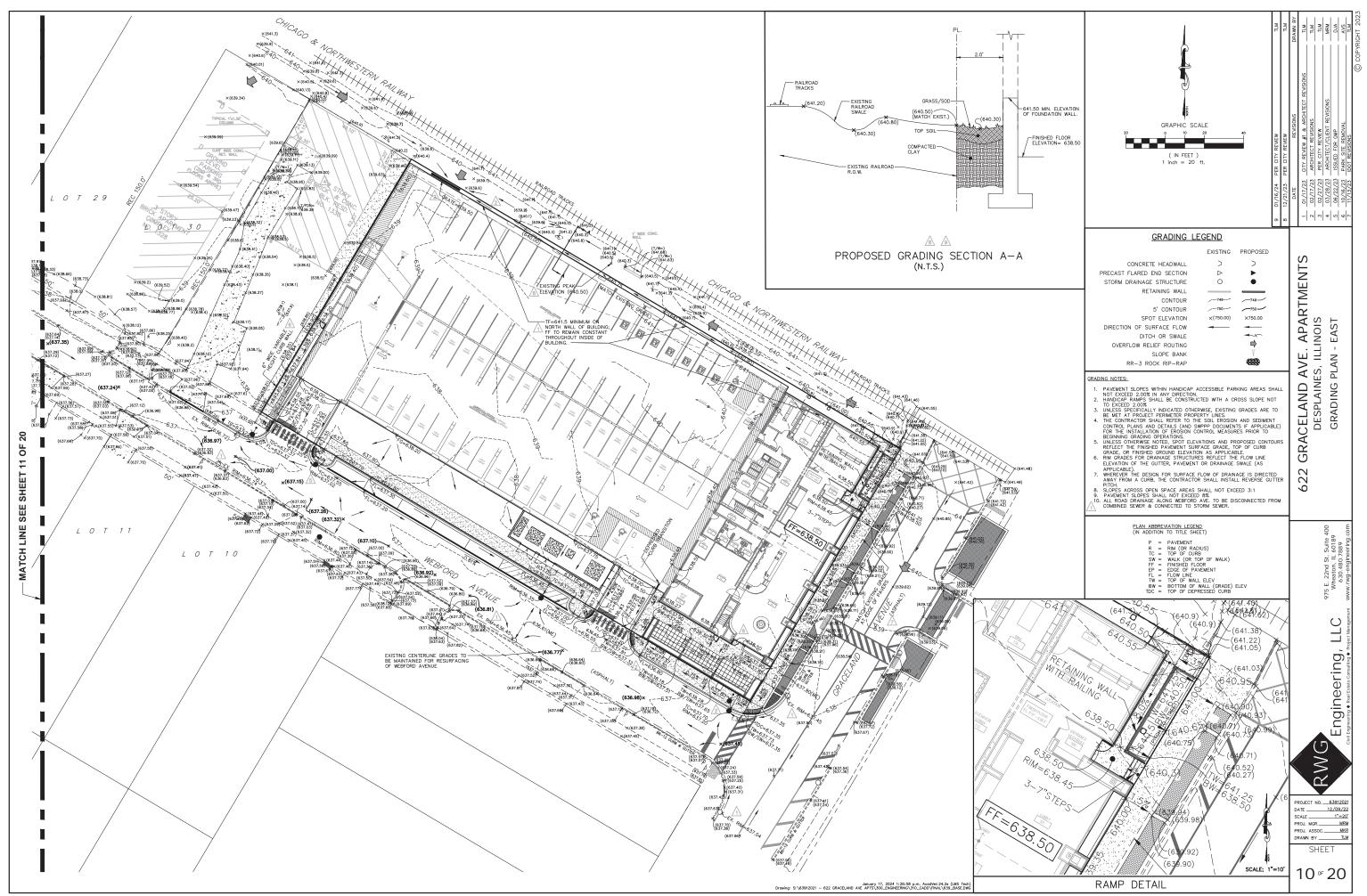


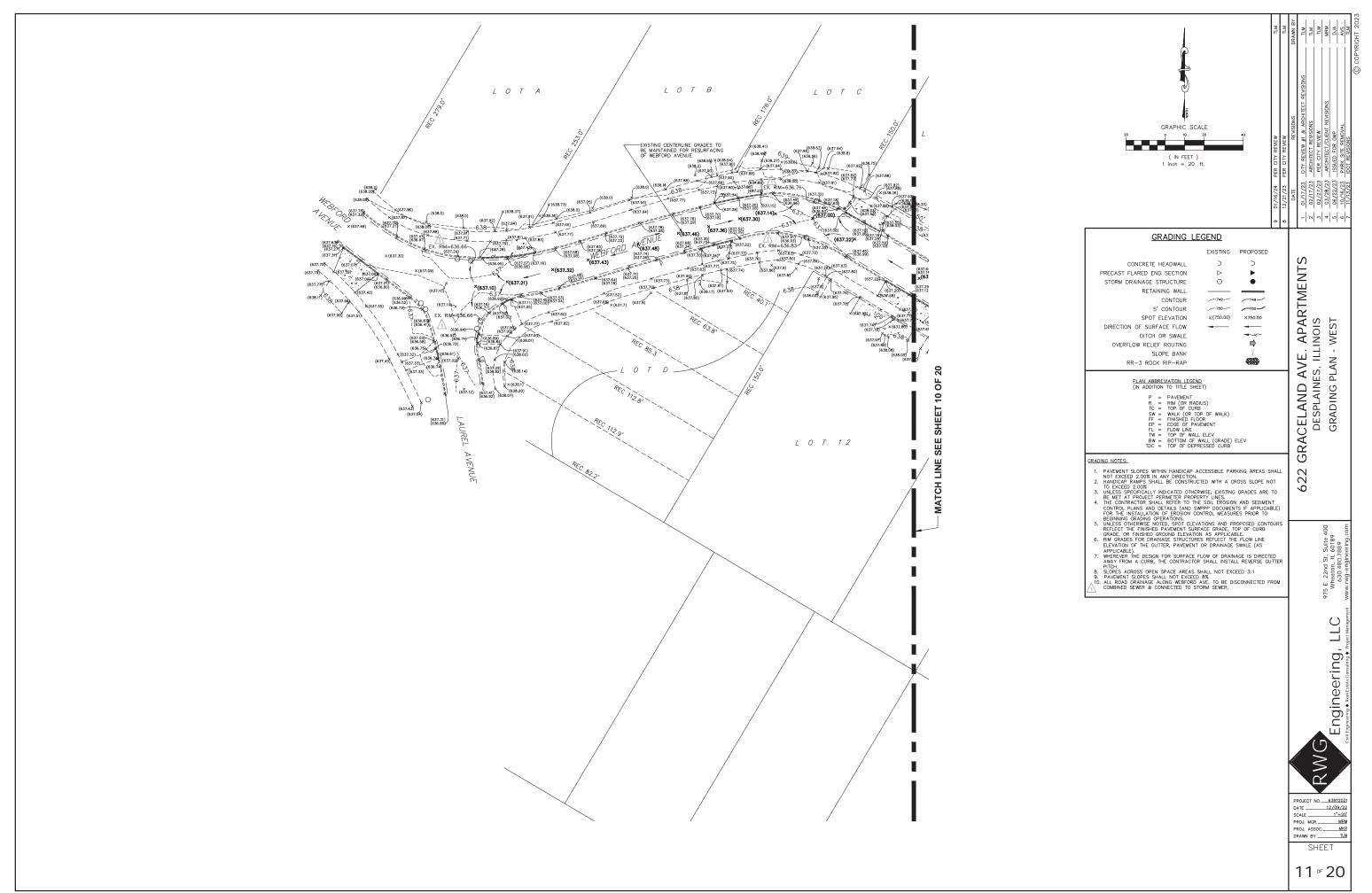




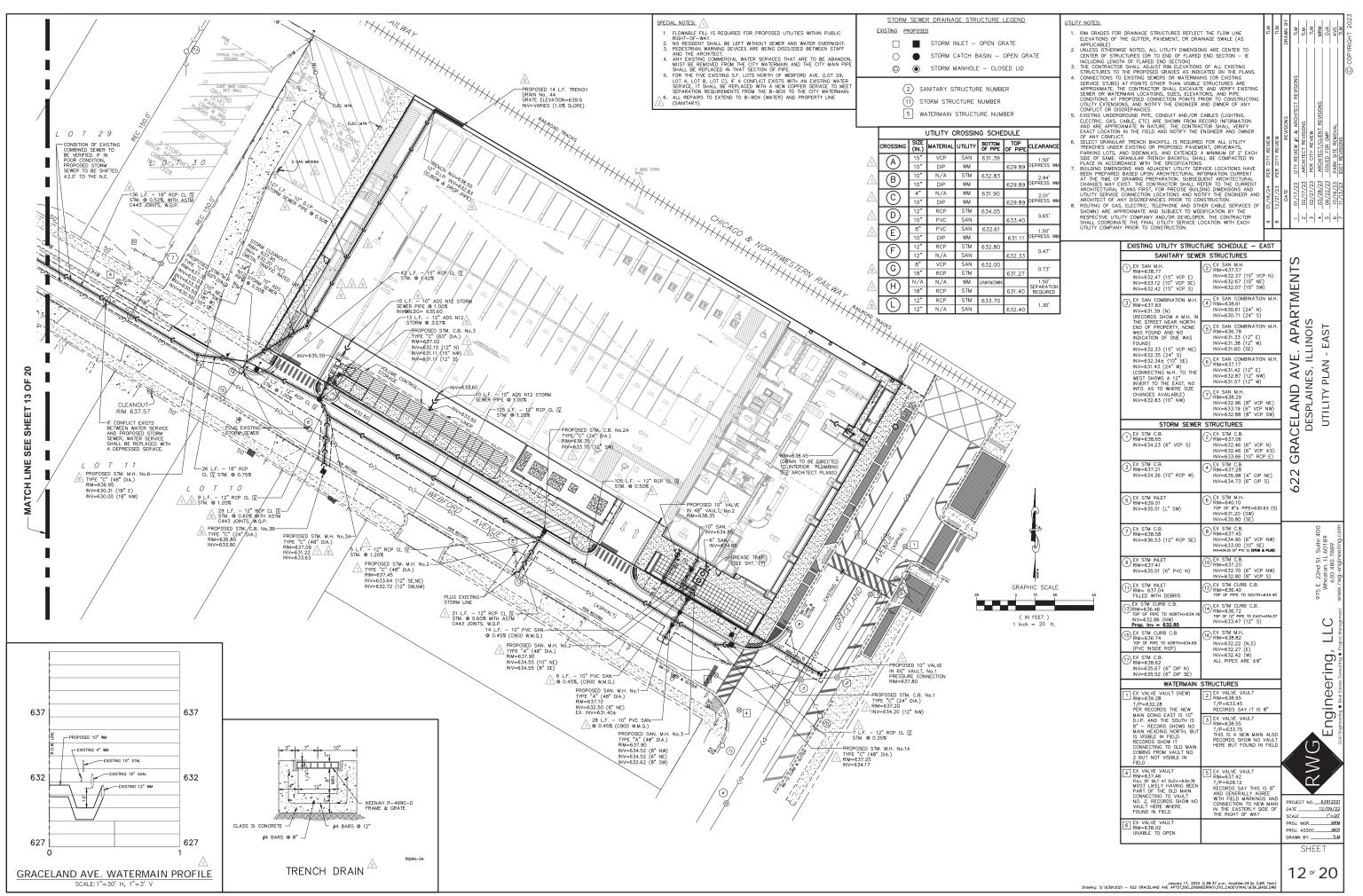


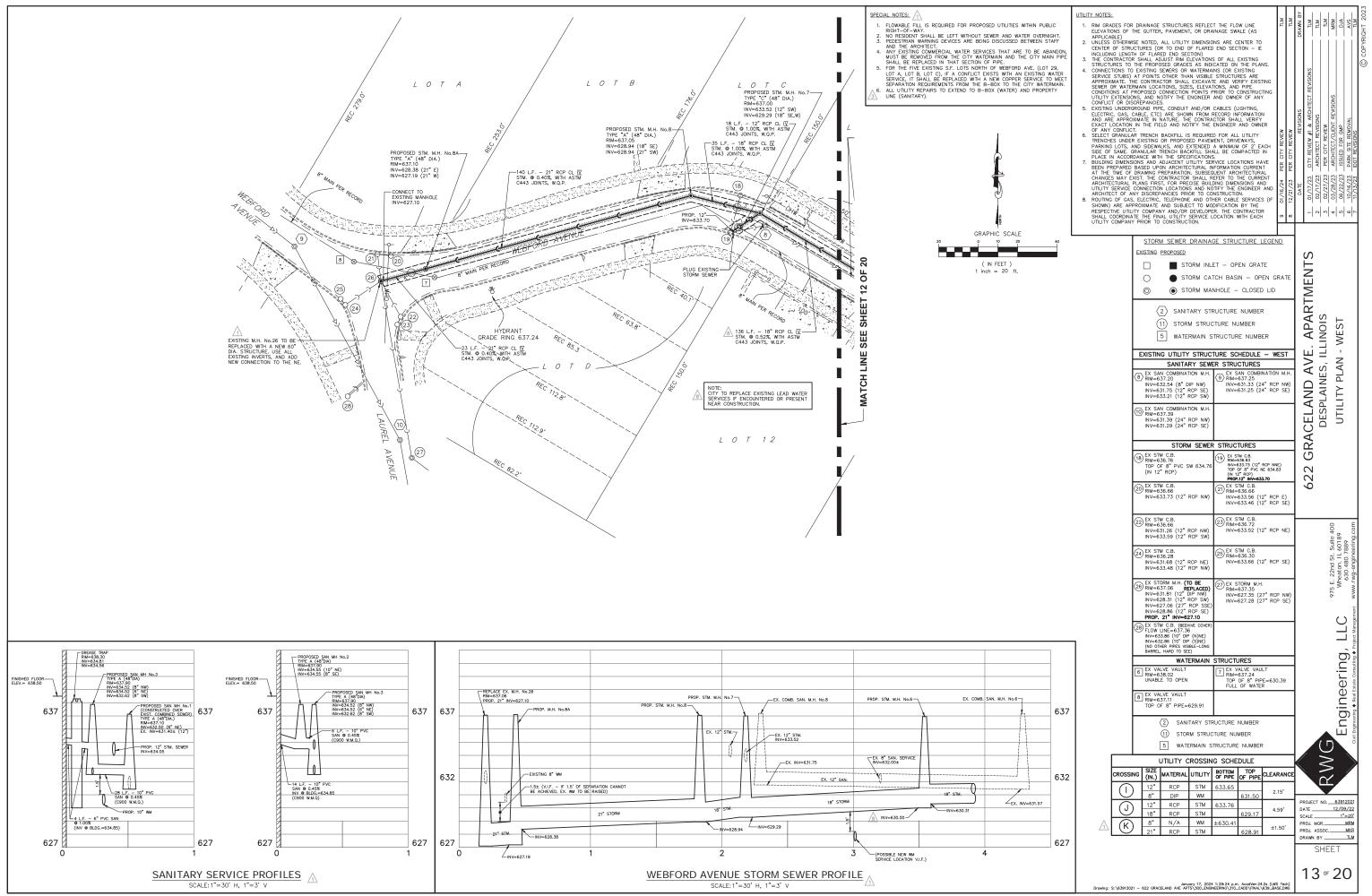






Attachment 8 Page 29 of 44





### RWG ENGINEERING, LLC PROJECT SPECIFICATIONS GENERAL CONDITIONS

<u>INDIRACT INCLINENTS.</u>

The Standard Specifications listed on the title sheet, these Inprovement Plans, the Special Provisions, General Conditions, and Subsequent Details are all part of the Contract Documents. Incidental items or accessories necessary to complete the work new yor to be specifically noted, but are to be considered a part of the contract.

The contract is compared the sone may not be specifically noted, but are to be considered a part of the contract. 

INCERT PROPRIETH ANS.

No. Inprovement Plans shall be used for construction unless specifically noted for Construction. Profit to connection the Construction, the contractor shall verify all denenions and conditions affecting their work with the actual conditions affecting their work with the contractor shall secure written the construction plans, standard specifications, and/or special details, the contractor shall secure written instructions from the engineer prior to proceeding with only part of the sork impacted by onisions on discrepancies. Falling to secure such instruction, the contractor will not be true reasing of the construction plans or specifications, the decision of the engineer shall be final and conclusive.

<u>CROMANUE PURPAULE</u>

MILE exit performed under this contract shall be guaranteed against all defects in material and someonable or whatever nature by the contractor and his surety for a period of one year fron the date of final acceptance of the work by the agplicable governmental agencies and the owner.

EINAL DATEST.

Prior to acceptance by the owner and final payment, all work shall be inspected and approved by the owner or his representative. Final payment will be node after all of the contractors' work has been approved and accepted, and in acceptance with the contract documents.

Indicational control of the regions of the state of the s

PROJECT IMPROVEMENTS AND QUANTITIES
The contractor shall review the consti PRINCEL IMPROVEMENTS AND DIMNITIES.

The contractor is shall review the construction documents and determine all required improvements and verify all particles as a few provided by the endineer or owner for bidding purposes, and report any discrepancies to the particles are supported by the endineer of the provided provided by the endineer of the particles are supported by the completed of the provided by the completed of the scope of work, as they are for the completed.

NCIDENTAL CONSTRUCTION
Whenever the performance of work is indicated on the plans and no item is included in the contract for payment, the work shall be considered incidental to the contract and no additional compensation will be provided.

MINITURNIC DE ISTE DEBINGE.

During construction operations any loose noterial that is deposited in the flow line of putters, draining structures, districts, etc. and obstructs the natural draining flow line shall be removed at the close of each structure, districts, etc. and obstructs the natural draining flow line shall be removed at the close of each day. Brainings may be achieved by distring, purpling, or any other acceptable nethod. Falure to provide positive drainings will preclude any possible added compension requested due to delay or unsulsable naturalistic created as a result thereofter, at the conclusion of construction operations all drainings structures and flow lines shall be free from and and deeths. The work shall be considered inclinated to the confrience.

ISBNITE COURSE.

The contractor is responsible for the installation and naintenance of adequate signage, traffic control, and 
rarring devices to inform and protect the public during all phases of construction. All barricades and sarring signs 
that like provided in accordance with the IBIT Standard Specifications. Adequate lighting shall be analitatived from 
publicable governmental agency. Traffic control items shall be in accordance with the IBIT "Manual on Uniform 
raffic Control Devices."

ANY SERVIN JOHN AND ACTION THE STATE OF THE PERSON OF THE STATE OF THE

<u>REE\_PROTECTION</u>

Aisting trees not scheduled for renoval shall be protected from damage. Trimming and sealing shall be in coordance with 100T Standard Specifications.

EXISTING SIGNOGE A MAIL INDEX SCARTING SIGNOGE and nail boxes that interfere with construction shall be removed, stored, and replaced/rese the contraction in accordance with the IDDI Standard Specification. Banage to these items shall perpeter/deplaced by the contractor at his expense, Temporary nations radiative shall be provided as an include specific property.

EXISTING FIR.D.T.ILE.
FIRST tile encountered during construction shall be connected to proposed storm sever or extended to outlet into a proposed ordinged very. If this is not possible, then existing tile shall be repaired with new pipe of same size and a proposed ordinged very. If this is not possible, then existing tile shall be repaired with new pipe of same size and elevation shall be nade by the contractor and furnished to the engineer upon project completion.

SEFITY A CONSTRUCTION EXECUTION
The contractor shall comply with the rules and regulations of DSMA and appropriate authorities regarding jobsite safety provisions. The engineer and owner are not responsible for the construction means, nethods, techniques, safety provisions. The engineer and owner are not responsible for the construction means, nethods, techniques, and they provide the construction of the contractor is solely responsible for execution of his work in accordance with the contract documents.

INDIGENATE
Contractors responsible for construction shall purchase insurance for the benefit of the engineer, naming RVG
Engineering, LLC as an additional insured to cover claims and expenses, including cost of defense, asserted against
Engineering LLC as an additional insured to cover claims and expenses, including cost of defense, asserted against
engineering and expenses of the contractor, any subcontractor, anyone directly or indirectly engloyed by then or
engineering and the property of the name of the contractor of the contractor and the contractor and the contractor and the contractor of the contractor and the contractor of the

### PROJECT SPECIFICATIONS

CREEN INTRODUCTION OF THE CONTROL OF

<u>SVPPP</u>. A copy of the Stormwater Pollution Prevention Plan (SVPPP) shall be kept onsite with all supplemental naterial as regulred per NPDES General Permit No. ILR10. Construction aperations shall conform to permit requirements.

SITE PETABATION

From to clearing and grading, perheter sit force shall be installed, and onalts sadient control resources shall be from to clearing and grading, perheter sit force shall be installed, and onalts sadient control co

STABILIZED CONSTRUCTION ENTRANCE
Temporary graved construction entrances shall be installed and maintained to prevent sediment from being trucked
offstle. Sedemit reaching a public road shall be removed by shoveling or street sweeping at the end of each work
doy. Losse material deposited in the flow line of any gutter or drainage structure shall be removed at the end of
each work day.

<u>TOPSOIL STOCKPILES</u>
Topsoil stockpiles shall be seeded within seven (7) calendar days of completion for erosion control, unless they will be distributed within fourteen (14) calendar days. Stockpiles shall be encompassed with a slit fence.

<u>BE-VATERING</u>

During de-matering operations water shall be pumped into sediment basins or silt traps. De-matering directly into field tile or stormater structures is not permitted. Water pumped during construction operations shall be filtered.

SIABILIATION

Bleturbed orecs shall be stabilized by seeding within seven (7) days of completion of disturbance unless the area will be disturbed within fourteen (14) days. Temporary seed nixtures shall be applied at a rate of 64 lbs/acre.

<u>SEDIMENT BASINS</u>

When stormaster is routed through proposed detention basins to allow for settlement of suspended silt and debris, the stormaster is constructed at the start of the project. Basins shall be sufficiently over-excavated to revoke appropriate values for sediment rollection. <u>INLET PROTECTION BASKETS</u> Inlet protection devices shall be installed in each onsite and adjacent offsite drainage structure. (SEE PLANS)

<u>TRANSACE SYSTEM MAINTENANCE</u>.

All storp severes, catch busins, sumps, and detention basins provided with this project shall be cleaned at construction completion and prior to final acceptance. Cleaning may also be required during construction if the traps are not furnitioning properly.

NASSCITURS
The contractor shall hapect all erosion control neasures at least once every seven (7) calendar days, and within 24 hours of a storn event of 83 hockes or greeter (or rapivalent snorfall) and in accordance with NPEES guidelines. Hecessary repairs or clien up to nathful the effectiveness of the control neasures shall be done hendelitely.

I. EXCAVATION AND GRADING - (EARTHWORK)

<u>CENTER. STANDARDS</u>

Unless Specifically nodified below, all executation and grading — (centworld shall be done in accordance with the Lorest Satisfactions of the "Standard Specifications for Road and Bridge Construction in Illinois," as published by IDDT, Letest Edition.

SITE <u>PREPARATIONS</u>

There is a proper proper to the state of preparations, the control to shall become familiar with the soil erosion control specifications. The establishment of erosion control procedures and the placement of fitte prefixing, etc. to protect adjacent property shall occur before mass pracing begins, and in accordance with the placement on Schedule.

Tree protection fencing shall be placed around any trees designated to be preserved within the construction zone Fencing shall be placed in a circle centered around the tree, such that the entire drip zone (extent of furthest extended branches) shall be within the fence linits. The existing grade within the fenced area shall renain

<u>Exam LITAL</u>

Bendition for existing structures, pavements, curbs, flatwork, utilities, etc. shall be disposed of at an offsite durp site provided by the contraction. Bestle disposal will only be allowed if approved by the comer. Existing water wells shall be closed and capped in accordance with the Illinois Vator Vell Construction Code, as published by the Department of Public Health. Existing septic tanks and grease traps shall have all liquids and solids renoved by a licensed waste hauler prior to structure renoval or filling by the contraction.

CLEARING AND GRUBBING

Unless noted for preservation, all vegetative growth including trees and tree stumps shall be removed from the

IDESTIL ESTIDIAL
TOPOSIL REMITIVE
TOPOSIL
TO

UNSUITABLE MATERIA.

Unsuitable subgroups external shall be removed from mouthery, driversely, parking lot, building pad, and any unsuitable subgroups obstantly soft underlying soft shall be removed from all structural improvement areas, to receive clay "fill, and sherever else designosted on the siste. If underlying structural subgroups deeper than one inch under construction equipment or if the noisture content exceeds that needed for prompaction, the sol shall be scarrified, dried, and encompacted to the required specifications.

EXCAVATION AND EMBANKMENT.
Upon completion of topsoil removal, the contractor shall perform excavation and embankment (fill) operations in accordance with the incroovement plans. ctural embankment material shall be placed in level uniform layers so that the compacted thickness is eximately six inches. Each layer shall be thoroughly mixed during spreading to insure uniformity.

blankment material within roadway, driveway, parking areas, and other structural clay fill areas shall be expected to a ninimum of ninety percent (900 of naximum density knodified proctor nethod), or to such other mistly as determined appropriate by the soils empierer. Enbankment for building paids shall be conpacted to a ninum of ninety-five percent (950 of naximum density (modified proctor nethod), or to such other density as terhined appropriate by the soils engineer.

Embankment material within non-structural fill areas (random fill) shall be compacted to a minimum of eighty-five percent (85%) of maximum density (modified proctor method), or to such other density as determined appropriate by the salls engineer.

All subgrades for proposed street and pavement areas shall be proof-rolled by the contractor and any unstable areas shall be renoved and replaced as directed by the soils engineer. <u>RACKFILLING CURBS, PAYEMENT, ETC.</u>
Curbs, pavements, sidewalks, etc. shall be backfilled by the contractor after installation in accordance with the improvement plan grades.

IDPSDIL RESPREAD

Except where otherwise noted, the contractor shall respread a rinhum six (6) inch layer of topsoil on all devianted open space, parkey, landscape, and other non-structural areas.

INSPECTION BY THE SOILS FININEER
The owner provided soils engineer shall closely supervise and inspect the grading operations, particularly during the removal of mustitable naterial and the construction of entoniments or building pads. All testing, inspection operations of majorities of the construction of entoniments or building pads. All testing, inspection appearations of the construction of entoniments of entoniments of the construction of entoniments of ent

GRADING TOLERANCE Building pad elevations, subgrades for paverent, driverays and sideralks, and all yard/open space areas shall be completed within a tolerance of plus or minus 01 foot of design subgrade elevations.

UTILITY INSTALLATION PREPARATION
Prior to utility construction, proposed pavenent areas, building pads, driveway and sidewalk areas,
yard/open space areas shall be rough graded to plus or ninus one foot of design subgrade elevations. NUTL RIGARDING PLAN GRADES
Grade elevations shown on the improvement plans are finished grades. Pavement and/or topsoil respread
thicknesses must be subtracted to determine subgrade elevations.

SILL BOBBLE SCENETS

Soll beings reports, available at the office of the engineer or owner, are solely for information and guidance for the contraction. The engineer and owner nake no representation or warranty regarding the information contained in the boning logs. The contractor is encouraged to nake his own investigation and plan his work accordingly. Arrangements to enter the property during the lod place may be nake with the owner. There will be no additional payment for expenses incurred reaching from adverse soil are ground settle conditions.

SUBBABLE RESIGN CRITERIA
Feverent subgrade shall have a ninkup IBR of 33 as determined by the sole empheer. The proposed povenent
Feverent subgrade shall have a ninkum IBR of 30. If areas of povenent subgrade one encountered which do not
neet the ninkum IBR requirement, subgrade renedal work or pavenent design revisions will be ordered by the
owner to obtain equivalent pavenent strength. III. UNDERGROUND UTILITIES - UNIVERSAL

GREAM\_STANDARDS

GREAM\_STANDARDS

In the standard Specifications for the constructed in accordance with the "Standard Specifications for the standard Specifications of the "Standard Specifications for not care may be seen Main Construction in Illinois", Latest Edition, along with applicable sections of the "Standard Specifications for Road and Bridge Construction in Illinois" as published by IDIOT, Latest Edition, and the construction details and specifications of the applicable governmental agency.

GENERAL WORK SCOPE Underground utility of GENERAL VIDEX SCOPE
Indeerground utility construction shall include trenching or augering; installation of pipe, structur castings; backfilling of trenches with compaction; and testing as required. Fittings and accessories necess complete the work nay not be specified, but shall be considered inclinental to the cost of the contract.

GRADE PREPARATION
Rough proding to within one foot of finished subgrade shall be completed by the earthwork contractor prior convencement of underground utility construction.

<u>BE-VAIRING</u>
The contractor is responsible for devetering any excavation for the installation of sever or water <u>Beestering</u> will be considered incidental to the respective underground utility construction.

<u>EXCESS TRENCH MATERIAL</u>. The contractor shall spread excess excavated trench naterial adjacent to the trenches in an orderly fashion so so as not to create a hozard or obstruction, and to maintain the site in a workable condition.

forumen section.

Using a pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using a non-shear mission coupling to hold assembly firmly in place.

<u>UTILITY STRUCTURE SELECT BACKFILL</u>
Where select granular bedding and backfill is required around utility structures, the cost for same shall be nerged into the structure cost.

STRUCTURE CASTINES
THE DESCRIPTION OF SORTINES AND THE STRUCTURE SHAll be as indicated on the plans, and the cost of sone shall be integrated into the respective structure cost.

HIBIZIONIA. AND VERTICAL SEPARATION DE VAIER AND SEVER MAINS
Horizontal and vertical separation between verte and sever nains shall be naintained in accordance with the Standard Specifications for Vater and Sever Main Construction in Illinois and said specifications for Vater and Sever Main Construction in Illinois and said specifications standard drewings (8), 19, 20, 22, 20, and 20.

FLOOR DRAINS AND FOOTING DRAINS
All Floor drains and floor drain sump pumps shall discharge into the sanitary seven. All downspouts, footing
drains and subsurface stormwaters shall discharge into the storm seven or onto the ground - not into the

<u>SANITARY SEVER PIPE</u>
Sonitary severs and services (or conbined severs in conbined sever areas) shall be constructed of one or nore of the following noterials as specified on the plans: FVC gravity sever pipe conforming to ASTM D-3034 for pipe diameters of 4 inch to 15 inch, or conforming to ASTM F-679 for pipe diameters of 18 inch to 48 inch, with ninimus SR of 26, and with Elastonenic passet to ASTM D-680 and D-673 with solvent ceremit selded jubrits conforming to sensor large yearvies and Lordorn to ASTM D-680 and D-673 with solvent ceremit selded jubrits conforming to sensor plants of the conforming to solvent ceremit selded in AVA C-151 (AMSI 21.50) with push-on joints conforming to AVAY C-111 (AMSI AEIII)

SANITARY SEVER BEDDING
SONITARY Severe shall be installed on compacted grounder crushed store seeding, 1/4 linch to 3/4 high in size
Sonitary severe shall be installed on compacted grounder crushed store shall be some store of some design of the store of the store

AMITIARY STUER MANGERS

Manholes shall be 4 foot dimenter precast reinforced concrete structures with eccentric cones. Cone openings shall be certified persisted to mainline flow. Structure sections and adjusting rings shall be securely sealed to adjusting rings shall be securely sealed to Mostic shall be applied such that no surface or ground water inflow can enter the structure. All structures shall be equipped sith appropriate steps, frome and lid, and if indicated shall include an internal or external chimney seal (see construction standard detail).

IESTIME
Sonitary severs including nonholes and service lines shall be subjected to either an infiltration test or air test
(and deflection test for flexible pipe) by the contraction Allowable infiltration shall not exceed 200 gallons per
inch diameter of pipe per nile per day. Vaccum testing of namindles shall be in accordance with ASTM C-124. On
Construction in Illinois. The contractor shall coordinate the testing with all applicable governmental agencies.

Mah. line soritary sever shall be televised prior to acceptance and a BVD shall be provided to applicable governmental agencies. Corrective work required shall be done invediately. Cost for televising shall be nerged into the unit price for the sever nice.

VALTE MIN. DIX.

Vister and shall be cenent-lined ductile iron pipe class \$2 conforming to AVVA C-131 (ANSI A21.31). Rubber gastet before not shall conform to AVVA C-11 (ANSI A21.31). Push-On pipe joints shall incorporate Field Lock Gastet's by U.S. Pipe or Senies 1700 Rega-tup, Ducties iron Fittings shall conform to AVVA C-101 (ANSI A21.31). Center tilling is shall conform to AVVA C-101 (ANSI A21.31). Center tilling is shall be sh

EIIINGS
Water nair fittings (bends, elbow, tees, increasers, reducers, etc.) nay or nay not be specifically referenced or the nair and quantities " if not, they shall be considered incidental and included in the lineal footage coast for the pater may be according to the pater may be not the pater may b

<u>DEPTH DF COVER - MAIN AND SERVICES</u>

Minimum depth of cover from finished grade to top of water nain or water service pipe shall be five and a

VALUE VALVES

Unless specifically noted otherwise, gate valves in accordance with the applicable governmental standard shall be used wherever valves are called for. Valves shall be lead to be used wherever valves are called for. Valves shall be read for 500 ps in chicking pressure.

VALVE VALETS.
Valve vaults shall be used at all valve locations. Vaults shall be precast reinforced concrete structures, depeter as noted on the plans. Vaults shall include appropriate frames and lids (see construction standard depeters as noted on the plans.)

INTERING AND DISINFECTION

TEXTING AND DISINFECTION

THE BESSEL OF THE PROPERTY OF THE PROPERT

VI. UNDERGROUND UTILITIES - STORM SEVER

Reinforced concrete per of the class as indicated on the plans, conforming to ASTM C-76 with joints and - Cenert-lined ductile iron pipe class 50, conforming to AVA C-131 (AMSI 2135) with push-on joints conforming to AVA C-131 (AMSI AEII). AMSI AEIIII (AMSI AEIII) and AMSI AEIII (AMSI AEIII) and AMSI AEII

SIGN\_SYVE\_SEDDING.

STORM\_SYVE\_SEDDING.

STORM\_SYVE\_SEDDING.

STORM\_SYVE\_SEDDING.

STORM\_SYVE\_SEDDING.

STORM\_SYVE\_SEDDING.

1.4 inch to 3/4 inch in size (IDIT production of the contailed pipe diameter, but not less than dinches non-nec than 8 inches sedding shall be retard upward to the springling of the pipe for concrete and cinches non-nec than 8 inches pipe for the pipe for concrete and inches for necessary sedding shall be wrighted into lineal footope cost for the respective sever pipe.

IN.ETS. CATCH BASINS. AND MANUES.
All structures shall be pre-cast reinforced concrete (see construction standard details). Structure sections and adjusting rings shall be securely seeled to each other with flexible bituminus nastic. Gaps at pipe connections shall be filled and securely saided with non-shrink hydroulic centent nortar. Frames and grates (or loss shall be as noted on the plane and shall be securely grouted with non-shrink hydroulic center nortar. SPECIAL STRUCTURES

If called for on the plans, special structures (headwalls, boxes, etc.) shall be in accordance with construction standard details.

VII. PAVEMENT, CURBS, AND SIDEWALKS

(<u>GENERAL\_STANDARDS</u>)

Unless specifically modified below, all pavement, curb, and sidewalk construction shall be done in accordance with the applicable sections of the "Standard Specifications for Road and Bridge Construction in Illinois," as published by 10TD, latest edition.

a subgrade for condeys, povenent, and/or curbs and walks shall be finished by the excavation contractor within all foot, plus or mirus, of plan elevation. The poving contractor shall confirm the proper preparation the rough subgrade, or notify the owner and engineer in writing of any discrepancies. Prior to placense. Prior to placense. Prior to placense. Prior to placense is the poving contractor shall fine grade the subgrade to insure proper thicknesses for all bases jowernet courses.

BILLMINUS PAYMENT
Billwinus Payment that consist of the sub-base course, base course, hat-tix asphit brider course, and
bridges and sub-base course, and the sub-base course, hat-tix asphit brider course, and
bridges and sub-base course. The sub-base course hat be sub-base course hat be sub-base course for base course of the sub-base course for base for the sub-base course for base course for base course for base for the sub-base course for base course for base course for base for the sub-base course for base course for base course for base for the sub-base course for base for the sub-base course for base course for base for the sub-base course for base for the sub-base course for base for the sub-base course course f

VEALER SIGNIFICATION OF BEHINDING AND MY REPORT OF THE STATE OF THE ST

BITURINDUS PAYDENT INSTALLATION
After installation of the base comes, all treaffic shall be lept off the base until the birder course is placed.
After installation of the base comes and upon completion of inspection and approval by the applicable
governmental approval and some, the birder shall be cleaned, a totack cost shall be applied at a rate of 0.05
gol/square yard (cost incidental), and the surface course shall be placed. All danaged areas in the birder, base or curb shall be repared prior to surface replacement.

SIMPORTS CHARGET FAVIENT

Concrete pawers and asso course shall be of the thickness as shown on the plans. All concrete pawerent and base courses shall be reinforced with 6 inch x 6 inch N0. 6 selded wire fabric. All concrete pawerent shall be broon finished. Contraction joints shall be savet inhealisely after pawerent installation and initial curing.

Projection Proper use or isolation and Lapanson Johns in Londrete revenents:

[DREETE\_LORS\_MIG.GITER\_
DREETE\_LORS\_MIG.GITER\_
DREETE\_LORS\_MIG.GITER\_
DREETE\_LORS\_MIG.GITER\_
Pre-molded Fiber expansion Joints ( 3/4 inch x 48 inch jober round steel dose) bars shall be installed at 65 foot intervals and at all P.C.p.; P.T.F., cure returns, and at the end of each point, Alernate installed at 65 foot intervals and at all P.C.p.; P.T.F., cure returns, and at the end of each point, Alernate install data be used sherever sidesally about the curle Contraction Joints shall be saxed at 15 foot intervals. In C.D. reinforcing bars 40 in 3.0 if cell tong, about the curle Contraction Joints shall be saxed at 15 foot intervals. In C.D. reinforcing bars 40 in 3.0 if cell tong, about the installed sherever curb and gutter crosses utility intersect curb lines (All Requirements - see construction standard details). Concrete curb and gutter shall be placed and without to intervals to prince promote the proposal contraction standard details). Concrete curb and gutter shall be placed and without to delinest any honey-contraction standard details).

CINCENT SIEVALSS

CONTROL TO STATE AND THE PROPERTY OF THE PRO CINCRETE CURING
Curing and weather protection of all concrete surfaces (pavenent, curb, sidewalk) shall be per the standard procedurations.

INTERUPLASTIC DAYENTI MARKINGS.
Thempolastic pavement antihips and symbols, of the type and color as noted on the plans, shall be installed on public rookeys. Thermoplastic shall only be applied when the air temperature is 55 degrees Fahrenheit or operator, and no later than November 1st or earlier than Aport 15th.

TERRECTS SPECIFICATIONS:

CORTINATION SHALL BY IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE POLLOWING, CONTINUENCES AND ALL BY IN ACCORDANCE WITH THE APPLICABLE SECTION (LATEST EDITION), BY THE POLLOWING, CONTINUENCES AND ALL PROPRIOR SHALL BY THE POLLOWING, BY THE POLLOWING, CONTINUENCES AND ALL PROPRIOR TO SECTION SEC

THE VILLAGE OF ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK, CONTRACTOR SHALL DETERMINE ITEMS REQUESTING INSPECTION PRIOR TO START OF CONSTRUCTION OR REACH WORK PHASE

. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDBI CONVERSION FACTOR 1S FT. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITINSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.

C. GENERAL NOTES

. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THES WORK ON THE PROJECT.

THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PROICY TO BEGINNING THE CONSTRUCTION OPERATIONS.

6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MARD, AND OWNER.

R. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION. D. RECORD DRAWNING SHALL BE KEPF BY THE CONTRACTOR AND SUMMITTED TO THE ENGINEER AS SOON AS UNDERGOUND IMPROVEMENTS ARE COMPLETED, FIRMS, PAYMENTS TO THE CONTRACTOR SHALL BE RELD UNITL THEY ARE RECEIVED, ANY CHARGES IN LEIGHT, LOCATION OR ALLIDINESS SHALL BE SHOON ALL MYST SHALL BE SHOON THE DOWNSTREAM MANHOLE, ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE ITED TO A FIRE HIGHDRAY!.

. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEMERS.

I. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PROOR APPROVI JUNE 2014 THE PROPERTY OF THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PROOR APPROVI JUNE 2014 THE STANDARD SEWER PAIN CONSTRUCTION IN SLIDIOS (LATEST EDITION).

5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.

S. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE POLLOWING: PIPE MATERIAL STRIFFED CLAY PIPE JOINT SPECIFICATIONS ASTM C-425 REINFORCED CONCRETE SEWER PIPE ASTM C-76 ASTM C-443 AST IRON SOIL PIPE UCTILE IRON PIPE ANSI A21.51 ANSI A21.11 ASTM D-3212 ASTM D-3212 ASTM D-3034 EGH DENSITY POLYETHYLENE (HDPE) ASTM D-3350 ASTM D-3035 ASTM D-3261,F-2620 (HEAT FUS ASTM D-3212,F-477 (GASKETED) ASTM D-2241 AWWA C900 AWWA C905 ASTM D-3139 ASTM D-3139 ASTM D-3139

HE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND PPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN NO PPP PARTERIAL PRIVAL IS USED FOR SEVER CONSTRUCTION OF A CONNECTION IS MADE. PIPE SPECIFICATIONS JOINT SPECIFICATIONS

-INCH TO 24-INCH DOUBLE WALL LINCH TO SOLINCH TRIPLE WALL D3212, F-477

REQUIRES STORE BEDDING WITH TADIO STORM SEWER CONSTRUCTION IN COMBINED SEWER FOULINES STORE BEDDING WITH STORE 4" TO 1" IN SIZE, WITH MINIMAL REDDING THICKNESS TO IN THE OUTSIDE DIAMETER OF THE SEWER PRE, BUT NOT LESS THAN FOUR (4) INCHES NOR M THAN ELGHT (9) INCHES, MATERIAL, SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT L ABOVE THE TOP OF THE PIPE WHEN USING PICC. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR RIPE MATERIALS.

EALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS, SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.

WHEN CONNECTING TO AN EXISTING SEMER MAIN BY MEANS OTHER THAN AN EXISTING WHY, ITE, OR AN EXISTING MANNICLE, ONE OF THE FICLLOWING METHODS SHALL BE USED:

A) A CENCULAR WANCILL OF SEMER MAIN OF MODER TOOS. SPANNERS AND MACHINE OR SIMPLAND A) A CENCULAR WANCILL OF SEMERAND MAIN MODIFIED TOO. SEMENAND AND A MACHINE OR SIMPLAND AND A CENCULAR WATCH A THE MAIN OF THE MAIN SEMENAL WATCH AND A SEMENAL WATCH A THE MAIN OF THE MAIN AND A SEMENAL WATCH A SEMENAL SECTION. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

WEIGHT AT THE WATERWAY CONTROL SHOW SHOW CONSTRUCTION OF THE WATERWAY AND WATERWAY CONSISTENCY OF THE THE WATERWAY CONTROL SHOW CONSISTENCY OF THE SETURE SHOW WATERWAY CONTROL STANCE OF THE SETURE SHAWAFT CONTROL STANCE OF THE SETURE SHAWAFT CONTROL SHAW ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.

ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED

ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NOW-SHRINK CONCRETE OR MORTAR PLUG.

EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.

 ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL
 PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL. . A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

OCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: TION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOLL DISTURBANCE.

5) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 50. SINCH OF PAINFALL OR LIQUID EQUIVALENT PRECIPITATION.

. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINGIS LIRBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES IN MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.

. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEQUENT TRAP OR BASIN, VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN

ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).

. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS. S. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTRO BLANGET

. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES. . THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATI THEM INTO THE GRAINAGE RAIN FOR THE DEVELOPMENT, DRAIN TILES CANNOT SE TIBBUTIARY TO A SARTIARY OR COMBINED SEMER, DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.

IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM BIOSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEMATERING ACTIVITIES.

THE CONTENTOS SHALL BE RESPONSIBLE FOR TEIDHO HOWETERS ON DO LOCALITIZEN FOR THE CONTENTOS WILL BE RESPONSIBLE OF THE RESPONSIB ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN LINTLI REPAIRMENT STARL IZTATION IS CHIEFFED.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABLIZATION. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR. OR MARD.

PROJECT NO 639120 STD. DWG. NO.18

January 17, 2024 1:29:52 p.m. AcadVer: 24.2s (LMS Tech)
Drawing: S:\63912021 - 622 GRACELAND AVE APTS\300\_ENGINEERING\310\_CADD\FINAL\639\_BASE.DWG

14 ° 20

**Attachment 8** 

CALE NON PROJ. MGR. MRI SHEET

ARCH ARCH

S

GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS
ROJECT NOTES AND SPECIFICATIONS

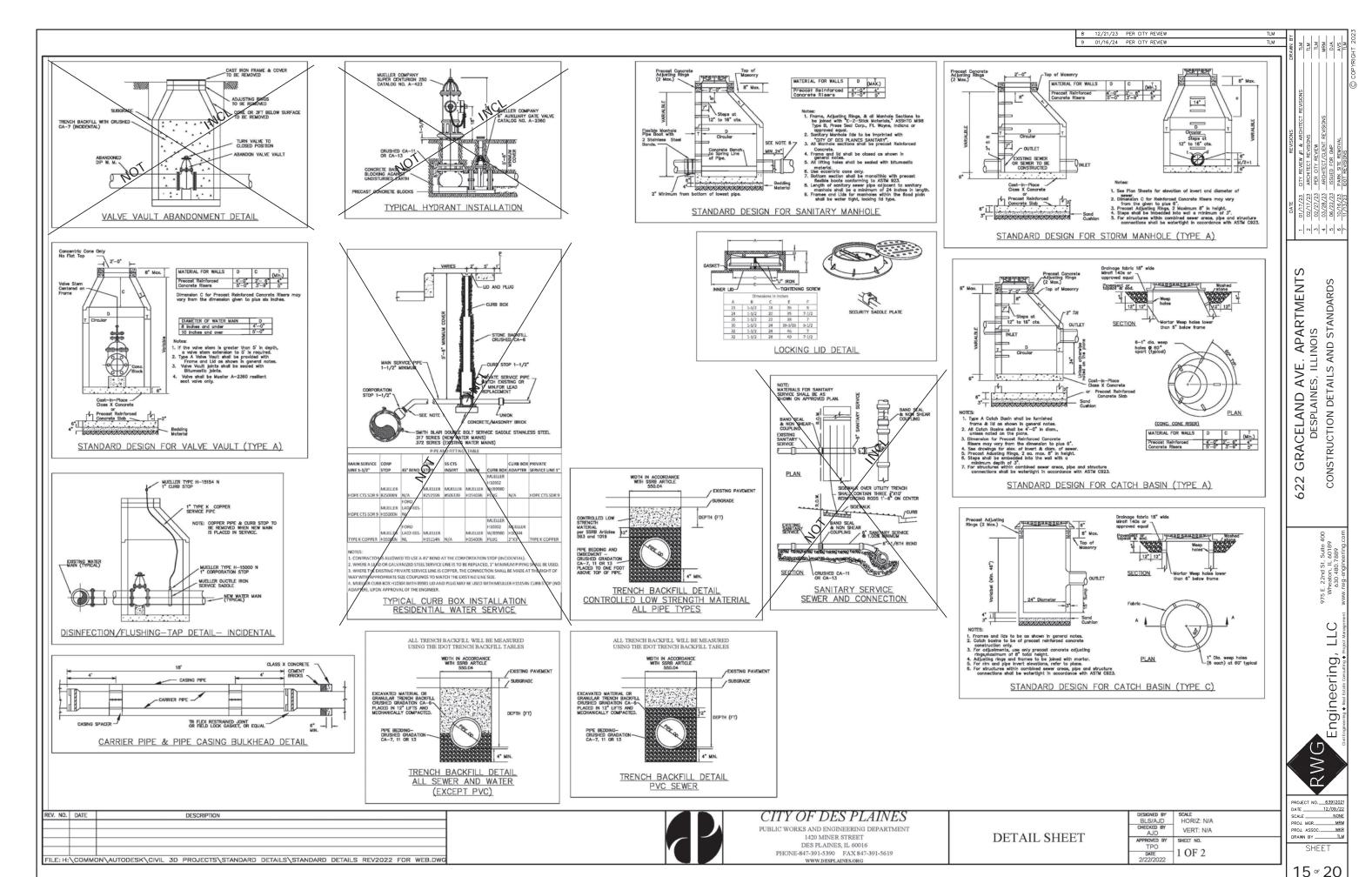
 $\sim$ 

62

LLC

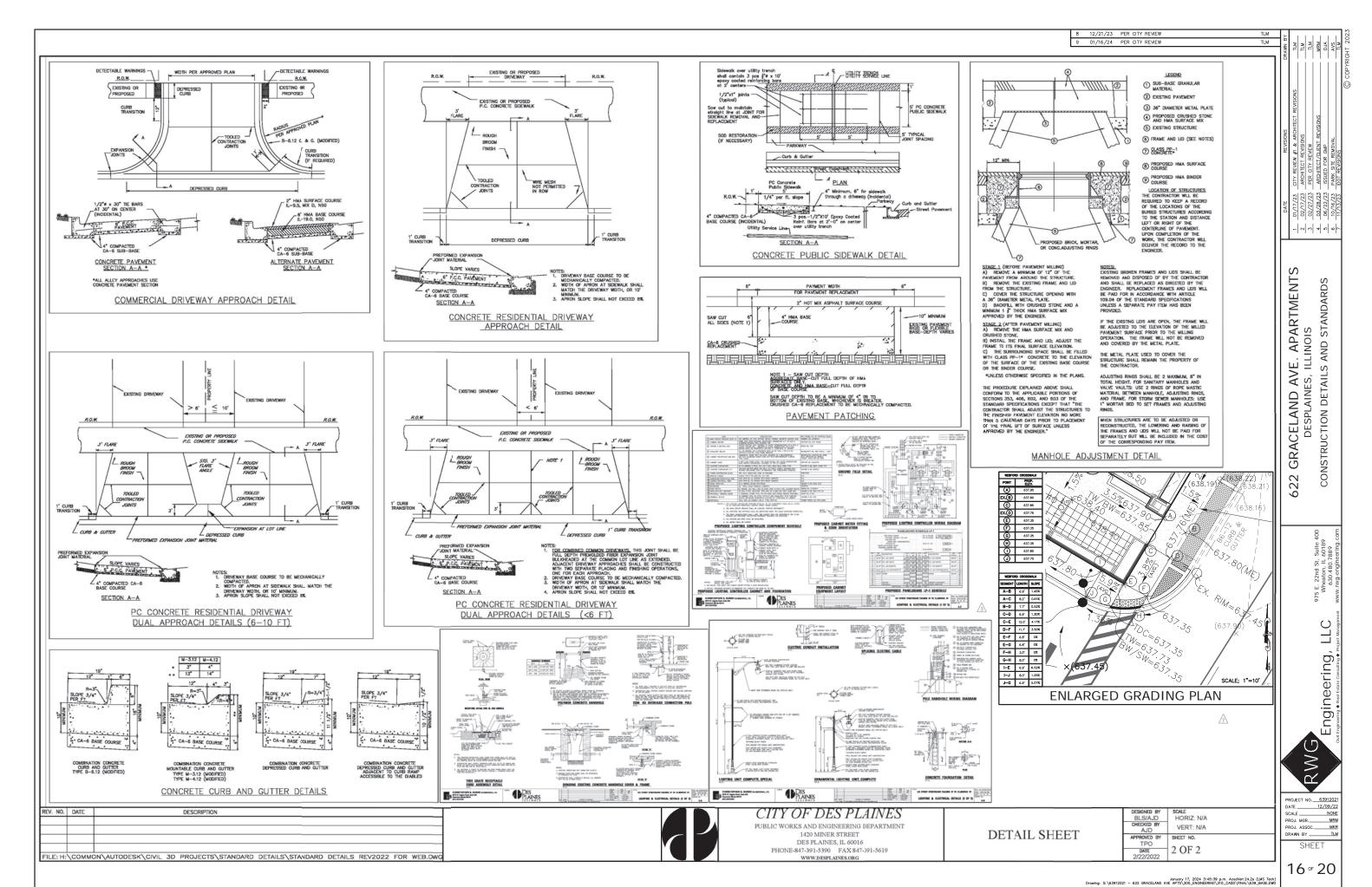
Engineering

Page 32 of 44

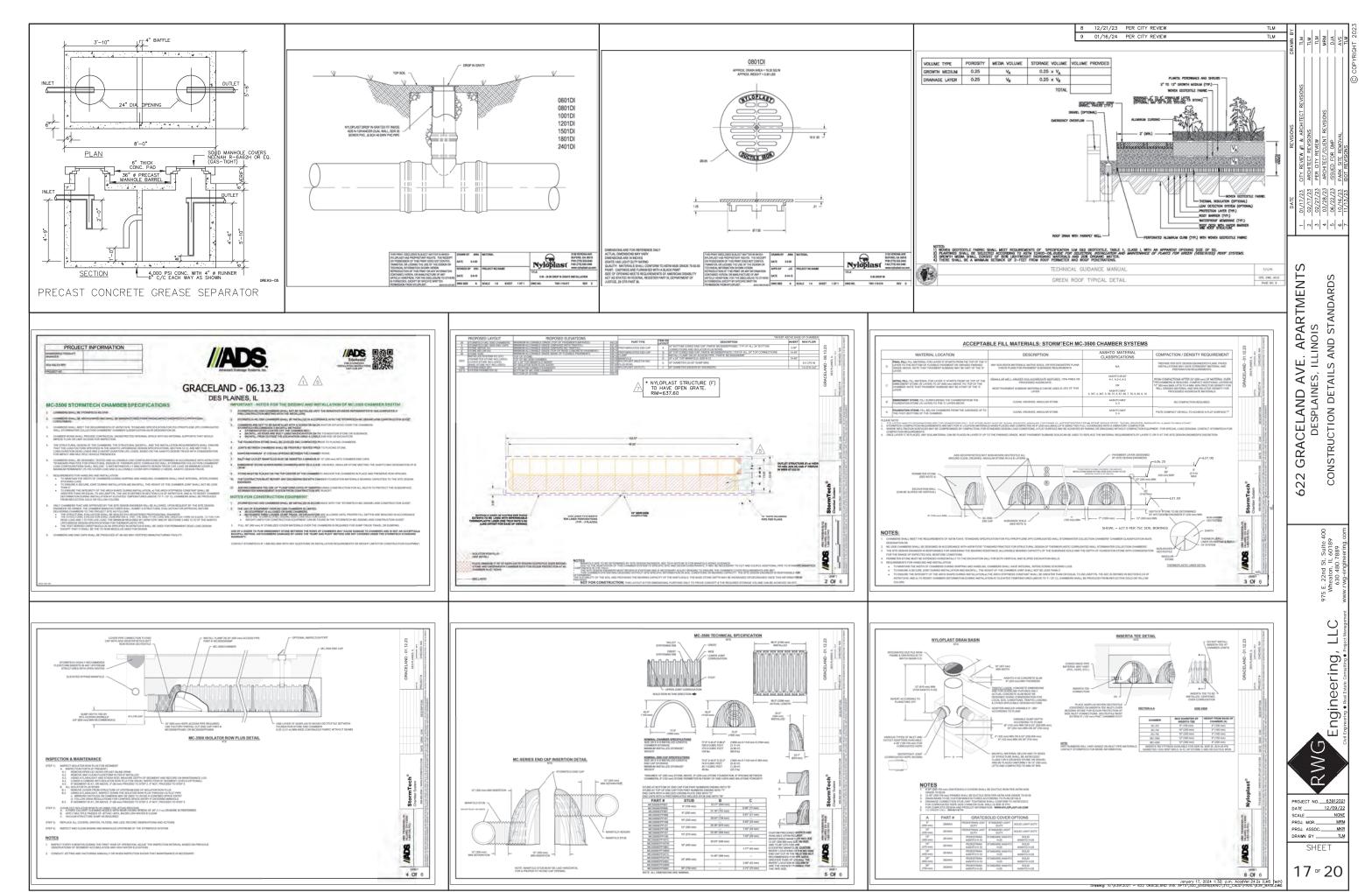


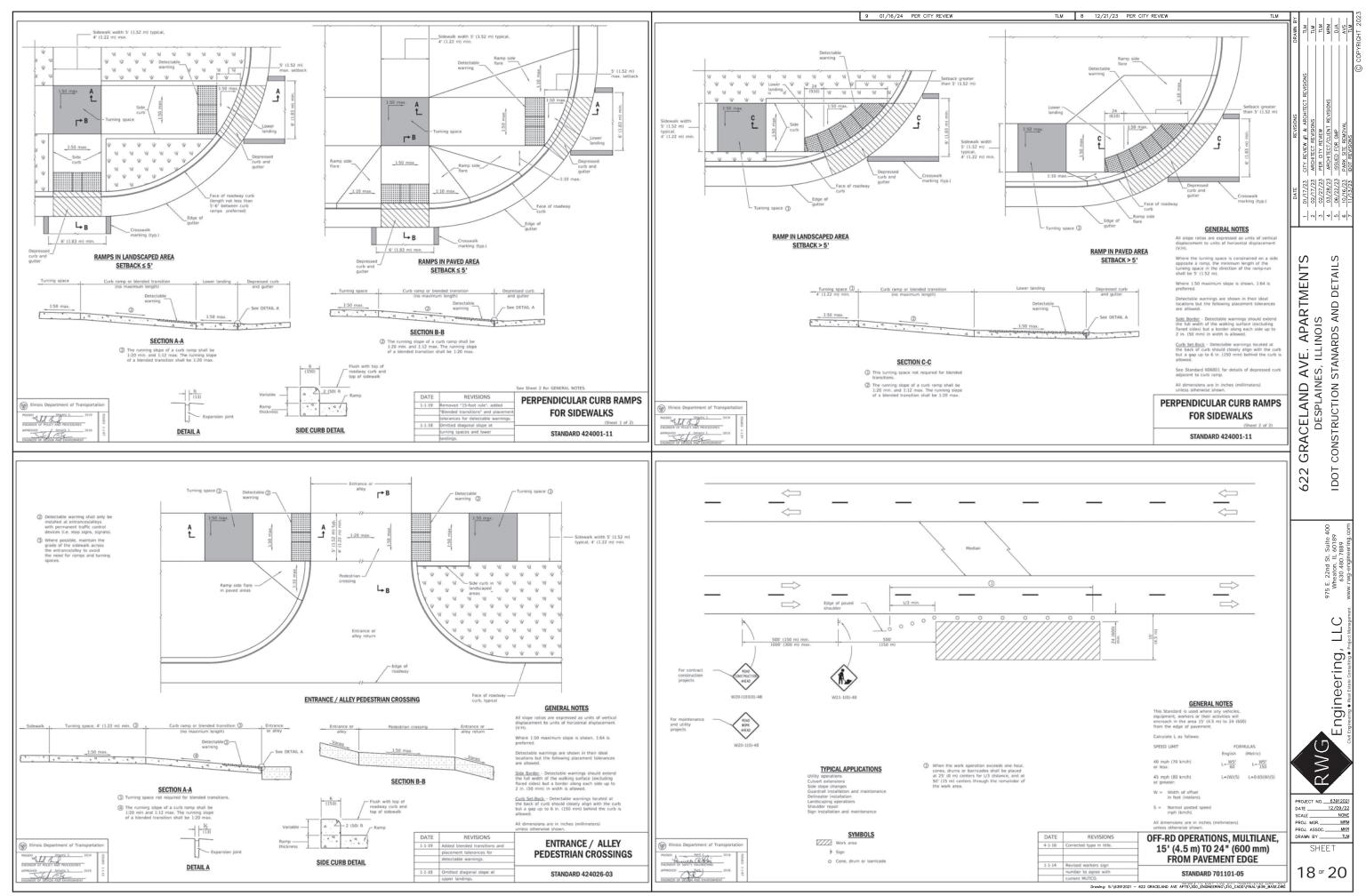
January 17, 2024 1:30:2 p.m. AcadVer: 24.2s (LMS Tech Drawing: S:\63912021 - 622 GRACELAND AVE APTS\300\_ENGINEERING\310\_CADD\FINAL\639\_BASE.DWG

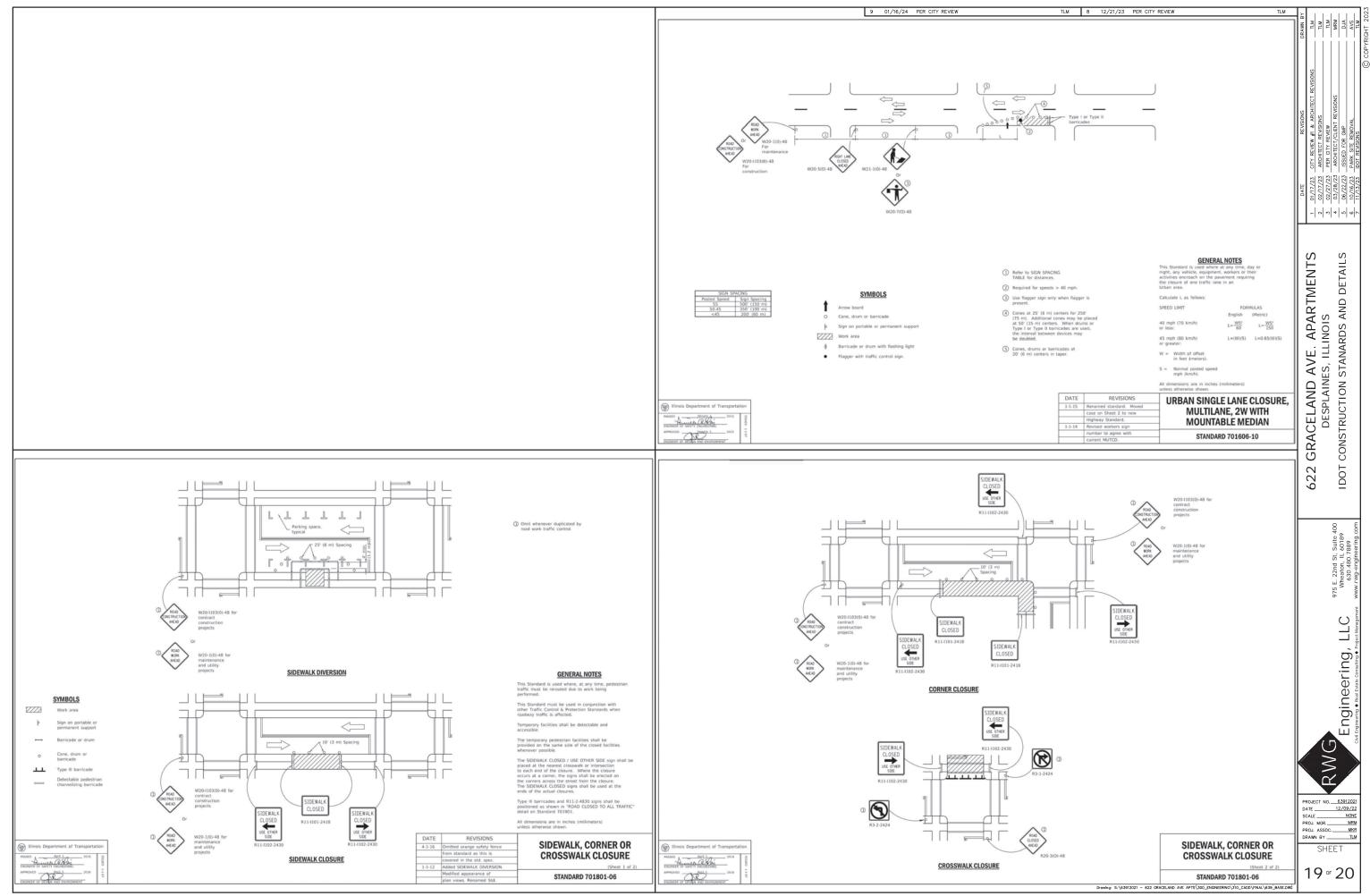
Page 33 of 44

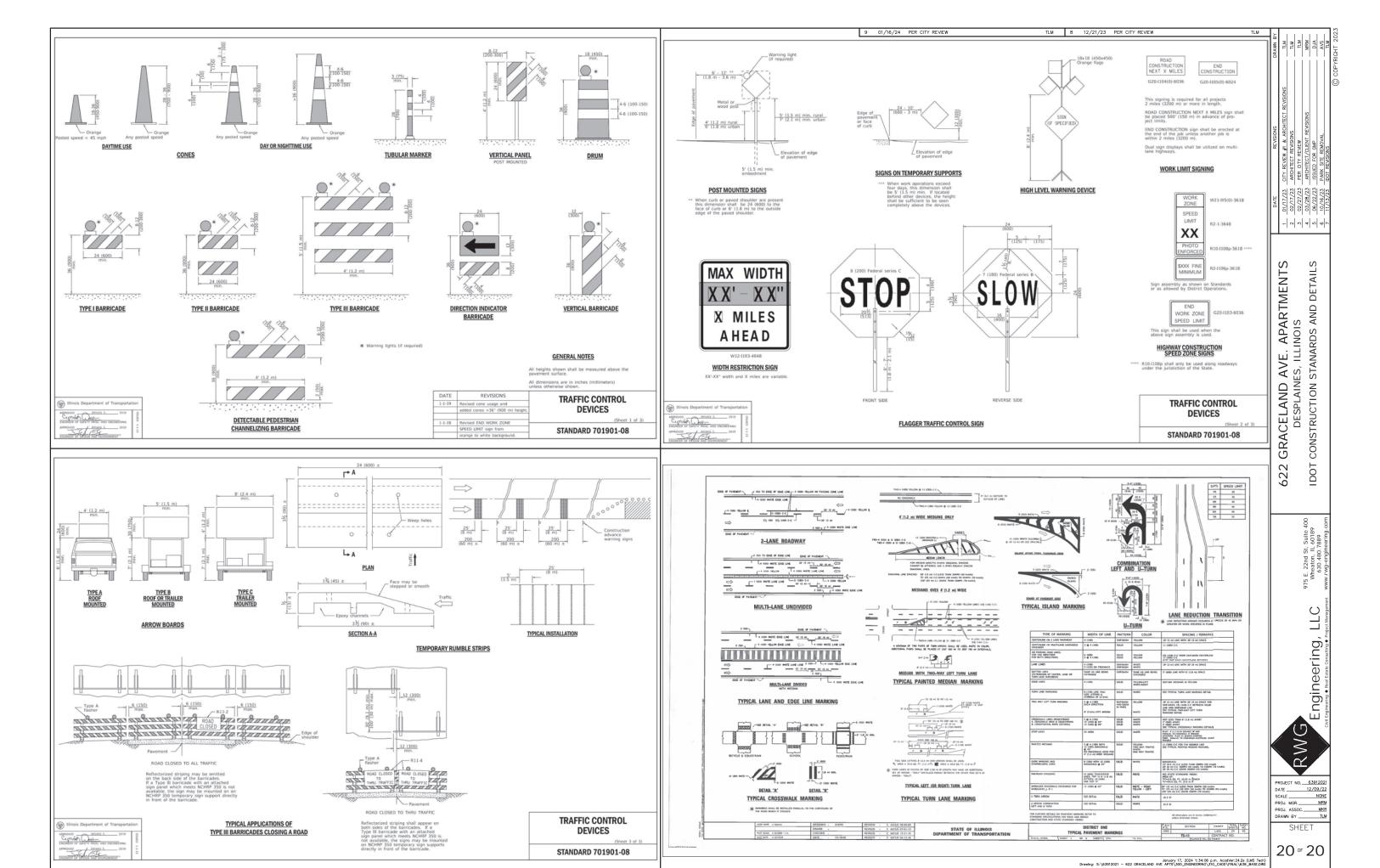


Attachment 8 Page 34 of 44









### STORM DRAINAGE ANALYSIS FOR GRACELAND APARTMENTS DES PLAINS, IL

### PREPARED FOR:

COMPASSPOINT DEVELOPMENT, LLC 2020 SOUTH COOK STREET, SUITE 210 BARRINGTON, IL (630) 577-5203



975 E. 22nd Street, Suite 400, Wheaton, IL 60189 630.480.7889

JOB#639-301 December 9, 2022

Attachment 8 Page 39 of 44

### **PROJECT & SITE DESCRIPTION**

### FINAL ENGINEERING PLANS

### **Graceland Apartments**

### DesPlaines, Cook County, IL

### **Project Overview:**

The final engineering plans for Graceland Apartments include the development of a 1.205 acre site into apartments, restaurant space, and a park area. It is located at the northwest corner of Graceland Avenue and Webford Avenue.

It encompasses two lots combined together: Lot 1 of the new Subdivision Plat, and the "park area" (Parcel 4) to the west. Both lots are being designed together and considered new development by MWRD. Therefore, the entire 1.205 acre proposed site has volume control storage provided per MWRD requirements.

This project also includes the design of a new separate storm sewer along Webford Avenue. Stormwater from Webford Avenue will now **not** enter the existing combined sewer in Webford. Webford Avenue, along with the 1.205 acres of this project, will drain to the new storm sewer flowing west to the separate existing storm sewer in Laurel Avenue.

The proposed development is serviced by city water and a combined sanitary sewer. The sanitary connection is made on Webford Avenue. The watermain connection is made on Graceland Avenue.

A Soil Erosion and Sedimentation Control Plan is included with this phase of work and reflects perimeter silt fence and storm drainage protection. Erosion control measures are to be installed prior to commencement of demolition work and routinely augmented as work progresses.

### **Original Existing Site Drainage Conditions:**

The 1.205 acre property drains in the same manor both in the existing site conditions and in the proposed site conditions. The site drains from north to south. All existing storm sewer onsite flows in that same direction. All existing storm sewer shall be removed onsite and stubbed and plugged at the property line.

Existing grades are matched on all four sides of the property lines. No previous stormwater storage, volume control or detention, was previously provided.

Attachment 8 Page 40 of 44

### **Proposed Site Drainage Conditions:**

As stated above, the 1.205 acre proposed development drains in a similar manor as the existing conditions. Storm water is collected on the roof of the complex and drains through a 10" pipe on the south side of the building. An underground StormTech system is introduced to collect this drainage and provide volume control storage per MWRD requirements and also to reduce the rate of runoff from the site.

The "park area" also has volume control storage and drains into the StormTech system through a 10" ADS pipe. This pipe also carries a minimal amount of offsite flow that previously cut through the existing site.

The 100 year storm flow was calculated for this offsite flow and a portion of the wall/fence in the northeast park area will be notched in order to not block this drainage.

For the sizing of the new storm sewer on Webford Avenue, a conservative assumption was made for a runoff coefficient of the single family lots draining to the street. We used a runoff coefficient of 0.80 for the storm sewer design and we estimated the drainage areas to include over half of the existing single family lots adjacent to Webford Avenue. The new storm sewer was designed below the existing combined sewer to avoid any existing sanitary service connections.

As far as any flood protection areas (wetlands, floodplains, and riparian environments) within 100 feet of this proposed development, that does not exist in our opinion. See FIRMette Map attached.

(See attached calculations for all back up information.)

Attachment 8 Page 41 of 44

## STORM SEWER WORKSHEET

Graceland MRM Description: Designer:

RUNOFF COEFF:

0.013

ROUGH. COEFF.

X.

100

FREQUENCY:

**BULLETIN 75 RAINFALL** 

631.14 630.31 633.64 632.70 633.37 633.72 630.51 ⋛ LOWER MH 637.05 636.72 636.95 636.83 636.35 636.35 637.35 RIM 632.70 632.50 633.69 633.76 632.86 631.14 634.20 630.51 630.31 ≥ UPPER MH 637.20 636.46 636.35 637.05 636.74 636.72 637.35 636.76 RIM (Conservative assumption) 3.90 7.70 3.56 9.10 1.59 3.56 10.13 2.52 2.76 9.10 CAP 33 112 26 45 5 5 136 8 4 3.21 4.97 6.27 8.26 5.15 5.15 2.03 4.54 3.51 VEL FPS 1.20 0.50 09.0 1.42 2.46 1.00 0.75 0.75 0.20 1.00 PIPE SLOPE 12.00 12.00 15.00 15.00 12.00 18.00 12.00 12.00 12.00 18.00 PIPE DIA z 2.38 3.84 6.02 1.87 3.32 7.98 2.23 3.42 7.98 0.21 Ø 6.48 6.48 6.48 3.82 3.82 6.48 6.48 3.82 6.48 6.48 IN/HR 10 10 5 8 30 9 9 8 8 9 9 1/C Z TIME 00 00 00 0 00 00 FLOW Σ 0.03 0.59 0.53 0.37 1.58 0.29 2.09 0.34 CXA 0.040 0.460 0.740 1.200 1.970 0.360 0.640 2.610 0.430 0.660 AREA PQ B TOTAL 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 نٍ AREA 0.430 0.000 0.04 0.42 0.24 1.20 0.03 0.36 0.28 0.00 0.23 AC ADDED 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 0.80 نٍ ex18-ex19 ex15-ex14 MH-MH ex13-2 ex19-7 ex14-5 apt-3 2-6 42 2-3 3-5

North Flood Route: 0.45\*10.8\*0.132 = 0.642 cfs

628.94 628.29

637.05 637.36

629.29

637.00 637.05

10.50

10.02

35

5.94 4.17

1.00 0.40

18.00 21.00

9.99 9.99

3.82 3.82

8 8

00

2.62 2.62

3.270

0.80

0.00 0.00

0.80 0.80

4-8

8-ex26

0.80

628.94

2022-12-05\_Storm Sewer Design\_639

RWG Engineering, LLC JOB#225-301

### WEIR FLOW CALCULATIONS

Designer:	MRM
Description:	100 YEAR

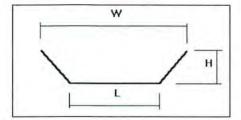
### BASED ON THE FOLLOWING EQUATION:

 $Q = \left[ K \times 2/3 \times L \times (2g)^{0.5} \times H^{1.5} \right] + \frac{1}{2} \left[ K \times 8/15 \times (2g)^{0.5} \times S_1 \times H^{2.5} \right] + \frac{1}{2} \left[ K \times 8/15 \times (2g)^{0.5} \times S_2 \times H^{2.5} \right]$ 

WHERE:

Q = DISCHARGE IN CFS
K = WEIR COEFFICIENT
L = LENGTH IN FEET
g = 32.2 FT/SEC
H = HEAD IN FEET
S1 = LEFT SIDE SLOPE

S2 = RIGHT SIDE SLOPE



WEIR DATA: OVERFLOW UNDER FENCE

1.	LENGTH, L	1.00	FEET
2.	WEIR COEFFICIENT, K (K<1.0)	0.50	
3.	LEFT SIDE SLOPE, S (H:V)	0	: 1
4	RIGHT SIDE SLOPE, S (H:V)	0	: 1

RATING TABLE	HEAD (FEET)	DISCHARGE (CFS)
	0.20	0.24
	0.30	0.44
$Q(100) = C \times I(100) \times A$	0.40	0.68
	0.50	0.95
A = 0.132 ac.	0.60	1.24
	0.70	1.57
I(100) = tc = 10 min.	0.80	1.91
I(100) = 10.80	0.90	2.28
	1.00	2.68
C = 0.45	1.10	3.09
	1.20	3.52
$Q(100) = (0.45) \times (10.80) \times (0.132)$	1.30	3.96
STADSER - ACTIVE COMPRISES TARGET A LA	1.40	4.43
Q(100) = 0.642  cfs	1.50	4.91
Weir = 0.95 cfs		

# National Flood Hazard Layer FIRMette



This map image is void if the one or more of the following map Without Base Flood Elevation (BFE) Base Flood Elevation Line (BFE) The flood hazard information is derived directly from the GENERAL ---- Channel, Cuivert, or Storn STRUCTURES | 1111111 Levee, Dike, or Floodwall Water Surface Elevation Digital Data Available Hydrographic Feature **Jurisdiction Boundary** 17.5 OTHER AREAS OF FLOOD HAZARD OTHER AREAS MAP PANELS SPECIAL FLOOD HAZARD AREAS OTHER FEATURES FLOODW ES3 FEET 634 FEETS AREA OF MINIMAL FLOOD HAZARD T41N ROE S17 T41N R12E S20 1,500 1,000 Plames 200 250

### Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Regulatory Floodway

0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainag areas of less than one square mile zone Future Conditions 1% Annual Chance Flood Hazard Zone

Area with Reduced Flood Risk due to Levee. See Notes. Zone

Area with Flood Risk due to Levee Zone D

NO SCREEN Area of Minimal Flood Hazard Zone X **Effective LOMRs** 

Area of Undetermined Flood Hazard Zon

Channel, Culvert, or Storm Sewer

Cross Sections with 1% Annual Chance

Coastal Transect

Limit of Study

Coastal Transect Baseline

Profile Baseline

No Digital Data Available

The pin displayed on the map is an approximate point selected by the user and does not represe an authoritative property location.

This map compiles with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown compiles with FEMA's basemap

authoritative NFHL web services provided by FEMA. This map reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or was exported on 12/8/2022 at 5:31 PM and does not

elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for



### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

### **MEMORANDUM**

Date: January 3, 2024

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner \( \sqrt{S} \)

Cc: Jeff Rogers, Director of Community and Economic Development

Ryan Johnson, Assistant Director of Community and Economic Development

Subject: Major Variation for Fence Design in the R-1 Single Family Residential District at 1183 S. Des

Plaines River Road (2<sup>nd</sup> Ward)

**Issue:** The petitioner is requesting a major variation from Section 12-8-2.D of the Zoning Ordinance to allow a fence design with the finished side of the wood fence facing inward towards the subject property instead of the finished fence side facing neighboring properties as required.

**Petitioner:** Kathryn S. Kuntz, 1183 S. Des Plaines River Road, Des Plaines, IL 60016

Owners: Donald and Kathryn Kuntz, 1183 S. Des Plaines River Road, Des Plaines, IL

60016

Case Number: 23-047-V

**PIN:** 09-21-105-016-0000

Ward: #2, Alderman Colt Moylan

**Existing Zoning:** R-1, Single Family Residential District

**Existing Land Use:** Single Family Residence

**Surrounding Zoning:** North: R-1, Single Family Residential District

South: R-1, Single Family Residential District

East: R-1, Single Family Residential / I-1, Institutional Districts

West: R-1, Single Family Residential District

**Surrounding Land Use:** North: Single Family Residences (residential)

South: Single Family Residences (residential)

East: Des Plaines River; then, Single Family Residences (residential)

West: Single Family Residences (residential)

**Street Classification:** Des Plaines River Road is a minor arterial under Des Plaines jurisdiction.

**Comprehensive Plan:** Single Family Residential is the recommended use of the property.

**Zoning/Property History:** 

Based on historic aerial imagery, the subject property has been utilized as a single-family residence since 1961. City records indicate that the original fence permit was in 1990 approving a six-foot-tall wood fence along a portion of the north and south property lines of the subject property with the notation that the finished side of the fence must face the adjacent lots. However, the fence sections were installed with the finished side of the fence facing inward towards the subject property. It is unknown whether a final fence inspection was required or completed by City staff in 1990.

On August 24, 2022, staff received a complaint from a neighbor that the existing wood fence on the subject property was in disrepair. In 2022, a fence permit was approved to replace 300 linear feet of the southern fence section that was in disrepair with the notation that fences shall be erected so that all supporting members (i.e., posts, rails) and the rough unfinished side face towards the permit owner's property. However, the replacement fence section was installed with the finished fence side facing inward towards the subject property resulting in a failed final fence inspection on December 14, 2022.

On April 10, 2023, staff issued another warning to the property owner to either alter the fence to meet the requirements in Section 12-8-2.D of the Zoning Ordinance or apply for a variation. The property owner did not alter the fence or apply for a variation, so staff issued a citation for May 4, 2023. Since this citation, the court hearing has been continued multiple times to provide the petitioner additional time to submit a complete application. A completed major variation application was submitted for the fence on November 28, 2023.

**Project Description:** 

Overview

Petitioner Kathryn S. Kuntz has requested a Major Variation to retain the existing fence design with the finished side facing inward towards the subject property. The subject property at 1183 S. Des Plaines River Road contains a two-story single-family residence with an asphalt driveway and various patio and walkway surfaces as shown in the attached Plat of Survey. The subject property is located along Des Plaines River Road within the R-1 Single Family Residential district and is accessed by a single curb-cut. The subject property is located in the floodway based off Federal Emergency Management Agency (FEMA) data, which allows the replacement of an existing fence structure in a floodway, but not the installation of a new fence.

### Non-Conforming Fence Structure

The fence regulation requiring the finished side of fences to face adjoining lots has been in existence as early as 1975—as referenced in Title VI, Chapter 7 of the city code—which predated the installation of the fence sections installed on the subject property. If the fence regulations in effect in 1990 did not have this requirement and a permit was issued, the fence would have been considered a non-conforming structure and it would have been permitted to be repaired and replaced as is, pursuant to Section 12-5-6, non-conforming structures. However, the installation was completed in conflict with the regulations and therefore the fence is considered *illegally* non-conforming.

### PZB Considerations

Given the non-conforming fence described above, the PZB may wish to analyze if the hardship identified by the petitioner truly meets the standards for variation and if the approval of the variation request for an incorrectly installed fence may set a negative precedence. Nonetheless, see staff's analysis of the variation standards.

<u>Variation Findings:</u> Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

<u>Comment:</u> The hardship identified by the petitioner is the large expense associated with the alteration of a few hundred linear feet of fencing—which was installed incorrectly following the approval of the 2022 fence permit—to make it conforming with Section 12-8-2.D of the Zoning Ordinance requiring the finished side of fences to face adjoining lots. The petitioner also describes that the variation is necessary to coordinate the replacement fence section with the original section, which was installed incorrectly following approval of the 1990 fence permit. While it could be inconvenient or costly for the property owner to correct the fence section to meet the approved Site Plan, the Site Plan was approved with the condition that the fence is installed so that the finished side faces adjoining lots. As such, it can be argued that the hardship described by the petitioner was self-created (see response for standard 3 for additional details). Nonetheless, the PZB should decide.

PZB	Additions	or	Modifications	(if	necessary):		

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

<u>Comment:</u> The subject property is uniquely shaped and located within the floodway. However, none of these attributes impact the ability of the petitioner to install the fence sections with the finished side facing adjoining lots. The petitioner describes that the subject property abuts the rear yards of the adjoining lots, and the fence sections would not be seen from the street. However, Section 12-8-2.D does not differentiate or provide an exception from the fence design standard based on the fence location. In addition, city records indicate that the southern fence section on the subject property serves as the rear yard fence section to enclose the rear yards for the adjoining lots along Algonquin Road meaning that the unfinished side of the subject property fence is directly visible on adjoining lots. As such, it can be argued that there is no unique physical condition contributing to the hardship identified and that the variation request is based on a personal situation of the current owner.

	PZB Additions or Modifications (if necessary):
3.	Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.
	<u>Comment:</u> There is nothing to indicate that the property owner or their predecessors created the unique physical conditions described above. However, the variation request is not related to a unique physical condition of the property, but rather the design of fence, in which the property owner and their predecessors have directly created. The original fence in 1990 was installed incorrectly by the previous property owner and a portion of the original fence was replaced and installed incorrectly by the current property owner in 2022.
	PZB Additions or Modifications (if necessary):
4.	Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
	<u>Comment:</u> Carrying out the strict letter of the code would require the property owner to correct the fence section installed incorrectly to match the approved Site Plan. However, it can be argued that correcting a nonconforming fence does not in itself deny the property owner of substantial rights enjoyed by other property owners. Instead, correcting the fence fosters consistency and compliance with the Zoning Ordinance in which all properties are governed. Moreover, it is not inherently a right to have a fence on a residential property—especially properties located in floodways—but, where permitted, property owners do have the ability to install a fence provided that it complies with the Zoning Ordinance.
	PZB Additions or Modifications (if necessary):
5.	Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:
	<u>Comment:</u> It can be argued the petitioner would experience a special privilege if they were allowed to retain a nonconforming fence that was installed incorrectly despite conditions stated on the approved Site Plan. Since there are many examples throughout Des Plaines of properties that are improved with code-compliant fences, the approval of this variation to allow the retention of a non-conforming fence—especially with viable alternatives available (see response to Standard 7)—could err on the side of providing a special privilege. In addition, it could set a negative precedence leading to further

fence code violations and additional fence variations for property owners with similar structures.

ses: The variation would not result in a use or development of the subject in harmony with the general and specific purposes for which this title as ich a variation is sought were enacted or the general purpose and inteplan:
would retain an existing improvement on the subject property that is not ral and specific purposes of Section 12-8-2 of the Zoning Ordinance. Whation in disrepair could be construed as preservation and reinvestment in line with one of the general purposes of the Comprehensive Plan—the designeet the specific requirements for fences in Section 12-8-2, which is in effect Plaines.
difications (if necessary):
nere is no means other than the requested variation by which the alleg
can be avoided or remedied to a degree sufficient to permit a reasonab
can be avoided or remedied to a degree sufficient to permit a reasonal able alternatives to the existing fence design that could make the existing fence Section 12-8-2 and avoid a variation. One alternative involves relocating to side of the post so that the finished side faces adjacent lots without the removense of additional fence material. Another remedy would be to install additional the existing fence so that both sides are finished. In all, reasonable use of the same of the s
can be avoided or remedied to a degree sufficient to permit a reasonal able alternatives to the existing fence design that could make the existing fence Section 12-8-2 and avoid a variation. One alternative involves relocating to side of the post so that the finished side faces adjacent lots without the removense of additional fence material. Another remedy would be to install addition the existing fence so that both sides are finished. In all, reasonable use of the without this variation.
can be avoided or remedied to a degree sufficient to permit a reasonal able alternatives to the existing fence design that could make the existing fence Section 12-8-2 and avoid a variation. One alternative involves relocating to side of the post so that the finished side faces adjacent lots without the removense of additional fence material. Another remedy would be to install addition the existing fence so that both sides are finished. In all, reasonable use of the without this variation.
can be avoided or remedied to a degree sufficient able alternatives to the existing fence design that consider the post so that the finished side faces adjacense of additional fence material. Another remedy we the existing fence so that both sides are finished. It without this variation.

**PZB Procedure and Recommended Conditions:** Under Section 12-3-6.G (Procedure for Review and Decision for Major Variations) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned major variation request for the fence design at 1183 S. Des Plaines River Road. City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-6.H (Findings of Fact for Variations) of the Zoning Ordinance. If the PZB recommends approval of the request, staff recommends the following condition.

#### **Condition of Approval:**

1. That the fence is altered as necessary to be in conformance with all regulations in Title 14 Flood Control in the Des Plaines Municipal Code or a variance is granted by the Director of Public Works and Engineering.

#### **Attachments:**

Attachment 1: Location and Zoning Map
Attachment 2: Site and Context Photos
Attachment 3: Photos of Existing Conditions

Attachment 4: Plat of Survey

Attachment 5: 1990 Fence Permit Approved Site Plan Attachment 6: 2022 Fence Permit Approved Site Plan

Attachment 7: Petitioner's Reponses to Standards for Variations

Attachment 8: Project Narrative

Attachment 9: Site Plan

## GISConsortium 1183 S. Des Plaines River Road



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.





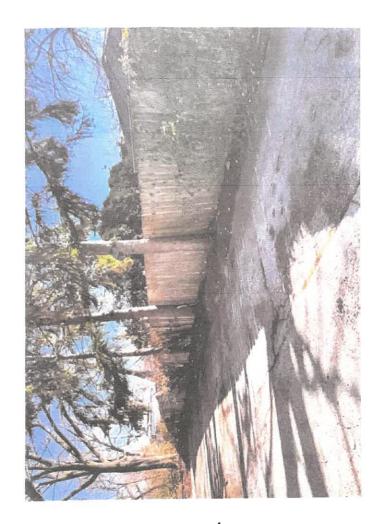
The public is invited to attend and provide comments on CITY OF DES PLAINES PLANNING & ZONING BOARD JAN 9, 2024 7:00 PM City Hall, 1420 Miner St. desplaines.org/publichearings / 847.391.5306 proposed plans for this property earn More:





1183 S. Des Plaines River Rd - Looking Southeast at Existing Fence

**Page 8 of 17 Attachment 2** 

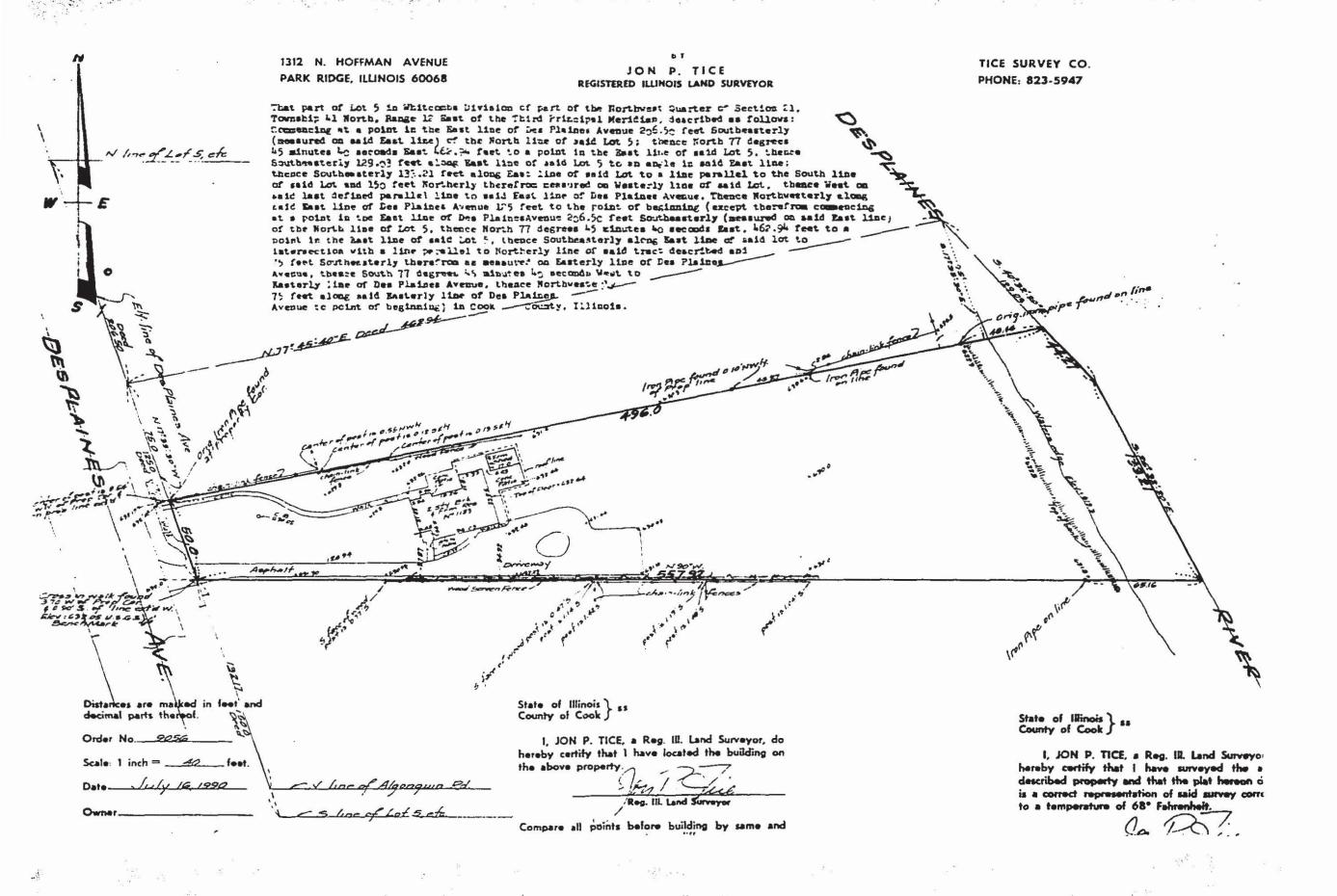


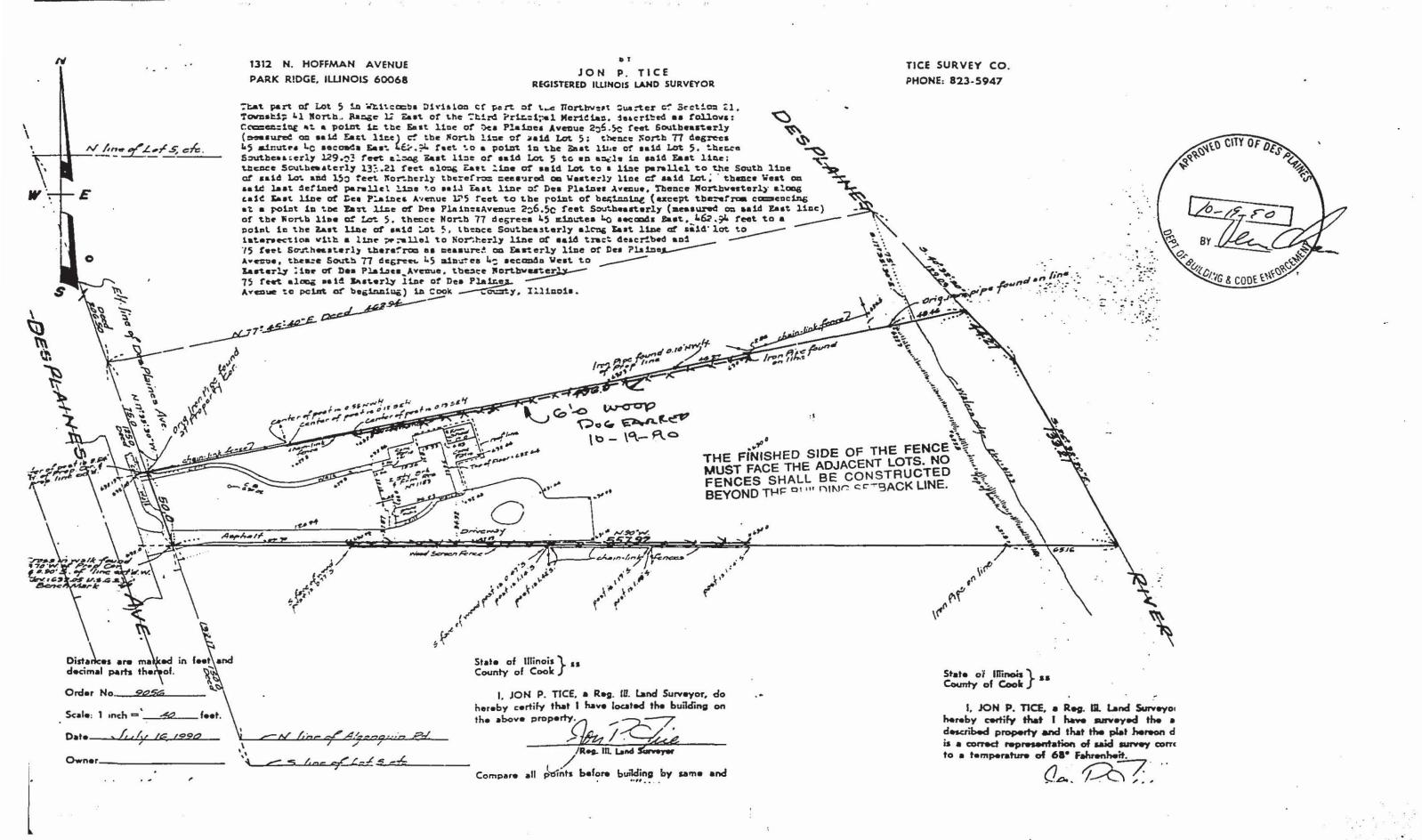
Same design as existing picture above is nomeowner's fence

Attachment 3 Page 9 of 17



Attachment 3 Page 10 of 17





I, JON P. TICE, a hereby certify that I described property and of Cook } ☐ NOT APPROVED REVISIONS REQUIRED TICE SURVEY CO. PHONE: 823-5947 CITY OF DES PLAINES
BUILDING DEPARTMENT APPROVED AS NOTED Date 11/29/2028Y; mramirez replaced with same Per Engineering approved to be **APPROVED** Compare all points before building by same and JON P. TICE JON P. TICE REGISTERED ILLINOIS LAND SURVEYOR hereby certify that the above propert I. JON P. T 111514 PARK RIDGE, ILLINOIS 60068 . Scale: 1 inch = \_\_ 811 or 800-892 before you d Order No. Date Page 13 of 17 **Attachment 6** 

#### Responses to Standards for Variation

#### 11/28/2023

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

The existing fence with the finished side was constructed at least 32 years ago. There would be a substantial cost associated with fixing the entire fence section to meet the code requirements.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

The subject property is uniquely shaped, which is substantially different from the surrounding residential properties. The existing southern fence portion in question abuts the rear of other residential properties and cannot be seen from the street.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

The existing fence and design were constructed prior to the property owner purchasing the property and the request is not result of any action of the current property owner.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Upholding the fence design regulation would create an unnecessary burden on the property owner and prevent us from repairing and maintaining the existing fence structure.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Attachment 7 Page 14 of 17

Property owners have the ability to install and maintain fences within the City of Des Plaines. Allowing the property owner to fix a portion of an existing fence to match the existing fence design would not provide a special privilege but rather address an existing code violation.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

The Comprehensive Plan strives to foster reinvestment in residential properties throughout Des Plaines. Allowing the property owner to repair the damaged fence section to match the existing fence section will meet this goal.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

There is not a practical alternative that would be reasonable for the property owner to implement. Requiring the property owner to alter the fence to meet the fence design regulation would, in fact, create a burden on the property owner.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

The approval of the requested variation is the minimum measure of relief necessary to address the code violation.

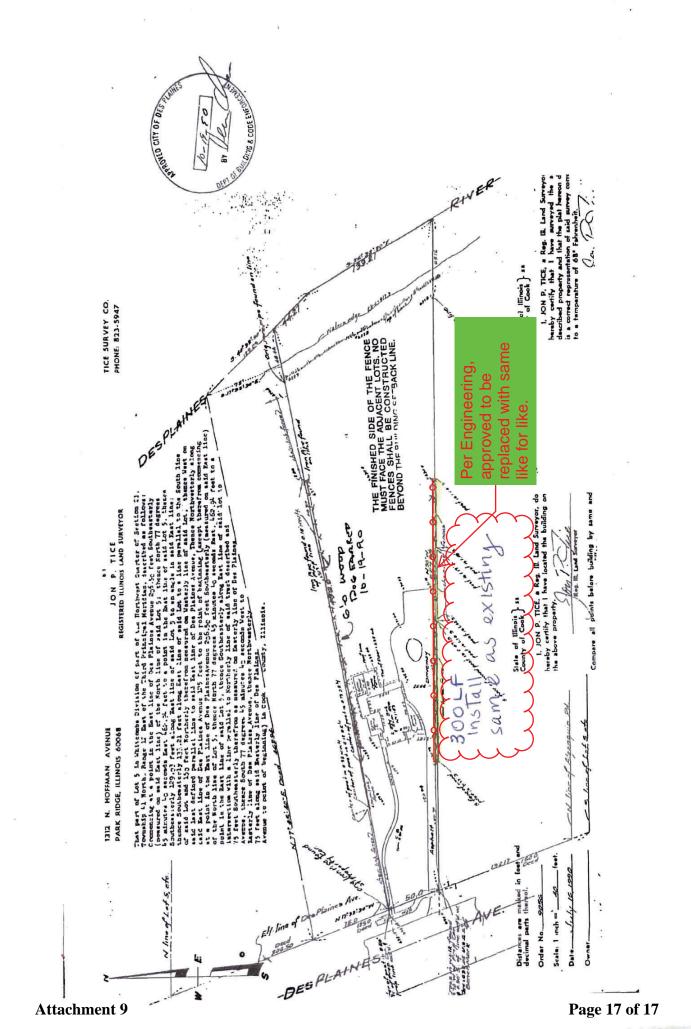
Attachment 7 Page 15 of 17

#### **Project Narrative**

#### 11/28/2023

Tear down old portion of fence that was in disrepair. Replace with same fence as the fence still standing. Area of fence disrepair to the south of the property. The fence portion in the north is still standing. The variation request is necessary to coordinate the new fence section with the existing fence section.

Attachment 8 Page 16 of 17





### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

#### MEMORANDUM

Date: January 19, 2024

To: Planning and Zoning Board (PZB)

From: Jeff Rogers, AICP, Director of Community & Economic Development

Subject: Consideration of a Standard Variation for Building Coverage in the R-1 District at 915 Alfini

Drive, Case #24-001-V (3rd Ward)

**Issue:** The petitioner is requesting a Standard Variation to allow a total building coverage of 32.34 percent where a maximum of 30.00 percent is permitted for an interior lot in the R-1 district.

Petitioner: Arthur Garceau, 915 Alfini Drive, Des Plaines, IL 60016

Owner: Arthur Garceau, 915 Alfini Drive, Des Plaines, IL 60016

Case Number: 24-001-V

Real Estate Index

Number: 09-19-216-006-0000

Ward: #3, Alderman Sean Oskerka

**Existing Zoning:** R-1 Single Family Residential district

Existing Land Use: Single Family Residence

Surrounding Zoning: North: R-1 Single Family Residential district

South: R-1 Single Family Residential district East: R-1 Single Family Residential district West: R-1 Single Family Residential district

Surrounding Land Use: North: Single Family Residence (Residential)

South: Single Family Residence (Residential)
East: Single Family Residence (Residential)
West: Single Family Residence (Residential)

**Street Classification:** Alfini Drive is classified as a local road.

**Comprehensive Plan:** The Comprehensive Plan illustrates the site as residential.

**Zoning/Property History:** Based on City records, the subject property was annexed into the city in 1927

and has since been utilized for residential purposes with the current residence upon the property having been constructed in the 1950s. Aside from the existing 1,161 square-foot residence, there is an existing detached garage comprised of 545 square feet. The current building coverage is 1,706 square feet or 23.86

percent of the total property area (7,150 square feet).

**Project Description:** Overview

The petitioner, Arthur Garceau, has requested a standard variation to allow a total building coverage of 32.34 percent in order to construct a one-story addition onto the existing residence in the R-1 Single Family Residential district at 915 Alfini Drive. The maximum building coverage allowed for this zoning district is 30.00 percent. As defined in Section 12-13-3 of the Zoning Ordinance, building coverage is "the percentage of the surface area of a zoning lot that is occupied by principal buildings and any accessory buildings and structures. All areas of buildings or structures covered by a roof are included in building coverage."

The subject property is comprised of a single, 7,150 square-foot (0.16 acre) lot improved with an 1,161 square-foot 1-story vinyl-sided residence, covered entry stoop, wood deck, concrete walkway, concrete driveway off Alfini Drive, and detached garage as shown in the attached Plat of Survey and the attached Photos of Existing Conditions. The petitioners propose to remove an existing room addition comprised of approximately 180 square feet, the wood deck, and a small portion of the existing driveway with a new 681 square-foot, one-story room addition for use as an expanded family room area and new third bedroom. The proposed scope of work would include a new open loft space over the new floor area of the new room addition. For additional information on the proposal, please see the attached Site Plan and Project Narrative.

The proposed 681 square-foot addition to the residence by the petitioners increases the overall building coverage to 2,312 square feet or 32.34 percent of the total property area, in violation of Section 12-7-2.J restricting building coverage of interior lots in the R-1 district to no more than 30 percent and requiring a standard variation.

#### Proposed Floor Plan & Elevations

The proposed addition would feature ceiling heights of approximately 18.00 feet in the area of the proposed loft. The ceiling heights of the existing residence would remain approximately 8.17 feet. The proposed addition would offset from the southern extents of the existing residence by approximately six inches (0.507 feet) to provide a side yard setback of 5.17 feet in conformance with the required minimum side yard setback of 5.0 feet, as shown on the attached Site Plan.

The existing 1-story residence is comprised of a ground level above a crawlspace as shown on the attached Demolition Plans. The table below compares the proposed floor plan changes included with the proposal.

Level	Existing Area (SF)	Proposed Area (SF)
Lower Level <sup>1</sup>	Total: N/A	Total: N/A
<ul> <li>Crawlspace</li> </ul>	• N/A	• <i>N/A</i>
First (Main) Level	Total: 1,571 SF	Total: 2,045 SF
• Kitchen	• 196 SF	• 231 SF
<ul> <li>Dining Room</li> </ul>	• 104 SF	• 104 SF
Living Room	• 260 SF	• 260 SF
<ul><li>Bathroom #1</li></ul>	• 35 SF	• 35 SF
<ul> <li>Bedroom #1</li> </ul>	• 134 SF	• 134 SF
• Bedroom #2	• 134 SF	• 134 SF
<ul> <li>Detached garage</li> </ul>	• 545 SF	• 545 SF
• Family Room	• 163 SF	• 245 SF
<ul><li>Bathroom #2</li></ul>	• N/A	• 45 SF
• Utility/Laundry		
Room	• N/A	• 85 SF
• Bedroom #3	• N/A	• 227 SF
Second (Upper) Level <sup>2</sup>	Total: N/A	Total: 146 SF
Proposed Loft	• N/A	• 146 SF

#### Building Design Standards

Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects that consisting of "additions to principal structures resulting in greater than a fifteen percent change of gross floor area." Since the proposal does result in a greater than 15 percent change in floor area (17 percent), the exterior building material regulations in this section are required to be met.

The exterior elevation drawings of the attached Architectural Plans identify that the new addition will be constructed with cementitious siding (a material which is not permissible by-right on the ground story of a detached single-family residence). A minor variation was granted by staff for the proposed building cementitious siding materials on October 13, 2023.

As for the transparency requirements, these are not required as this regulation is only required on street-facing elevations. Since the proposed addition area faces the side and rear property boundaries, it does not need to comply with the blank wall limitations that restrict the amount of windowless area permitted on a building façade in Section 12-3-11 of the code. However, the proposed addition does include windows on all three proposed building elevations.

<sup>&</sup>lt;sup>1</sup> No proposed changes.

<sup>&</sup>lt;sup>2</sup> The proposed addition features a raised roof height to accommodate a new vaulted ceiling and new loft space above the floor area identified as Bedroom #3 on the proposed floor plans.

Comparison of Surrounding Properties

The petitioner has asserted that the typical development pattern in the vicinity features single-family residences with at least 3 bedrooms and 2 bathrooms in various form factors (ranches, split-levels, multi-story, etc.) while a small minority of residences are comprised of only one floor and up to 2 bedrooms and 1 bathroom. Variations are meant to be reviewed on a case-by-case basis, examining any uniqueness and hardship presented by the conditions of a *specific property*. Comparison of the variation request with the Zoning Ordinance and comprehensive plan are discussed in staff's responses.

<u>Variation Findings</u>: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

<u>Comment</u>: Considering other potential alternatives available, the zoning challenges encountered may not rise to the level of particular hardship or practical difficulty. The size of the subject property (7,150 square feet) is larger than many interior lots across the City and larger than the minimum 6,875-square-foot interior lot size required. Due to the size, the property has space for a larger building footprint than many other interior lots; With the 30 percent building coverage allowance for R-1 zoned properties, the size affords the more building coverage than many other interior lots. This property characteristic not always available to owners of smaller R-1 zoned properties.

In regard to structures, however, the existing one-level design of the residence and the large existing detached garage pose design challenges to the petitioner, especially if the existing single-story design is retained over alternatives such as a split-level or two-story design which may be difficult to retrofit over the existing building footprint and foundation. These existing constraints do not deny the petitioner the ability to construct an addition on the property, but rather limit the potential size of an addition.

PZB	Additions	or	Modifications	(if	necessary):	

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

<u>Comment</u>: The lot area is 7,150 square feet which exceeds the minimum lot size requirement for an interior lot in the R-1 district. The existing 23.86 percent building coverage of the lot is not necessarily unique in regard to other interior residential lots in the City. Other home designs could yield more total floor area by utilizing multiple floors versus the proposed design while complying with the

maximum building coverage, however the petitioner is seeking to retain the existing one-level layout and both accessibility and "visit-ability," a term which refers to the accessibility of a structure to a visitor accessing the property from the sidewalk, throughout the entire living space. While some might question whether the proposed footprint of the addition could be reduced, others may consider the extent of the requested relief to be de minimis. PZB Additions or Modifications (if necessary): 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title. Comment: While the subject property's location, size, and development style may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. At 55 feet in width and 7,150 square feet in area, the subject property provides adequate space for a single-story residence and a single- or multi-story addition without any unique physical conditions present. However, a single-story addition at a reduced size may not achieve the intended 3-bedroom, 2-bathroom result without substantial additional modifications to the original portion of the residence, nor would a multi-story addition achieve the desired single-story, accessible floor plan. PZB Additions or Modifications (if necessary): 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision. Comment: Staff's review has concluded that carrying out the strict letter of this code for building coverage would not deprive the property owners of any obvious substantial rights commonly enjoyed by owners of similar properties. First, while homeowners are able to construct an addition, as permitted by the R-1 district regulations, having the ability to construct an addition, in and of itself, is not a right granted to property owners. Enforcing the building coverage requirements does not deny the property owners the ability to construct an addition on their property but requires said addition to conform with the applicable building coverage requirements that apply to all R-1 zoned properties. One could also argue that the proposal could be redesigned to make a functional, albeit smaller, single-story addition without requiring this variation. Alternately, the PZB could consider whether a.) the proposed one-

PZB Additions or Modifications (if necessary):

story, accessible floor plan and projected excess lot coverage of approximately 167 square feet is *de minimis*; or b.) the relationship between the extent of the variation requested and the accessibility that

the variation would provide is a right to which the petitioners should be entitled.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

<u>Comment</u>: Since other alternatives exist which might yield a larger floor area with a compliant lot coverage, financial return does not seem to be among the primary motivations for the proposed design and variation request. Other interior lots in Des Plaines of various sizes and shapes have designed additions that meet the required building coverage regulations, and the petitioners have the ability to do so as well on the subject property. Improving accessibility of a residence is not typically representative of the type of concept that would be considered a special privilege, but instead a design concept intended to provide opportunities for current and future occupants to "age in place" and/or to provide living space inclusive of accommodations for individuals with mobility impairments. Variation decisions are made on a case-by-case, project-by-project basis upon applying the variation standards. When considering whether to grant a variation, the determining body (e.g. PZB and/or City Council) typically considers whether the applicant exhausted design options that do not require a variation. The PZB may wish to ask what, if any, alternative plans the petitioner considered prior to requesting the variation request.

PZB AC	dditions (	or Modifications	(if necessary):	
			•	

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

<u>Comment</u>: On one hand, the project would allow re-investment into a single-family home, which the Municipal Code and Comprehensive Plan encourage. The Comprehensive Plan also encourages aging-in-place strategies and the modifications of this building improve the accessibility/visit-ability of the building and increase accessible housing stock within the city. There seem to be reasonable options for redesigning the proposed addition to create additional functional and accessible living space without needing relief. The petitioner's proposal would yield a one-story structure which would appear from the street to be harmonious with other residences in the vicinity.

PZB	Additions	or	Modifications	(if	necessary):		
					•		
						···································	

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

<u>Comment</u>: There are alternatives to the proposed building coverage variation being requested. Although potentially significant design changes and more extensive modifications to the original portions of the residence would be necessary and the accessibility of all areas of the floor plan other than the main floor would be restricted. The Municipal Code allows for up to  $2\frac{1}{2}$  stories or 35 feet of total building height, which is possible given the height of the existing first (main) level. A smaller single-story addition with a redesigned floor plan is also possible. The PZB may wish to ask why certain alternative designs are not feasible.

	PZB	Additions	or	Modifications	(if	necessary	):	
--	-----	-----------	----	---------------	-----	-----------	----	--

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

<u>Comment</u>: The approval of the additional building coverage may provide relief for the petitioner given their current proposal. However, the proposed floor area could be achieved with a different design which might better utilize the available property and meet the building coverage requirement. The requested ground-level, single-story addition may be more convenient and less intensive than the alternative plans, such as a second-story addition, and would achieve increased accessibility throughout the space. The only other relief requested related to building materials and was previously approved as a minor variation earlier in the plan review process.

PZB	Additions	or	Modifications (if	necessary):	

**PZB Procedure and Recommended Conditions:** Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions.

#### **Conditions of Approval:**

- 1. No easements are affected or drainage concerns are created.
- 2. That all appropriate building permit documents and details, including all dimensions and labels necessary to denote the addition are submitted as necessary for the proposal. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building and life safety codes.

#### **Attachments:**

Attachment 1: Location Map

Attachment 2: Site and Context Photos

Attachment 3: Photos of Existing Conditions

Attachment 4: Plat of Survey

Attachment 5: Petitioner's Responses to Standards for Variation

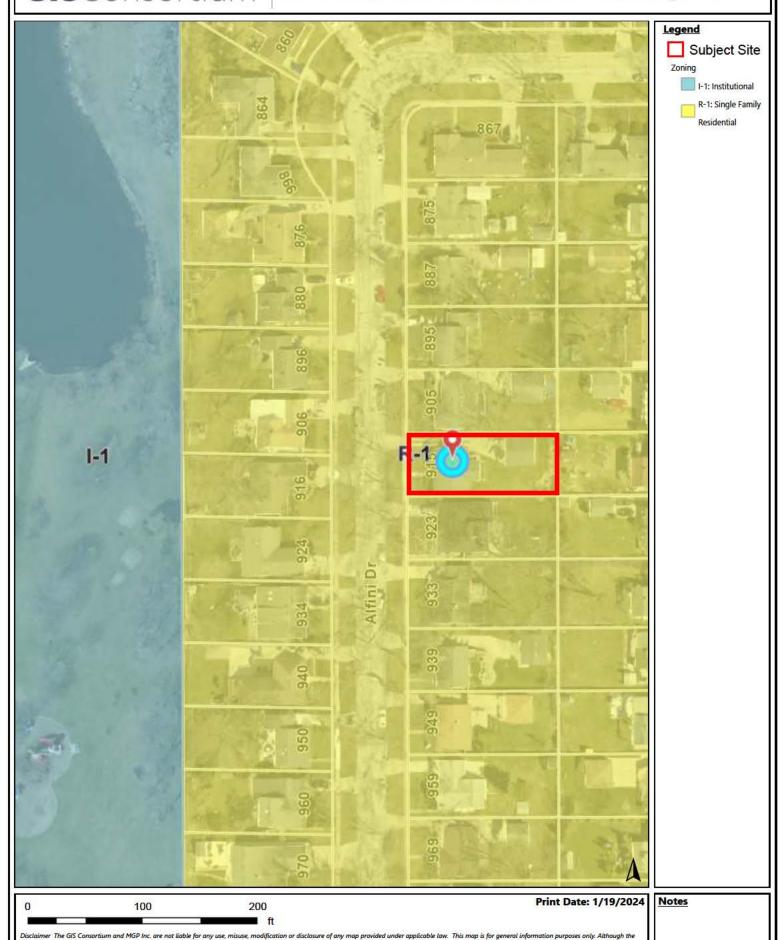
Attachment 6: Project Narrative

Attachment 7: Site Plan and Architectural Plans

Attachment 8: Public Comment

# **GIS**Consortium

### 915 Alfini Drive Standard Variation Request



Attachment 1 Page 8 of 28







**Attachment 2 Page 9 of 28** 

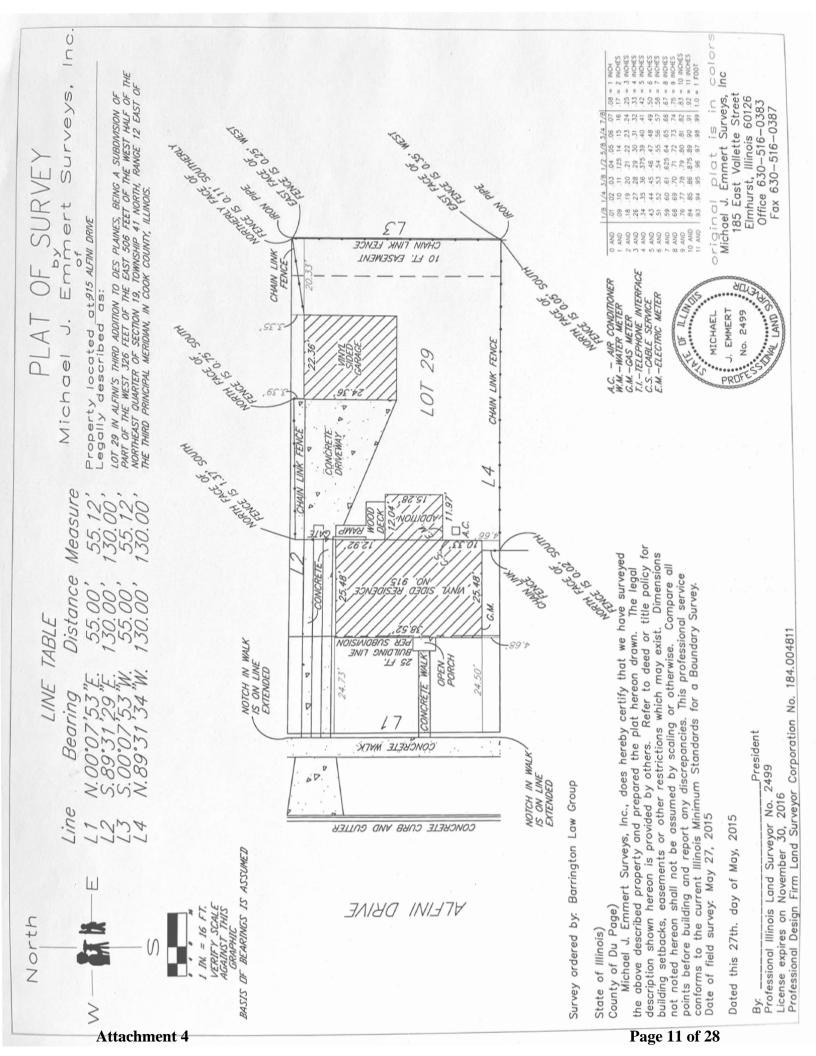
915 Alfini Drive - Looking Southwest at Rear of Residence 915 Alfini Drive - Looking Southeast at Rear of Subject Property











#### 915 Alfini Drive, Standards for Variation (1/10/2024)

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

This variation will allow a bedroom and family room addition with 36" of clearance for mobility around average sized family room and bedroom furniture. This variation is required for room sizes to be adequate to accommodate 36" of clearance.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Given the existing conditions of this property, special accommodation is requested to improve the property. This request for 31% lot coverage is reasonable to maintain a one-story home versus building a larger and more imposing two-story structure. Given the starting footprint of the home and to maintain 36" of clearance compliance around average sized furniture in the rooms, slightly exceeding beyond 30% lot coverage is needed. The built environment was inherited—the existing 2.5+ car garage was constructed prior to owning this property and was not planned with this scope of work in mind. Reducing the size of the existing garage to fit within the 30% lot coverage would create undue hardship.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

The described unique condition is not the result of any action or inaction of the owner and previously existed. The owners did not create the existing 2 bedroom, 1 bathroom home or the 2.5+ car garage structures. The owners are working with existing constraints.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Attachment 5 Page 12 of 28

The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner substantial rights commonly enjoyed by owners of other lots subject to the same provision. Approximately 84% of existing homes on Alfini Drive have 3 or more bedrooms and neighborhood homes with 3+ bedrooms and 2+ bathrooms average 1,780 sq ft (based on 22 available property records). Modern home construction and lot sizes are larger—more than 2 bedrooms and 1 bathroom. In the interest in limiting this variation request, the proposed room sizes are smaller than average. Average room sizes for single family homes include primary bedrooms of 14 x 16 ft (224 sq ft) and family rooms of 12 x 18 ft (240 sq ft). The plan for 915 Alfini at 31% lot coverage has a primary bedroom of 12.5 x 14.5 ft (181.25 sq ft) and family room 15 x 16 ft (240 sq ft) which are at or below average.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

This difficulty is neither the inability of the owner to enjoy some special privilege or additional right, nor the inability of the owner to make more money from the use of the subject lot. The owner will not make any money as a result of this addition or variance. The majority of modern single family homes include 3 or more bedrooms and 2 or more bathrooms with average room sizes larger than those built in the 1950s. This variance is a common and reasonable request to have a 3 bedroom and 2 bathroom home with at/below average room sizes to accommodate 36" of clearance around average sized furniture.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

The variation would not result in a use or development of the subject lot that would not be in harmony. The degree to which the lot coverage is exceeded is de minimis and the owner has minimized the extent of this variation request by maintaining proposed room sizes at or below average. This request will maintain a one-story home that is in harmony and consistent with the surrounding neighborhood homes and falls well within the allowed height and setbacks. While building a two-story home at maximum height and setbacks would allow for larger room sizes, it would not be in harmony with the current conditions of the neighborhood.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Attachment 5 Page 13 of 28

There is no means other than the requested variation by which the difficulty can be avoided. Other options are not feasible given the inherited house and garage on the lot. During the application/review/revision process the architect significantly revised the proposed home design to achieve the 30% lot coverage, but these results do not meet 36" of clearance around average sized furniture. Additionally, the home requires a new roof in 2024 per insurance requirements and the value of a roof replacement is a significant value of the total proposed structure—these improvements are requested to occur concurrently with the lifespan of the existing roof. Reducing the size of the existing garage to fit within the 30% lot coverage would create undue hardship.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

The requested variation is the minimum measure of relief necessary to alleviate the difficulty presented in this application. The requested variation is for 31% lot coverage versus 30.00% lot coverage. This variance is de minimis request to have a 3 bedroom and 2 bathroom home with at/below average room sizes to accommodate 36" of clearance around average sized furniture.

Attachment 5 Page 14 of 28

### **Project Narrative**

The existing home at 915 Alfini Drive was constructed in the early 1950s as a sub-1000 sq ft home containing two bedrooms and one bathroom. In the late 1950s, a small family room addition was added to the back of the home which made the home just over 1000 sq ft. The proposed construction on the home will remove the existing family room addition and replace it with a new addition.

The new addition will contain a family room, a third bedroom, and add a second full bathroom. The intention of this project is to maintain a single story home and build each of these new spaces of adequate size to address accessibility and mobility needs. The proposed family room and bedroom sizes are specifically designed to accommodate a minimum of 36" mobility clearance on all sides of average-sized family room and bedroom furniture.

Attachment 6 Page 15 of 28

## GARCEAU RESIDENCE

### 915 Alfini Drive Des Plaines, IL 60016

#### **GENERAL NOTES**

CONTRACTORS SHALL OBTAIN ALL PERMITS, BONDS, LICENSES, ETC. AS REQUIRED AND FOLLOW ALL LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.

ALL STRUCTURAL REVISIONS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ANY WORK PROCEEDING.

ALL NEW HEADERS SHALL BE (2)2x12 WITH 1/2 PLYWOOD PLATE, UNLESS OTHERWISE NOTED, REINFORCE EXISTING HEADERS AS REQUIRED.

ALL FRAMING LUMBER SHALL BE STRUCTURAL GRADE #2 DOUGLAS FIR (fb 1200 mln.)

CONCRETE SHALL ATTAIN 3000 PSI IN 28 DAYS

FOOTINGS SHALL NOT BEAR ON ANY ORGANIC, LOAM, OR FILL MATERIAL. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1500 p.s.f. MIN, AND BE A MIN. OF 42" BELOW GRADE. GENERAL CONTRACTOR AND/OR EXCAVATING CONTRACTOR TO YEAFF THAT SOILS CAPACITY IS A MIN. OF 3000 P.S.F. PRIOR TO STARTING WORK. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO STARTING ANY WORK.

ALL TRADES SHALL VISIT THE SITE PRIOR TO WORK PROCEEDING. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY WORK PROCEEDING.

ALL COLORS, FINISHES AND MATERIALS USED SHALL BE APPROVED BY THE OWNER PRIOR TO ORDERS BEING PLACED.

THE ELECTRICAL CONTRACTOR SHALL MODIFY THE EXISTING ELECTRICAL SYSTEM AS REQUIRED AND EXTEND TO THE NEW ROOM ADDITION. THE ELECTRICAL CONTRACTOR TO PROVIDE ALL MATERIAL AND LABOR AS REQUIRED TO COMPLETE ALL WORK.

THE EXISTING GAS FIRED FURNACE AND CONDENSING UNIT SHALL REMAIN FOR REUSE, THE MECHANICAL CONTRACTOR SHALL MODIFY THE EXISTING DUCTWORK AND EXTEND TO THE NEW ROOM ADDITION. THE HYAC CONTRACTOR SHALL ROYDE ALL MATERIAL AND EQUIPMENT AS REQUIRED, HYAC CONTRACTOR SHALL SUBMIT CALCULATIONS AND DRAWINGS AS REQUIRED BY THE VILLAGE FOR REVIEW AND COMMENTS.

THE PLUMBING CONTRACTOR SHALL MODIFY THE EXISTING PLUMBING SYSTEM AND EXTEND TO THE NEW BATHROOM AS SHOWN ON THE PLAN. PLUMBING CONTRACTOR TO PROVIDE ALL MATERIAL, EQUIPMENT, AND LABOR AS REQUIRED,

DO NOT SCALE DRAWINGS.

ALL SHEATHING TO BE APA RATE

PROVIDE FIRESTOPPING MATERIALS AT ALL PARTITIONS AND OUTSIDE STUD WALLS AT A LEVEL OF EACH FLOOR OR CEILING AND AT JUNCTURE OF ROOF RAFTERS AND WALLS.

CONTRACTOR TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURE'S SPECIFICATIONS.

#### SCOPE OF WORK

THE SCOPE OF WORK SHALL TAKE PLACE WITHIN AN EXISTING SINGLE FAMILY RESIDENCE WITH DETACHED 2-CAR GARAGE. A SINGLE STORY ROOM ADDITION SHALL BE CONSTRUCTED AT THE REAR OF THE HOUSE, THE NEW ADDITION SHALL ACCOMMODATE A NEW FAMILY ROOM, BEDROOM AND BATHROOM. THE NEW BATHROOM SHALL HAVE A SHOWER, TOILET AND VANITY. THE NEW ADDITION SHALL BE CONSTRUCTED OVER A CRAWLSPACE WITH CONCRETE FOUNDATION WALL AND FOOTING.

THE EXISTING KITCHEN SHALL BE REMODELED AND EXTEND INTO THE NEW ROOM ADDITION CREATING A LARGER KITCHEN WITH ISLAND.

THE EXISTING SIDING ON THE EXISTING HOUSE SHALL BE REMOVED AND DISCARDED. NEW CEMENT BOARD SIDING TO BE INSTALLED ON THE NEW ROOM ADDITION AND THROUGHOUT THE EXISTING HOUSE. NEW ASPHALT ROOFING SHINGLES TO BE INSTALLED ON THE NEW ROOM ADDITION AND EXISTING HOUSE.

INSTALL NEW WINDOWS AND DOORS AS INDICATED ON THE DRAWINGS.

THE EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHALL BE MODIFIED AND EXTEND TO THE NEW ADDITION AS REQUIRED.

#### ROOFING NOTES

INSTALL "GRACE" ICE & WATER SHIELD AT ALL VALLEYS AND EAVES. EXTEND (3) FEET ON EACH SIDE OF VALLEY. EXTEND (2) FEET PAST INTERIOR WALL ON ALL EAVES AND OVERHANGS. INSTALL "GRACE" ICE & WATER SHIELD UNDER THE ENTIRE ROOFING SADDLE AND EXTEND (18) INCHES UP SIDE OF EXTERIOR WALL.

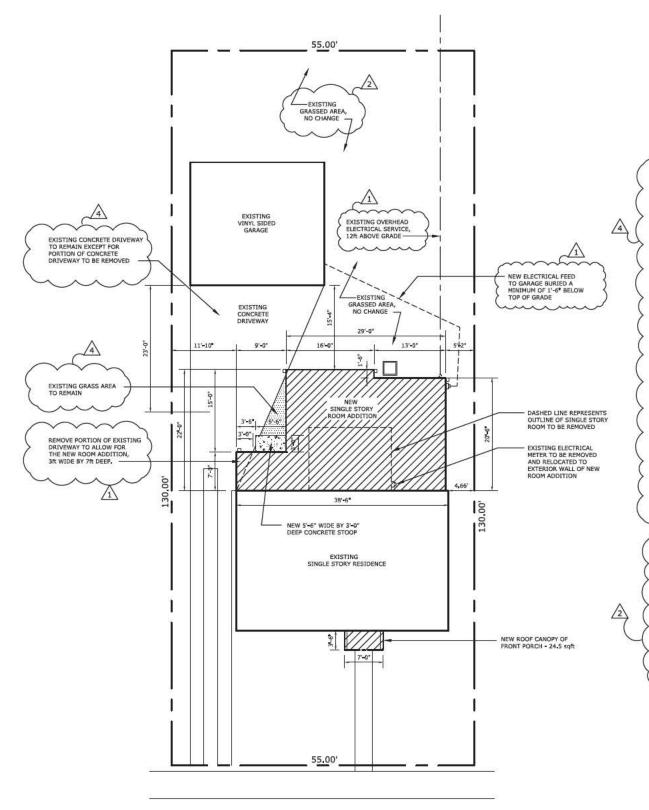
INSTALL NEW ALUMINUM SEAMLESS GUTTERS AND DOWNSPOUTS, COLOR AND PROFILE TO BE SELECTED BY OWNER.

VENTING - SOFFIT VENTING WITH ROOF VENTS LOCATED AT THE REAR OF THE ROOF

#### WINDOW NOTES

ALL WINDOWS TO BE ALUMINUM CLAD WOOD DOUBLE HUNG WINDOWS AS MANUFACTURED BY PELA" WINDOWS, TRADITIOANL SERIES, OR APPROVED EQUAL. COLOR TO BE SELECTED. GENERAL CONTRACTOR TO VERIFY SIZE OF ALL WINDOWS WITH OWNER DRIVER OF CONTRACTOR TO VERIFY SIZE OF CONTRACTOR OF CONTRACTOR TO VERIFY SIZE OF CONTRACTOR OF CO

WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN FORTY-FOUR INCHES (44") ABOVE THE FINISHED FLOOR. WINDOWS TO HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT.



ALFINI DRIVE

CALL J.U.L.I.E. @ 1-800-892-0123

48 HOURS BEFORE YOU DIG.

#### INDEX OF DRAWINGS

- T1.0 GENERAL NOTES, SITE PLAI
- A1.0 DEMOLITION PLAN, FOUNDATION PLAN
- A2.0 CONSTRUCTION PLAN, LOFT PLAN
- A3.0 ELECTRICAL PLAN
- A4.0 EXTERIOR ELEVATIONS
- A5.0 ROOF FRAMING PLAN, BUILDING SECTION
- A6.0 WALL SECTIONS
- A7.0 PLUMBING RISER DIAGRAM
- A8.0 SPECIFICATIONS

#### CODES

- \* 2015 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS
- \* 2014 NATIONAL ELECTRICAL CODE W/AMENDMENTS
- # 2014 ILLINOIS STATE PLUMBING CODE W/ AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
   2015 INTERNATIONAL FIRE CODE W/AMENDMENTS

PROJECT DATA

EXISTING LOT AREA	7,150 SQ.FT.
Secretary Street, and	(N.C.)
EXISTING HOUSE AREA	1,161 SQ.FT
EXISTING GARAGE	545 SQ.FT.
TOTAL AREA (EXISTING)	1,706 SQ.FT.
EXISTING HOUSE FOOTPRINT MINUS DEMOLITION OF REAR PORTION OF HOUSE	981 SQ.FT.
NEW ROOM ADDITION	681 SQ.FT.
PROPOSED HOUSE AREA	1,662 SQ.FT.
EXISTING GARAGE	545 SQ.FT.
TOTAL AREA (PROPOSED)	2,207 SQ.FT.
NEW FRONT CANOPY	25 SQ.FT.
NEW REAR CANOPY (6'-0"x13'-6")	81 SQ.FT.
LOT COVERAGE ALLOWED (30%)	2,145 SQ,FT.
LOT COVERAGE PROPOSED (31%)	2,312 SQ.FT.

#### DESIGN LOADS

FLOOR 40# LL + 10# DL

WALL ACTUAL LOAD

CEILING 20# LL + 10# DL

ROOF 30# LL + 10# DL

BASIC WIND 90 mph

SPEED 90 mph

DEFLECTION: FLOOR LIVE LOAD = L/240 TOTAL LOAD = L/360 ROOF ONLY: LIVE LOAD = L/180 TOTAL LOAD = L/240 (NO GYP. BD. CEILING)

CEILING JOISTS: LIVE LOAD= L/180 TOTAL LOAD= L/240 (GYP. BD. CEILING)

### INSULATION REQUIREMENTS

PRESCRIPTIVE METHOD	24	W.
CLIMATE ZONE (4%5)	ALLOWED	PROPOSED
ATTIC	R-49	R <del>-</del> 49
VAULTED ATTIC	R-30	R=30
WOOD FRAMED WALLS	R-20	R-20
FOUNDATION WALL	R-15	R-15
FLOORS (slab on grade)	R-10	R-15
WINDOWS	U-value .30 or less	U-value .30 or less
FLOOR @ Cantilever	R-30	R-30

#### GARCEAU RESIDENCE

First Floor Room Addition

915 Alfini Drive

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010 Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

# 184-004417

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES,



INOIS LICENSE NO. 001-017636 PIRES 11-2024

oject No.: 2365

Δ	PERMIT REVIEW #1 ISSUED FOR PERMIT	9-20-2023 7-23-2023
2	PERMIT REVIEW #2	11-3-2023
1	PERMIT REVIEW #3	12-8-2023
A	ZONING VARIATION	1-10-2024

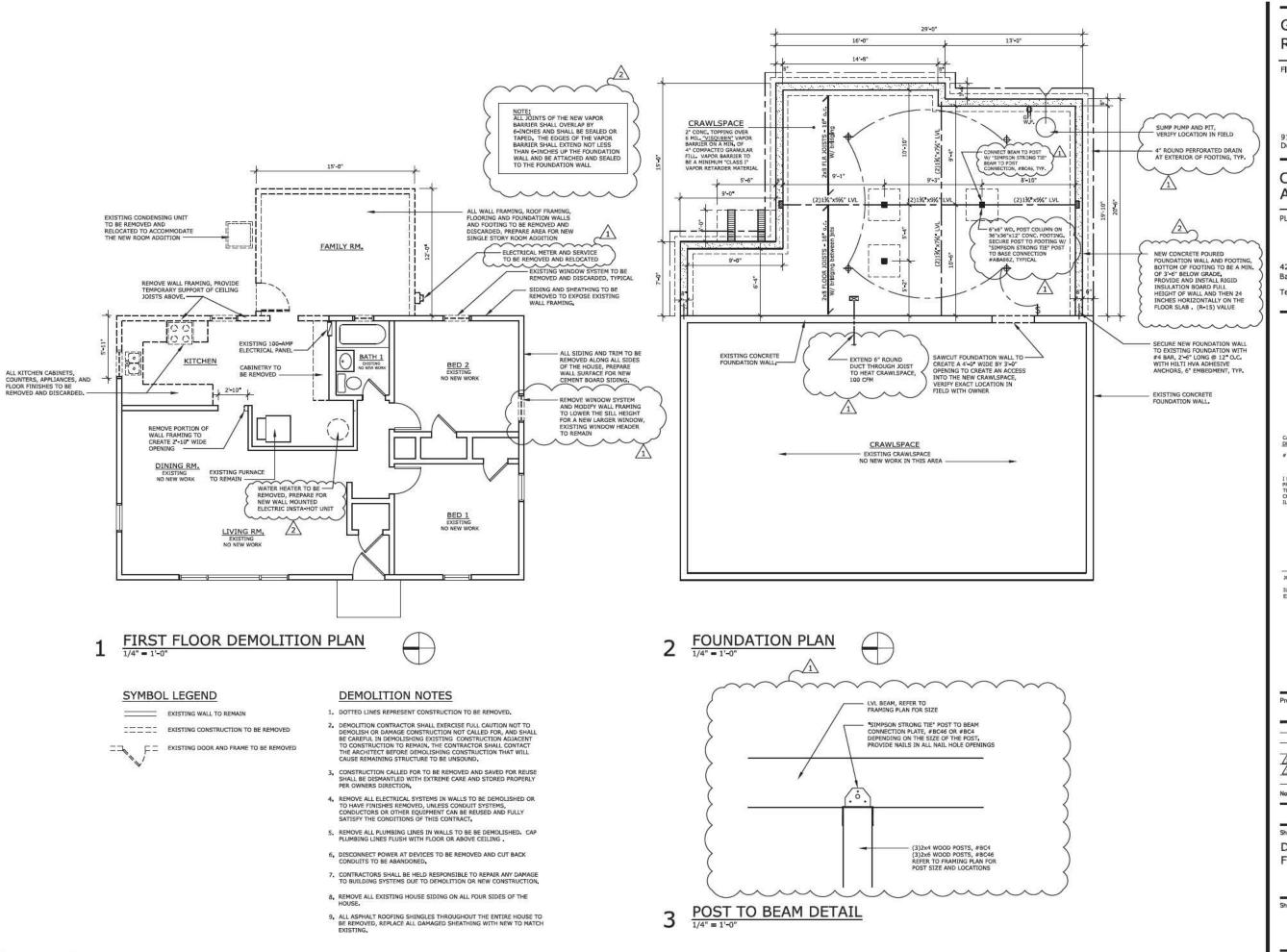
Sheet Title:

GENERAL NOTES, DRAWING INDEX, KEY PLAN,

Sheet I

T1.0

Attachment 7



**GARCEAU** RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010

Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREFARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES, ILLINOIS



ILLINOIS LICENSE NO. 001-017636

GRAPHIC SCALE

1/4" = 1 FOOT

Project No.:

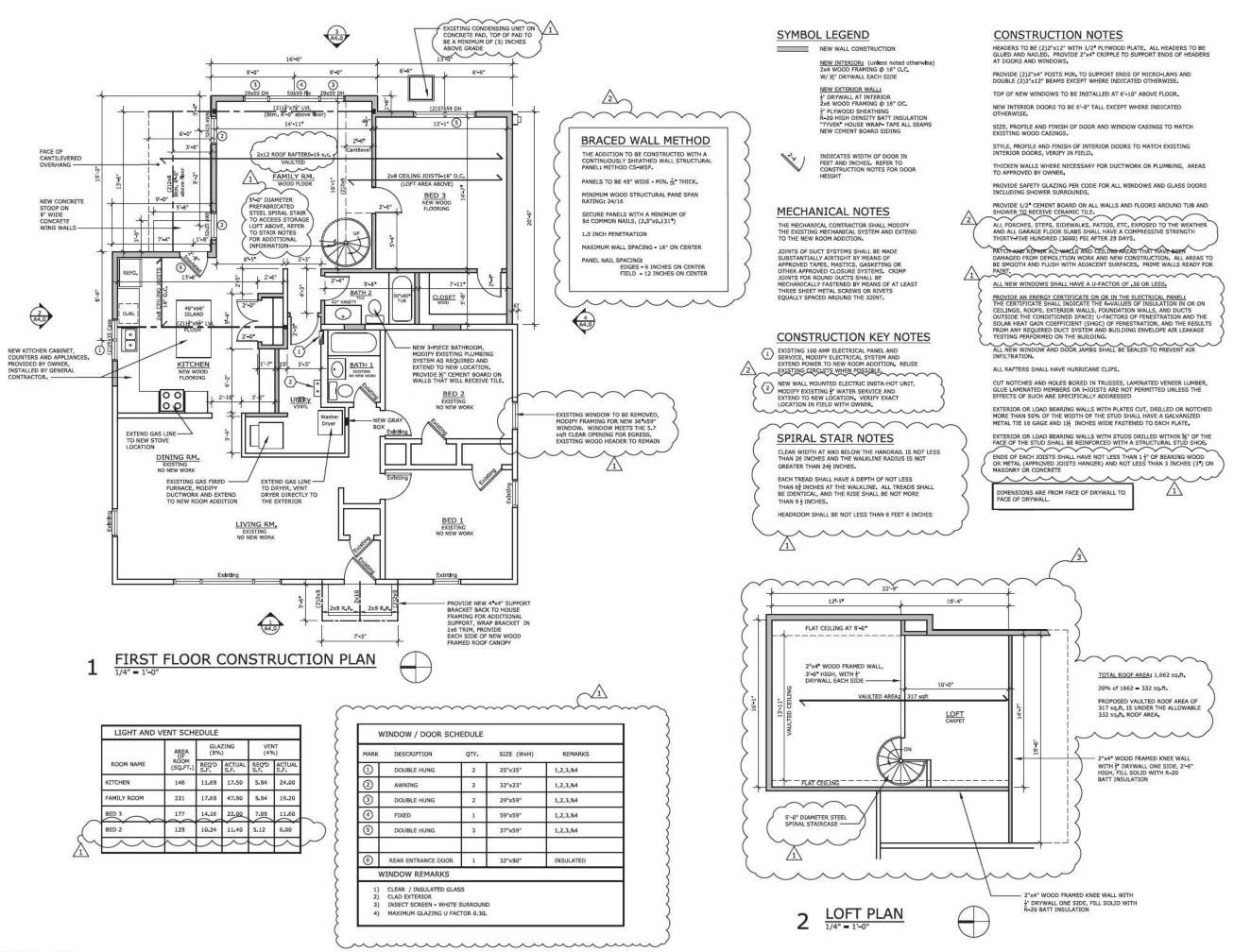
2365 PERMIT REVIEW #2 1-3-2023 PERMIT REVIEW #1 -20-2023 ISSUED FOR PERMIT 7-23-2023

Sheet Title:

**DEMOLITION PLAN** FOUNDATION PLAN

A1.0

Page 17 of 28



#### **GARCEAU** RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010

Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES,

7-23-2023 JOHN E. BERTA

ILLINOIS LICENSE NO. 001-017636 EXPIRES 11-2024

GRAPHIC SCALE

1/4" = 1 FOOT

Project No.: 2365 PERMIT REVIEW #2

1-3-2023 PERMIT REVIEW #1 20-2023 ISSUED FOR PERMIT 2-2023 Description:

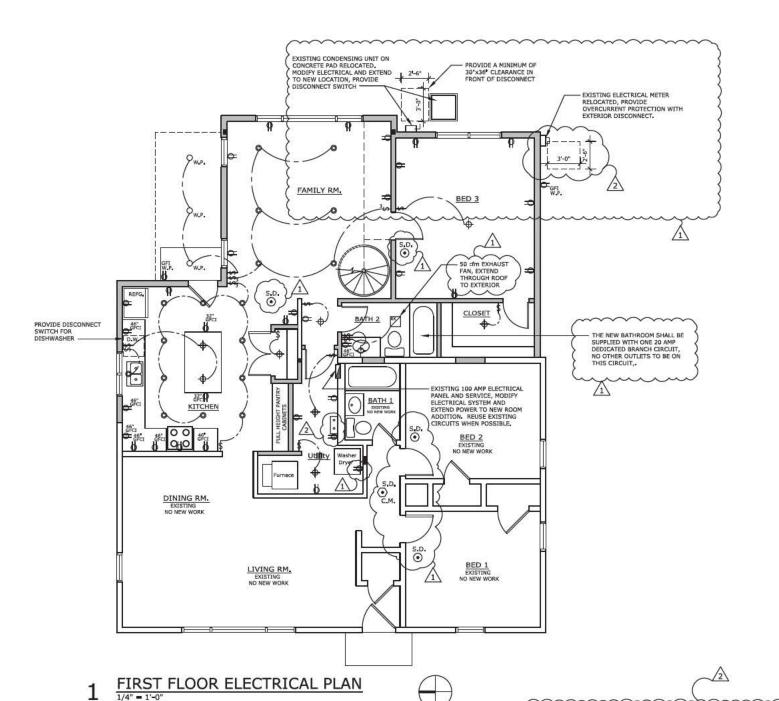
Sheet Title:

CONSTRUCTION PLAN

A2.0

Page 18 of 28

Attachment 7



C.B. RATING: 35

A/C CONDENSING UNIT

FURNACE

WASHER SPARE

GAS DRYER

BATH 2

SPARE

1200 24 20 EXTERIL 26 20 SPARE 28 20 SPARE

30 20 1 SPARE 32 20 1 SPARE

FAMILY ROOM LIGHTS

FAMILY ROOM RECEPTACLES

EXTERIOR LIGHTS AND RECEPT

 $\sqrt{3}$ 

INSTA HOT

WATER HEATER

WILL BE GAS

LOCATION: HOUSE

C/B CIR. V.A. CIR. C/B USE AND/OR AREA SERVED

1500 8 20

TOTAL CONNECTED LOAD PER PHASE: 14,400 12,935 TOTAL V.A. = 27,335 77.36 AMPS

VOLT: 240/120V-1-3W MAINS: 100A N C/B MOUNTING: SURFACE TYPE: BOLT-ON

REMARKS: NEW PANE

USE AND/OR AREA SERVED

KITCHEN APPLIANCE CIRCUIT

KITCHEN APPLIANCE CIRCUIT

LIVING/DINING RECEPTACLES

LIVING/DINING LIGHTS BEDROOM #1

KITCHEN REFRIGERATOR

DISHWASHER

BATH #1

SPARE

SPARE BEDROOM #3

BEDROOM #2

KITCHEN LIGHTING

**ELECTRICAL NOTES** 

ACFI PROTECTION IS REQUIRED IN THE ENTIRE HOUSE.

ALL CAN LIGHTS ARE TO BE BE I.C. RATED-AIR TIGHT CANS WIRED WITH

ALL ELECTRIC BOXES ARE TO BE FASTENED WITH SCREWS AND ALL NEW ELECTRIC WIRING IS TO BE IN CONDUIT.

ALL CEILING BOXES ARE TO BE FAN-RATED TYP.

ALL NEW ELECTRICAL RECEPTACLES ARE REQUIRED TO BE TAMPER PROOF

AND POINT ALONG THE FLOOR LINE IN ANY WALL SPACE TWO FEET (2') OR MORE IN WIDTH, SHALL BE NO MORE THAN SIX FEET (6') FROM A RECEPTACLE.

GROUNDING BUSHINGS OR LOCKNUTS SHALL BE USED IN BOTH METER FITTING AND CIRCUIT BREAKER PANEL, NO EXCEPTIONS.

THERE SHALL BE NO MORE THAN TEN (10) RECEPTACLES INSTALLED ON A FIFTEEN-AMP (15) BRANCH CIRCUIT, AND NO MORE THAN FIFTEEN (15) RECEPTACLES INSTALLED ON A (20) TWENTY-AMP BRANCH CIRCUIT.

ALL LIGHTING IN CLOSETS ARE TO BE RECESSED INCANDESCENT FIXTURES, WITH A COMPLETELY ENCLOSED LAMP. SURFACE MOUNTED CLOSET LIGHTS SHALL NOT BE LOCATED WITHIN 30 INCHES FROM ANY WALLS. SURFACE MOUNTED FLUORESCENTS PERMITTED ON THE INSIDE OF THE WALL ABOVE THE CLOSET OPENING.

ENTIRE BATHROOM IS TO BE PROTECTED BY A GFCI CIRCUIT.

COUNTERTOP RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL LINE IS MORE THAN TWENTY-FOUR INCHES (24°) FROM A RECEPTACLE OUTLET. ALL KITCHEN COUNTERTOP RECEPTACLES ARE TO BE GFCI PROTECTED.

CONTRACTOR TO USE ONLY APPROVED MASONRY JUNCTION BOXES FOR ALL MASONRY APPLICATIONS.

ALL WIRING 25 VOLTS OR GREATER IN NEW CONSTRUCTION SHALL BE CONVEYED THROUGH RIGID METAL CONDUIT, PVC IS NOT ALLOWED.

HALLWAYS OF 10' OR MORE SHALL HAVE AT LEAST ONE OUTLET.

AT LEAST 75% OF THE LAMPS IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS

#### SMOKE DETECTOR

NEUTRAL BUS

#8 CU.

HOUSE 4

WATER SERVICE

8' COPPER CLAD

GROUND ROD

SIDE

**GROUNDING DETAIL** 

EQUIPMENT BONDING JUMPER

#6CU. (JUMPER METER)

MAIN BONDING JUMPER

GROUND BUS

110V SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (WITHIN 15R) AND ON EACH ADDITIONAL LEVEL OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS

ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS WITHIN UNIT.

IN ADDITION TO THE REQUIRED AC PRIMARY POWER SOURCE, SMOKE DETECTORS SHALL RECEIVE POWER FROM A BATTERY WHEN THE AC PRIMARY POWER SOURCE IS INTERRUPTED.

#### SYMBOL LEGEND

- DUPLEX OUTLET (GFI DESIGNATES GROUND FAULT INTERRUPT)
- QUADPLEX OUTLET (GFI DESIGNATES GROUND FAULT INTERRUPTER)



\$ 3 THREE WAY POLE SWITCH

FOUR WAY POLE SWITCH

EXHAUST FAN

COMBO EXHAUST FAN / LIGHT

TELEPHONE (VERIFY EXACT LOCATION WITH OWNER)

CABLE TELEVISION OUTLET (VERIFY EXACT LOCATION WITH OWNER)

CEILING MOUNTED FIXTURE

-0-WALL MOUNTED FIXTURE

0 RECESSED CAN FIXTURE W/ DIMMER CONTROL

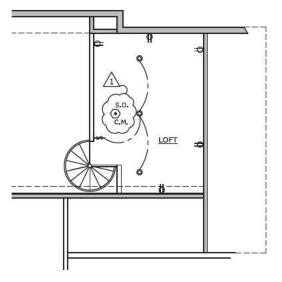
RECESSED FIXTURE WITH LENS COVER

CEILING MOUNTED SMOKE DETECTOR (REFER TO SMOKE DETECTOR NOTES)

COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR

#### CARBON MONOXIDE ALARM

EVERY DWELLING UNIT SHALL BE EQUIPPED WITH AT LEAST ONE APPROVED 110V. WITH BATTERY BACKUP CARBON MONOXIDE ALARM IN AN OPERATING CONDITION LOCATED WITHIN 15 FEET OF EVERY ROOM USED FOR SLEEPING PURPOSES.



LOFT PLAN



#### **GARCEAU** RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010

Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES, ULLUMYES



ILLINOIS LICENSE NO. 001-017636 EXPIRES 11-2024

GRAPHIC SCALE

1/4" = 1 FOOT

Project No.: 2365

PERMIT REVIEW #2	11-3-202
PERMIT REVIEW #1	9-20-202
Description:	7-23-202 Date:
	ISSUED FOR PERMIT

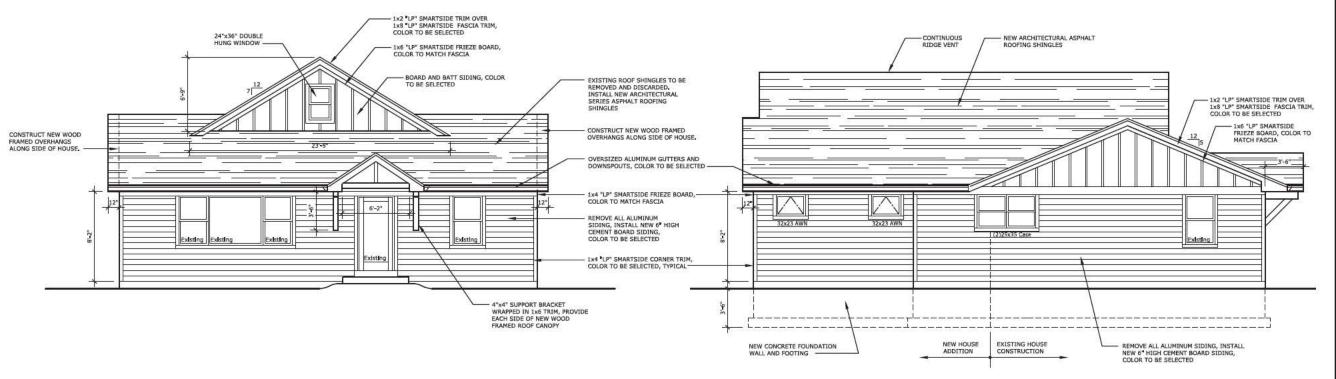
Sheet Title:

**ELECTRICAL PLAN** 

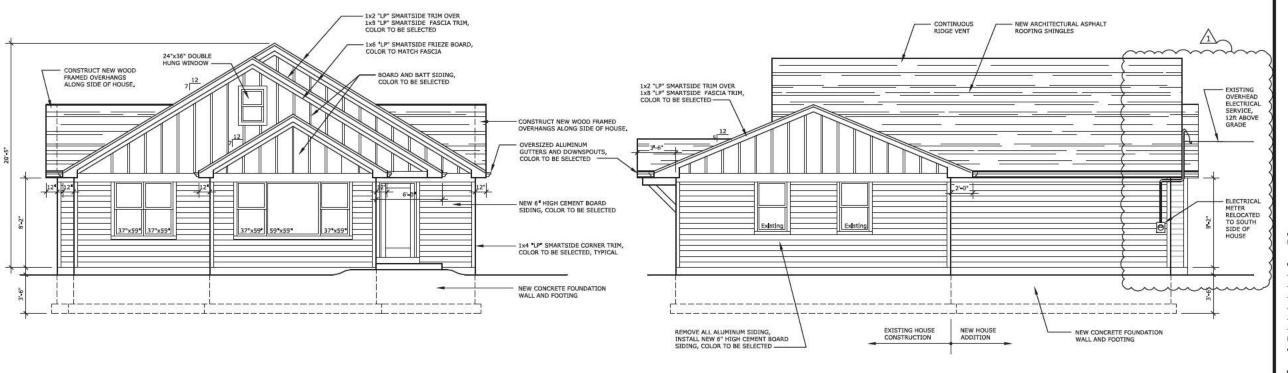
A3.0

Attachment 7

Page 19 of 28



NORTH ELEVATION



3 REAR ELEVATION 4 SOUTH ELEVATION  $\frac{1}{1/4"} = 1'-0"$  **GARCEAU** RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010 Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

# 184-004417

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES, ILLINOIS



ILLINOIS LICENSE NO. 001-017636 EXPIRES 11-2024

GRAPHIC SCALE 1/4" = 1 FOOT

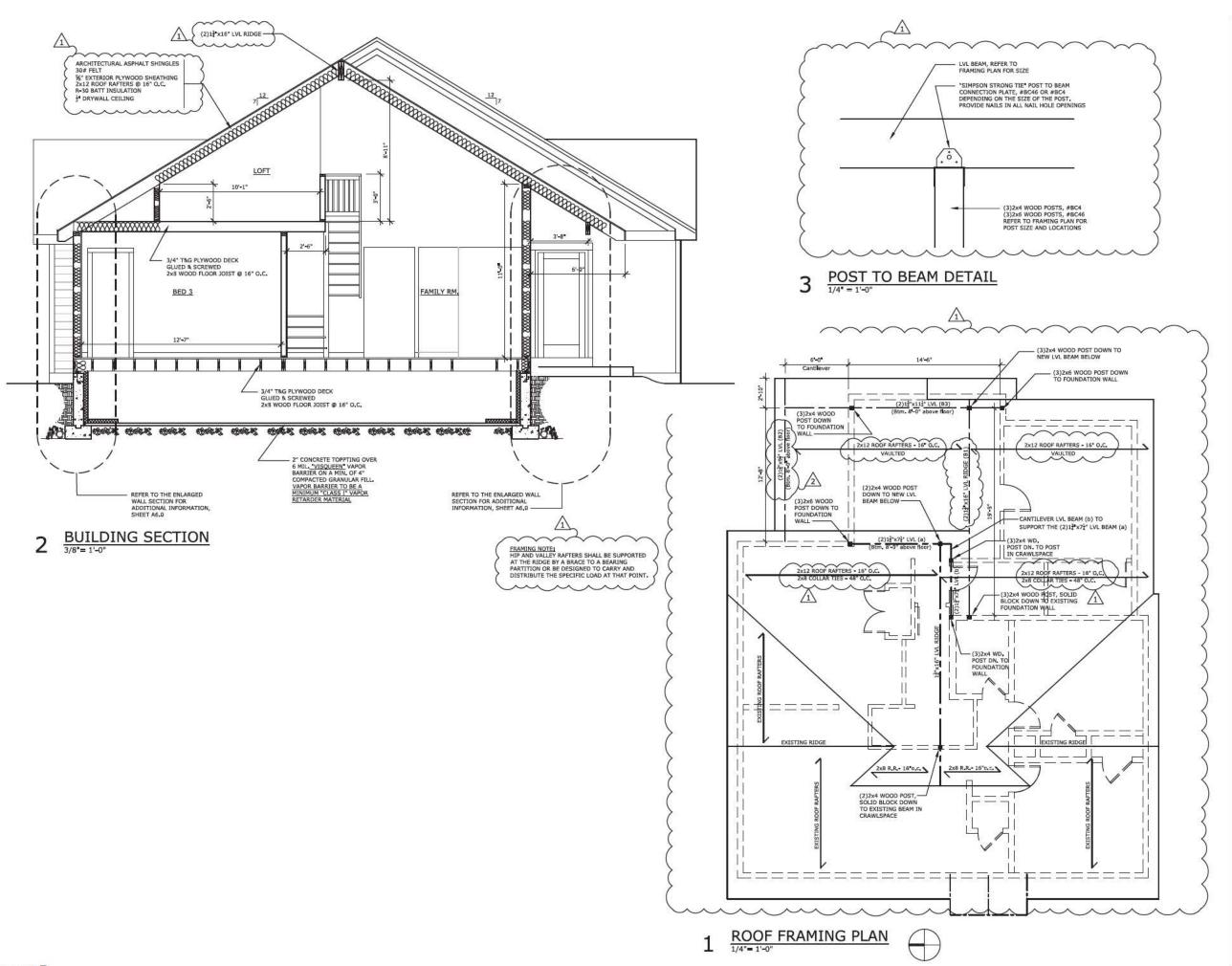
Project No.: 2365

_	Description:	7-23-202 Date:
<u>/1</u> \	PERMIT REVIEW #1 ISSUED FOR PERMIT	9-20-202 7-23-202
2	PERMIT REVIEW #2	11-3-202
_	DEDMIT DELGEW 42	44.2.20

EXTERIOR ELEVATIONS

A4.0

FRONT ELEVATION



GARCEAU RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010 Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

**# 184-004417** 

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES, ILLINOIS



ILLINOIS LICENSE NO. 001-017636 EXPIRES 11-2024

GRAPHIC SCALE
0 1' 2' 3' 4' 5' 10

1/4" = 1 FOOT

Project No.: 2365

 A
 PERMIT REVIEW #2
 11-3-2023

 A
 PERMIT REVIEW #1
 9-20-2023

 ISSUED FOR PERMIT
 7-23-2024

 No:
 Description:
 Ddte:

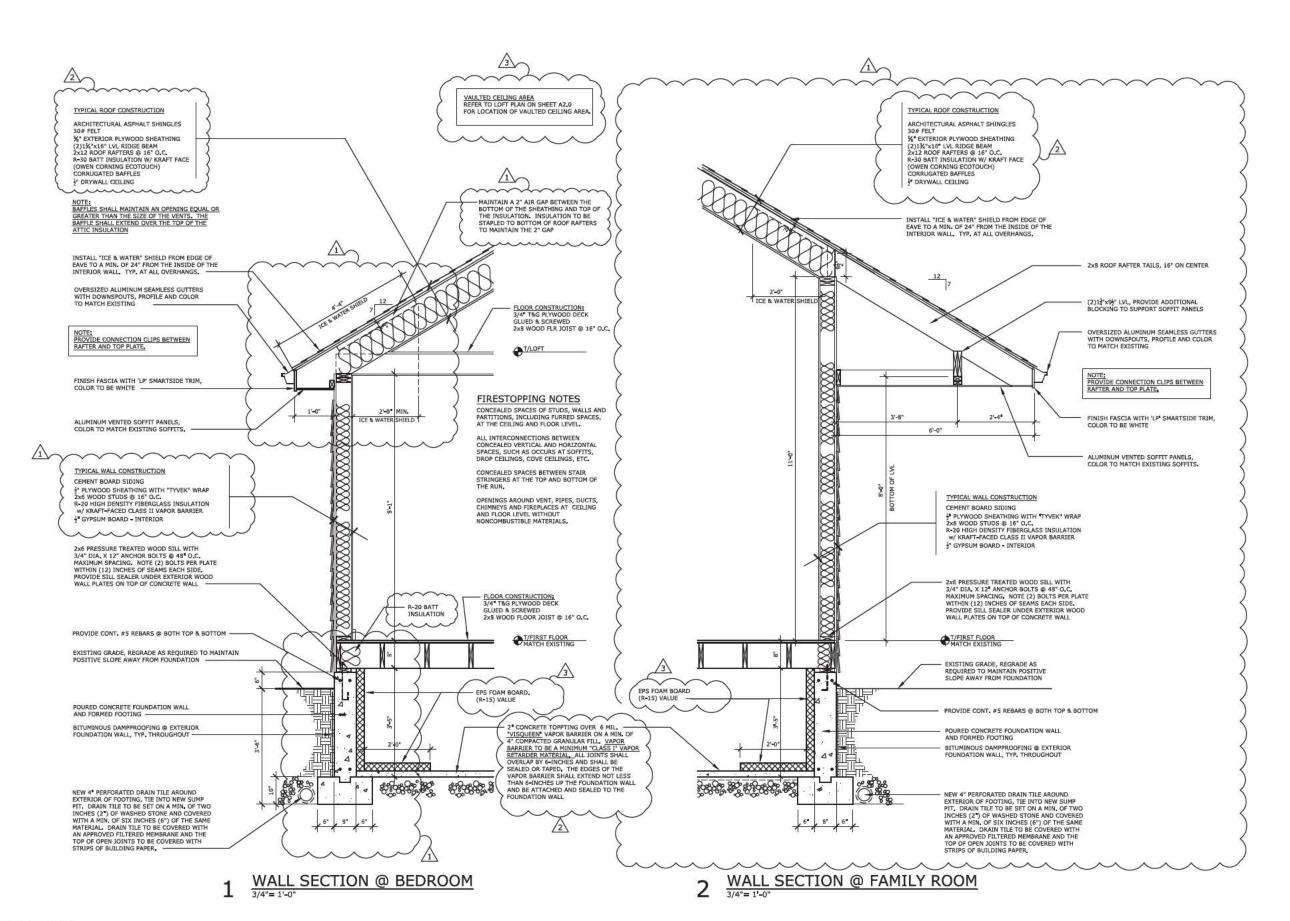
Sheet Title:

ROOF FRAMING PLAN, BUILDING SECTION

Sheet No

A5.0

Page 21 of 28



#### GARCEAU RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010

Tele: (847) 209-1125

CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

# 184-004417

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES,



INOIS LICENSE NO. 001-017636 TRES 11-2024

GRAPHIC SCALE

0 1' 2' 3' 4' 5' 10'

1/4" = 1 FOOT

Project No.: 2365

12	PERMIT REVIEW #2	11-3-20
A	PERMIT REVIEW #1	9-20-20
	ISSUED FOR PERMIT	7-17-22
No:	Description:	Date:

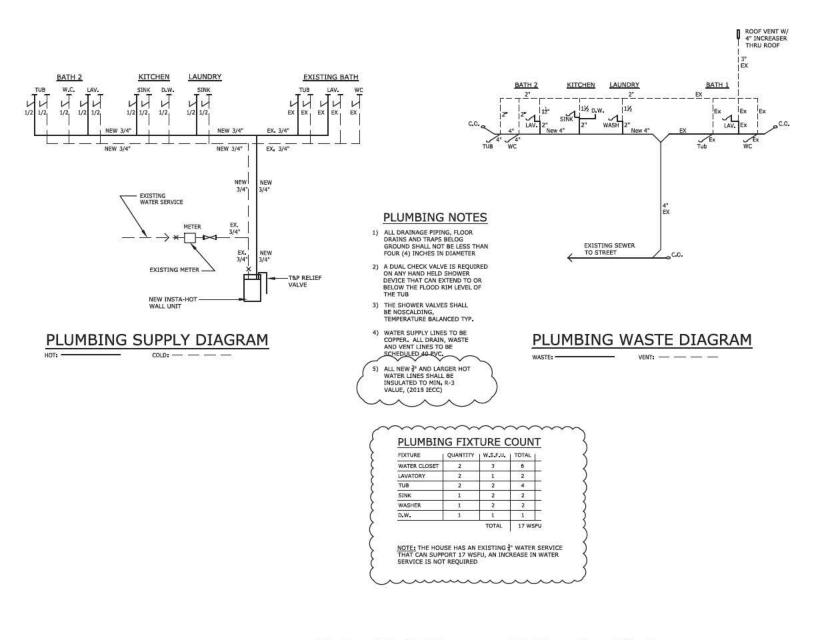
Sheet Title:

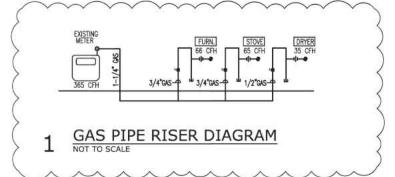
WALL SECTION, PLUMBING RISER DIAGRAM

Sheet No

A6.0

Page 22 of 28





### GARCEAU RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

# CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010

Tele: (847) 209-1125

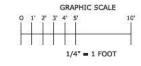
CAPITAL ARCHITECTS, LLC. DESIGN FIRM REGISTRATION:

# 184-0044

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL CODES AND ORDINANCES OF DES PLAINES, LI LINGUES



ILLINOIS LICENSE NO. 001-017636 EXPIRES 11-2024



Proje	2365	
		6 1
2	PERMIT REVIEW #2	11-3-2023
A	PERMIT REVIEW #1	9-20-2023
	ISSUED FOR PERMIT	7-17-22
No:	Description:	Date:

Sheet Title:

PLUMBING RISER DIAGRAM

Sheet N

A7.0

Page 23 of 28

#### GENERAL

- Construction shall be in accordance with the latest International Residential Code and any other codes of applicable regulatory agencies. Contractor shall comply with laws ordinances rules regulations and lawful orders of aby public authority bearing upon the performance of the work.

  Work shall be performed in accordance with the contract drawings. Prior to
- Implementation any discrepancies between the specifications and the contract drawings shall be reported to the architect for clarification.

- shall be reported to the architect for clarification.

  In the event that certain details of construction are not indicated or noted in the drawings details for similar conditions that are indicated or noted shall be utilized subject to the structural engineer's approval.

  Openings and penetrations through structural elements and items embedded in structural elements that are not indicated in the drawings shall be reviewed by the structural engineer prior to fabrication, erection and/or construction.

  Materials or equipment shall not be placed on finished floors or roofs in excess of the design live loads which are indicated in the structural drawings. Impact loading shall be avoided.
- be avoided.

  6. The structure has been designed for the in-service loads only. The methods, procedures and sequences of construction are the responsibility of contractor. Contractor is responsible for taking necessary precautions to maintain and ensure the integrity of the structure during construction. Contractor shall pennediately notify the structural engineer of any condition which compromises the structure.

  7. Connections of MEP, architectural and other non-structural Rems to the structure shall be designed and detailed by the manufacturer, supplier or contractor. Connections to structural elements shall be submitted to the structural engineer for review. Responsibility for the performance of the supplied system and associated connections shall remain that of the party furnishing the design and detailing.

  8. Existing conditions and related dimensions indicated in the contract documents shall be elefted verified prior to fabrication, erection and/or construction. Any condition that differs from that indicated in the contract documents shall be submitted to the architect for review prior to fabrication, erection and/or construction.

  9. Proprietary products shall be installed in strict accordance with the manufacturers and suppliers' recommendations.

#### DESIGN CRITERIA

#### 1. Design Live Loads

#### 2, Design Dead Loads

The weight of structural components was estimated in accordance with standard engineering practice. The weight of floor finishes and permanent partitions was estimated based upon locations and compositions as indicated in the architectural drawloor.

Design superimposed dead loads:

Celling, Mechanical, Electrical and Plumbing

Design Wind Loads Wind loadings for the design of the structure were obtained from the 2015 International Residential Code

- 1. Spread and continuous footings were designed to bear on undisturbed soil with a nei allowable soil bearing pressure of 1500 psf. Walls retaining earth were designed for a lateral earth pressure of 50 pcf. The Contractor shall inspect and perform any test required to verify the actual net allowable soil bearing pressure at foundation bearing locations exceeds the design allowable soil bearing pressure. The Contractor shall notify the structural engineer of any location where the actual bearing pressure is less than the specified value (or) where any foundation elevation must be modified to bear on appropriate material. Construction of the foundation system shall not proceed at any such location until the appropriate remedial action as prepared by the structural has been submitted to Contractor.
- Existing fill and organic material shall be removed. Fill shall be placed in lifts not exceeding 91 in loses thickness and compacted to a minimum 90% of optimum density as determined by the Modified Proctor Test ASTM D-1557.
- The slab-on-grade shall be placed on a over a minimum thickness of 4" of granular fill
  placed in litts not exceeding 9" in loose thickness and compacted to a minimum 90% of
  optimum density as determined by the Modified Proctor Test ASTM D-1557,
- 4. Contractor shall be responsible for providing any required dewatering of the site.
- 5. Foundation, dimensions and alignment shall be field verified by contractor prior to
- Reinforcing steel and concrete shall be placed as soon as possible after excavation for the foundation system. Reinforcing steel shall be thoroughly cleaned immediately prior to placing concrete.

- 1. Concrete detailing placement and construction shall be in accordance with ACI 318-95
- and ACI 301-89.

  Concrete shall be sand and normal weight coarse aggregate (145 ptf max.) with a minimum 28 day compressive strength of 3000 psf. Coarse aggregate maximum size shall be 3/4 lpch in slaiso on dext, and wa oncrete reinforcing steel shall conform to ASTM A615 grade 60.
- Concrete slabs on grade shall be reinforced with 6x6- W2,9xW2,9 welded wire fabric. Welded wire fabric shall conform to ASTM A185. W.W.F. shall be furnished in flat wedled wire fache shall conform to ASTM ALSS. W.W.F. shall be turnished in hat sheets only. Reentrant corners of slabs whether at slab openings or other slab edges shall be reinforced with one diagonally placed #4 x 4-0" bar centered on the corner. Concrete protection for reinforcement shall be in accordance with ACI 315-95 unless noted otherwise. Unless noted otherwise "Confinaous" reinforcement shall be millimum lap of 24 inches at splites and shall hook at discontinuous ends. Laps of
- Rebar chairs shall be provided for concrete reinforcement. Additional longitudinal support bars shall be provided as required to assure proper support for reinforcing steel
- 6. Concrete shall attain 75% of the specified 28-day compressive strength prior to

wire mesh shall be a minimum of two wire meshes plus 2 inches.

- 7. Special care shall be taken during the concrete placement operations to ensure full consolidation of concrete around dowels, deformed bar anchors, headed concrete anchors and anchor bolts.
- 8. Concrete slump determined by ASTM C143 shall be 4º plus or minus one inch.
- Admixtures containing either calcium chloride or water soluble chloride lons exceeding 0.01 percent by weight of cement shall not be used.
- 10. After forms have been stripped, concrete which is not formed as required, which is out of alignment or level beyond specified tolerances, or which shows defective surface that cannot be properly repaired or patched shall be removed. Submit to Structural Engineer, in writing, remedial procedures for review prior to beginning work.
- Honeycombed, spalled or otherwise damaged concrete shall be repaired and patched.
   Notify Structural Engineer of defects and submit remedial procedures in writing for review prior to beginning work.

#### DIMENSIONAL LUMBER

- 1. Material and workmanship shall be in accordance with the 2015 "National Design Specification for Wood Construction" of the American Forest & Paper Association.
- 2. Conventional dimensional lumber shall be well-seasoned Spruce-Pine-Fir, structural grade No. 2, or equal with the following base properties:

Modulus of Elasticity: 1,400,000 psi Compression parallel to grain: 1150 psi

Stud wall framing shall be well-seasoned Spruce-Pine-Fir, structural grade No. 2, or equal with the following base properties:

Modulus of Elasticity: 1,400,000 psi Compression parallel to grain: 1150 psi

Engineered timber, referred to as Microllam, is to be laminated veneer lumber (LVL)
designed and manufactured by Trus Joist MacMan to develop the following minimum

Modulus of Elasticity: Bending Stress: Shear Stress: 285 pst Compression perpendicular to grain parallel to glue line 750 psl

- Engineered timber, referred to as TJI shall be I shaped engineered joists designed and manufactured by Trus Jojet MacMillan.
- Engineered timber, referred to as Parallem, is to be parallel strand jumber (PSL) designed and manufactured by Trus Joist MacMillan to develop the following

Modulus of Elasticity; 2,000,000 psi Bending Stress: Shear Stress: 290 ps Compression parallel to Compression perpendicular to grain parallel to wide face of strands 650 psi

- 7. Maximum allowable moisture content shall be 19%.
- 8. Provide a minimum of double studs with full bearing below beams and lintels.
- 9. Posts indicated as composed of multiple studs shall be integral with stud walls and shall be braced in their weak direction by drywall or wall sheathing continuous across at least one narrow face of the studs. Posts shall extend down to the foundation or solid blocking shall be provided below post down to the foundation or to a structural.
- 10. Provide (2) 2x12 headers over wall openings unless indicated otherwise.
- Provide solid bridging between dimensional lumber floor joists spaced not more than 8'-0" O.C.
- 12. The quantity and size of fasteners connecting wood frame members together and sheathing materials to wood frame members shall not be less than that specified in the 2015 RRC Code.
- 13. Metal connectors called for on drawings are as manufactured by Simpson Strong-Tie Company, Inc. Use manufacturer's recommended nailing or bothing at metal connectors. No substitutions are to be made without the permission of the Structural
- 14. Cutting, notching, or drilling of framing at structural load bearing yalls shall be minimized and shall be in accordance with the 2015 IRC Codes.

  15. Provide double joists around openings interrupting joist spans. Frame rafters in a
- 16. Exterior wall sheathing shall be 1/2" APA rated 32/16 C-C Exposure 1. Nalling at panel edges shall be 9d @ 6" minimum unless noted otherwise. Nalling at intermediate framing members shall be 8d @ 12". Nall type shall be common.
- 17. Floor sheathing shall be 23/32" APA rated 45/24 Exposure 1. Sheathing shall be glued and nailed to framing. Panels shall be glued and nailed to framing. Nailing at panel edges shall be 8d @ 6" minimum. Nailing at intermediate framing members shall be 8d @ 12". Nail type shall be common.
- 19. Structural wood panels (plywood or OSB) shall be continuous over three or more spans and shall be installed with joints staggered. 1/5 inch gap shall be maintained at edges of panels. Plywood shall be installed with face grain of plywood perpendicular in
- 19. OSB and plywood products are subject to expansion when exposed to ambient jobsite conditions. After installation of panels and felt paper, roof deck shall be allowed to stabilize for a period of not less than five days prior to installation of finished roofing.
- 20. Joists shall be set with the natural camber up.

#### THERMAL & MOISTURE CONTROL

- 1. Base sill and flashing to be equal to 6 mill visqueen polyethylene film or "Nevastral" flashing or equal.
- 2. Use 4 mil Polyethylene flashing at all window and door jambs.
- 3. Provide pre-finished gutters and downspouts to concrete splash blocks (Size as designated on plan),
- Install all appropriate flashing and counterflashing at valleys, ridges, wall junctures, chimney, window and door heads, Jambs and sills, top of foundation wall, etc., as shown on Drawings
- 5. Provide 'Tyvek' wind infiltration building wrap.
- Provide copper flashing, 16 cz., at all copper roof conditions, at all roof/wall intersections, roof valleys, cap flashing and as otherwise required. Roofing Contractor to use only copper or brass nalls with all copper flashing. Typical roof to be granular surfaced 240°d three-tab asphals shingle as selected by the owner. Provide 15 lb. felt paper underlayment over top portion of each coarse.
- Provide R-21 batt insulation @ all exterior wall & R-45 batt insulation as permits. All fiberglass batt insulation shall have a vapor barrier installed on the warm side unless otherwise noted on the Drawing.
- 9. Install W.R. Grace Ice and Water Shield at eaves, hips, valleys and around chimney to prevent ice dams,
- Caulk and seal all joints as necessary. Weather-strip exterior doors, windows, exhaust fans, etc. Where
  anchors, etc., penetrate flashing, fill with sealer to ensure a watertight condition.
- 10. Attic Venting: The net free vent lating area shall not be less than 1 sq.ft., to 150 sq.ft., of celling area of the space ventilated except that the area may be 1 to 300, provided at least 50% of the required ventilating area is provided by the ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or comice. Provide 1 sq.ft. of ventilation area at the ridge of each 300 sq.ft. of ceiling and 1 sq.ft. of ventilation area at each soffit or eave for each 300 sq.ft. of ceiling area. Note: All Exhaust fans shall be vented to the outside

#### WINDOWS

- 1. Door and window inflitration shall be in accordance with City ordinance.
- Windows indicated are Casement "Traditional" Series Pella Windows with double pane and thermal low E Glass, or approved equal (See Plans)

- Install U.S. gypsum or approved equal S.W. system 5/8" tapered wallboard with metal corner beads.
  Machine tape all joints. Wallboard shall be attached according to Manufacturer's Instructions, screwed.
  Patch all nall heads and leave the wall surface free from waves, pits, and buckles. Provide "3" beading for wallboards against dissimilar materials. Use 5/8" freecode wallboard where required for fire rating.
  Patching Drywall shall match existing wall.
- 2. Prime all drywall to stop dust shedding. Final painting of drywall will be by others.
- Install new ceramic tile on 1/2" Wonder board (glass mesh mortar units) using Latex Portland Cement method F1444-98 as defined by the Tile Council of America.
- 4. Drywall Sub-Contractor shall install drywall as required.
- 5. Contractor to install owners supplied kitchen cabinets and countertops in kitchen.
- 6. Contractor to Install owner supplied oven, stove, and sink

- Mechanical contractor shall modify the existing mechanical system and extend to new room addition. System to be designed build in field. Mechanical contractor to provide all material, equipment and labor as required to complete the installation of the new system, Mechanical contractor shall submit calculations and drawings as required by the city for review and comment.
- All mechanical work shall comply with 2015 IRC Codes and ordinances and be performed under the supervision of a licensed mechanical
  contractor, under permit, and inspected and approved by the local mechanical inspector.

#### PLUMBING

- Plumbing contractor shall modify the existing plumbing system to accommodate the new bathroom and new kitchen sink location. The Plumbing Contractor shall include all necessary labor, materials, and equipment required for a complete and operable installation of all
- All plumbing work shall comply with 2015 IRC Codes and ordinances and be performed under the supervision of a licensed plumber, under permit, and inspected and approved by the local plumbin
- 3. Workmanship shall be the best standard practice of the trad-
- 4. Valve shall be appropriate to use and to adjacent piping material. Provide shut off valves for all supply
- 5. Interior suspended waste and vent piping and fittings shall be cast iron pipe.
- 6. Water ploing above grade shall be type "L" copper with lead-free solder, and type "K" below grade
- 7. Provide a 12" air chamber at every fixture and a 24" air chamber at the top of risers.
- 9. Provide clean-outs in waste and soil line for each change of direction greater than 45 degrees and at top of

# All water pipes to fixtures shall be valved.

- 10. Water closets shall be rated 1,28 gallon per flush maximum. Showers shall have a max, flow rating of 2 gpm, lavatores shall have a max
- 11. Provide backflow preventer valve.
  - 12. Plumbing fixtures shall be water sense labeled

The Electrical Contractor shall modify the existing electrical panel and extend electrical to the new room addition. The electrical contractor shall design and provide a new furthoring electrical system to accommodate the new plan configuration.

The Electrical Contractor shall include all necessary labor, materials, and equipment that is required for a complete and operable installation of the endire electrical system.

The Electrical Contractor shall install all work and comply with the 2015 IRC codes and the 2014 NEC code.

The Electrical Contractor shall provide metal conduit runways and copper wire throughout. The Electrical Contractor shall disconnect and reconnect power lines to accommodate new work as designated on plans,

The Ejectrical Contractor shall provide ground fault protected grounded outlets in all bathrooms and at kitchen counter outlets,

Provide all switches, dimmers, outlets, wiring, boxes, etc. as shown. All switches to be large rocker switch type, Decora or equal, white switches with white cover plates. All dimmers to be Lutron "Skylark" slide type dimmers with on/off switch, white with white cover plates. All devices and cover plates to be white unless

- Electrical contractor to provide and install all recessed "can" light fixtures. Surface mount fixtures to be provided by owner, and installed by Electrical Contractor. Electrical contractor to install all junction boxes for all light fixtures as shown on Drawings.

END OF SPECIFICATIONS

Provide lamps (bulbs) for all the Builder provided fixtures and all appropriate connections and power for the installation of the appliances and mechanical equipment. Coordinate with the other subcontractors.

**GARCEAU** RESIDENCE

First Floor Room Addition

915 Alfini Drive Des Plaines, IL 60016

#### CAPITAL ARCHITECTS, LLC

PLANNING & DESIGN

422 N. Hough Street Barrington, IL 60010 Tele: (847) 209-1125

DESIGN FIRM REGISTRATION:

# 184-004417



7-23-2023

ILLINOIS LICENSE NO. 001-017636

0 11	21 21	AT ET	
0 1	2 3	4 3	
1 1		1 1	
$\vdash$	-		

Project No.: 2365

	1	
	ISSUED FOR PERMIT	7-2-20
No:	Description:	Date:

Sheet Title: **SPECIFICATIONS** 

A8.0

Page 24 of 28

From: Elizabeth Wolf
To: Jeffrey Rogers
Subject: 915 Alfini Drive

Date: Wednesday, January 10, 2024 5:30:08 PM

To the members of the planning and zoning board:

This is just a quick note to voice my support for the proposed project at 915 Alfini. My understanding is that the homeowners wish to slightly exceed a lot coverage limit, and doing so would make the home more livable for current or future inhabitants who might require a mobility aid. This seems like a good move. It looks like the proposed plan fits into the neighborhood nicely and wouldn't be out of place on that street.

Thanks for your time, Elizabeth Wolf

Attachment 8 Page 25 of 28

From: B. Hertel
To: Jeffrey Rogers

Subject: 915 Alfini Drive\_Variance Coverage

Date: 715 Alfini Drive\_Variance Coverage
Thursday, January 11, 2024 6:54:09 PM

Dear Mr. Rogers,

My name is Brian Hertel. My wife, Melissa, and I are Des Plaines residents, and we reside at 977 Alfini Drive. I am writing to let you know that we support the coverage variance at 915 Alfini Drive.

Sincerely,

Brian and Melissa Hertel

Attachment 8 Page 26 of 28

From: Edward Eicker
To: Jeffrey Rogers

Subject: Standard Variance Request for 915 Alfini Drive Date: Thursday, January 11, 2024 9:05:28 AM

#### Good Morning, Mr. Rogers,

I am writing to you in support of the standard variance request for 915 Alfini Drive. It is my understanding that the request would only slightly exceed the 30% lot coverage. I've looked at their plans and believe the finished structure would align with the look and feel of the overall neighborhood. The majority of residences in this neighborhood are one-story or split-level homes, and this would not change with the proposed addition. In terms of overall square footage, the plan is modest and room sizes would still be at or below average.

The residents at 915 Alfini Dr. are valued members of our community with a history of service to Des Plaines. I hope the City of Des Plaines will grant 915 Alfini Drive their standard variance request.

Sincerely,

Ed Eicker 1120 Jeannette St, Des Plaines, IL 60016

Attachment 8 Page 27 of 28

From: Samaah
To: Jeffrey Rogers
Subject: 915 Alfini Drive

**Date:** Thursday, January 11, 2024 8:56:47 AM

#### Hi

I live next door to 915 Alfini Drive and I support their request to cover 31% of their lot with their new addition.

Thanks Samaah 923 Alfini Dr, Des Plaines, IL 60016

Attachment 8 Page 28 of 28



# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

#### **MEMORANDUM**

Date: January 19, 2024

To: Planning and Zoning Board (PZB)

From: Samantha Redman, Senior Planner 500

Cc: Jeff Rogers, Director of Community and Economic Development

Subject: Standard Variation at 1504 Oakwood Avenue

**Issue:** The petitioner has requested a standard variation to reduce the corner side yard from 10 feet to 2 feet (80 percent reduction) to allow for a shed in the R-1 Single-Family Residential District.

**Petitioner:** Max Larsen, 1504 Oakwood Avenue, Des Plaines, IL 60016

Owner: Max Larsen, 1504 Oakwood Avenue, Des Plaines, IL 60016

Case Number: 24-002-V

**PIN:** 09-20-210-014-0000

Ward: #2, Alderman Colt Moylan

**Existing Zoning:** R-1, Single Family Residential

**Existing Land Use:** Single Family Residence

**Surrounding Zoning:** North: R-4, Central Core Residential District

South: R-1, Single Family Residential District East: R-1, Single Family Residential District West: R-1, Single Family Residential District

**Surrounding Land Use:** North: Multifamily residential building

South: Single family detached house
East: Single family detached house
West: Single family detached house

**Street Classification:** Oakwood Avenue and Cora Street are classified as local roads.

**Comprehensive Plan:** The Comprehensive Plan illustrates the site as single family residential.

#### **Zoning/Property History:**

This property currently consists of a single-family detached house with a detached garage on a corner lot, bound by Oakwood Avenue, Cora Street, and an alley. A fence surrounds the property – four-feet-tall around the front yard and six-feet-tall around the corner side, side, and rear yards. A variation was granted in 2005 to allow a six-foot-tall, solid fence along a section of property fronting Cora Street. The 2005 variation was granted based on the finding that the property is located along Cora Street en route to Central School and Downtown Des Plaines, which generates more traffic than other streets and additional screening for privacy was necessary. Permits to replace portions of fencing around the property were approved in 2020 and 2023.

#### **Project Description:**

#### Overview

The subject property at 1504 Oakwood Avenue consists of a two-story house, a two-car detached garage with an entrance/exit through the alley, and several hard surface and yard features in the back yard. The subject of this variation request, the shed, was constructed in October 2023 without a permit and there is an open code enforcement case to address this issue. The petitioner requested a building permit in 2023 for the shed, but it did not pass zoning review due to the issues outlined in this staff report.

The shed is classified as an "accessory structure" and is subject to Section 12-8-1 of the zoning ordinance, regulating location, size, and height. The shed is below the maximum height and area and building coverage requirements for the R-1 Zoning District continue to be met with the addition of the shed.

#### Standard Variation Request

The requested relief is to reduce the required side yard by eight feet to allow a shed structure to be located in this area. A standard variation allows the PZB to reduce required yards between 30 percent and 100 percent of the required size; the requested relief is reducing the corner side yard from 10 feet to 2 feet, an 80 percent reduction. A shed was installed in 2023 without a building permit in the required corner side yard and relief is necessary to allow the shed to remain. If the standard variation is not granted, the property owner will be required to move the existing shed.

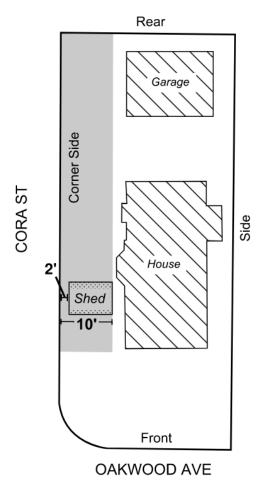
#### Required Yards and Permitted Obstructions

All properties have "required yards" also known as "setbacks" that are spaces intended to be free of obstruction and provide separation between buildings, structures, and other features. The definition in Section 12-13-3 reflects this purpose:

YARD: An open space on a zoning lot which is unoccupied and unobstructed from its lowest level to the sky.

To meet the intent of a yard, the zoning ordinance limits what can obstruct these areas of intended open space. Section 12-7-1.C includes a table of "Permitted Obstructions in Required Yards." This table lists various types of structures and how much they can encroach into a required yard. Twenty-five different types of structures can encroach into a required yard, but only 14 types of structures can encroach into the required front or corner side yards. Accessory structures (i.e. sheds) are not permitted within front or corner side yards.

The illustration below demonstrates where staff have interpreted the required corner side yard to be on the subject property and the area the existing shed is encroaching.



Note two air conditioning units are located between the shed and the house. Staff have determined the existing units meet manufacturer's specifications for minimum distance from any structures, including the shed; however, if this variation is approved, a condition of approval is suggested to affirm this requirement will be met by any future replacement of this mechanical equipment.

<u>Variation Findings:</u> Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

<u>Comment:</u> The petitioner states in their response to standards that the hardship is related to the limited space on the corner lot and the presence of minimal locations on the property to locate the shed. As the site photos demonstrate, there are several existing hard surface and landscaping features on the property that limit the location of the proposed shed, including playground equipment and a patio with a seating wall. Although the movement of structures in the yard may make placement of the shed in other locations more challenging, this challenge does not necessarily rise to the level of hardship that

	practical difficulty exists.						
	PZB Additions or Modifications (if necessary):						
2.	Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.						
	<u>Comment:</u> The petitioner states in their response to standards for variation that the property is not unique. Although this lot is narrower than many corner lots, there is not an abnormal feature that limits the location of a shed on the property. Landscaping and existing yard features may make movement of the shed to other locations on the property more challenging; however, many residential property owners have similarly sized properties with comparable limitations and are able to construct a shed that meets zoning regulations.						
	PZB Additions or Modifications (if necessary):						
3.	Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.						
	<u>Comment:</u> As discussed in response to standard 2, there is not a unique hardship present on the property compared to other similar properties that limits the location of the shed in areas outside of the required yards. The shed was constructed without a building permit in a required yard and this variation is necessary to allow the structure to remain.						
	PZB Additions or Modifications (if necessary):						
4.	Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.						
	<u>Comment:</u> Carrying out the strict letter of the code would prevent the location of a shed in the corner						

side yard. It is not inherently a right to have a shed on a residential property and other areas are available on the property to locate the shed, although the petitioner states this may present practical

difficulty.

would not be present on other similar properties. Through either testimony in the public hearing or via the submitted responses, the Board should review, question, and evaluate whether a hardship or

	PZB Additions or Modifications (if necessary):
	<del>.</del>
5.	Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:
	<u>Comment:</u> It can be argued the petitioner would experience a special privilege by allowing a shed in the corner side yard where many other properties in the City are not permitted to have this type of structure this close to the street.
	PZB Additions or Modifications (if necessary):
6.	Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:
	<u>Comment:</u> Although the adjacent property across Cora Street from this property is located very close to the property line, this appears to be the only property within the neighborhood that has structures less than two feet from the property line. However, the shed in this circumstance is behind a 6-foot tall, solid vinyl fence, which partially screens the shed from the street.
	As discussed in the petitioner's response to standards and narrative, they express willingness to match the paint and shingles to the exterior of the house to minimize visual impact and create a more harmonious appearance. A suggested condition of approval is included in this report for the Board's consideration, requiring these types of adjustments to the appearance. Refer to the attached Shed Plans for architectural details and proposed paint colors.
	PZB Additions or Modifications (if necessary):
7.	No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.
	<u>Comment:</u> Another remedy would be to locate the shed in another location on the property that is outside of the corner side yard. Note the petitioner has also expressed willingness to move the shed to another location on the property (refer to Petitioner's Proposed Alternative Site Plan); this location would require an identical variation, as it is still within the corner side yard. Reasonable use of the property is still possible without this variation.
	PZB Additions or Modifications (if necessary):

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment:	The	variation	request	is	the	minimum	measure	of	relief	necessary	ν.

PZB	Additions	or	Modifications	(if	necessary):	:				

#### **PZB Procedure:**

#### Standard Variation

Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance.

#### **Conditions of Approval:**

- 1. No drainage concerns shall be created by this structure. Directing any discharge from any drainage device on private property onto any public right-of-way or adjacent properties is strictly prohibited, pursuant to Section 10-9-2. At time of building permit, petitioner must demonstrate this requirement will be met and may need to install gutters or a similar drainage feature on the shed to meet this condition. Compliance with this condition to be determined by the Director of Public Works and Engineering or designee through the permit review process.
- 2. Any mechanical equipment must be located the required distance from the proposed structure, per manufacturer specifications.
- 3. Shingles and paint color of the existing house and proposed structure must be submitted with building permit to confirm appearance of the structures will be complementary.

#### **Attachments:**

Attachment 1: Location and Zoning Map

Attachment 2: Petitioner's Site and Context Photos

Attachment 3: Staff Site and Context Photos

Attachment 4: Petitioner's Narrative and Response to Standards

Attachment 5: Plat of Survey

Attachment 6: Proposed Site Plan

Attachment 7: LIDAR Aerial of Property

Attachment 8: Petitioner's Proposed Alternative Site Plan

Attachment 9: Shed Plans

# **GIS**Consortium

# Case Number 24-002-V



Legend

☐ Subject Site

Zoning

R-1: Single Family
Residential

R-4: Central Core Residential

Print Date: 1/17/2024 Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

400

Page 7 of 34

200



External Visibility from Sidewalk 1



External Visibility from Sidewalk 2

Attachment 2 Page 8 of 34



External Visibility from Sidewalk 3



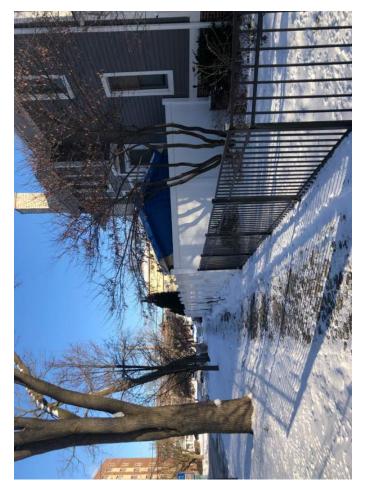
Northeast corner

Attachment 2 Page 9 of 34



Southwest corner

Attachment 2 Page 10 of 34



View of shed and parkway adjacent to house, facing north





View of shed and existing house, facing southeast

View of adjacent properties, facing east

Attachment 3 Page 11 of 34

#### Petitioner's Narrative and Response to Standards - 12-05-2023

Dear Members of the Zoning Board,

I am writing to request a variance for the installation of a garden shed on our property at 1504 Oakwood Avenue, emphasizing the importance of preserving the historical beauty of our neighborhood. Our family, including my wife and our two young children, Elise (2 years old) and Claire (5 years old) Have a passion for gardening and we would like to have a safe storage area where gardening tools can be stored. While we do have a garage that can be used for garden tool storage, the garage is used for tools and storage of items which we are not comfortable with our eldest child accessing. We would like to get approval to add a garden shed to our property in a manner that not only meets our practical needs but also contributes positively to the aesthetic charm of the neighborhood.

Our limited backyard space necessitates a 2-3 -foot maximum setback from the property line, placing the shed behind our 6-foot vinyl perimeter fence and mostly hidden from view. To further integrate the shed into the aesthetic fabric of our neighborhood, we are committed to working closely with the zoning board. This includes color matching the exterior paint of the shed to our house, ensuring a seamless blend between the house and garden shed. Additionally, if desired, we are more than willing to purchase shingles that closely match our house color, further blending the shed into its surroundings.

We understand and appreciate the board's role in maintaining the visual appeal of our neighborhood, and we are open to any suggestions or modifications that align with the historical and architectural character of the area. Our goal is to not only meet our family's storage needs but also to contribute positively to the cohesive and charming aesthetic of our community.

As part of our submission we have included pictures as well as a top down lidar scan of our backyard indicating where we could feasibly put the shed if granted a variance.

Thank you for your time, consideration, and for providing us with the opportunity to collaborate in ensuring our proposed shed enhances the historical beauty of our neighborhood.

Sincerely,		
Max Larsen		

Attachment 4 Page 12 of 34



#### COMMUNITY AND ECONOMIC DEVELOPMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5306 desplaines.org

#### **STANDARDS FOR VARIATIONS**

In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each). Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

Our property has very limited space on a corner lot, the only two feasible locations (SW and NW corner of the property both would require a variance allowing a reduced setback from the property line.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

While our property is not unique we believe the impact to the aesthetics of the area is minimal given a majority of the shed is covered by the 6' solid vinyl fencing that surrounds the property.

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

The lot has limited exterior space due to being a corner lot which reduces our options for the shed placement without a variance.

Attachment 4 Page 13 of 34

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
  - While not a critical need, an approved variance for the shed either on the NW corner or SW corner of the property would allow our family to store our gardening tools properly, create a safe area for our children to store their gardening tools and allow us to continue to maintain the aesthetics of our property to a high standard. Our family spends hundreds of hours each summer gardening. In the two years that we have lived here we have planted hundreds of wildflowers to increase biodiversity, grown vegetables sustainably for ourselves and our neighbors and we have made our best effort to make our property something that passerbys can enjoy. Anecdotally we have had several people come by and ask to pick flowers which we have always appreciated and we believe they appreciate the gesture as well. A garden shed would allow us to more effectively engage in our family's love of gardening and to improve the aesthetics of our property.
- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.
  - We believe that a shed is not a special privilege but do fully understand that zoning laws are in place for a good reason. We hope to get an exception to have a garden shed but also fully acknowledge it is at the discretion of the zoning board.
- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.
  - An accepted variance would be fully understood as being limited to a garden shed used for gardening tools and storage and nothing more.
- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.
  - There are no areas outside of the two proposed locations which would be feasible to add a garden shed to. The only location that would meet setback requirements would be along the Northeast corner. This would require removing our 5 year old's "special" garden, interrupting the brick walkway and removing substantial limbs from our dogwood tree which we place great value on.

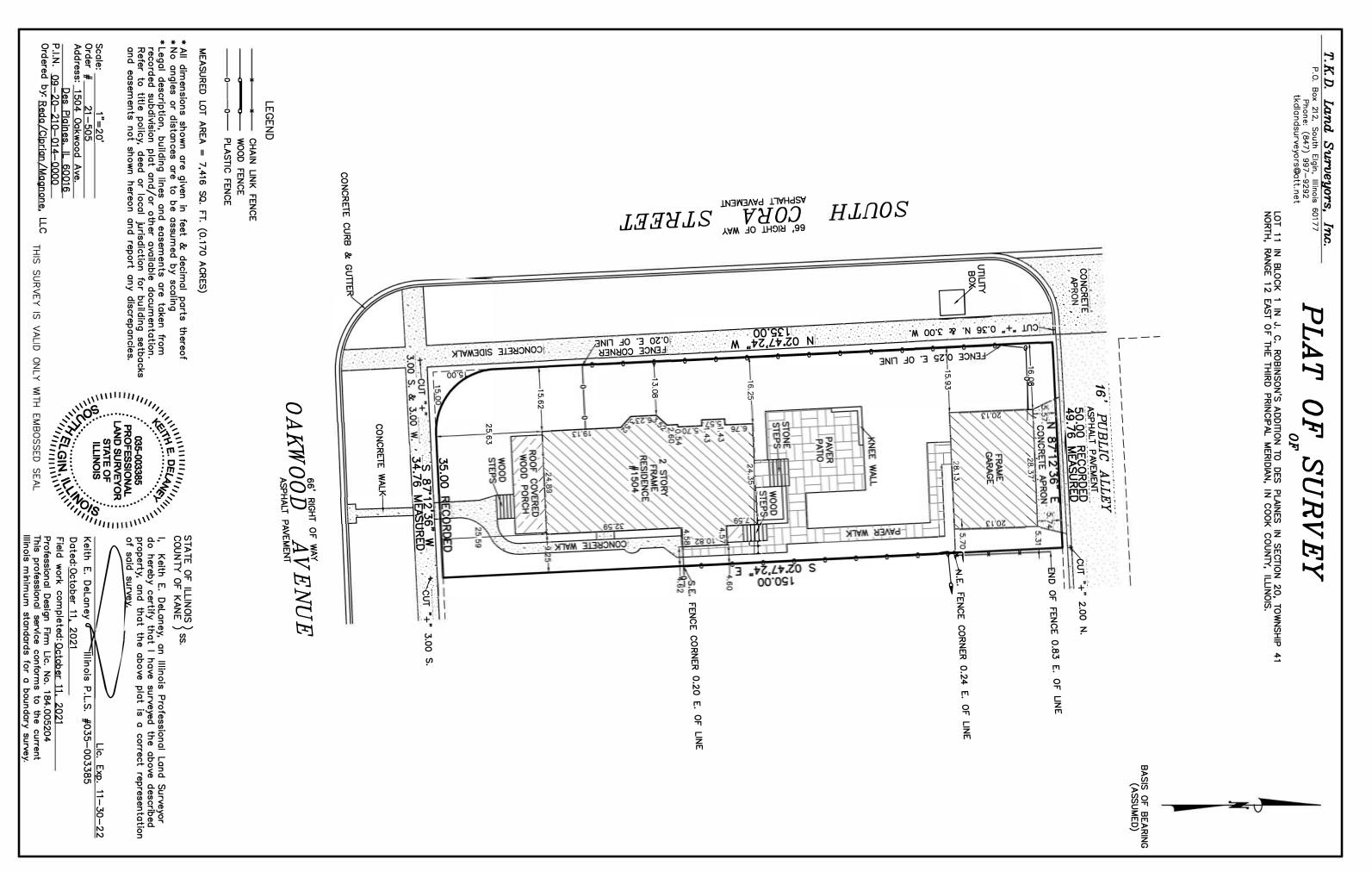
Attachment 4 Page 14 of 34

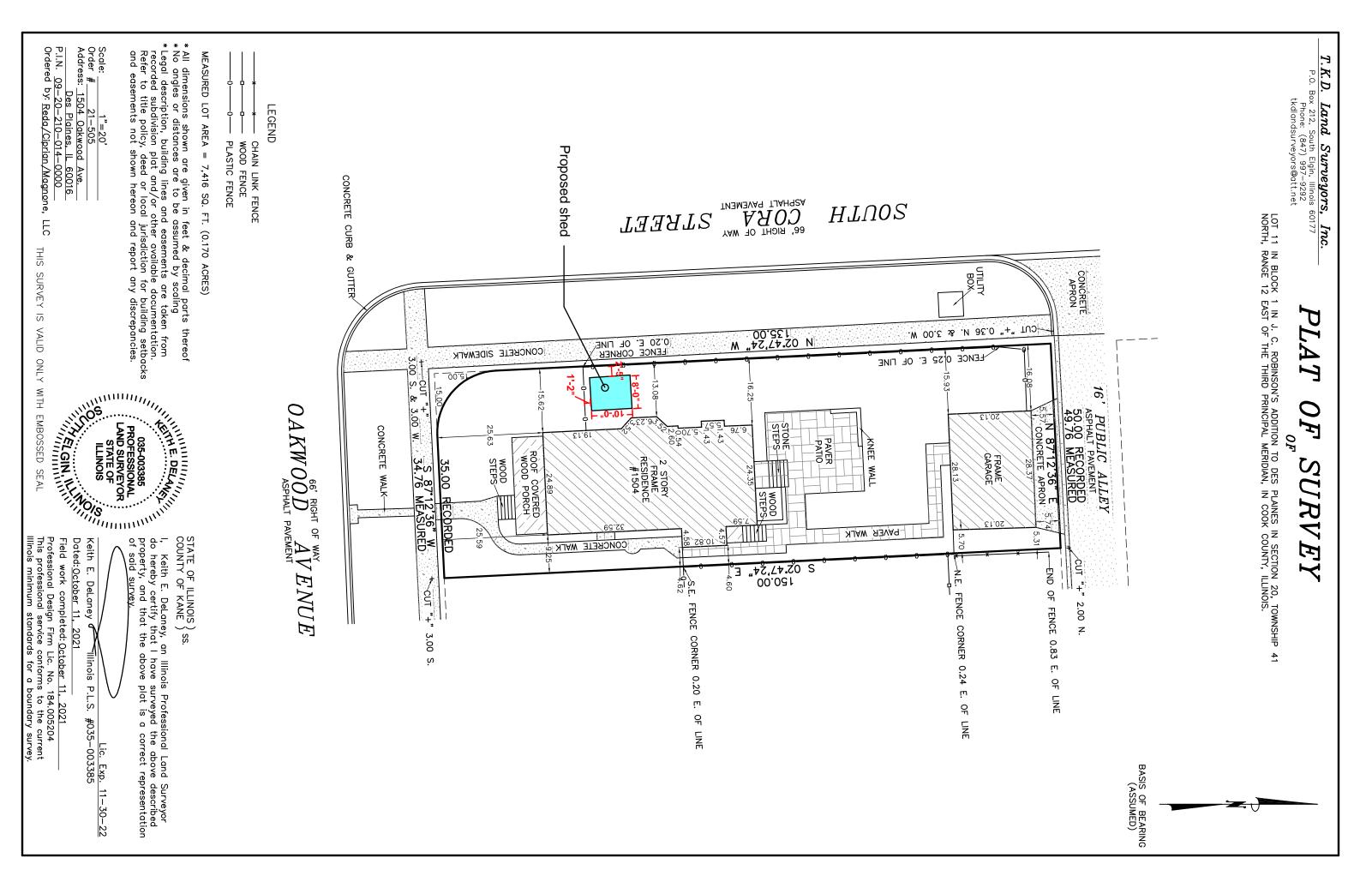
8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

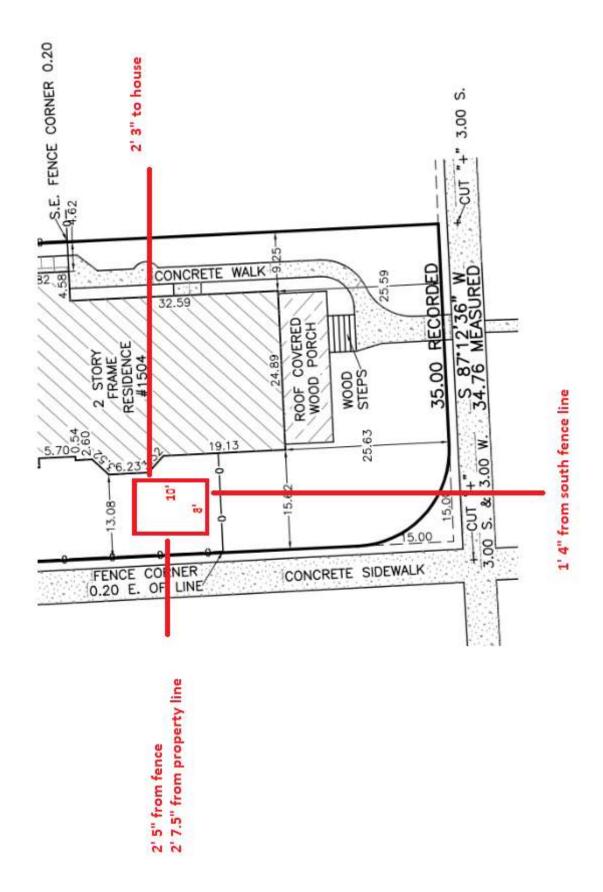
The proposed locations for a garden shed both require an approved setback variance. We are fully willing to work with the zoning board on structural and aesthetic items that the zoning board would deem acceptable. This includes but is not limited to:

- Shingles which match the house color to minimize the visual impact of the shed.
- Color matched paint to exactly match the house paint color to minimize visual impact.
- Two tone color matched paint to blend in with our 6' white vinyl fencing.
- Reasonable structural adjustments

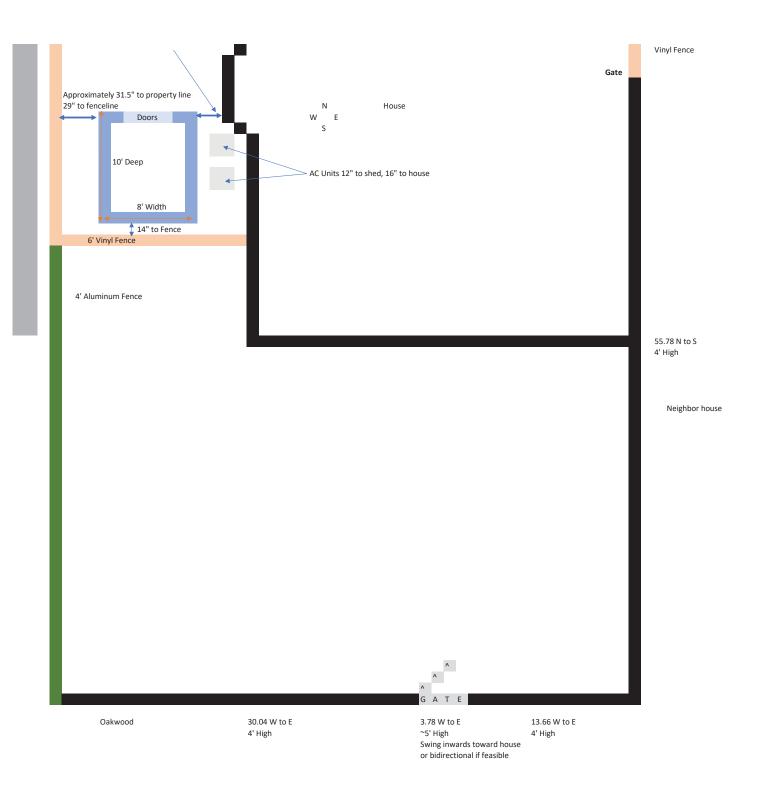
Attachment 4 Page 15 of 34







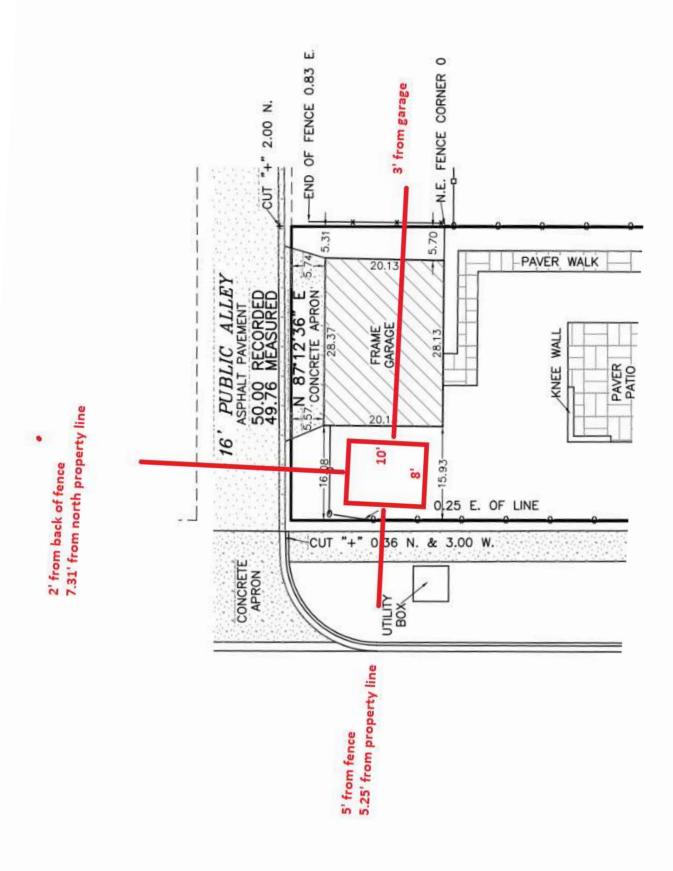
Attachment 6 Page 18 of 34



Attachment 6 Page 19 of 34



Attachment 7 Page 20 of 34



Attachment 8 Page 21 of 34



Southwest corner

# **Gauntlet Gray**

SW 7019
Sherwin-Williams • ColorSnap, COLOR

# **Hulett Ore**

SW 9574 Sherwin-Williams • Emerald

Only availble in Emerald® Designer Edition $^{\text{\tiny TM}}$ 

Proposed colors

Attachment 9 Page 22 of 34

# **Instruction Manual**

### For 8x8' - 8x12' EZ-Fit Sheds

Thank-you for purchasing an EZ-Fit Shed! Our goal is to provide

you with everything you need to make the assembly of your shed kit go smoothly.

This instruction manual is based on an 8x12' "Heritage" style building.

Your shed kit may be a different size or style - if this is the case you may have a different amount of wall panels and roof sheathing, however the same assembly principals apply.

There is paperwork included with your packing slip that shows the details on

the wall panels and roof sheathing included for your particular shed kit.

Heritage, Homestead and Riverside sheds all have the same roof design. If you purchased the Cornerstone shed, refer to the manual with photos for more details on the roof design.

Also, this manual includes assembly instructions for the optional floor kit. If you purchased your own flooring materials elsewhere, you may refer to this section for tips on assembly. If you are using concrete for your floor, simply disregard this part of the instructions.

Following is a list of which fasteners get used where. Again, refer to the packing slip for a list of fasteners that were sent with your shed kit.

#### 2" Nails:

Fastening 3/4" plywood flooring to floor joists (optional floor kit.)

Corner trim

Roof sheathing

**Roof gussets** 

Fastening Smartside Soffit to sidewalls

Fastening rafters to soffit

Facia trim

Windows and window trim.

#### 2.5" Square-Drive Screws:

Fastening wall panels together

Double 2x4" top/plates

Fastening bottom/plate of walls down into floor. (once building is assembled)

1.5" Screws: for door hardware

### **Tools Needed:**

- ■Cordless Drill
- ■Tape Measure
- Step-ladder
- Skilsaw
- Chalkline
- Speed Square
- Level
- Hammer



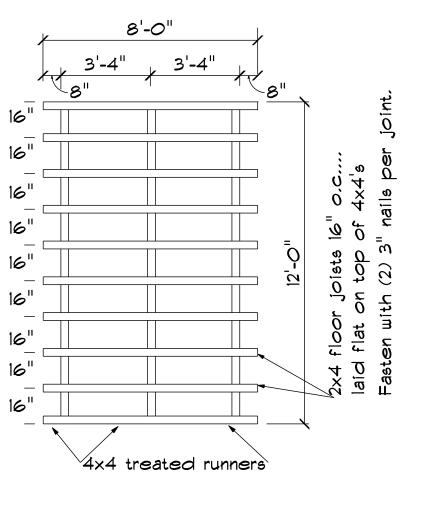
Attachment 9 Page 23 of 34

### Top View of floor framing

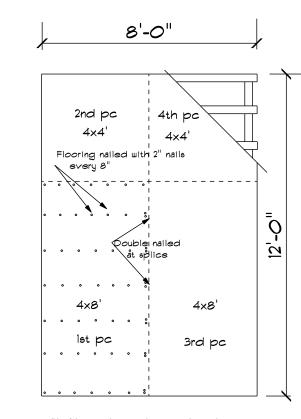
To make that floor is square:

Measure diagonally across corners

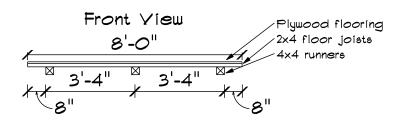
and make that both measurements are same.



Top View of plywood



\*1 Align along this end and fasten.

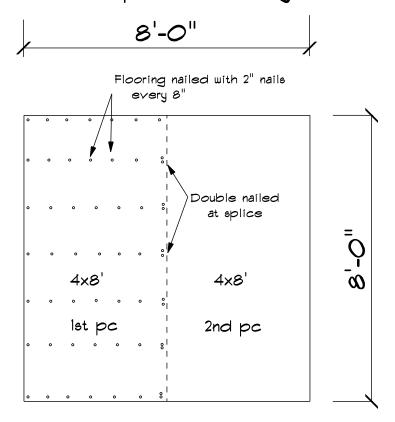


Align along the side and fasten.

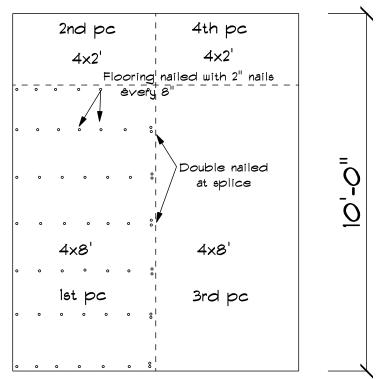
Attachment 9 Page 24 of 34

# Sample Floor Layouts

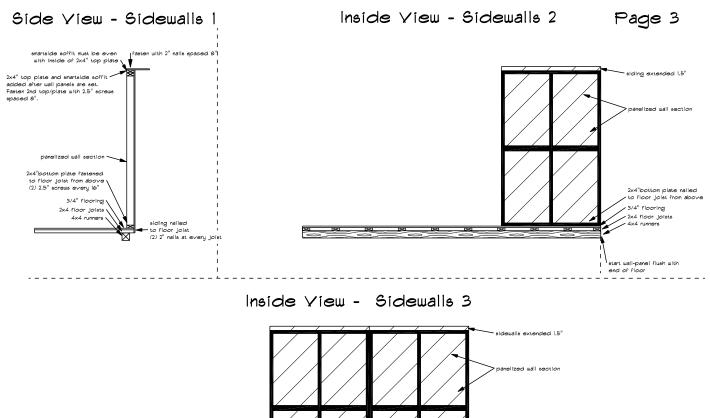
# 8x8' Sample Floor Layout

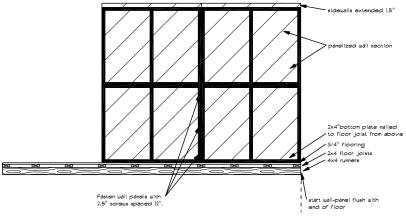


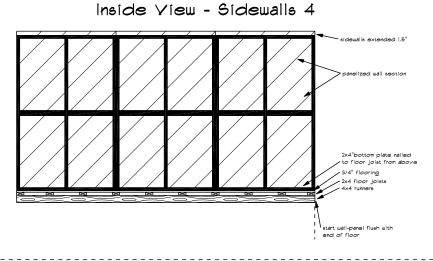
# 8x10' Sample Floor Layout

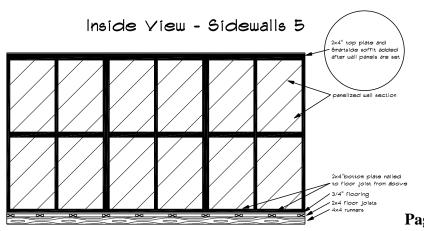


Attachment 9 Page 25 of 34





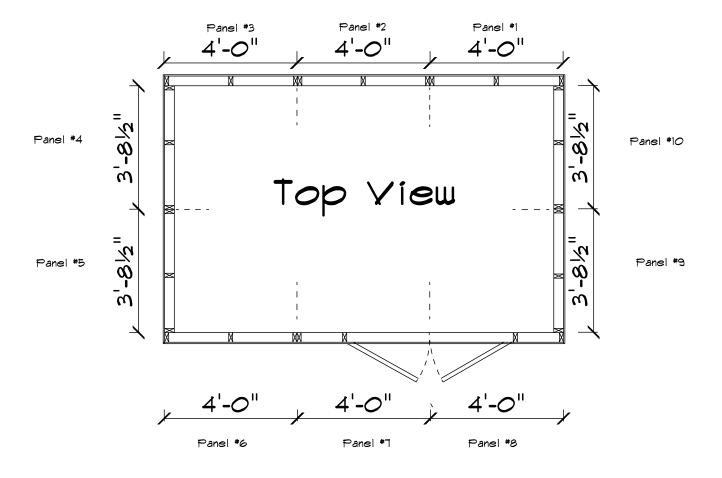




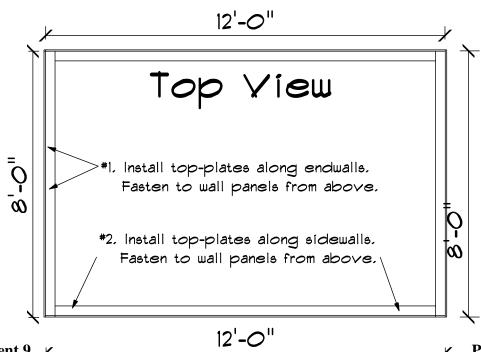
Note: This is an example of a 8x12' Heritage Shed.

Your particular building size may have different sized wall panels.

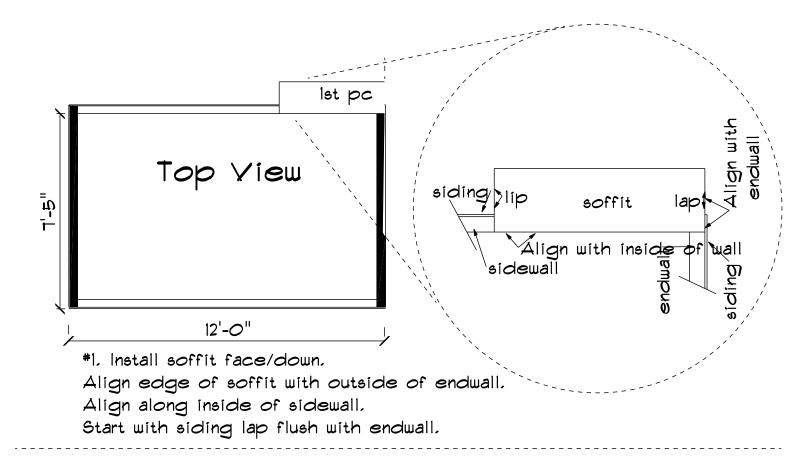
Refer to the paperwork included with your packing list for more details.



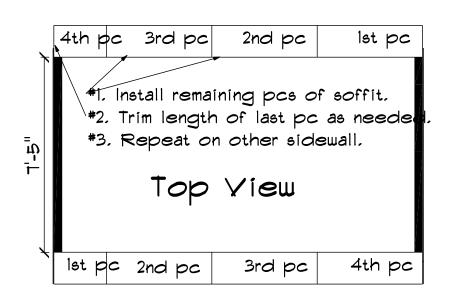
Top View - 2x4" Top/Plates



Attachment 9 Page 27 of 34



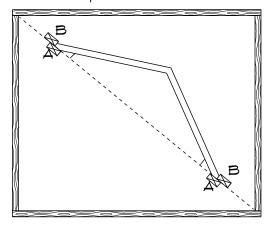
Top View - Smartside Soffit 2

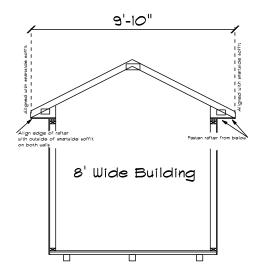


Attachment 9 Page 28 of 34

Rafter Assembly Page 6

#### Top view of floor





- \*1... snap a chalk-line across the corners of floor.
- #2...put 2 stops along bottom of chalk-line (stop"A")
- #3...measure correct distance for overall width of rafter and put down stops "B".
- #4... match up peak of rafters and fasten gussets using 2" nails, 12 nails per gusset, 24 nails per rafter.

Overall width of rafter for Riverside, Heritage and Homestead:

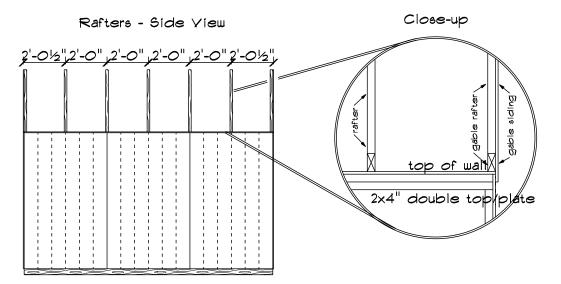
8' wide building: 9'10" 10' wide building: 11'10"

12' wide building: 13'10"

Overall width of rafter for Cornerstone:

8' wide building: 8'4"
10'wide building: 10'4"
12' wide building: 12'4"

- \*1...make sure both sidewalls are straight and brace walls from inside as needed.
- \*2... align rafters with outside of smartside soffit and nail thru smartside up into rafter. 2" nails spaced every 3".

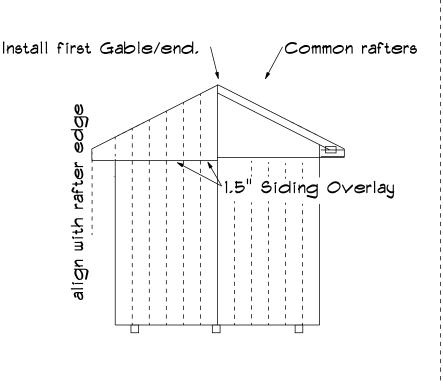


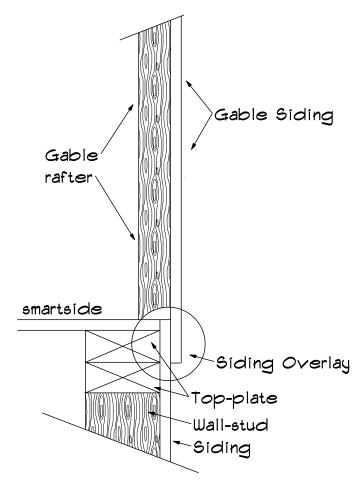
Attachment 9 Page 29 of 34

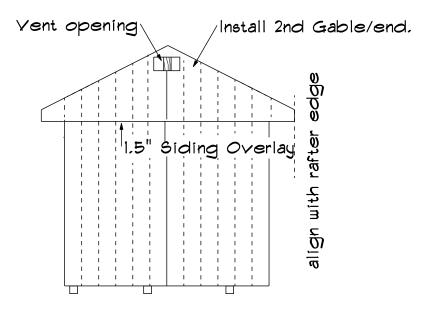




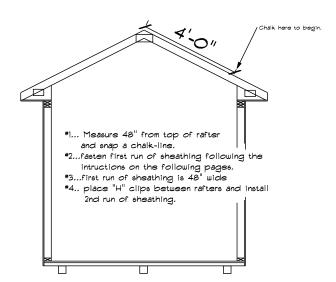




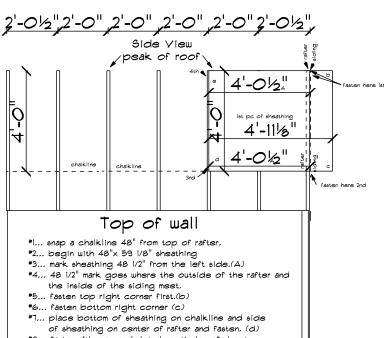




Attachment 9 Page 30 of 34

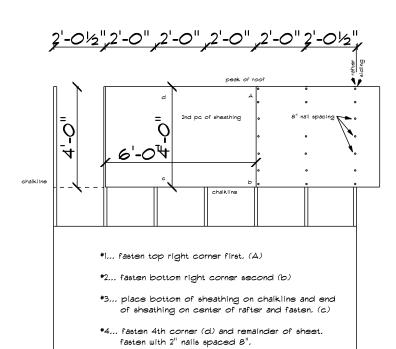


### roof sheathing 1

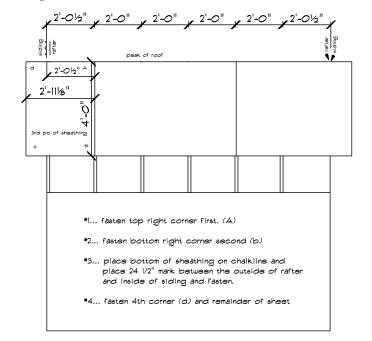


### roof sheathing 2

#8... fasten 4th corner (e) and remainder of sheet



## roof sheathing 3

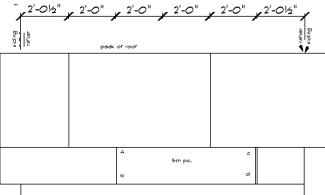


### roof sheathing 4

peak of roof 4 4'-0½' 4'-11%" H-Clips

### roof sheathing 5

- \*1... place an H-clip between each rafter.
- \*2... measure 48 1/2" from right to left on sheathing.(A)
- \*2... keep outside of sheathing flush and fasten corner (B)
- \*3... center right edge of sheathing on rafter and fasten
- along top. (C) \*4... place 48 1/2" mark between outside of rafter and inside of sheathing and fasten. (D)
- #5... fasten corner (E).



### roof sheathing 6

- \*1...Mark bottom sheathing 24" o.c.
- \*2...Fasten left side of sheathing. (A and B)
- \*3...Center right edge of sheathing on rafter and fasten.
- $\pm 4...$ Fasten remainder of sheathing, making sure rafters are spaced 24" o.c.

Remember... make sure H-clips are in place before fastening sheathing.

# 8x8' Building

# ding 8x10' Building

18.75" width	5'		5'		
48" width	3'	4'		3'	
		Pea	kline		
48" width	5'			5'	
18,75" width	3'			3'	

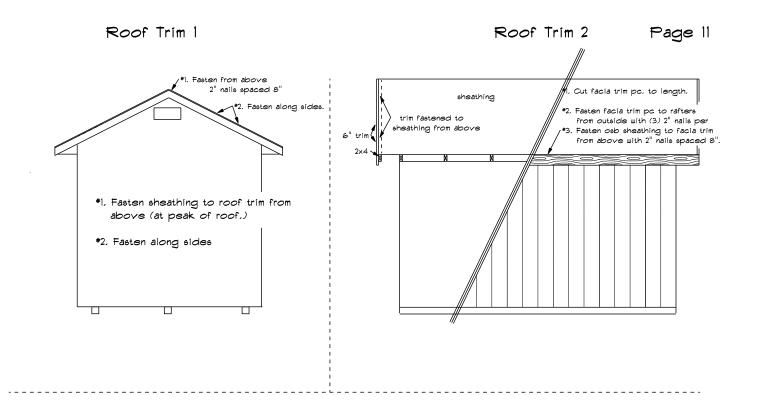
3'	4	<b>;</b> '		5'
5		4'		3'
		Pea	kline	
න'	4			5'
5	l	4	4'	3'

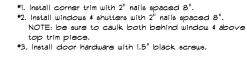
# 8x12' Building

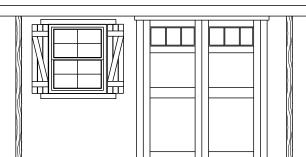
18.75" width	3'	6'	5'		
48" width	5'	6'		3'	
		Peakline			
48" width	3'	6'		5'	
18,75" width	5'	6'		3'	

# 8x12' Building With Floor Kit

18.75" width	5	4'		5'	
48" width	ب		8'		ა <sup>'</sup>
			Peakline		
48" width	5'		4'		₽'
18.75" width	3'		8'		3'
Attachment 9	<del></del>	-			







Your building is now ready to be shingled and painted. We recommend using aluminum dripedge along the roof edges.

#### ON THE INSIDE:

Fasten the wall/panel bottom plates to the floor joists. (nailing down thru the plywood flooring.)
Fasten the wall corner-studs together.
Cut out the 2x4's in the bottom of the door opening.

Cut out the 2x4's in the bottom of the door opening (these aren't needed.)

#### ON THE DOOR:

Be sure the 2x4x60" is fastened to the top of the door opening,

(actual door opening should be 72" tall  $\times$  60" wide.)

Attachment 9 Page 34 of 34



# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street Des Plaines, IL 60016 P: 847.391.5380 desplaines.org

### **MEMORANDUM**

Date: January 23, 2024

To: Planning and Zoning Board (PZB)

From: Samantha Redman, Senior Planner

Subject: Request to Continue 24-004-CU- 1628 Rand Rd

The petitioner has requested to continue the hearing to the Board's regular meeting on February 13, 2024. Per the Rules of Procedure for the Planning and Zoning Board (PZB), Section 6.06, any application may request and be granted one continuance of a public hearing on an application.