



Planning and Zoning Board Agenda August 22, 2023 Room 102 – 7:00 P.M.

Call to Order and Roll Call

Approval of Minutes: August 8, 2023

Public Comment: For matters that are not on the agenda.

Pending Applications

1. **Address:** 1749-1757 Farwell Avenue

Case Number: 23-050-V

The petitioner is requesting variation to allow for the construction of two single-family residences on two lots 50-feet in width, where a minimum of 55-feet is required, and any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-33-110-012-0000, 09-33-110-013-0000

Petitioner

and Owner: Zbigniew Zaleski, 3638 N. Odell Ave., Chicago, IL 60634

2. **Address:** 2777 Mannheim Road

Case Number: 23-045-FPLAT-CU-LASR

The petitioner is requesting the following: (i) a Final Plat of Subdivision to create three lots of record on the subject property; (ii) a Conditional Use for a Localized Alternative Sign Regulation (LASR); and (iii) any other variations, waivers, and relief as may be necessary.

PINs: 09-33-108-012-0000, 09-33-108-013-0000, 09-33-108-014-0000, 09-33-108-022-0000, and 09-33-108-023-0000

Petitioner: GW Property Group, LLC, 2211 N. Elston Avenue, Suite 400, Chicago, IL, 60614

Owner: 2777 North Mannheim Property, LLC, 2777 Mannheim Road, Des Plaines, IL, 60018

3. Address: 2991-3025 Mannheim Road, 3041 Orchard Place, and 1620-1630 W. Higgins
Case Number: 23-051-FPUD-CU-LASR

The petitioner is requesting the following under the Zoning Ordinance: (i) a Major Change to a Final Planned Unit Development (PUD) for the Orchards at O'Hare PUD, including any necessary exceptions, Conditional Uses, or amendments to Conditional Uses; (ii) a Conditional Use for a Localized Alternative Sign Regulation (LASR); and (iii) any other variations, waivers, and zoning relief as may be necessary.

PIN: 09-33-305-018-0000, 09-33-305-019-0000, 09-33-305-020-0000, 09-33-305-023-0000
09-33-305-024-0000, 09-33-305-025-0000

Petitioner: Rehan Zaid, 1375 Remington Rd, Ste E, Schaumburg, IL 60173 (Owner/Authorized Agent)

Owners: Orchards Lot 5, LLC; Orchards Lot 6, LLC; Orchards Lot 7, LLC; Prominence O'Hare, LLC; and DP Higgins, LLC (Manager: Rehan Zaid, 1375 Remington Rd, Ste E, Schaumburg, IL 60173)

4. Address: Citywide

Case Number: 23-043-TA
(continued from July 25, 2023)

The City is proposing text amendments to the Zoning Ordinance related to accessory structure definitions and regulations, and any other amendments as may be necessary.

PINs: Citywide

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL, 60016

Owner: n/a

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

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| Case 23-045- FPLAT-CU-LASR | 2777 Mannheim | Final Plat of Subdivision, Conditional Use, Localized Alternative Sign Regulation |
| Case 23-042-AX-TA-MAP-TSUB-PUD | 180 N. East River Road | Annexation, Text Amendment, Map Amendment, Tentative Plat Subdivision, Planned Unit Development |
| Case 23-044- V | 1378 Margret | Variation |

Pending Applications:

1. **Address:** 2777 Mannheim Road **Case Number:** 23-045-FPLAT-CU-LASR
 The petitioner is requesting the following: (i) a Final Plat of Subdivision to create three lots of record on the subject property; (ii) a Conditional Use for a Localized Alternative Sign Regulation (LASR); and (iii) any other variations, waivers, and relief as may be necessary.

PINs: 09-33-108-012-0000, 09-33-108-013-0000, 09-33-108-014-0000, 09-33-108-022-0000, and 09-33-108-023-0000

Petitioner: GW Property Group, LLC, 2211 N. Elston Avenue, Suite 400, Chicago, IL, 60614

Owner: 2777 North Mannheim Property, LLC, 2777 Mannheim Road, Des Plaines, IL, 60018

Date: August 4, 2023

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner

CC: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*

Subject: Request to Continue 23-045-FPLAT-CU LASR: 2777 Mannheim Road

Due to additional time necessary for the Public Works and Engineering (PWE) department to review the Final Engineering Plans for approval, staff has requested, and the petitioner has accepted to continue the hearing to the Board’s regular meeting on Tuesday, August 22, 2023. I recommend the Board grant this request, which is attached.

A motion was made by Board Member Saletnik, seconded by Board Member Veremis to approve a continuation to the August 22,2023 Planning and Zoning Board Meeting.

AYES: Saletnik, Veremis, Catalano, Hofherr, Weaver, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

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2. **Address:** 180 N. East River Road **Case Number:**23-042-AX-TA-MAP-TSUB-PUD

The petitioner is requesting a city-wide Text Amendment to amend Section 12-3-5. B.3.a of the Zoning Ordinance to remove the minimum lot size requirement for a PUD on lots in the R-1 Single Family Residential, R-2 Two-Family Residential, R-3 Townhouse Residential, and R-4 Central Core Residential zoning districts for detached single-family or attached townhouse developments that consist of multiple principal buildings.

The petitioner is also requesting the following under the Zoning Ordinance for the property at 180 N. East River Road: (i) a Map Amendment to rezone from R-1 Single Family Residential to R-3 Townhouse Residential District; (ii) a Preliminary PUD, with exceptions for minimum lot area, building design, and required rear yard, to allow a 16-unit townhouse development; and (iii) a Tentative Plat of Subdivision to subdivide the existing single lot into 17 lots of record.

While not part of the Planning and Zoning Board’s purview, annexation of the subject property to the City of Des Plaines will be a prerequisite for final approval. The City Council has sole authority for approval of annexation, and such review and approval will happen pursuant to an annexation public hearing held later and time that will be duly noticed as required by law.

- Petitioner:** MAS Land Investments 2, LLC (Representative: Todd Polcyn, 837 N. Maple Avenue, Palatine, IL 60067)
- Owner:** Ed Del Castillo, 711 Middleton Court, Palatine, IL 60067
- PIN:** 09-09-402-007-0000
- Ward:** None, unincorporated Cook County (future ward once annexed: #1, Alderman Mark A. Lysakowski)
- Existing Zoning:** Single Family Residential District (R4 in *Unincorporated Cook County*)
- Existing Land Use:** Single Family Residence
- Surrounding Zoning:** North: Single Family Residential District (R4) (Unincorporated Cook County)
 South:R-3, Townhouse Residential District (City of Des Plaines)
 East: R-3, Townhouse Residential District (City of Des Plaines)
 West: Single Family Residential District (R4) (Unincorporated Cook County)
- Surrounding Land Use:** North: Single Family Residence (Residential)
 South: Townhouse Residences (Residential)
 East: Townhouse Residences (Residential)

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West: Single Family Residence (Residential)

Street Classification:

North East River Road is classified as a major collector street and is under Cook County jurisdiction.

Comprehensive Plan:

The subject property is in unincorporated Cook County and is not illustrated on the Future Land Use map in the 2019 Comprehensive Plan. However, the neighboring property abutting the subject property to the south is illustrated as multifamily residential. The Comprehensive Plan is generally supportive of exploring annexation opportunities.

Project Description: Overview

Petitioner MAS Land Investments, LLC, owner of the subject property, intends to annex land to the City of Des Plaines and build a townhouse development. The subject property is located in unincorporated Cook County along North East River Road and is comprised of one 40,245-square-foot (0.92-acre) parcel.

The subject property is improved with a one-story, 1,665-square-foot residence, a 1,194-square-foot detached garage (including two additions), two frame sheds approximately 82 and 90 square feet in size, and a combination of concrete and gravel driveway and parking areas as shown on the attached Plat of Survey.

Proposed Improvements

The proposal includes the removal of all existing site improvements to redevelop the subject property into a 16-unit PUD similar to the Insignia Glen PUD located directly south of the subject property at 172 N. East River Road, which is already incorporated within Des Plaines (in other words, the property subject of this request is immediately north of and contiguous to Des Plaines’ corporate boundary).

The proposed development consists of four separate three-story principal buildings—each with four units—as shown on the attached PUD Plat. The anticipated unit mix will be predominately two-bedrooms, but the floor plan is adaptable to create a third bedroom; the developer has not finalized the unit mix. Each unit will have a two-car attached garage on the lower level, living space with a balcony on the middle level, and bedrooms on the top level.

The proposal intends to mirror the general building and driveway design of the existing Insignia Glen development, built via PUD in the early 2000s, and will utilize the same private drive for access to East River Road via an existing access easement that was granted and recorded via the early 2000s PUD. For this reason, the existing gravel curb cut onto the subject property will be removed and replaced with turf and landscaping areas. New

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walkways are proposed along the private drive (south property line)—with walkway connections to each unit—and along North East River Road (east property line) of the subject property for pedestrian access throughout the site and connections to the existing Insignia Glen PUD. The development also proposes common green spaces for residences opposite the driveway entrances where separate front door, porch area, and walkway connections are provided.

TEXT AMENDMENT

Request Description: *Overview*

As noted above, the subject property is less than an acre in size, which does not meet the minimum two-acre requirement for a PUD pursuant to Section 12-3-5.B.3.a of the Zoning Ordinance and therefore requires a text amendment to allow the subject property to be eligible for a PUD.

Proposed Text Amendment

The petitioner has provided the attached Proposed Text Amendments to identify the requested language in Section 12-3-5.B.3.a. Based on the proposal, there would be no minimum PUD size for detached single family and attached townhouse residence developments that consist of multiple principal buildings. The proposed amendments would allow the proposed townhouse (single-family attached) PUD on the subject property, which includes multiple residential buildings (i.e., dwellings) and represents four principal structures.

The proposed amendments would not, however, remove the existing minimum two-acre requirement for PUDs that do not meet the criteria above. For example, a single-family detached or townhouse development that consists of a single principal building would still need to be a minimum two-acres in area in order to be eligible to establish a PUD as currently required in the Ordinance. Similarly, a proposed two-family residence (i.e., duplex) or multi-family (i.e., apartment) development would also need to meet the minimum two-acre requirement in order to be eligible for a PUD. The petitioner’s rationale for the proposed amendments is found in the attached Petitioner’s Responses to Standards for Text Amendments.

MAP AMENDMENT

Request Description: *Overview*

The subject property is currently located in unincorporated Cook County and is not classified under any zoning district classification identified in Chapter 7 of the Des Plaines Zoning Ordinance. However, upon approval of an annexation of the subject property into the municipal boundaries, absent a Map Amendment to establish an “...appropriate district

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classification...” (Section 12-6-3, Annexed Land), the default zoning district classification is R-1 Single Family Residential per Section 12-6-4.B. The proposed townhouse dwelling use is not allowed in the R-1 district as a permitted or conditional use but is permitted in the R-3 Townhouse Residential district as noted below.

| Residential Districts Use Matrix | | | | |
|---|------------|------------|------------|------------|
| <i>Use</i> | <i>R-1</i> | <i>R-2</i> | <i>R-3</i> | <i>R-4</i> |
| Dwellings, townhouse* | | | P | P |
| Planned Developments | C | C | C | C |

*This use is not allowed in the R-1 and R-2 zoning districts.

As such, the petitioner is requesting a map amendment to rezone the property, once annexed, from R-1 to R-3 to construct the proposed townhouse PUD. A PUD in the R-3 district does require approval of a conditional use permit by the City Council as noted in the table, which will be discussed in more detail in the *Preliminary PUD request* section.

Bulk Regulations

A townhouse dwelling use is subject to the bulk regulations in Section 12-7-2.J of the Zoning Ordinance. The table below compares the R-3 district regulations with the proposed development on the subject property.

| R-3 Townhouse Residential District Bulk Standards | | |
|--|-----------------|-------------------------|
| <i>Bulk Controls</i> | <i>Required</i> | <i>Proposed</i> |
| Maximum height | 45 ft | 36 ft |
| Minimum front yard [east] (adjacent residential) | 25 ft | 35 ft |
| Minimum side yard | | |
| • North (building height over 35 ft) | 10 ft | 10 ft |
| • South (building height over 35 ft) | 10 ft | 13 ft |
| Minimum rear yard [west] (building height over 35 ft) | 30 ft | 24 ft* |
| Minimum lot width (interior lot) | 45 ft | 105 ft |
| Minimum lot** area (interior lot) | 2,800 SF per DU | 1,040 SF per DU* |
| Maximum building coverage (interior lot) | None | N/A |

*Indicates that the regulation is not met; staff recommends seeking PUD exceptions for the rear yard setback and density pursuant to Section 12-3-5.C of the Zoning Ordinance. See the Preliminary PUD request section for additional details.

**For fee-simple, individually platted townhouse developments, the definition and context of “Lot” has been historically interpreted to refer to individual townhouse lots of record. Therefore, with a minimum required of 2,800 square feet, when a smaller area is proposed, an exception is required.

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Site Plan Review

Pursuant to Section 12-3-7.D.2 of the Zoning Ordinance, a Site Plan Review is required for all map amendment requests to assess how the request meets the characteristics identified in Section 12-3-2, which are listed below along with staff’s assessment of each in relation to the current Site Plan provided by the petitioner. Note that the attached PUD Site Plan may be adjusted as necessary by the petitioner to address staff/public comments and incorporate all needs of the proposed townhouse development.

| Site Plan Review | |
|---|--|
| <i>Item</i> | <i>Analysis (based on Proposal)</i> |
| The arrangement of structures on the site | <ul style="list-style-type: none"> • Positions buildings to make better use of space and create separate parking and open spaces. • Compatible with uses to the south and east in incorporated Des Plaines |
| The arrangement of open space and landscape improvements | <ul style="list-style-type: none"> • Multiple open space and landscape areas proposed throughout development. • Creates a functional and desirable environment for patrons, pedestrians, and occupants. |
| The adequacy of the proposed circulation system on the site | <ul style="list-style-type: none"> • Relies solely on existing private drive for all site access, no alternate connections throughout site. • Minimizes curb-cuts on North East River Road |
| The location, design, and screening of proposed off-street parking areas | <ul style="list-style-type: none"> • Landscape screening of parking areas provided in between individual driveways and parking areas. • Provides a defined separation between pedestrian and vehicle circulation. |
| The adequacy of the proposed landscaping design on the site | <ul style="list-style-type: none"> • Adequate perimeter parking lot landscaping provided in front of and behind parking areas. • Intends to preserve existing trees on site. • Both foundation and site perimeter landscaping proposed all of sides of buildings to create an adequate a defined transition between uses. |
| The design, location, and installation of proposed site illumination | <ul style="list-style-type: none"> • Location of proposed exterior illumination is not clearly identified and should be shown. |
| The correlation of the proposed site plan with adopted land use policies, goals, and objectives of the comp. plan | <ul style="list-style-type: none"> • In line with the multifamily residential use designated for neighboring properties on the future land use map in the Comprehensive Plan. • Aligns with the Comprehensive Plan objective to create additional and more dense housing options. |

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PLANNED UNIT DEVELOPMENT (PUD)

Request Description: *Overview*

The proposed development includes four separate principal buildings. Section 12-13-3 of the Zoning Ordinance defines a principal building as “*a non-accessory building in which a principal use of the lot, on which it is located, is conducted.*” In a townhouse development, the townhouse dwelling itself represents the principal use of the property, which is to provide:

“A room or group of contiguous rooms that include facilities used or intended to be used for living, sleeping, cooking and eating, and that are arranged, designed or intended for use exclusively as living quarters” (Section 12-13-3, Zoning Ordinance).

In short, the proposed PUD on the subject property includes attached townhouse residential units in four separate buildings (i.e., dwellings), which represent four principal structures. However, pursuant to Section 12-7-1.A of the Zoning Ordinance, not more than one principal building or structure can be located on a zoning lot, except in certain cases. In the list of available exceptions, a planned development, defined below, is the only case suitable for the proposal.

A development occurring on a parcel under single ownership or unified control which is developed as a unit and includes two (2) or more principal buildings or uses and is processed under the planned development procedure of this title” (See section 12-3-5, "Planned Unit Developments", of this title.) (Section 12-13-3, Zoning Ordinance).

The purpose of a PUD is to permit a type of development that aligns with the characteristics in Section 12-3-5.A of the Zoning Ordinance, which are listed below along with staff’s assessment of each in relation to the attached Preliminary PUD Plat provided by the petitioner.

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| Preliminary PUD Plat Review | |
|--|--|
| <i>Item</i> | <i>Analysis (based on Proposal)</i> |
| A maximum choice in the types of environment available to the public by allowing a development that would not be possible under the strict application of the other sections of this title | Provides an additional housing option with increased density and multiple principal buildings that is not permitted elsewhere in the Zoning Ordinance. |
| Permanent preservation of common open space and recreation areas and facilities | Creates common open space and/or recreation area where there is none currently. |
| A pattern of development to preserve natural vegetation, topographic and geologic features | Includes a tree prevention plan to minimize impacts to vegetation and physical site features. |
| A creative approach to the use of land and related physical facilities that results in better development and design and the construction of aesthetic amenities | Building design/layout provides a defined separation between paved areas and common space; provides adequate screening between these areas and neighboring lots. |
| An efficient use of the land resulting in more economic networks of utilities, streets and other facilities | Utilizes existing private drive to reduce curb cuts onto the street and tie into existing utilities and facilities. |
| A land use which promotes the public health, safety, and general welfare | Transforms an under-utilized site with dilapidated/unsafe structures to a safer and beneficial use. |

Prerequisites: Location, Ownership, and Size

PUDs are authorized in all zoning districts in the City subject to the regulations in Section 12-3-5 of the Zoning Ordinance and are required to be under single ownership and/or unified control. While the subject property is currently not owned by the petitioner, the petitioner does intend to take ownership of the property upon approval of the requests in this application and the annexation of the property. While not part of the Planning and Zoning Board’s purview, staff will require the petitioner to enter into a development and annexation agreement which will need to be approved by the City Council. The establishment of a Homeowner’s Association (HOA) will also be required to manage and maintain the proposed PUD.

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These regulations also specify minimum size requirements for PUDs depending on the zoning district for which it is located. Pursuant to Section 12-3-5.B.3.a of the Zoning Ordinance, the minimum size of a planned unit development must not be less than two acres for a property in the R-3 zoning district. Since the property is less than an acre, the proposed PUD does not meet this requirement and therefore requires a text amendment to the Zoning Ordinance to allow the proposed PUD on the subject property. See the *Text Amendment* request section earlier in the report for additional information.

Parking Requirement

Pursuant to Section 12-9-7, a townhouse (single-family attached) residential use requires a minimum of two off-street parking spaces per dwelling unit plus one common guest space for every four dwelling units. As such, the proposed 16-unit PUD requires a minimum of 36 off-street parking spaces: 32 for direct use of the units and four common guest spaces and two accessible spaces. The attached PUD Site Plan indicates two covered off-street garage spaces for each unit and eight standard parallel parking spaces off the private drive.

PUD Bulk Exceptions

As identified in the R-3 Bulk Regulations table above, the proposal does not meet the minimum rear yard, building design, and density (minimum lot area) regulations. As such, PUD exceptions are required through Section 12-3-5.C.1 (Necessity of Bulk Exceptions), Section 12-3-5.C.2 (Perimeter Yards), and Section 12-3-5.C.6 (General Design).

TENTATIVE PLAT OF SUBDIVISION

Request Description: *Overview*

The proposal includes a subdivision of the subject property from one, 43,476-square-foot lot to 17 lots of record, including a separate lot for each of the 16 units (Lots 1-16) and one lot (Lot 17) for the common area of the PUD.

The attached Tentative Plat of Subdivision, titled Insignia Glen 2 Subdivision, shows the location, boundaries, and size of each lot, which vary from 1,040 to 1,248 square feet in size for the townhouse lots and equates to 20,986 square feet for the single common space lot proposed, totaling 39,290 square feet (0.90-acres). The remaining 4,186 square feet accounts for the portion of the property that extends into the North East River Road right-of-way, which is proposed to be dedicated to Cook County as part of this request.

Building Lines and Easements

The Insignia Glen 2 Subdivision shows the following easements and building lines: (i) a new 25-foot front building setback line along North East River Road where the proposed

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subdivision abuts the street; (ii) a new 10-foot side building setback line along the north and south of the proposed subdivision; (iii) a new 22-foot rear building setback line along the west boundary of the proposed subdivision; (iv) a 2.5-foot cross access easement located on 172 N. East River Road but serves the subject property; and (v) a blanket easement for ingress, egress, public and private utilities, and drainage for Lot 17.

Subdivision Process, Required Public Improvements

Although the petitioner’s request is for a Tentative Plat only at this time, the Board and public may benefit from understanding the requirements of a Final Plat, which is the second step in the subdivision approval process. The steps for Final Plat are articulated in Sections 13-2-4 through 13-2-8 of the Subdivision Regulations. In summary, the Final Plat submittal requires engineering plans that must be approved by the City Engineer, in particular a grading and stormwater management plan.

Ultimately a permit from the Metropolitan Water Reclamation District (MWRD) will be required for construction. Tentative Plat approval does not require submittal of engineering plans. The Engineering review is more detailed for plans at the Final Plat stage, as those are accompanied by civil drawings, which are not required at the Tentative Plat stage.

Regardless, the Department of Public Works and Engineering (PWE) has provided brief comments (attached) based on the submittal. The memo comments that the proposed 4-foot-wide walkway/sidewalk immediately north of the parallel parking should be widened to a minimum seven feet to accommodate for door swing and ability for pedestrians to pass on the walkway.

Standards for Zoning Text Amendment:

The following is a discussion of standards for zoning text amendments from Section 12-3-7.E of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

Please see the Petitioner’s Responses to Standards for Text Amendments.

PZB Additions or Modifications (if necessary): _____

2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development;

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Please see the Petitioner’s Responses to Standards for Text Amendments.

PZB Additions or Modifications (if necessary): _____

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;

Please see the Petitioner’s Responses to Standards for Text Amendments.

PZB Additions or Modifications (if necessary): _____

4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and

Please see the Petitioner’s Responses to Standards for Text Amendments.

PZB Additions or Modifications (if necessary): _____

5. Whether the proposed amendment reflects responsible standards for development and growth.

Please see the Petitioner’s Responses to Standards for Text Amendments.

PZB Additions or Modifications (if necessary): _____

Standards for Zoning Map Amendment:

The following is a discussion of standards for zoning map amendments from Section 12-3-7.E of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

When annexed the subject property will automatically be classified R-1 Single-Family Residential pursuant to Section 12-6-4.B of the Zoning Ordinance, a district similar to the Single-Family Residential District (R4) for which it is classified in unincorporated Cook County. While a single-family residential district is practical for some properties and a new single-family residence could be built on the subject property once annexed, it is not the best and most efficient use of the property, especially when next to existing multiple-unit and townhouse residential developments; R-3 zoning is immediately next to this site in all directions within Des Plaines’ corporate boundaries. In addition, the expansion of housing stock and variety is listed as an overarching principal of the 2019 Comprehensive Plan, which the proposed map amendment and future PUD would accomplish.

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PZB Additions or Modifications (if necessary): _____

2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development;

The subject property is adjacent to townhouse residential zoning to its south and east, but it also is adjacent to single-family residence zoning (Unincorporated Cook County) to its north and west. That said, the existing townhouse PUD at 172 N. East River Road directly abuts the subject property and 210 N. East River Road, both of which are zoned single-family residential (Unincorporated Cook County) and contain single-family residences. The access drive of the townhouse PUD at this address directly abuts the north property line with little to no transition between uses. However, with the current townhouse PUD proposal on the subject property, it can be argued that the proposed layout and design of the PUD would create a smoother and more defined transition between the townhouse PUD use and the single-family residences in unincorporated Cook County to the north and west. In addition, the proposal is consistent with the existing townhouse developments in the immediate area, all of which create additional housing stock and options.

PZB Additions or Modifications (if necessary): _____

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;

There are no perceived concerns with the adequacy of public facilities and services for the subject property with the proposed map amendment. The anticipated use of the subject property upon approval of the map amendment would arguably improve the public facilities and services available on the site.

PZB Additions or Modifications (if necessary): _____

4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and

The proposed map amendment would allow for residential uses that are by nature denser in development. However, there are no perceived concerns that an allowance for denser residential uses would negatively affect surrounding properties by way of traffic, noise, fumes, dust, and odors. Staff is not aware of any issues from the existing higher density residential uses in the immediate area. In addition, it could be argued that the current state of the subject property is in disrepair, and the approval of the map amendment allows for additional residential development types, which could maximize the use of the subject property and improve its overall appearance. It is anticipated that this request could reduce any existing adverse effects on the subject property and an increase the values of neighboring properties, both of which benefit the City.

PZB Additions or Modifications (if necessary): _____

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5. Whether the proposed amendment reflects responsible standards for development and growth.

The proposed amendment allows for additional uses not currently eligible for the subject property given its default single-family residential zoning designation and repurposes an underutilized/run-down property.

PZB Additions or Modifications (if necessary): _____

PUD Findings of Fact:

The following is a discussion of standards for PUDs from Section 12-3-5 of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5.A of this title:

The proposed townhouse PUD generally aligns with the stated purposes of PUDs as analyzed in the Preliminary PUD Plat Review table above with a proposed multiple principal building development, designated open/common space, separate vehicular and pedestrian areas, perimeter and interior landscaping areas, and tree prevention plan, all of which foster public health, safety, and general welfare for residents.

PZB Additions or Modifications (if necessary): _____

2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

The proposal is intended to meet the ownership/unified control requirements in the Zoning Ordinance. However, it does not meet the minimum size requirement, requiring a text amendment to this portion of the Zoning Ordinance to permit its construction. However, the PZB may determine that the removal of the minimum PUD size requirement for single-family and townhouse (two-family) developments with multiple principal buildings may promote more unique and multiple use developments throughout the city, which could benefit Des Plaines as a whole.

PZB Additions or Modifications (if necessary): _____

3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

The proposal departs from the bulk regulations in Section 12-7-2.J of the Zoning Ordinance as it includes a denser townhouse residential development that exceeds the 2,800-square-foot minimum

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lot area requirement and proposes a rear yard building setback of 22 feet, which is less than the required minimum 25-foot-setback. The proposed density is similar to the density on surrounding townhouse developments in the area and allows for additional housing stock in the City. The rear yard building setback deficiency is located on the west side of the lot, which faces a single-family residence. However, the proposed landscape screening around the perimeter of the proposed townhouse PUD is sufficient to provide a defined transition between the two uses. In the addition, the proposed development improves the current conditions of the subject property and development that is in disrepair.

PZB Additions or Modifications (if necessary): _____

4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

The proposed design of the townhouse PUD and layout of residential buildings allow for a distinct open space/pedestrian area for all units, consolidated paved vehicular areas, and a defined separation between the two. It does provide for some recreational space in between the residential buildings, which could foster a greater quality of life for its residents. In addition, it substantially improves the aesthetic appearance and reduces adverse effects on the subject property.

PZB Additions or Modifications (if necessary): _____

5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

The proposal is consistent with the existing townhouse residential developments to its south and east, especially the townhouse PUD located at 172 N. East River Road, which the proposed PUD development on the subject property is intended to mirror. It also redevelops a blighted property into a multiple unit residential development that will potentially improve surrounding property values.

PZB Additions or Modifications (if necessary): _____

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

The proposal would provide additional housing stock that helps to increase the tax base for the City and improve the economic well-being of Des Plaines. It would also provide extra economic benefit through utility and public service fees that are currently not eligible for the subject property at this time.

PZB Additions or Modifications (if necessary): _____

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7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

The proposal increases housing stock and create additional housing options for residences, which aligns with the housing goals and objectives of the Comprehensive Plan. It also redevelops an underutilized property and reduces blighted areas, both of which are promoted by the Comprehensive Plan.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Conditions:

Under Section 13-2-3 (Planning and Zoning Board’s Procedure) of the Subdivision Regulations, the PZB has the final authority to approve, approve with conditions, or deny the Tentative Plat of Subdivision request at 180 N. East River Road.

Under Section 12-3-5.D.2.c (Procedure for Review and Decision for PUDS) and Section 12-3-7.D (Procedure for Review and Decision for Amendments) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve with modifications, or deny the above-mentioned requests at 180 N. East River Road. The City Council has final authority on these requests.

The PZB should take the following motions. The zoning motions can be combined or taken individually:

Zoning Recommendations to City Council

- A motion pursuant to Section 12-3-7.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the proposed Text Amendments.
- A motion pursuant to Section 12-3-7.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the proposed Map Amendment.
- A motion pursuant to Section 12-3-5.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the request for a Conditional Use for a Preliminary PUD, with exceptions for minimum lot area, building design, and minimum required rear yard; and

Subdivision Approval (Tentative Plat)

- A motion pursuant to Section 13-2-2 of the Subdivision Regulations to approve, approve with conditions, or deny the Tentative Plat of Subdivision.

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If the PZB recommends approval, staff recommends the following conditions.

Conditions of Approval:

1. All proposed improvements and modifications shall be in full compliance with all applicable codes and ordinances. Drawings may have to be modified to comply with current codes and ordinances.
2. The Final PUD, plat, and site plan documents shall be revised to provide either (i) a minimum 7-foot-wide walkway/sidewalk adjacent to the proposed parallel parking or (ii) sufficient buffer through curb or planting strip to accommodate door swing, as well as any other revisions required of the Public Works and Engineering Department in the attached memo.
3. Improvements to the private drive for driveway curb cuts and on-street parking shall comply with the cross-access easement recorded with the approved PUD for the Insignia Glen development immediately to the south.
4. All governing documents for the construction and ongoing operation of the proposed development including but not limited to any development/annexation agreements, covenants, conditions, and restrictions, or any operating reciprocal easement agreements must be submitted to and approved by the City’s General Counsel prior to the recording of the Final Plat of PUD or Final Plat of Subdivision.
5. All land use and permitting approvals shall not become effective until the City finalizes approval of annexation of the subject property.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: Photos of Existing Conditions
- Attachment 4: Petitioner’s Responses to Standards for Map Amendments, Text Amendments, & PUDs
- Attachment 5: Plat of Survey
- Attachment 6: Project Narrative
- Attachment 7: Preliminary PUD Plat (includes Site Plan)
- Attachment 8: Architectural Plans
- Attachment 9: Landscape Plan (includes Tree Preservation Plan)
- Attachment 10: Excerpt from Preliminary Engineering Plans¹
- Attachment 11: Public Works and Engineering (PWE) Department Memo
- Attachment 12: Proposed Text Amendments
- Attachment 13: Tentative Plat of Subdivision

¹ A full copy is available by request to the Department of Community and Economic Development.

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Chair Szabo swore in Todd Polcyn, Petitioner, Len Kleinjan, Engineer, Todd Cox, Architect and Tom Burney, Lawyer.

Mr. Polcyn described the proposed project Insignia Glen 2 at 180 North East River Road. There would be 16 Townhomes. They would be 2 and 3 bedrooms. He explained the projects they have completed in neighboring areas. He said they have a second phase of the property to the south. They are conscious about the layout being consistent. They have been in communication with the property management company for the development in the south. He stated they want to work with them and offered to share the cost to maintain the detention pond and part of the road.

Len Kleinjan, Principal with Haeger Engineering. He is a licensed land surveyor and engineer in Illinois. He explained the project location map at 180 N. East River Road. It is currently located in Unincorporated Cook County. It is just north of the City of Des Plaines limits. One of the requests is to annex and zone into R-3 which is complementary to the adjacent zoning. It will need to be subdivided and a planned unit development is requested. To allow to be a Planned Unit Development. They will need a text amendment to change the size. This property was not considered in the comprehensive plan but appears to be an extension of that area. The intent of the project was to mirror the 16 units on the south for Insignia Glen. Mr. Kleinjan was part of that project in 2002 with Haeger Engineering. Access was granted with the private road with the hope that this development would come to Des Plaines. As part of this request, improvements are included, such as a new entrance along River Rd. Improvements and maintenance costs are associated with this project.

Mr. Kleinjan explained the improvements and new entrance to River Road and the private road. He displayed photos of the property condition. He described the Planned Unit Development site plan. There would be 16 lots. They would be 20 x 52 and 24 x 52 for the corner units. Each townhome will be in its own lot. There is also a common lot with shaded open space. The driveways will be aligned with the south driveways. There will be two car garages. 4 spaces, two in the garage and two in the driveway, are planned. They also propose 8 parallel parking spaces on the development. There is also an extension of the sidewalks that will connect to existing sidewalks.

He stated there is also a preliminary PUD associated with this request that includes what is proposed along with utilities, commercial entrance, water and sewer extensions, driveway and drainage improvements. They will use permeable pavers and large rocks that will help with infiltration to help with volume control. The PUD shows the area and neighborhood conditions. This property is on a hill, and it flows in each direction. Most is draining to the south and it will end up going to E River Rd and the other part will go to the Insignia Glen drainage system and to the Cook County Forest Preserve. They need to subdivide to create the lots for city approval. The slide shows the proposed dedications. They will be subdividing the 16 lots and the common space proposed.

Mr. Kleinjan said that the landscape architect is not here. They are proposing landscaping around the units and in front of the building. There is also a 6-foot board on board fence along the edge of

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the property. The landscape plan includes a tree preservation plan. Many trees cannot be saved, but some will be preserved if they can.

Jay Cox, Architect with Cobu Architecture Studio stated they utilized the footprints by Haeger to create this design. They looked at the neighborhood, site size, grading and integration into Des Plaines. Mr. Cox stated since these are an extension of the homes to the south, they have been considerate and complimentary to that development. It is important to note the elevations are simplified but the materials and design elements are consistent with the development to the south. These units will look the same as the adjacent development. He displayed an elevation slide. He describes the design guidelines, other townhome in Des Plaines and exteriors of Insignia One. He displayed slides showing the front, side and back of the development. He displayed slides of the floor plans including lower, main, and upper floor and detailed unit plans.

Tom Burney has been a land use Attorney for 43 years. He explained the Developer Request. He went over pages 31-37 of the packet which includes the Map Amendment, Text Amendment and Planned Unit Development. He stated that they have been in contact with the Homeowner's Association. He explained the offer to pay 43% of the maintenance of the road and the detention pond. He stated that the two developments would be partners. He stated that they will be adding a new base on the road that will improve the conditions. He stated that the annexation would be a blessing. The property is in disrepair. Once the property is in Des Plaines it will have to follow the rights and obligations. He stated that it is time for the property to come into the rules and regulations. When the property is a PUD, the city will have tools to get what the developer promises. When you look on the zoning map Len showed, everything that the city has zoned in here is R-3. A couple of extra units in this development make sense given the challenges this developer is facing. There is a setback in the rear yard that will be landscaped for the property owner to the west. Those two departures are not out of line, and they are warranted. He stated your responsibility is to determine if this proposed use promotes the public welfare and impact the quiet use and enjoyment. He believes it will do these things and hopes that at the conclusion of the presentations and the hearings that you will recommend approval.

Jonathan Stytz, Senior Planner gave the staff report. He explained the request for 180 North East River Road which includes Annexation, Text Amendment, Map Amendment, Tentative Plat of Subdivision and Planned Unit Development. He reviewed the slides which include Location Map and Background, Site Photos, Overview of Requests, Text Amendments, Existing Standards and Proposed Amendments, Map Amendment, Consideration and Proposed Map Amendment, Proposed PUD Site Plan, Site Plan Review, Preliminary PUD, Proposed PUD Site Plan, Proposed Elevations, Proposed Floor Plans, Tentative Plat of Subdivision, Tentative Plat of Insignia Glen 2 Subdivision and PZB Considerations

Member Catalano asked about the alleys. Are people able to park there?

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Mr. Burney said that they have seen some cities that allow for police power to police those kinds of parking things. This could be entered with a development agreement.

Member Hofherr stated that the property nearby is shown as R-4 single family on the map, are there plans to develop this location at a later time? Has the City discussed this? How do they get to the property? Is that a public access road though?

Mr. Burney stated no, there is a weird flag lot on the Cook County parcel. There is a road that snakes north and gets access to the road.

Mr. Stytz stated there has been no requests to the City that involve the development of that property. The access road is most likely a shared driveway.

Member Hofherr asked if someone comes in for a development back there, would there be proper access to develop that property? He was surprised that this developer isn't looking into adding another set of buildings there. His thought is there that with the private road you are planning, at the west end, you could make access to that property. If you had buildings there, you could access from there.

Mr. Burney stated there is the cul-de-sac bulb at the existing Insignia Glen that goes back. I am not sure the city has reserved that R-4 existing area. Between the two properties, it is possible to provide it. The client was not able to get that property.

Mr. Kleinjan stated the current property has access to the north. There is an access easement that comes down to the South. I am not sure if they are owned by the same person, but you can see the access easement on the aerial. There is no access through this property.

Chair Szabo asked if anyone in the audience has questions.

Chair Szabo swore in Linda Rettberg: 172 N. E. River Rd. She said her concern is traffic. They have 21 units with two people per unit with 2 cars. If the 16 units are built, that will be an additional 32 cars, 74 cars with the existing development. She said that is a lot of traffic for a small road along with delivery trucks. Plus, they have family and friends around the holidays. They like having that curve on the north end of the private road although most people use the south part to be closer to the unit they are visiting. She also stated there is a lot of people walking with children and young families with dogs. She doesn't see that a small road can help accommodate the additional traffic. Ms. Rettenburg also stated as far as the HOA, this would be additional work for them. She is a board member and there are two other board members here. They have full time jobs and families.

Chair Szabo swore in Piotr Niewiaowski, 210 N. E. River Rd: He stated that they are the R-4 property to the west. They are concerned with drainage and privacy. They are one of the properties the lawyer mentioned. They mentioned a 6-foot fence. He stated that the property already gets a lot of water. They would like some water mitigation. There is a retention pond at the Insignia property.

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They are concerned about the elevated property proposed. He suggested 8 ft or taller privacy fence. He stated the access road is shared with ComEd and has access to the forest preserve.

Chair Szabo asked if that is access for people to the north and if they share the driveway to this property.

Mr. Niewiaowski stated when the road is west, that is ComEd, when it goes south it is joint ownership with the property owner there.

Chair Szabo swore in Monica Smith, 160 N. E. River Rd: She stated she has a few concerns. They own the R-4 property north to the development. They have a single-family home. There was mention of the fabric of the neighborhood. She stated that fabric is divided and not all townhomes. There are single family homes too. Their concern is privacy with a three-story building looking to the backyard. It is a different quality of life with that many windows. Another concern is noise and 32 cars for parking in garages. Water runoff is a concern. Their water is on a well. It seems densely planned. I am not sure if the retention pond will be enlarged.

Member Veremis said that the property there now is a single-family home. She asked how long it has been vacant.

Todd Polcyn stated that he purchased the property four months ago.

Mr. Burney stated as far as the privacy fence, they can evaluate with staff if an 8-foot fence would be a significant difference. They have seen pictures of what they have been living next to for many years. I would suggest this is a great improvement. They are sensitive to privacy too. In terms of water, is there any community in Chicago that doesn't know more about drainage and flooding than Des Plaines? They will not get approval unless we meet all requirements. They will not increase the flooding problem and in fact will improve it.

Chari Szabo asked if they could please be specific about the flood and sewer plan.

Mr. Kleinjan stated that they do understand there are drainage concerns. The site is on a hill, and it flows in all directions. There is drainage to the north and west. With the improvements, they will have storm sewers and will drain to the permeable paver where there is volume control under the drive ports to hold the water. The water will be sent through the Insignia Glen project into the detention pond and into the forest preserve. The neighbors to the west will have the water issue they are experiencing now that are improved.

Member Weaver stated he commends the petitioner for the permeable pavers, we need more of that in Des Plaines and I thank you for doing that. He asked a question for the staff – staff has drafted 4 motions and 5 conditions of approval. Given the PUD nature of this, the conditions of approval apply all over the place to some motions more than others. If we vote separately, which conditions apply to each motion?

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John Carlisle stated all conditions are intended to apply for a PUD. A map and text amendment can't be conditioned. It is tied to the PUD which is the fourth of the requests. He said -let me correct myself – the City Attorney has advised that the map amendments effectiveness to be delayed as a procedural order of operations. The annexation must be approved by Council before the R-3 zoning can take into effect. Condition 5 addresses that. That could be a preliminary PUD condition, but condition 5 is to be expressed in the council approval.

Member Weaver asked if they don't annex, then none of this will matter.

Mr. Carlisle stated except the text amendment, that will apply to all of the city, and it is independent.

Mr. Burney stated for the record, we have no objection to any of the conditions.

A motion was made by Board Member Catalano seconded by Board Member Saletnik to recommend to City Council approval of the Tentative Plat of Subdivision as requested.

AYES: Catalano, Saletnik, Weaver, Hofherr, Veremis, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

A motion was made by Board Member Catalano seconded by Board Member Saletnik to recommend to City Council approval of the Text Amendment as requested.

AYES: Catalano, Saletnik, Weaver, Hofherr, Veremis, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY *****

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A motion was made by Board Member Catalano seconded by Board Member Saletnik to recommend to City Council approval of the Map Amendment with condition number 5.

AYES: Catalano, Saletnik, Weaver, Hofherr, Veremis, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

A motion was made by Board Member Catalano seconded by Board Member Weaver to recommend to City Council approval of the Conditional Use for Preliminary PUD as requested with staff conditions 1-4.

AYES: Catalano, Weaver, Hofherr, Veremis, Saletnik, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

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3. **Address:** 1378 Margret Street **Case Number:** 23-044-V
 The petitioner is requesting Major Variations to allow an 8-foot-tall and 50-foot-wide trellis in the interior side yard at 1378 Margret Street where a maximum height of six feet and a maximum width of eight feet are permitted.

PIN: 09-20-314-012-0000

Petitioner: Patrick Howe, 1378 Margret Street, Des Plaines, IL 60018

Owner: Patrick Howe, 1378 Margret Street, Des Plaines, IL 60018

Petitioner: Patrick Howe, 1378 Margret Street, Des Plaines, IL 60018

Owner: Patrick Howe, 1378 Margret Street, Des Plaines, IL 60018

PIN: 09-20-314-012-0000

Ward: #3, Alderman Sean Oskerka

Existing Zoning: R-1 Single Family Residential district

Existing Land Use: Single Family Residence

Surrounding Zoning: North: R-1 Single Family Residential district
 South: R-1 Single Family Residential district
 East: R-1 Single Family Residential district
 West: R-1 Single Family Residential district

Surrounding Land Use: North: Single Family Residence (Residential)
 South: Single Family Residence (Residential)
 East: Single Family Residence (Residential)
 West: Single Family Residence (Residential)

Street Classification: Margret Street and Forest Avenue are classified as local roads.

Comprehensive Plan: The Comprehensive Plan illustrates the site as residential.

Zoning/Property History: Based on City records, the subject property was annexed into the City in 1953 and has been used as a single-family residence.

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Background:

Structure Installation and Enforcement

In April 2022, an eight-foot-tall structure, attached to a fence, was erected on the north property line between 1368 and 1378 Margret Street. A code enforcement case was opened to address any violations associated with the structure. Initially, the structure was classified as a “fence” and a violation was issued for the fence exceeding the allowable height. Section 12-8-2 allows for solid fences in the side yards up to six feet in height. The structure measured eight feet from grade to the top of the structure.

Between April and October 2022, City staff completed several site visits and meetings with the property owner/petitioner to discuss this structure. In October 2022, a Final Zoning Decision Letter classified the structure as a “trellis,” based on the fact that the structure had been detached from the fence and the Zoning Ordinance at the time (which has since been amended) permitted a trellis to be up to eight feet in height and located at least one foot away from the lot line.

Zoning amendments were approved by City Council on April 3, 2023 that (i) define fence and trellis separately and (ii) limit trellises’ size, location, and width. The structure is not in compliance with maximum height (8 feet instead of 6 feet) or width (50 feet instead of 8 feet). The structure was not able to be classified as a “nonconforming structure” per Section 12-5-6 because it was not lawfully established; an inspection in mid-April revealed the structure was taller than 8 feet, or the prior height limitation, and therefore could not be considered lawful. The property owner was required to remove the existing structure, which they did, and chose to apply for a variation from the new trellis rules to re-install the former structure.

Recent Text Amendments for Fences, Trellises, and Arbors

The text amendments to clarify regulations and add terms for fences, trellises, and arbors were approved through Ordinance Z-6-23. The following definitions have been established for fence and trellis:

- FENCE: A structure used as a barrier or boundary to enclose, divide, or screen a piece of land. The term “fence” includes fences, walls, and other structural or artificial barriers that function as a wall or a fence. For the purposes of this Title, the term "fence" does not include arbors, trellises, or naturally growing shrubs, bushes, and other foliage. Fences must be made of wood, vinyl, metal, masonry, or combination thereof. The height of a fence is measured from the immediately adjacent finished grade to the highest point of the fence.
- TRELLIS: A freestanding structure with latticework intended primarily to support vines or climbing plants. The height of a trellis is measured from the immediately adjacent finished grade to the highest point of the trellis.

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| Case 23-045- FPLAT-CU-LASR | 2777 Mannheim | Final Plat of Subdivision, Conditional Use, Localized Alternative Sign Regulation |
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| Case 23-044- V | 1378 Margret | Variation |

In addition to the new definitions, a summary of the new trellis regulations—as they relate to the petitioner’s request—are below.

- **Location:** Trellises are permitted in all required front, side, corner-side, or rear yards or the buildable area with some limitations.
- **Height:** Allows trellises up to six feet in height in the interior side yards.
- **Width:** Trellises cannot exceed 8 feet in width.
- **Material:** Trellises must be constructed of wood, wrought iron, vinyl, or similar decorative material; and
- **Separation:** Trellises may not be attached to or located less than six feet from other trellises.

Project Description: *Overview*

The petitioner, Patrick Howe, has requested a major variation to allow an 8-foot-tall and 50-foot-wide trellis structure. Plans for the proposed structure are attached. The subject property consists of a 9,081-square-foot (0.21-acre) lot with a 1,285-square-foot, two-story house, one frame shed, a large playground structure, and a deck. The petitioner provided photos of the previous trellis structure prior to dismantling to resolve code enforcement violations.

In the Responses to Standards, the petitioner indicated that the proposed structure would be used as a support for climbing plants. However, the photos display several arborvitaes, which do not require support unless recently planted or damaged², and no evidence of climbing plants that are typically in need of a trellis for support. Nonetheless, if the PZB accepts that the structure’s purpose would be for plant support, the petitioner’s desired height and width require variation from Sections 12-7-1.C and 12-8-14. B.1 of the Ordinance.

PZB Considerations

Based on the substantial size, positioning, and design of the structure in question, the PZB may wish to analyze if the true intent/utilization of the structure, as proposed to be designed, is more to serve as a barrier to screen the petitioner’s property from view from the neighbor instead of a structure for the primary purpose of providing support for climbing plants. Further, the PZB may inquire as to what plantings the petitioner intends to install on the property that necessitate an 8-foot-tall, 50-foot-wide trellis structure, or namely why alternative plantings that do not need support from other structures were not installed in its place. See staff’s analysis of the variation standards. Refer to attachment for public comment received for this project.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the Zoning Ordinance. Rationale for how the proposed amendments would or would not satisfy the

² University of Minnesota Extension, 2020, *Planting and Growing Guides: Staking and Guying trees*, <https://extension.umn.edu/planting-and-growing-guides/staking-and-guying-trees>

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standards is provided below and in the attached petitioner responses to standards. The Board may use the provided staff comments as its rationale, modify, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

Comment: Considering the other opportunities available, the zoning challenges encountered do not rise to the level of hardship or practical difficulty. The petitioner argues that the arborvitae and ivy require a trellis to support their growth. Thuja, commonly called “arborvitae” are a genus of evergreen trees popular for providing screening and privacy on properties either in lieu of or in addition to a fence, with some species native to the Midwest. Arborvitae prefer full sun exposure and are known for their hardiness and their compact but tall appearance.³ Like many trees, arborvitae may temporarily require support with stakes when freshly planted, but improper or long-term support of the tree can be damaging.⁴ Staff were unable to find any planting guides that suggested long term use of supports or the use of a trellis to provide support for a tree. On the other hand, ivy may require a trellis for growth, depending on the species. However, the photos and documents provided by the petitioner did not indicate any ivy is currently growing nor the type of ivy. Overall, staff were unable to validate the claim that a trellis of this size is necessary to support the existing or proposed plants.

Approval would allow a structure that is six times the allowable width. Through either testimony in the public hearing or via the submitted responses, the Board should review, question, and evaluate whether a hardship or practical difficulty exists.

PZB Additions or Modifications (if necessary): _____

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than

³ Ohio Department of Natural Resources, *Arborvitae*, <https://ohiodnr.gov/discover-and-learn/plants-trees/scale-like-leaves/arborvitae-thuja-occidentalis>

⁴ University of Minnesota Extension, 2020, *Planting and Growing Guides: Staking and guying trees*, <https://extension.umn.edu/planting-and-growing-guides/staking-and-guying-trees>

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a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Comment: The subject property is a typical rectangular, corner lot that is neither exceptional to the surrounding lots nor contains unique physical features that prevent the petitioner from complying with the appropriate regulations. As there are ample opportunities for the petitioner to locate a code-compliant trellis or trellises on the subject property, the request for an 8-foot-tall and 50-foot-wide trellis appears to be more of a personal preference of the property owner instead of a definable unique physical condition.

PZB Additions or Modifications (if necessary): _____

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: Any perceived unique physical conditions or hardships created from these items are a direct result of the actions of the property owner. The petitioner has not yet provided evidence that the proposed planting requires a structure of this size to sustain its vitality.

PZB Additions or Modifications (if necessary): _____

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Comment: Enforcing the trellis height and width requirements does not deny the property owners from constructing a trellis on their property but requires said trellis structure to conform with the applicable requirements that apply to any trellis structure installed throughout the City.

Given the initially installed 8-foot-tall and 50-foot-wide structure on the subject property, as illustrated in the attached Photos of Prior Conditions, and the petitioner’s rationale that the structure in question is necessary to support plants, the PZB may discuss whether the true intention of this structure is more to provide a substantial barrier between the two properties rather than providing support for climbing plants. Even if solely for the intention of supporting climbing plants, the PZB may ask itself if the ability to install a structure at this scale is a right to which Des Plaines property owners are entitled given there are available alternatives to achieve the functional needs of a trellis.

PZB Additions or Modifications (if necessary): _____

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5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Comment: Granting this variation may, in fact, provide a special privilege for the property owner not available to other single-family residential properties. Variation decisions are made on a case-by-case, project-by-project basis upon applying the variation standards. In those evaluations, the determining body (e.g., PZB and/or City Council) usually determines the applicant has exhausted design options that do not require a variation. In this case, there may be different design options, sizes, and positions for a trellis structure on the subject property. The PZB may ask the petitioner to explain whether they have exhausted other alternatives.

PZB Additions or Modifications (if necessary): _____

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

Comment: On one hand, the project would allow enhancement of a single-family home, which the Zoning Ordinance and Comprehensive Plan want to encourage. However, the existing structure is solely for the benefit of the property owner and is not consistent with any general and specific purposes of the Comprehensive Plan. The structure is 50-feet-wide and 8-feet-tall, close to a fence. A trellis is a built structure for decoration or support of climbing plants. The existing barrier-type structure is not harmonious with other residences in the R-1 district and does not meet the regulations for either trellis or fence structures. There are reasonable options for designing a trellis structure to create an adequate space for the growing of various plant material without the height and width of the existing structure in question.

PZB Additions or Modifications (if necessary): _____

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: It appears there would be several alternatives to the height and width variations being requested. The code allows for the installation of multiple trellis structures on the property, with a minimum 6-foot-separation between structures. It also allows for various trellis heights based on the trellis location on the property, restricting trellis height to 6 feet or less in required yards but allowing a maximum trellis height of 8 feet in the buildable area. In addition to the above improvements, natural plantings can also be added to provide a natural

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barrier between the properties as sought by the petitioner. The PZB may wish to ask why certain alternative designs are not feasible.

PZB Additions or Modifications (if necessary): _____

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The approval of the height and width variations may provide relief for the petitioner. However, staff argues that the alleged hardship could be satisfied with alternative proposals that better utilize the physical characteristics of the property, incorporate trellis structures in a cohesive and harmonious way with the neighboring built environment, and meet the appropriate requirements. The PZB may determine if the measure of relief is appropriate or necessary in its recommendation.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Conditions: Under Section 12-3-6(F) of the Zoning Ordinance (Major Variations), the PZB has the authority to *recommend* approval, approval subject to conditions, or denial of the request to City Council. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB recommends approval of the request, staff recommends the following conditions.

Conditions of Approval:

1. No drainage concerns are created.
2. The trellis must be used to support vines or climbing plants.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Staff Site Visit Photos
- Attachment 3: Petitioner Photos of Previous/Proposed Structure
- Attachment 4: Petitioner’s Narrative and Responses to Standards for Variation
- Attachment 5: Plat of Survey and Site Plan
- Attachment 6: Trellis Diagram
- Attachment 7: Public Comment

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Chair Szabo swore in Patrick Howe petitioner of 1378 Margret Street. Mr. Howe stated in Fall of 2021, he put up an approved deck. He said part of his plan was to put up trellis along the property line. The City of Des Plaines had questions on what was and was not allowed for placement of the trellis. The trellis was taken up and down a few times to comply with requests. On October 14, Mr. Carlisle stated that it was a trellis. In spring of 2023, a new ordinance was passed on trellis definition and regulations. When the city came out to remeasure the trellis did not follow the code, so he took it down. He is at the PZB meeting to request a major variation to put the structure back up. He stated he has money in materials and trees and climbing ivy in the property line that would require the trellis.

Samantha Redman, Planner, explained the major variation request at 1378 Margret Street. She described the property being on a corner lot with a house, shed, playground and deck. She explained the previous code enforcement cases regarding the trellis. She gave a PowerPoint presentation explaining the Location Map and Description, Site Photos, Requests which included old photos, Site Plan, Previous Trellis Rules, New Applicable Trellis Rules, Section 12-8-2 of the Fence Regulations, Conditions of Approval and PZB Consideration. Ms. Redman stated that the petitioner provided justification stating that the trellis is necessary to support the plants that they have and will plant.

Member Catalano asked for clarification on the timeline for the trellis.

John Carlisle stated that initially the trellis was attached to a fence. Since it was attached it was considered a fence. Upon detaching it was then considered a trellis since they were separate structures. Mr. Carlisle did not approve the trellis. He determined that the structure was a trellis under the old rules. Looking at the structure, it did not follow the rules since it was less than a foot from the lot line. Under the old rules upon inspection, the structure was determined to be too tall. You cannot modify and regain the lawful establishment of a non-conforming structure. The rules changed in 2023 which allows a maximum height of 6 feet, maximum width of 8 feet and 6 feet between each trellis.

Member Weaver asked about 1368 Margret Street. He asked if the 1368 fence meets the current requirements.

Ms. Redman stated to her knowledge the fence at 1368 Margret meets the current requirements.

Member Saletnik stated that we need to get down to the issue. He stated that when you have a resident on both sides the maximum fence is 6 feet. Adding a trellis on the fence still makes it a fence. It seems like they are looking to make an 8-foot fence and calling it a trellis to get away with it and he doesn't think that it right.

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Chair Szabo swore in Rich Marecek, 1359 Margret Street. Mr. Marecek stated that he lives across the street from this property. He said he purchased home in Des Plaines because they have a good set of ordinances, rules, and regulations to protect his future purchasers from things that may happen down the road. He does not want something that would compromise a resident’s home value and impact their safety and health. He stated he does not have a problem with variations unless they come dangerously close to property lines where they impact the wellbeing and property value of the neighbors. He stated we have the ordinances in place to protect the homeowner.

Chair Szabo swore in Adam Findlay, Attorney for Jennifer Toner, the neighbor to the north of the subject property. Mr. Findlay is a zoning attorney that has been involved with this matter for some time. There was a zoning determination and an appeal on calling the structure a trellis. He stated that we agree with Member Saletnik’s comment that this is fence. He stated it’s a 50-foot structure intended to create an obstruction between two adjoining residential properties. He stated that the motivation for this is to create a line of privacy between the two properties. He stated that this is a self-created condition. Mr. Findlay stated that the petitioner constructed a deck in 2021 to raise the livable plane of the back yard area two feet. Mr. Findlay produced a photograph to show the raised deck that raised the elevation of the property. He stated the trellis is being proposed to be the entire perimeter of the deck. He stated the proposal is to put an 8-foot fence along the perimeter on an artificially elevated ground level. Mr. Findlay stated that this is not what the code permits. He stated under Illinois law variations are for meant for conditions that are created out of our control that need intervention. He stated trees have been used for privacy. He stated the Arborvitaes Trees are commonly used. Mr. Findlay stated that the petitioner stated that they need the trellis for Arborvitaes and Ivy. He stated Arborvitaes are trees that do not need trellis for support. He also stated that Ivy has not been in any of the before photos and there is no information that states Ivy requires a support height of over 6 feet to grow.

Mr. Findlay stated that in April after the code was passed a letter was sent to the petitioner stating, “to avoid further enforcement proceedings and fines, the structure must be removed in its entirety or altered to comply.” He stated as of two hours ago and what is shown in the petitioners’ photos, the structure has not been removed in its entirety or altered to comply. He stated that none of the requirements of a variation have been met in including Hardship, Unique Physical Condition, Not Self-Created, Denied of Substantial Rights, Not Merely Special Privilege, Title and Plan Purposes, No Other Remedy and Minimum Required.

Mr. Findlay stated that regarding the two Proposed Conditions, they would be unmeetable.

1. *No drainage concerns are created.* – Mr. Findlay stated that since the structure was created, the walkway along Jennifer Toners property has increasingly been flooded.
2. *The trellis must be used to support vines or climbing plants* – He stated that if this was a threshold an applicant could put as high of a fence as you want as long as you install Ivy.

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Member Saletnik stated having a corner lot could be a unique physical condition. However, if Des Plaines allows an 8-foot fence for a corner lot, then there would be corner lots all over Des Plaines looking to add an 8-foot fence. He stated that this is a residential area, and 6-foot fences are the norm.

Member Weaver stated he went on a walk in the neighborhood and he was impressed with the openness of the neighborhood with the lawns and landscaping. Then he went to this area, and it looked like fence wars. It is out of character with the neighborhood and that has been reflected in the comments that the Des Plaines staff has received from the neighbors. He stated that arborvitae can be used on properties for privacy. He stated that they do not have anything to do with a trellis.

A motion was made by Board Member Weaver seconded by Board Member Saletnik to recommend to City Council to deny the Major Variation petition.

AYES: Weaver, Saletnik, Catalano, Hofherr, Veremis, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY *****

ADJOURNMENT

The next scheduled Planning & Zoning Board meeting is Tuesday August 22, 2023.

Chairman Szabo adjourned the meeting by voice vote at 8:47 p.m.

Sincerely,
Margie Mosele, Executive Assistant/Recording Secretary
cc: City Officials, Aldermen, Planning & Zoning Board, Petitioner



MEMORANDUM

Date: August 18, 2023
To: Planning and Zoning Board (PZB)
From: Samantha Redman, Planner *SCR*
Cc: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Subject: Standard Variations at 1749 and 1757 Farwell

Issue: The applicant is requesting a Standard Variation to allow the construction of single-family residences on two lots of 50 feet in width where a minimum lot width of 55 feet is required in the R-1 Single-Family Residential District.

Applicant: Zbigniew Zalesko, 3638 N. Odell Ave, Chicago, IL

Owner: Zbigniew Zalesko, 3638 N. Odell Ave, Chicago, IL

Case Number: 23-050-V

PINs: 09-33-110-012-0000 and 09-33-110-013-0000

Ward: #6, Mark Walsten

Existing Zoning: R-1, Single Family Residential

Existing Land Use: Single family residence

Surrounding Zoning: North: R-1 Single Family Residential District
South: R-1 Single Family Residential District
East: R-1 Single Family Residential District
West: R-1 Single Family Residential District

Surrounding Land Use: North: Single Family Dwellings (Residential)
South: Single Family Dwellings (Residential)
East: Single Family Dwellings (Residential)
West: Single Family Dwellings (Residential)

Street Classification: Farwell Ave is classified as a local road.

Comprehensive Plan: The Comprehensive Plan illustrates the site as single family residential.

Zoning/Property History: Based on City records, the subject properties were subdivided prior the adoption of the 1998 Zoning Ordinance. The garage was demolished in 2011, and the site has been vacant ever since. Building permits for a single-family residence on each lot are currently being reviewed for this property. This variation is necessary to issue the permits and begin construction. A standard variation was previously approved in 2016 (Case Number 16-017-V) identical to this request; however, the variation expired because the Zoning Ordinance specifies that construction must begin within 12 months for the variation to remain in effect (Section 12-3-6.L.2), absent an extension from the Zoning Administrator at the time. Such extension was not granted because it was not requested in the required time frame.

Project Description: *Overview*
Both lots meet all bulk control requirements for this zoning district but are considered legal nonconforming lots because the lot width does not meet the 55-foot requirement for R-1 zoned properties. A variation for lot width is required to develop two nonconforming lots “in combination” (i.e., continuous frontage and single ownership) pursuant to Section 12-5-4.B.

Building permits are currently being processed for a single-family residence located on each property. Refer to Proposed Site Plan and Architectural Plans attachments. The proposed projects meet all bulk control standards except for the lot width.

Below are the requirements for an R-1 zoned property per Section 12-7-2:

| <u>Bulk Controls</u> R-1, Interior Lot | <u>Requirement</u> | <u>Proposed</u> |
|---|---------------------------|---|
| Maximum Height | 2 ½ stories or 35 ft | Proposed 1749 Farwell: 30’4” Proposed 1757 Farwell: 30’4” |
| Minimum Front Yard | 25 ft | Proposed 1749 Farwell: 25 ft Proposed 1757 Farwell: 25 ft |
| Minimum Side Yard | 5 ft | Proposed 1749 Farwell: 5’4” Proposed 1757 Farwell: 5’5” |
| Minimum Rear Yard | 25 ft or 20% of lot depth | Proposed 1749 Farwell: 65’ Proposed 1757 Farwell: 66’ |
| Minimum Lot Width | 55’ | 50’ (variation requested to allow construction of residences) |
| Minimum Lot Area | 6,875 square feet | 8994 square feet (each) |

The majority of properties in vicinity of this property are 50 feet wide with single-family houses (refer to Lot Width Comparison attachment). In fact, the lot width requirement when this property and the surrounding area was originally subdivided was 50 feet. The minimum required lot width was changed between the 1960 and 1998 Zoning Ordinances from 50 feet to 55 feet, creating many “nonconforming lots” within the City.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6.H. of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: Requiring the petitioner to adhere to the minimum 55-foot lot width requirement would prevent development on these properties and would not meet the goals and objectives of the Comprehensive Plan to foster growth of residential areas and provide additional housing options. Furthermore, many of the surrounding properties in the area have similar lot widths as the request. Refer to the Lot Width Comparison attachment and Petitioner’s Response to Standards.

PZB Additions or Modifications (if necessary): _____
_____.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Comment: Refer to Petitioner’s Response to Standards. The property is land-locked so it cannot be expanded to meet the lot width requirements. Not granting this variation limits the development potential for these properties.

PZB Additions or Modifications (if necessary): _____
_____.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: The unique physical condition is not the result of the current owner or previous owners. There is not a way for the petitioner to widen the lots to meet the 55-foot lot width requirement since they are landlocked.

PZB Additions or Modifications (if necessary): _____
_____.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Comment: Carrying out the strict letter of the code would prevent the petitioner from developing the properties with the single-family residences, as many of the surrounding properties have done, which would deny them the substantial rights enjoyed by neighboring property owners. The majority of the existing lots in this area are less than 55 feet wide and do not meet the current minimum 55-foot lot width requirement.

PZB Additions or Modifications (if necessary): _____

_____.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:**

Comment: The variation request would not provide the petitioner with any special privilege that is not already enjoyed by many of the surrounding property owners. The petitioner intends to develop this property with single family residences (Refer to Proposed Site Plan and Architectural Plans attachments).

PZB Additions or Modifications (if necessary): _____

_____.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:**

Comment: The request would result in the future development of this site that would be in harmony with the surrounding neighborhood and would meet all other standards for R-1 properties in Section 12-7-2. This request seeks to develop this vacant property with single family residences (one per lot).

PZB Additions or Modifications (if necessary): _____

_____.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Comment: The petitioner cannot alter the dimensions of the property to meet the 55-foot minimum lot width requirement, as the property is land-locked by developed properties. The variation is required for the petitioner to develop any residences on the property.

PZB Additions or Modifications (if necessary): _____

_____.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The variation request is the minimum measure of relief.

PZB Additions or Modifications (if necessary): _____

_____.

PZB Procedure:

Standard Variation

Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance.

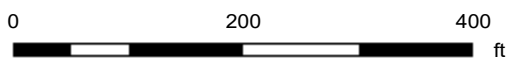
Attachments:

- Attachment 1: Location and Zoning Map
- Attachment 2: Site and Context Photos
- Attachment 3: Petitioner’s Project Narrative and Response to Standards
- Attachment 4: Lot Width Comparison
- Attachment 5: Plats of Survey
- Attachment 6: Proposed Site Plan
- Attachment 7: Proposed Architectural Plans



Legend

- Subject Site
- Zoning
- C-2: Limited Office Commercial
- C-3: General Comm
- R-1: Single Family Residential



Print Date: 8/16/2023

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



Public Notice Sign



View of property



View of property and adjacent house, facing southeast



View of property and adjacent house, facing southwest

This variation was previously granted in 2016 to allow for the development of this property and the adjacent 1757 Farwell to be developed with single family residences. A 55-foot-wide lot width is required in the R-1 district and this parcel is only 50 feet wide. The original variation expired because no building permit was issued for the property within one year of the granting of the variation.

1. Hardship

Strict adherence to the provisions of the zoning ordinance will create hardships or practical difficulty. Without this variation, the land would continue to be underutilized, as a lot must be 55-feet wide to be developed in this zoning district. Plans are to build a single-family residence on the property which would not be possible without the variation.

2. Unique Physical Condition

The existing lot width is an unique physical condition and there is no possibility that the property can be developed in strict conformity with the provisions of the zoning ordinance. A variation is necessary to enable the reasonable use of the property.

The proposed house that could be developed with this variation is consistent in size and harmonious with the neighborhood and will not be injurious to the use and enjoyment of other properties in the immediate vicinity of the purpose already permitted. In fact, the majority of properties surrounding this property are fifty feet in width and contain single family houses.

3. Not Self-Created

The physical condition of the subject lot has not been created by the current owner. The property boundaries have not changed since their purchase of the property.

4. Denied Substantial Rights

Following the strict letter of the provision would deprive the property owner of the rights currently enjoyed by adjacent owners, whose adjacent properties have similar lot dimensions, including width.

5. Not merely special privilege

The hardships are based on allowing the property owner to construct a residence, to enjoy the same privileges that are currently enjoyed by adjacent property owners. The granting of this variation would not provide any special privilege but rather a solution to some of the existing unique physical conditions of the site and practical difficulties associated with the development of the subject property.

6. Title and Purposes

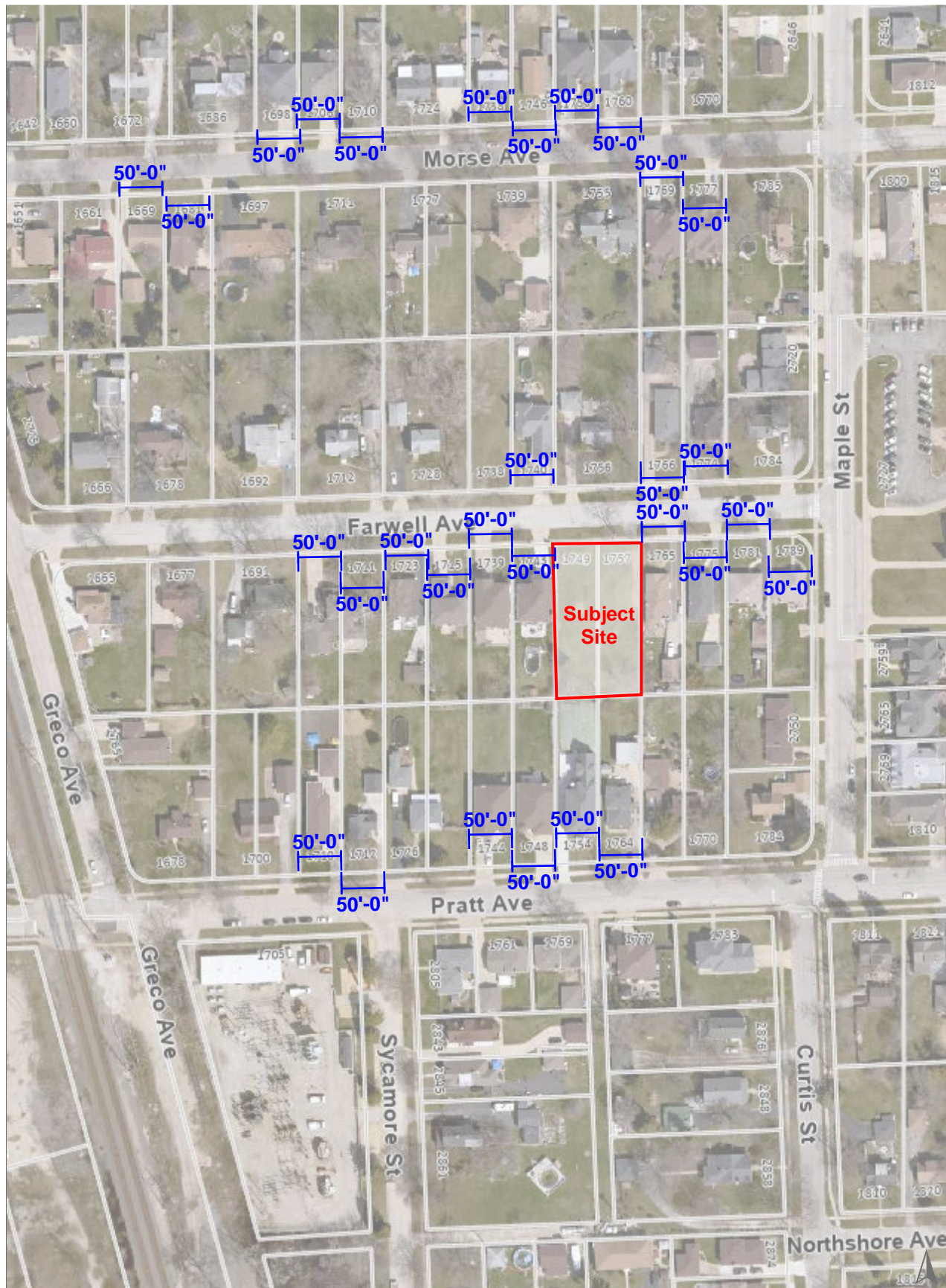
The requested variation will be in harmony with the general purpose of the 2019 Comprehensive Plan and supports the goals and objectives of the Plan, including Goal 4.1 to “Ensure the City has several housing options to fit diverse needs” and 4.3 “Provide new housing at different price points.” Typically smaller lots are more affordable and create a more affordable housing product than larger lots. The existing zoning district (R-1, Single Family Residential) restricts properties to only one dwelling unit (house) per property. Allowing for the construction of this residence rather than requiring acquisition of additional property would allow the land to be used more efficiently and provide an opportunity to construct an additional house in an existing residential area.

7. No Other Remedy

There are no other means available other than the variation requested, by which the hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

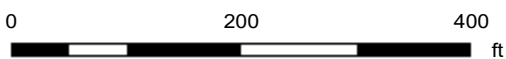
8. Minimum Required

The approval of the variation request is the minimum measure of relief to address the petitioner’s concerns and the existing conditions on site. The variation would allow the property owner to fully utilize the property and enjoy the same privileges as adjacent property owners. All other requirements of the Des Plaines zoning, building and other municipal codes will be followed for the proposed building on this property. The variation was previously granted in 2016 and the building permit is ready to issue, but requires this variation in order to construct.



Legend

| Symbol/Color | Description |
|----------------------|-----------------|
| Red outline | Subject Site |
| Blue dimension lines | 50'-0" Setbacks |



Print Date: 8/16/2023

Notes

| |
|--|
| |
|--|

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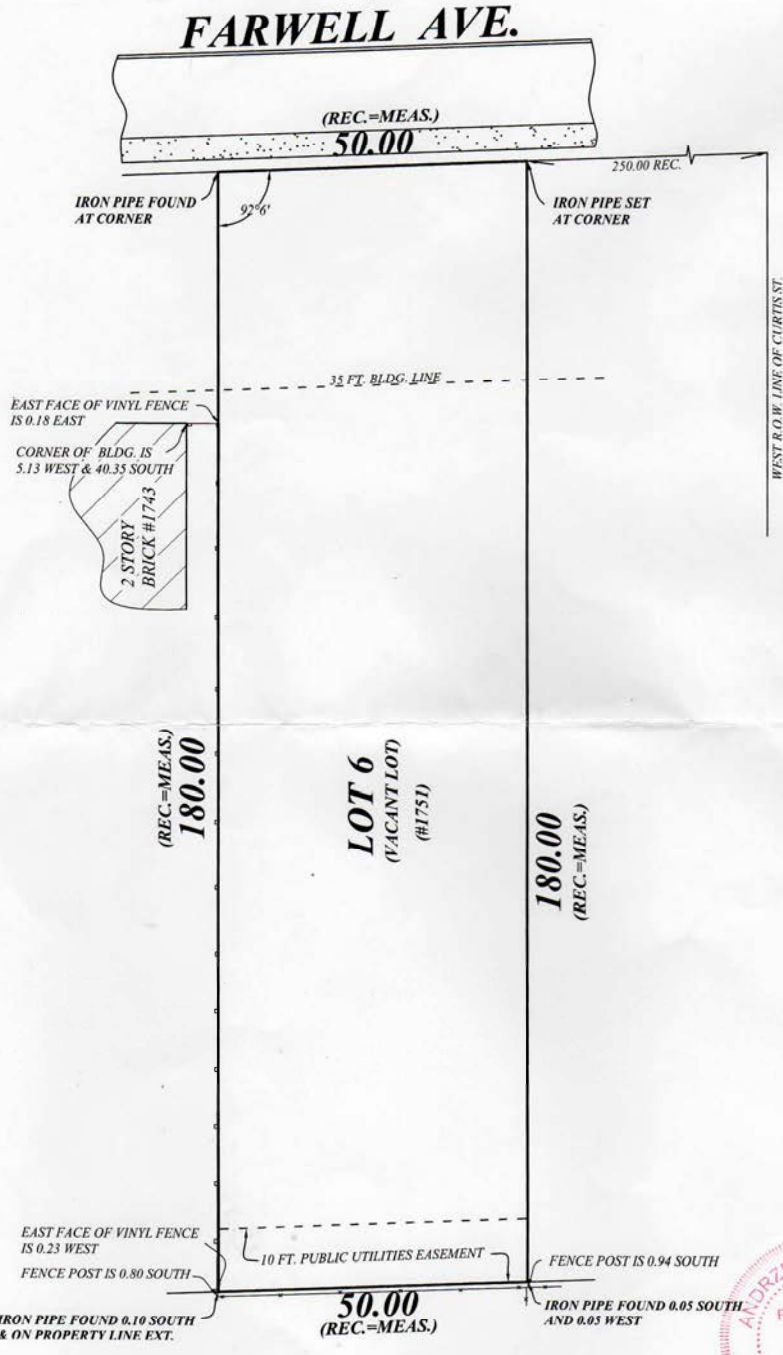
PLAT OF SURVEY

RECEIVED
5/2/23
BUILDING DEPT.

DESCRIBED AS : 17511

LOT 6 IN BLOCK 7 IN OLIVER SALINGER AND COMPANY'S GLEN ACRES IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA: 8994 SQ. FEET



LEGEND

- - - CHAIN LINK FENCE
- - - WOOD FENCE
- - - IRON FENCE
- - - CONCRETE PAVEMENT
- E. F. P. - ENCLOSED FRAME PORCH
- O. F. P. - OPEN FRAME PORCH
- - - SIDE BOUNDARY LINE
- - - EASEMENT LINE
- - - BLDG. SETBACK LINE
- - - CENTER LINE

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE : 1" = 20'

ORDERED : JADHWIGA SEDEK

JOB NO : 191224B

FIELDWORK COMPLETION DATE : DEC. 23RD 2019

MUNICIPALITY : DES PLAINES

STATE OF ILLINOIS
COUNTY OF COOK SS

SIGNATURE DATE:
DECEMBER 24TH 2019

I, ANDRZEJ MURZANSKI, AN ILLINOIS REGISTERED LAND SURVEYOR, DO HERBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

ANDRZEJ MURZANSKI PLS. NO. 35-3258 EXPIRES 11/30/2020
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT REFER TO YOUR ABSTRACT, DEED, TITLE POLICY AND LOCAL BUILDING REGULATIONS.



ANDRZEJ MURZANSKI
LAND SURVEYORS, INC
PROFESSIONAL DESIGN FIRM
NO. 184-004748

240 COUNTRY LANE
GLENVIEW, IL 60025
PHONE : 847-486-8731
FAX : 847-486-8732

amurzanski@outlook.com

THE LEGAL DESCRIPTION NOTED ON THIS PLAT IS A COPY OF THE ORDERS AND FOR ACCURACY MUST BE COMPARED WITH THE DEED.

Attachment 5

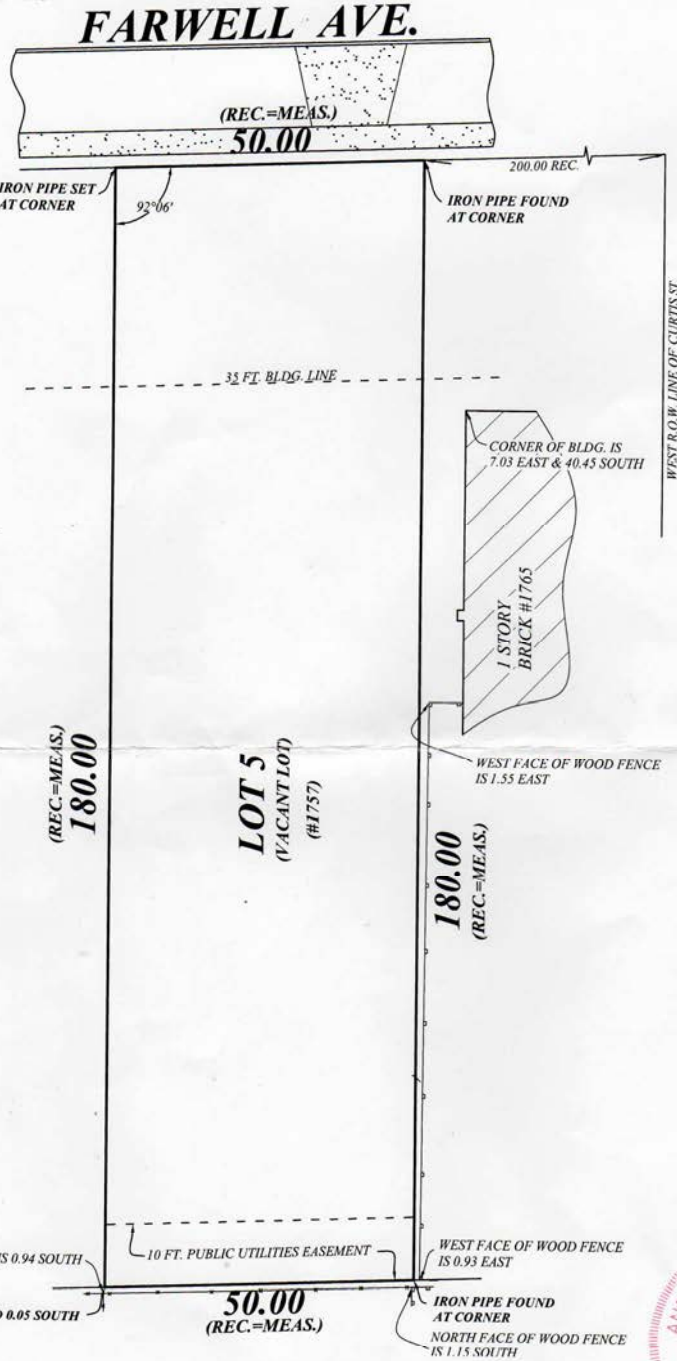


PLAT OF SURVEY

DESCRIBED AS : 1757

LOT 5 IN BLOCK 7 IN OLIVER SALINGER AND COMPANY'S GLEN ACRES IN THE WEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA: 8994 SQ. FEET



LEGEND

- x---x--- CHAIN LINK FENCE
- o---o--- WOOD FENCE
- IRON FENCE
- CONCRETE PAVEMENT
- E. FR. P. - ENCLOSED FRAME PORCH
- O. FR. P. - OPEN FRAME PORCH
- --- SIDE BOUNDARY LINE
- --- EASEMENT LINE
- --- BLDG. SETBACK LINE
- +--- CENTER LINE

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE : 1" = 20'

ORDERED : JADWIGA SEDEK

JOB NO : 191224A

FIELDWORK COMPLETION : DEC 23RD 2019

DATE : DEC 23RD 2019

MUNICIPALITY : DES. PLAINES

STATE OF ILLINOIS
COUNTY OF COOK SS

SIGNATURE DATE:
DECEMBER 24TH 2019

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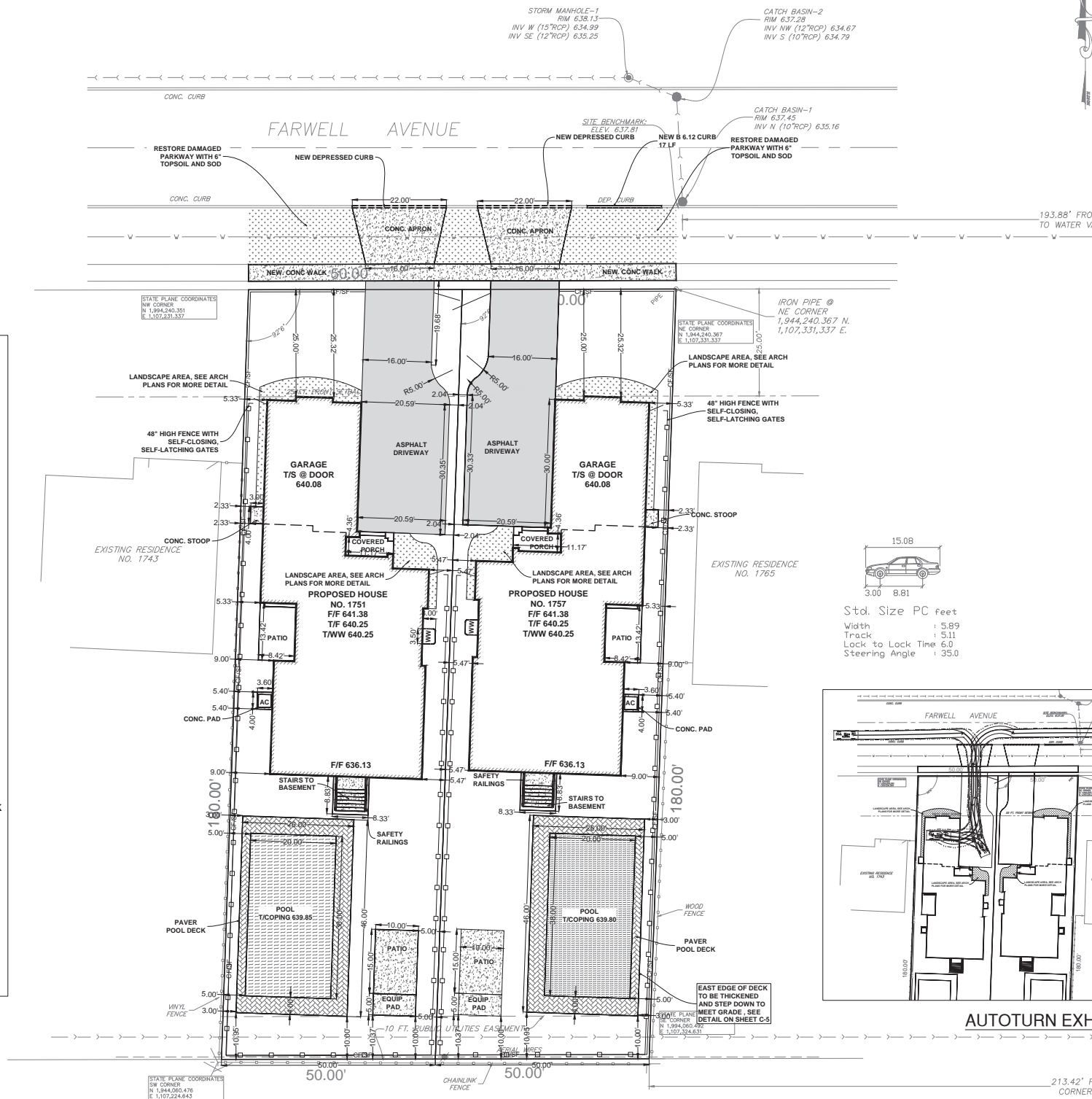
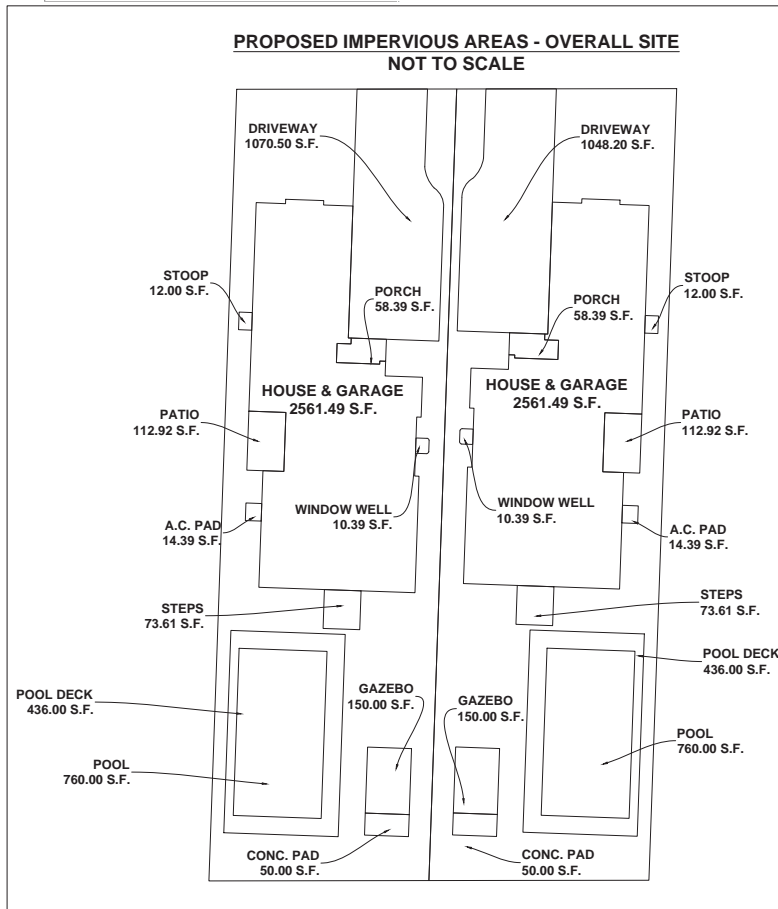
amurzanski@outlook.com

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Attachment 5

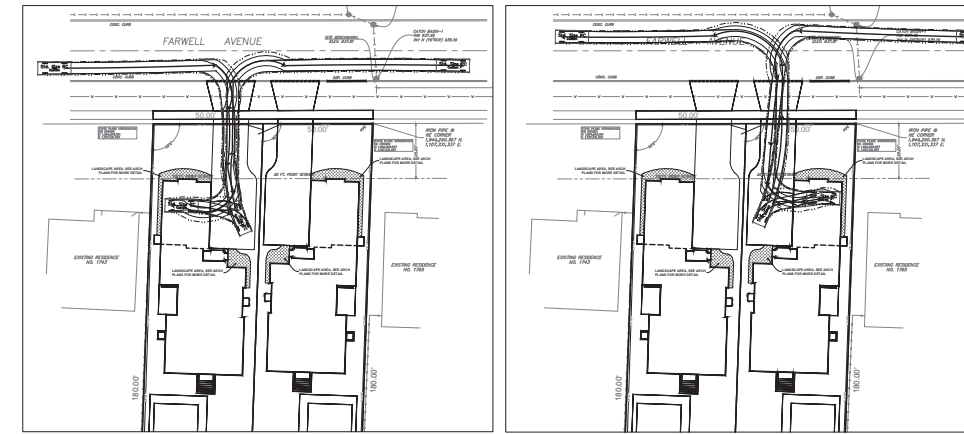
CITY STANDARDS SUPERCEDE ALL OTHERS

| 1751 FARWELL AVE, DES PLAINES, IL | | 1757 FARWELL AVE, DES PLAINES, IL | |
|--|---------|--|---------|
| LOT SIZE | 894 SF | LOT SIZE | 894 SF |
| EXISTING IMPERVIOUS AREA VACANT LOT (x1) | 0 | PROPOSED IMPERVIOUS AREA FINISH LOT (x1) | 2961 |
| HOUSE & GARAGE | 0 | DRIVEWAY | 1071 |
| DRIVEWAY | 0 | PORCH | 58 |
| PORCH | 0 | PATIO | 113 |
| PATIO | 0 | POOL DECK & POOL | 1196 |
| POOL DECK & POOL | 0 | WALKS, STOOPS & STEPS | 86 |
| WALKS, STOOPS & STEPS | 0 | A.C. & WWS, CONC. PAD, GAZEBO | 225 |
| A.C. & WWS, CONC. PAD, GAZEBO | 0 | TOTALS | 5297 |
| TOTALS | 0 | % OF LOT | 0.00% |
| % OF LOT | 0.00% | INCREASE IN IMPERVIOUS | 5310 SF |
| INCREASE IN IMPERVIOUS | 5310 SF | INCREASE IN IMPERVIOUS | 5387 SF |



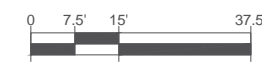
- GENERAL NOTES:**
- CALL JULIE 1-800-892-0123 48 HOURS BEFORE STARTING ANY EXCAVATION WORK.
 - PROPOSED TOP OF NEW FOUNDATION IS SHOWN ON DRAWING. REFER TO ARCHITECTURAL PLANS FOR TOP OF FOUNDATIONS AT PORCHES AND PATIOS. COORDINATE WITH ARCHITECT FOR FOUNDATIONS AT DOOR STOOPS. EXPOSED FOUNDATION SHALL BE MINIMUM OF 3" AND A MAXIMUM OF 8".
 - A SPOT SURVEY IS REQUIRED TO BE APPROVED PRIOR TO FRAMING.
 - PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD. SLOPE AREA TO DRAIN AWAY FROM HOUSE.
 - RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DIRECTED TO DOWNSPOUTS.
 - RE-ESTABLISH EXISTING YARD DRAINAGE PATTERNS AFTER CONSTRUCTION EXCEPT AS NOTED ON PLANS.
 - REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED STRUCTURE'S EXACT SETBACKS FROM PROPERTY LINES.
 - REFER TO PLAT OF SURVEY FOR LOT DIMENSIONS AND DISTANCES FROM EXISTING STRUCTURES TO PROPERTY LINES.
 - CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED.
 - CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AND OTHER WORKERS ON THE SITE. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY. BONO CONSULTING ASSUMES NO LIABILITY FOR CONSTRUCTION SITE SAFETY.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SOIL TRACKED ONTO THE ROAD AT THE END OF EACH DAY.
 - CONTRACTOR IS RESPONSIBLE FOR COMPARING ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO IMPLEMENT PROPER SHORING MEASURES TO PREVENT SUBSIDENCE AND/OR DAMAGE TO ADJACENT PROPERTIES.
 - ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
 - THE PAVEMENT ALONG FARWELL DRIVE AND ANY OTHER STREET UTILIZED AS A CONSTRUCTION ROUTE BY THE CONTRACTOR SHALL BE PROTECTED FROM ANY DAMAGE. THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL CONSTRUCTION DIRT AND DEBRIS AT THE END OF EACH WORK DAY.
 - ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.
 - AN AS-BUILT TOPOGRAPHIC SURVEY WILL BE REQUIRED PRIOR TO ISSUANCE OF OCCUPANCY CERTIFICATE.

- CONCRETE NOTES:**
- ALL CONCRETE SHALL BE MINIMUM 5" PCC.
 - AGGREGATE BASE COURSE SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - ALL CONCRETE SHALL BE OF AN IDOT APPROVED MIX DESIGN AND SHALL OBTAIN A COMPRESSIVE STRENGTH RATING OF 3,500 PSI WITHIN A FOURTEEN (14) DAY PERIOD.
 - ALL CONCRETE PAVEMENT AND BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 420 IDOT STANDARD SPECIFICATION.
 - A 3/4" FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE NEW PAVEMENT ABUTS A SIDEWALK OR ANY BUILDING.
 - CONTRACTION JOINTS SHOULD BE SAWCUT A MINIMUM OF TWO INCHES DEEP WITHIN 4-12 HOURS OF CONCRETE PLACEMENT, BUT NO LATER THAN 24 HOURS AFTER CONCRETE PLACEMENT, SHALL BE IN ACCORDANCE WITH SECTION 420.10(D) IDOT STANDARD SPECIFICATIONS. 15' MAXIMUM INTERVAL BETWEEN JOINTS.



04-27-2023

EXP. 11-30-23



| DATE | REVISIONS | ISSUE | PROJECT STAFF |
|------------|--------------------------------|-------|-----------------------------------|
| 03-29-2022 | PERMIT DRAWINGS | 1 | PROJECT MANAGER: B. GARDNER, P.E. |
| 06-01-2022 | REVISIONS PER SITE PLAN CHANGE | 2 | ENGINEER: EDWARD A. BONO, P.E. |
| 04-17-2023 | REVISIONS PER VILLAGE COMMENTS | 3 | TECHNICIAN: BONO CONSULTING |

BONO CONSULTING CIVIL ENGINEERS
A Severe & Kuhn Engineers company
1001 BOND STREET, SUITE 205
NAPERVILLE, IL 60563
311-229-9172
647-693-3300
bono@bonoconsulting.com

PROPOSED SITE PLAN - OVERALL SITE
NEW SINGLE FAMILY RESIDENCE
1751 & 1757 FARWELL AVENUE, DES PLAINES, IL 60016

COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.

PROJECT NO.: 230542
BASE FILE:
SHEET FILE:
ISSUE DATE: APR. 17, 2023
SCALE: 1"=15'
SHEET NUMBER: **C-2**

ELEVATION GENERAL NOTES:

- WINDUOUS FELLA PRO LINE SERIES OR EQUAL
- WINDUOUS SHALL MAINTAIN PENETRATION U-FACTOR OF 0.30 OR BETTER
- DOORS W/ 50% OF GLASS SHALL MAINTAIN PENETRATION U-FACTOR OF 0.30 OR BETTER
- SKYLIGHT SHALL MAINTAIN PENETRATION U-FACTOR OF 0.55 OR BETTER
- ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED 4' REAR OF HOME AND PAINTED TO MATCH ROOF.
- ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION
- PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 30 G.A. (MIN)
- PROVIDE 26 G.A. (MIN) GALV. W-VALLEYS UNDERLAIN WITH NO. 9 MIN. ROOFING FELT
- PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY, STEP AND REGLED INTO THE MORTAR
- PROVIDE FLASHING COUNTER FLASHING AND GULK AT ALL SKY LIGHTS AS PER MANUFACTURERS SPECIFICATIONS
- FLASHING NOTE: FLASHING AND JEEP HOLES ARE TO BE PROVIDED OVER ALL DOORS AND WINDOW OPENINGS, AND ALONG THE FOUNDATION IN THE MASONRY VENEER
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOW ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". EXCEPTION: GRADE FLOOR WINDOW MAY HAVE MIN NET CLEAR OPENING OF 5.50 FT.

ABD & ASSOCIATES, LTD
 PROFESSIONAL DESIGN FIRM - NO. 184-05725
 8747 W. BRYN MAWR AVE. # 6051, CHICAGO, IL 60631
 PHONE: 773-510-5731 (ZW) 708-399-1614 (BK) abd@abd.com

PROPOSED N.S.F. HOME
 DES PLAINES, ILLINOIS
 1749 FARWELL AVE

COPYRIGHT ABD & ASSOCIATES



DATE: 8/22/2022

PROJECT:

DRAWN: B.K. CHK'D: Z.W.
 SHEET NO.

A-4

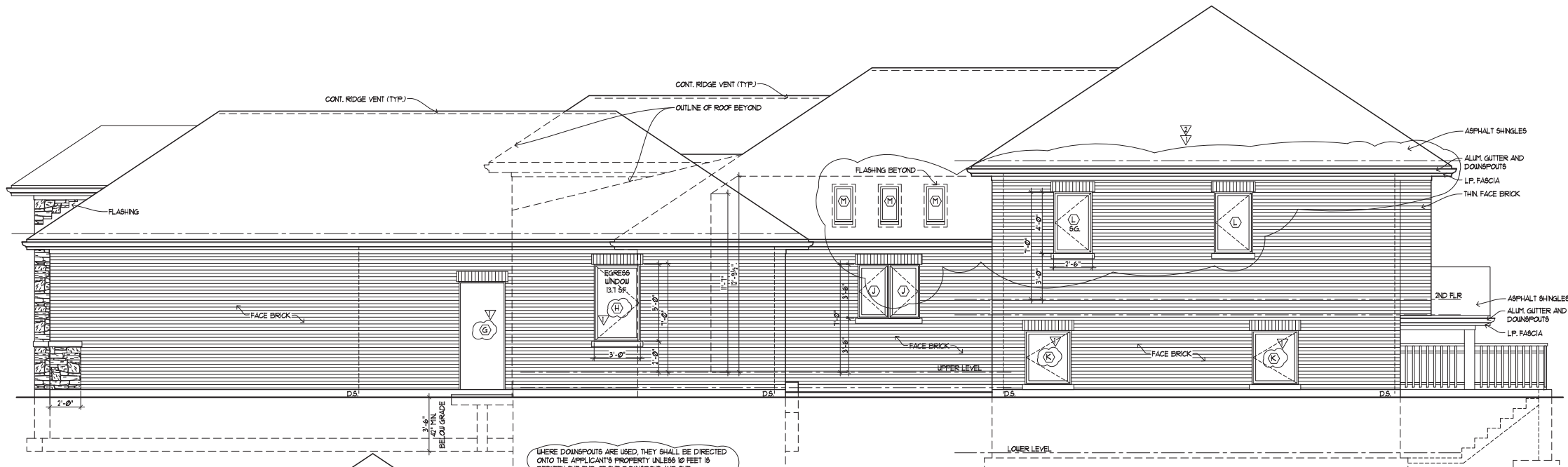
EXTERIOR DOOR & WINDOW SCHEDULE (R.O.)

| MARK | TYPE | SIZE R.O. | NET GLASS SIZE | NET VENT SIZE |
|------|--------------|----------------|----------------|---------------|
| (A) | DOOR | 3'-0" x 8'-0" | 9 | 24 |
| (B) | TRIMMED ARCH | 6'-0" x 7'-0" | 5.3 | --- |
| (C) | DOOR | 2'-6" x 8'-0" | 9.8 | 19 |
| (D) | CASEMENT | 3'-0" x 6'-0" | 14 | 16.5 |
| (E) | SLIDING DOOR | 6'-0" x 7'-0" | 22 | 20 |
| (F) | DOOR | 3'-0" x 7'-0" | 11 | 21 |
| (G) | DOOR | 3'-0" x 7'-0" | --- | 21 |
| (H) | CASEMENT | 3'-0" x 5'-0" | 11.4 | 13.1 |
| (J) | CASEMENT | 2'-0" x 3'-6" | 4.6 | 6.1 |
| (K) | CASEMENT | 3'-0" x 3'-6" | 7.6 | 9.4 |
| (L) | CASEMENT | 2'-6" x 4'-0" | 7.1 | 8.9 |
| (M) | SKYLIGHT | 1'-4" x 3'-0" | 2.6 | --- |
| (N) | CASEMENT | 2'-0" x 3'-0" | 3.8 | 5.2 |
| (O) | CASEMENT | 2'-6" x 5'-0" | 9.1 | 11.2 |
| (P) | DOUBLE-HUNG | 3'-0" x 4'-6" | 10 | 5.9 |
| (R) | TRIMMED ARCH | 6'-0" x 7'-11" | 5.3 | --- |

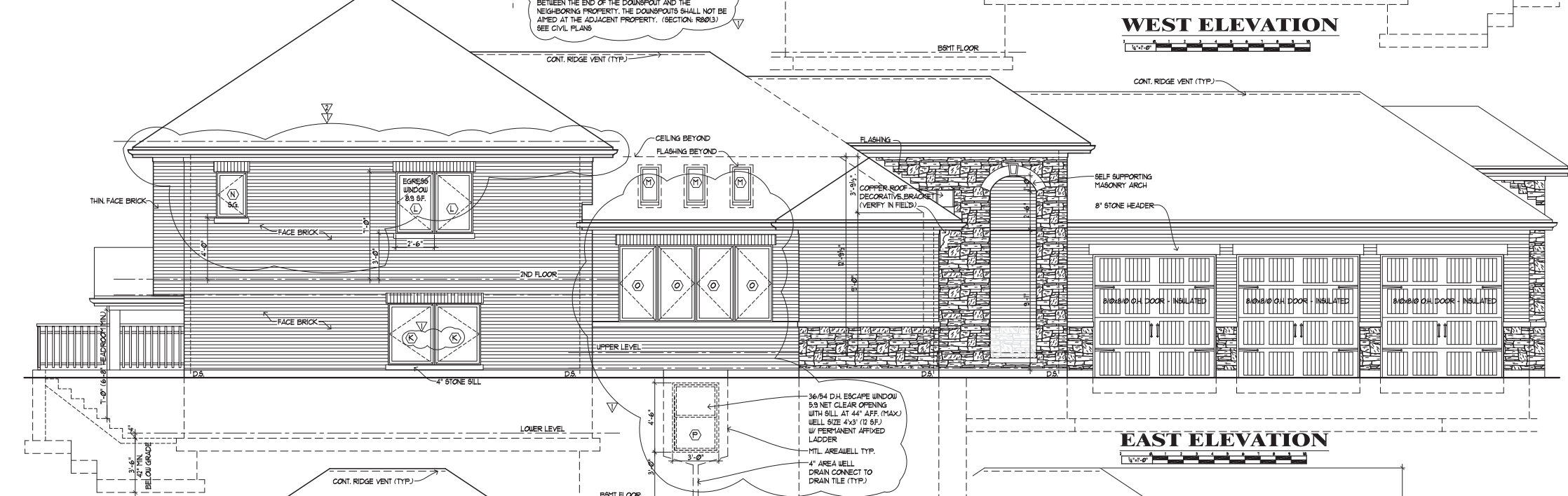
WINDUOUS SHALL MAINTAIN U-FACTOR OF 0.30 OR LOWER DOORS W/ 50% OF GLASS SHALL MAINTAIN U-FACTOR OF 0.30 OR LOWER WINDOW INSTALLER TO FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO WINDOW INSTALLATION
 5G - SAFETY GLASS

VENTILATION CALCULATION

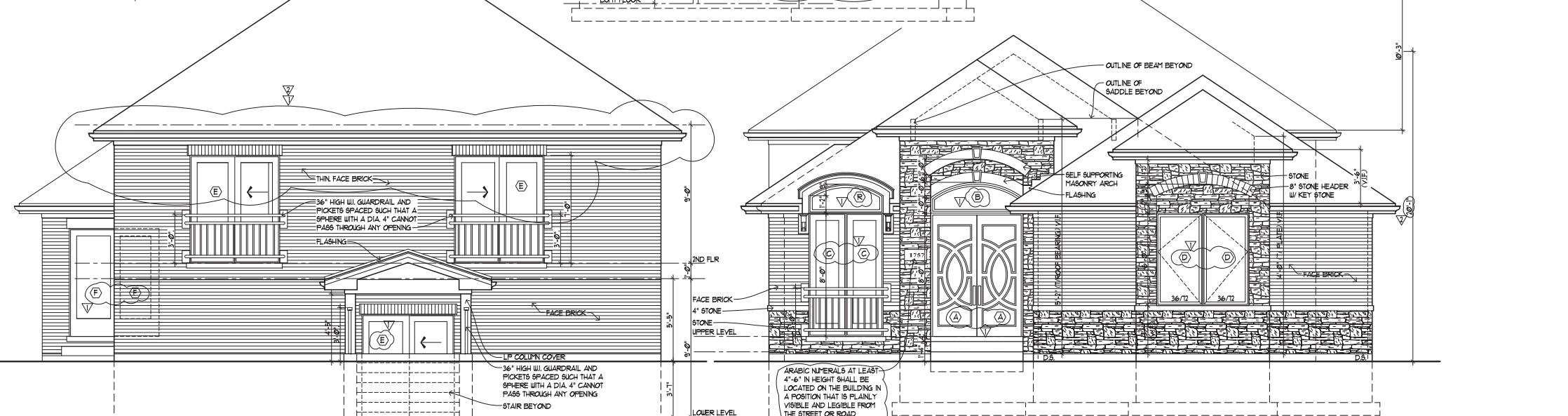
| | |
|------------------------------|---|
| ROOF AREA AT TOP PLATE | 2620 SF. |
| REQUIRED VENT AREA | 2620/300 = 8.73 SF. |
| REQUIRED RIDGE VENT AREA 50% | 8.73 SF. x .50 = 4.37 SF. |
| REQUIRED EAVE VENT AREA 50% | 8.73 SF. x .50 = 4.37 SF. |
| PROVIDED AREA | |
| RIDGE VENT | 33 LF. x 24 SQ. IN. (PER LF.) = 840 SQ. IN. |
| EAVE VENT | 41 VENTS x 16 SQ. IN. = 656 SQ. IN. |



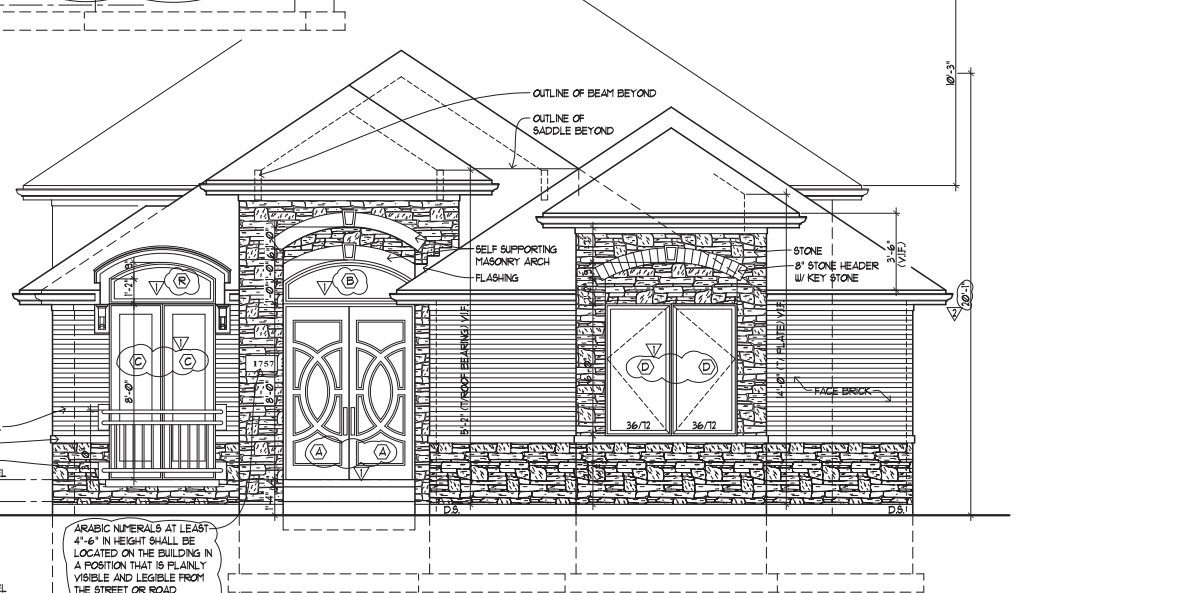
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

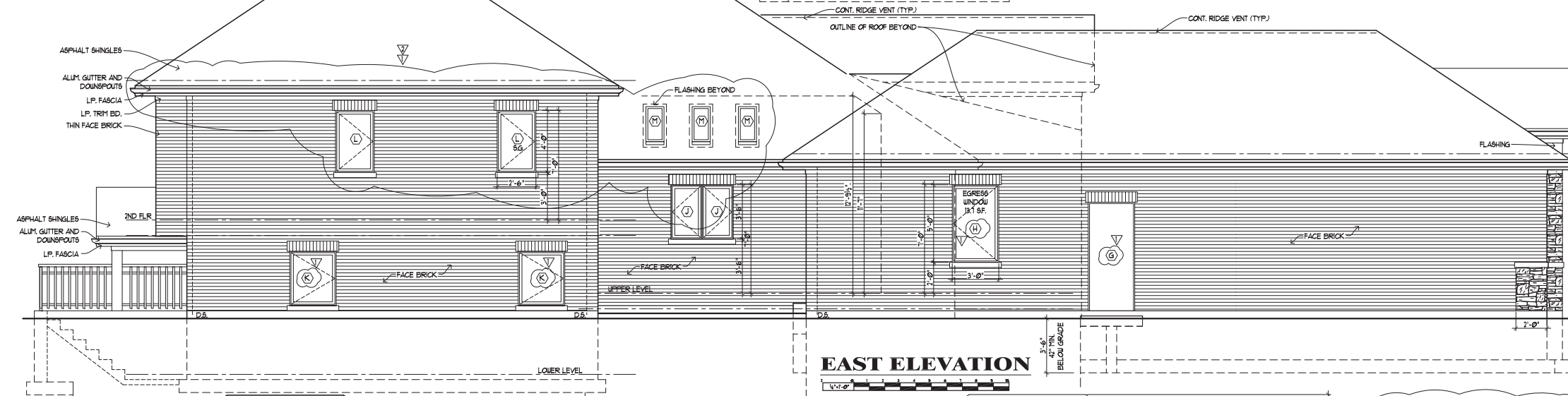
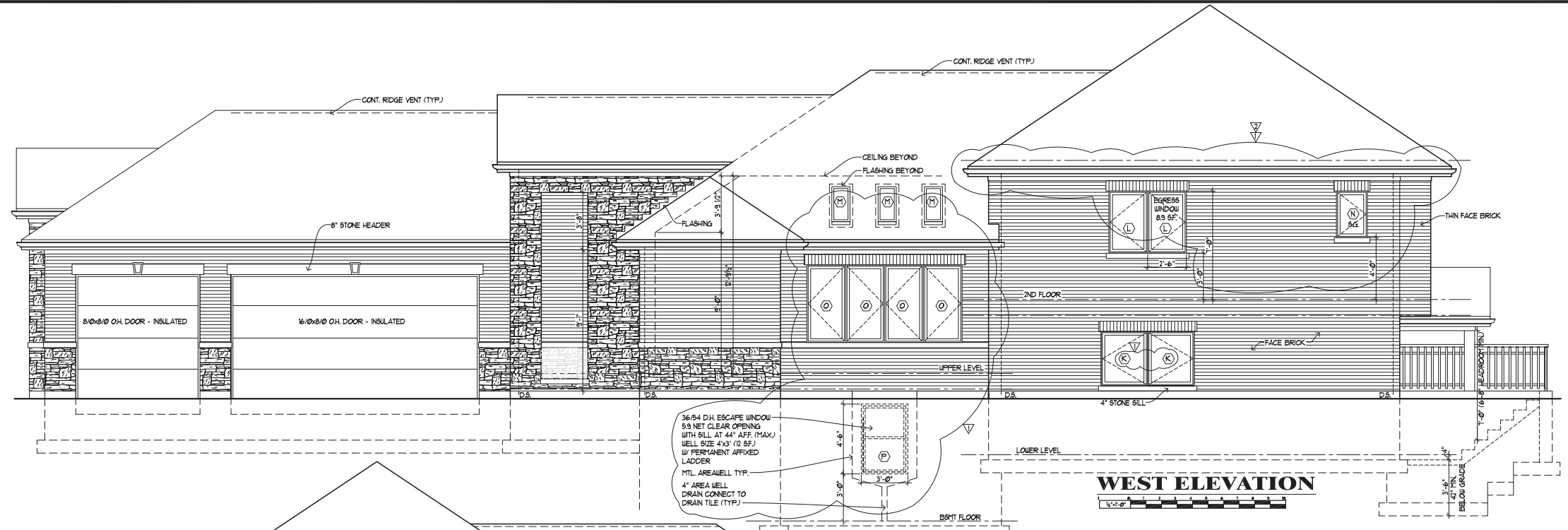


NORTH ELEVATION

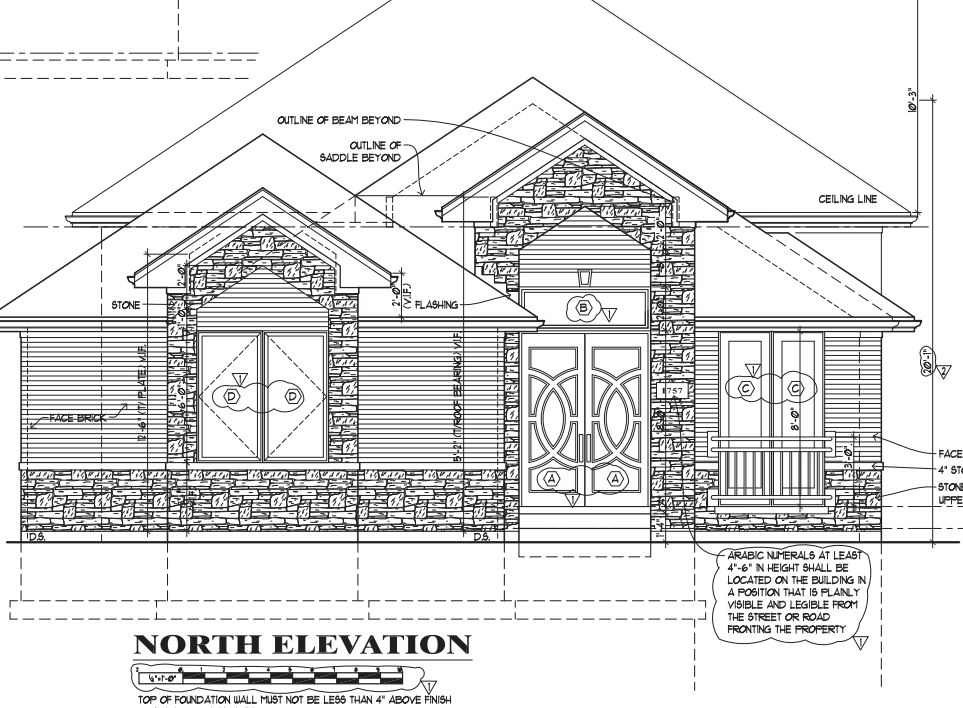
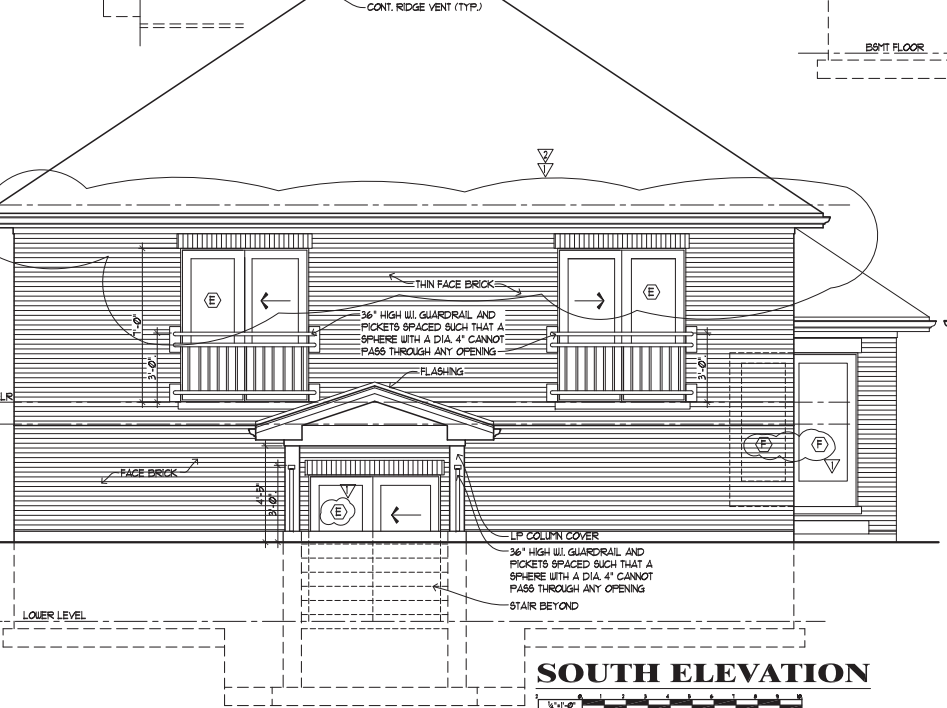
ELEVATION GENERAL NOTES:
 * UNDOUS SHALL MAINTAIN FENESTRATION U-FACTOR OF 0.30 OR BETTER
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 * ALL D.B. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION
 * PROVIDE COUNTER FLASHING WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MSU)
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 * EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 * ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".
 * EXCEPTION: GRADE FLOOR WINDOWS MAY HAVE MIN NET CLEAR OPENING OF 5.5 SQ. FT.

JOB #:
 PERMIT SET 8-22-22
 PERMIT REV#1 3-13-23
 OWNER REV#1 3-14-23

ABD & ASSOCIATES, LTD
 PROFESSIONAL DESIGN FIRM - NO. 184-005725
 8747 W. BRYN MAWR AVE. # 6051, CHICAGO, IL 60631
 PHONE: 773-510-5731 (ZW) 708-399-1614 (BK) BRK@ABD.COM; ZW@ABD.COM



WHERE DOWNSPOUTS ARE USED THEY SHALL BE DIRECTED ONTO THE APPLICANT'S PROPERTY UNLESS 10 FEET IS BETWEEN THE END OF THE DOWNSPOUT AND THE NEIGHBORING PROPERTY. THE DOWNSPOUTS SHALL NOT BE AIMED AT THE ADJACENT PROPERTY. (SECTION: R2003) SEE CIVIL PLANS



| EXTERIOR DOOR & WINDOW SCHEDULE (R.O.) | | | | | |
|--|---------------|---------------|----------------|---------------|---------------|
| MARK | TYPE | SIZE R.O. | NET GLASS SIZE | NET VENT SIZE | NET VENT SIZE |
| (A) | DOOR | 3'-0" x 8'-0" | 9 | 24 | |
| (B) | TRANSOM | 6'-0" x 7'-0" | 8.4 | --- | |
| (C) | DOOR | 2'-6" x 8'-0" | 9.8 | 19 | |
| (D) | CASEMENT | 3'-0" x 6'-0" | 14 | 16.5 | |
| (E) | SLEEPING DOOR | 6'-0" x 7'-0" | 22 | 20 | |
| (F) | DOOR | 3'-0" x 7'-0" | 11 | 21 | |
| (G) | DOOR | 3'-0" x 7'-0" | --- | 21 | |
| (H) | CASEMENT | 3'-0" x 5'-0" | 13.4 | 13.1 | |
| (J) | CASEMENT | 2'-0" x 3'-6" | 4.6 | 6.1 | |
| (K) | CASEMENT | 3'-0" x 3'-6" | 1.6 | 9.4 | |
| (L) | CASEMENT | 2'-6" x 4'-0" | 1.1 | 8.9 | |
| (M) | SKYLIGHT | 1'-4" x 3'-0" | 2.6 | --- | |
| (N) | CASEMENT | 2'-0" x 3'-0" | 3.8 | 5.2 | |
| (O) | CASEMENT | 2'-6" x 3'-0" | 9.1 | 12 | |
| (P) | DOUBLE-HANG | 3'-0" x 4'-6" | 10 | 5.9 | |

WINDOWS SHALL MAINTAIN U-FACTOR OF 0.30 OR LOWER DOORS W/ 50% OF GLASS SHALL MAINTAIN U-FACTOR OF 0.30 OR LOWER WINDOW INSTALLER TO FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO WINDOW INSTALLATION
 S.G. - SAFETY GLASS

| VENTILATION CALCULATION | |
|------------------------------|---|
| ROOF AREA AT TOP PLATE | 2620 SF. |
| REQUIRED VENT AREA | 873 SF. x 144 = 1251 SQ. IN. |
| REQUIRED RIDGE VENT AREA 50% | 623 SQ. IN. |
| REQUIRED EAVE VENT AREA 50% | 623 SQ. IN. |
| PROVIDED AREA | |
| RIDGE VENT | 35 L.F. x 24 SQ. IN. (PER L.F.) = 840 SQ. IN. |
| EAVE VENT | 41 VENTS x 16 SQ. IN. = 656 SQ. IN. |

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PROPOSED N.S.F. HOME
 DES PLAINES, ILLINOIS
 1757 FARWELL AVE



DATE: 8/22/2022
 PROJECT:
 DRAWN: B.K.
 CHK'D: Z.W.
 SHEET NO.

A-4



MEMORANDUM

Date: August 18, 2023
To: Planning and Zoning Board (PZB)
From: Jonathan Stytz, AICP, Senior Planner JS
Cc: John T. Carlisle, AICP, Director of Community and Economic Development JC
Subject: **Mannheim and Pratt Redevelopment (Northeast Corner) – Case #23-045-FPLAT-CU LASR:** Approval of a Final Plat of Subdivision and Conditional Use for a Localized Alternative Sign Regulation (LASR) at 2777 Mannheim Road in the C-3 District

Issue: The petitioner’s previous requests for a Tentative Plat of Subdivision and Conditional Uses for drive-through facilities for a proposed commercial redevelopment at 2777 Mannheim Road were heard by the PZB at their April 25, 2023 meeting and City Council at its July 17, 2023 meeting. The PZB approved the tentative plat and recommended approval of the conditional uses, which the City Council subsequently approved. As such, petitioner GW Property Group, LLC is now requesting the following “second step” approvals: (i) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations to consolidate the existing lots into three lots of record; and (ii) a conditional use for a Localized Alternative Sign Regulation (LASR) under Section 12-11-8 of the Zoning Ordinance.

Applicant/Petitioner: GW Property Group, LLC, 2211 N. Elston Avenue, Suite 400, Chicago, IL
Owner: 2777 North Mannheim Property, LLC, 2211 N. Elston Avenue, Suite 400, Chicago, IL
Case Number: 23-045-FPLAT-CU LASR
PINs: 09-33-108-012-0000; -013; -014; -022; -023
Ward: #6, Alderman Mark Walsten
Existing Zoning: C-3, General Commercial District
Existing Land Use: Restaurant and Banquet Hall (Commercial)
Surrounding Zoning: North: C-3, General Commercial District
South: C-3, General Commercial District
East: R-1, Single Family Residential District
West: Commercial (Village of Rosemont)

- Surrounding Land Use:** North: Car wash (commercial)
 South: Commercial restaurant and retail development under construction, also by GW Properties
 East: Railroad; then Greco Avenue and single-family residences
 West: Hotel (Commercial) in Village of Rosemont
- Street Classification:** Mannheim Road is an arterial road under IDOT jurisdiction; Pratt Avenue is a local road under City of Des Plaines jurisdiction.
- Comprehensive Plan :** Commercial is the recommended use of the property.
- Zoning/Property History:** Based on City records, the subject property was annexed into the City in 1956. It was originally utilized as an office and warehouse building for Marland Oil Company until 1979, when the building was demolished and the site was cleared. In 1990, the footing and foundation was constructed for café La Cave, and a year later the restaurant/banquet hall was fully built out. The property has been utilized as a restaurant and banquet hall since.
- Development Summary:** Developer GW Properties, which is under construction for a multi-building restaurant-and-retail development on the *southeast* corner of Mannheim and Pratt (Outback Steakhouse, First Watch, Five Guys), is now also proposing a full redevelopment at the northeast corner—the former Café La Cave site. The proposed development is three new restaurants (“Class B” under the Zoning Ordinance) with indoor and outdoor seating and drive-throughs. The information for each proposed business is summarized below and described in detail in the attached Business Narratives.
- Guzman Y Gomez is a fast-casual restaurant proposed for the one-story stand-alone 2,850-square foot building positioned on the northern lot (Lot 1) of the commercial development. Their anticipated hours of operation are from 7:00 a.m. to 10:00 p.m. daily with five to ten employees on site at a given time. The building is designed with predominately brick material of varying colors, metal canopy structures, and an Exterior Insulation and Finish System (EIFS) accent.
 - Cava is a fast-casual Mediterranean restaurant proposed for the one-story stand-alone 2,500-square foot building positioned in the center of the commercial development along Mannheim (Lot 2). Their anticipated hours of operation are from 10:45 a.m. to 10:00 p.m. daily with five to ten employees on site at a given time. The building is designed with predominately stucco material and finished wood accent.
 - Raising Canes is a quick-service restaurant proposed for the one-story 3,300-square-foot building positioned on the southern lot (Lot 3) of the commercial development at the northeast corner of Mannheim and Pratt. Their anticipated hours of operation are from 9:30 a.m. to 1:30 a.m. Sunday through Thursday and 9:30 a.m. to 3:30 a.m. Friday to Saturday. There are expected to be eight to fifteen employees on site at a given time. The building is designed with predominately brick material of varying colors, finished wood accents, concrete masonry units, and metal canopy structures throughout.

FINAL PLAT OF SUBDIVISION

Request Summary:

Overview

The subject property consists of five lots of record in the C-3 district totaling 2.39 acres, all under the address of 2777 Mannheim Road. The petitioner received PZB approval of the Tentative Plat to consolidate the existing five lots into three. Now the petitioner is requesting a Final Plat of Subdivision, titled Final Plat of 2777 Mannheim Road Subdivision, for three lots as detailed below.

| Lot | Lot Type | Lot Width | Lot Depth | Lot Area |
|------------|-----------------|-------------------------------------|---------------------------------------|----------------------------|
| Lot 1 | Interior | 125 feet (west); 140 feet (east) | 208 feet (north); 244 feet (south) | 29,740 SF (0.68 acres); |
| Lot 2 | Interior | 123 feet (west); 126 feet (east) | 244 feet (north); 277 feet (south) | 31,835 SF (0.73 acres); |
| Lot 3 | Corner | 125 feet (west); 143 feet (east) | 277 feet (north); 288 feet (south) | 42,869 SF (0.98 acres) |

The subject property's unique shape is narrower on the north and gradually widens as it continues south. Thus, while the proposed lot widths are similar, the lot depths and areas increase substantially from proposed Lot 1 to proposed Lot 3. Nonetheless, all proposed lots meet the minimum lot depth requirement in Section 13-2-5.R of the Subdivision Regulations. Note that there are no lot width or lot area requirements for commercial districts.

Building Lines and Easements

The proposed subdivision shows the following building lines and easements: (i) a new 5-foot front building setback line along the west property line for all proposed lots where the proposed subdivision abuts Mannheim; (ii) a 25-foot rear building setback line along the east property line for all proposed lots of the subdivision; (iii) a five-foot side building setback line along the south of Lot 3, where the proposed subdivision abuts Pratt; and (iv) a new ten-foot-wide public utility and drainage easement extending throughout the development.

Subdivision Process, Required Public Improvements

Chapter 13-3 of the Subdivision Regulations allows the City to require various right-of-way (ROW) improvements based on criteria such as traffic and effect on adjacent properties. Under Section 13-3-1, the developer is required to: (i) ground and resurface the entire Pratt ROW along the frontage of the proposed development; (ii) re-stripe Pratt within existing ROW to allow a new turn lane from Pratt to Mannheim; and (iii) per IDOT comments, re-stripe Mannheim within existing ROW to allow a new left turn lane into the site and onto Pratt. Certain underground infrastructure are required to be installed to the standards required by Public Works and Engineering (PWE). Specifically, the developer will be required to install a new water main in the east Mannheim ROW, which will connect to existing water mains at both ends. The developer has provided PWE with an estimated cost of public improvements totaling \$236,291, an amount for which PWE has approved. A performance security in the form of a letter of credit, with the City named as the beneficiary, will be required to secure the improvements. An attached memo serves as PWE's approval (as noted) under Section 13-2-4.

CONDITIONAL USE LASR

Request Summary:

Overview

The proposal includes a request for a Localized Alternative Sign Regulation (LASR), which is a specialized sign plan eligible for certain types of developments. Recall the definition of a sign found in Section 12-13-3 as:

“Any object, device, or structure, or part thereof, which is used to advertise, identify, display, direct, or attract attention to an object, person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination, or projected images. Signs do not include the flag or emblem of any nation, state, city, or organization; works of art which in no way identify a product; scoreboards located on athletic fields.”

Section 12-11-8 of the Zoning Ordinance is meant to consider the potential unique sign needs for commercial shopping centers and multiple-building commercial or institutional developments such as, medical centers, office parks, universities, and colleges. Section 12-11-8.A identifies the full list of use types eligible for a LASR, which was recently amended through Ordinance Z-12-23 on July 17, 2023 to expand the types of eligible developments. The proposed commercial development that is the subject of this application is now eligible.

The proposed commercial development consists of three separate restaurant buildings—otherwise classified as a multi-building commercial development—which meets the eligibility requirements for a LASR, subject to the review and approval of a conditional use permit by PZB. Since this is a request for a new LASR for the subject property, the petitioner is requesting a conditional use.

Proposed Sign Plans

The proposal includes: (i) a multi-tenant monument sign plan for the entire development and (ii) separate sign plans for each proposed lot (all attached), which are summarized in more detail below. All signs related to the existing Café La Cave building will be removed as part of the redevelopment of the subject property, so all signs identified in this report will be new.

- **Site Multi-Tenant Monument Sign:** The proposed eight-foot-tall, 41-square-foot multi-tenant monument sign is located along Mannheim on proposed Lot 2 (Cava Site) and is intended to include signs for all three restaurant tenants. It also includes the official assigned addresses for the three new lots, which will be effective upon the approval by City Council and recording by Cook County of the Final Plat. Monument signs are limited by quantity, height, and area, all dependent on the total street frontage of the lot on which they are located. Lot 2 is shown on the attached Final Plat to have approximately 124 feet of frontage along Mannheim Road. Pursuant to Section 12-11-6.B, the sign meets the quantity, area, and setback requirements, but exceeds the maximum height of 5 feet for signs on lots having more than 120 feet of frontage on a single street, but less than 300 feet of frontage. However, through the LASR request and standards for conditional uses, the PZB may consider the nature of the multi-building commercial development and the multi-tenant sign’s purpose to reduce the overall number of signs on the site (i.e., more efficient than having a greater number of smaller signs).

- **Lot 1 (Guzman and Gomez) Sign Plan:** The attached Lot 1 Sign Plan consists of six wall signs proposed for the restaurant building, which are summarized in the table below. No ground signs are proposed for this lot. Note that the mural on the north (side) building elevation is classified as artwork and is not included in the sign calculations.

| Sign ID* | Sign Type | Sign Location | Sign Area** |
|---------------------------------|-----------|--|------------------------------|
| Sign A | Wall | West (front) elevation | 22 SF |
| Sign C | Wall | East (rear) elevation | 12 SF |
| Sign D | Wall | North (side) elevation | 42 SF |
| Sign E | Wall | East (rear) elevation | 7 SF |
| Sign F | Wall | South (side) elevation | 38 SF |
| Sign G | Wall | East (rear) elevation; West (front) elevation | 55 SF each (110 SF total) |
| Total Sign Area (Lot 1): | | | 231 SF |

*Sign B was removed from the plan.

**Sign areas rounded to the nearest whole number.

- **Lot 2 (Cava) Sign Plan:** The attached Lot 2 Sign Plan consists of three wall signs proposed for the restaurant building, which are summarized in the table below. No ground signs aside from the aforementioned site multi-tenant monument sign are proposed for this lot.

| Sign ID | Sign Type | Sign Location | Sign Area* |
|---------------------------------|-----------|------------------------|--------------|
| “Digital Pickup” | Wall | North (side) elevation | 8 SF |
| “Cava” | Wall | South (side) elevation | 21 SF |
| “Cava” | Wall | West (front) elevation | 21 SF |
| Total Sign Area (Lot 2): | | | 50 SF |

*Sign areas rounded to the nearest whole number.

- **Lot 3 (Raising Cane’s) Sign Plan:** The attached Lot 3 Sign Plan consists of multiple sign types including six wall signs, two window signs, one directional sign, and three drive-through menu board signs, which are summarized in the table below. Note the following:
 - The “One Love Heart” (Item D) on the west (front) building elevation and “Red Dog” (Item F) on the south (side) building elevation are classified as artwork and are therefore not included in the sign calculations.
 - Item E on the north (side) building elevation is labeled as the “Painted Arrow Mural.” However, it is classified as a wall sign and is included in the sign calculations.
 - The proposed speaker posts (Item I) are not classified as signs.
 - Item J is the tenant panel for the site multi-tenant monument sign discussed earlier.
 - The proposed “1” element on the west (front) elevation is classified as a wall sign and is included in the calculations.

| Sign ID* | Sign Type | Sign Location(s) | Sign Area** |
|---------------------------------|--------------------------|--|-----------------------------|
| Item A | Wall | West (front) elevation; North (side) elevation; East (rear) elevation; South (side) elevation | 12 SF each (48 SF total) |
| Item B | Window | West (front) elevation | 3 SF |
| Item C | Window | South (side) elevation | 3 SF |
| Item E | Wall | North (side) elevation | 63 SF |
| Item G | Drive-Through Menu Board | One West of Interior drive-through lane; One West of Exterior drive-through lane | 42 SF each (84 SF total) |
| Item H | Drive-Through Menu Board | One West of Interior drive-through lane | 9 SF |
| Item K | Directional | One next to the West drive aisle off Pratt | 6 SF |
| "1" element | Wall | West (front) elevation | 129 SF |
| Total Sign Area (Lot 3): | | | 345 SF |

*Items D, F, and I are not classified as signs and are not included in this table; Item J is the tenant panel for the site multi-tenant monument sign discussed above.

**Sign areas rounded to the nearest whole number.

For all three lots combined, a total sign area of 626 square feet is proposed for the requested LASR. In reviewing the proposed multi-building commercial development as a whole and reviewing the standards below, the PZB may request additional information from the petitioner regarding one or more of the proposed signs to consider their necessity for the development.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

The proposed development includes signs in a quantity and size that require a LASR. A LASR is a Conditional Use, as specified in Section 12-11-8 of the Zoning Ordinance for multi-building commercial developments.

PZB Additions or Modifications (if necessary): _____

2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

The redevelopment of the subject property from a single user to three separate users requires the installation of appropriate signs to direct motorists and pedestrians to/from and throughout the site. The Comprehensive Plan strives to increase commercial development along major corridors like Mannheim Road as well as increase wayfinding for motorists and pedestrians alike. The proposed sign plan includes a site-wide multi-tenant monument sign to adequately identify each proposed restaurant use in this development and reduce the number of individual ground signs in the development. A great deal of building-mounted signs are proposed throughout the development. However, it can be argued that many of these signs provide proper wayfinding for motorists and pedestrians as they access the site and assist them in reaching their destination.

PZB Additions or Modifications (if necessary): _____

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

The proposed Conditional Use for a Localized Alternative Sign Regulation requests additional signage to assist in the identification of each restaurant user to help both motorists and pedestrians navigate the property. The proposed development is similar to existing commercial developments in the area—especially the multi-building commercial development on the southeast corner of Mannheim and Pratt—and the proposed signs are generally harmonious to these surrounding developments.

PZB Additions or Modifications (if necessary): _____

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Many of the proposed signs are not hazardous or disturbing to the existing neighboring uses as a majority of all signs are directed towards public streets or other commercial properties. However, signs, artwork, and other elements facing west towards residential could be disturbing to residents based on their design and positioning. As a result, all signs, artwork, and elements on these elevations must be non-illuminated at all times. All signs will meet all required performance standards as outlined in Section 12-11-6(B) of the Zoning Ordinance.

PZB Additions or Modifications (if necessary): _____

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

The proposed signs have no effect on essential public facilities and services. Instead the new signs will improve wayfinding services throughout the site for motorists and pedestrians alike.

PZB Additions or Modifications (if necessary): _____

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

The proposed signs would not create a burden on public facilities, nor would they be a detriment to the economic well-being of the community. The signs are intended to share information and help visitors safely and easily access the site.

PZB Additions or Modifications (if necessary): _____

7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

The proposed signs will not create additional traffic or noise that could be detrimental to surrounding land uses. Instead the signs will help better direct and circulate traffic throughout the site.

PZB Additions or Modifications (if necessary): _____

8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

The proposed signs will not create an interference with traffic on surrounding public thoroughfares but rather establish building identification and wayfinding for both motorists and pedestrians.

PZB Additions or Modifications (if necessary): _____

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

The proposed new signs would not cause the destruction, loss, or damage of any natural, scenic or historic features of major importance. The signs will be used to enhance a site that has already been developed.

PZB Additions or Modifications (if necessary): _____

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

All signs will comply with setback, landscaping, and performance standards as outlined in the Zoning Ordinance.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Condition: Given the separate conditional use LASR and final plat requests, the PZB shall take two motions. First, pursuant to Section 13-2-5 of the Subdivision Regulations, the PZB may vote to *recommend* approval, approval with conditions, or denial of the Final Plat of Subdivision.

In regard to the conditional use LASR request, the PZB may vote to [recommend](#) approval, approval with conditions, or [denial of](#) the conditional use pursuant to Section 12-11-8 of the Zoning Ordinance. If the PZB chooses to [recommend](#) approval the ~~LASR conditional use request~~, staff recommends the following conditions.

Recommended Conditions of Approval:

1. A three-foot landscape bed in all directions must be provided at the base of all freestanding signs. All landscape beds must be comprised of low-lying evergreen shrubs, perennials, and annuals.
2. Structural design plans shall be provided for all signage at time of building permit.
3. All proposed signs, artwork, and elements facing residences must be non-illuminated at all times.
4. The applicant/petitioner shall provide sight line analysis for vehicle-to-vehicle sightlines and vehicle-to-pedestrian/bicycle sightlines showing that the sign position does not intrude upon the American Association of State Highway Transportation Officials (AASHTO) Green Book sight triangles for the freestanding signs proposed along the roadway driveways and site access drives. The location of the freestanding signs may have to be slightly adjusted at the time of building permit review to comply with AASHTO site triangle clearance.

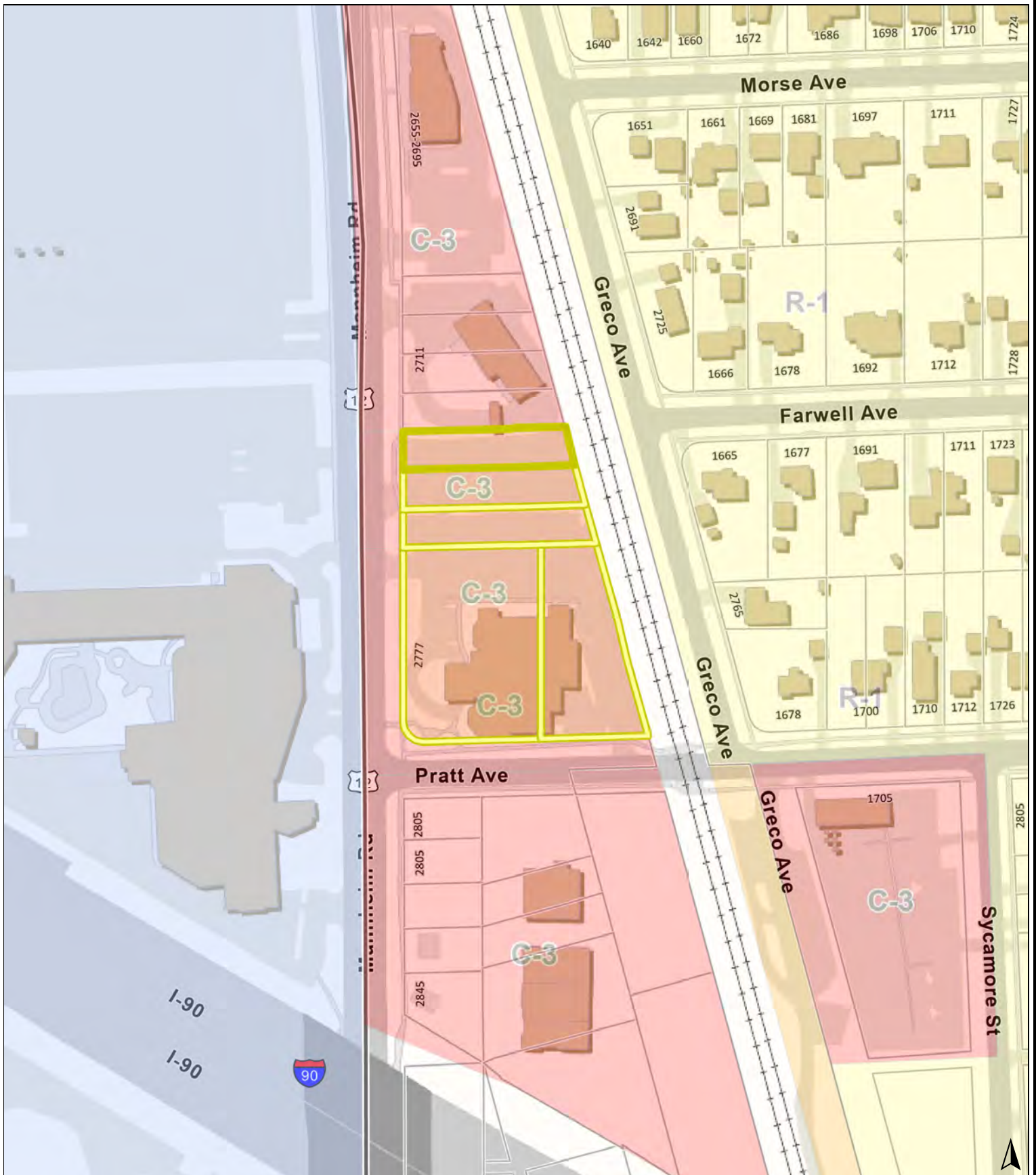
Attachments:

- Attachment 1: Location/Zoning Map
- Attachment 2: Site and Context Photos
- Attachment 3: ALTA/NSPS Land Title Survey
- Attachment 4: Responses to Standards for Conditional Uses
- Attachment 5: Project Narrative
- Attachment 6: Business Narratives
- Attachment 7: Site Plan, Geometrics, and Striping
- Attachment 8: Select Final Engineering Plans for Lots 1 & 2¹
- Attachment 9: Select Final Engineering Plans for Lot 3²
- Attachment 10: Landscape Plan for Lots 1 and 2
- Attachment 11: Landscape and Tree Preservation Plan for Lot 3
- Attachment 12: Final Plat of Subdivision
- Attachment 13: Public Works and Engineering Memo
- Attachment 14: Elevation and Sign Plans for Lot 1
- Attachment 15: Elevation and Sign Plans for Lot 2
- Attachment 16: Select Elevation and Sign Plans for Lot 3³

¹ A full copy is available upon request to City of Des Plaines staff.

² A full copy is available upon request to City of Des Plaines staff.

³ A full copy is available upon request to City of Des Plaines staff.



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ft

Print Date: 4/21/2023

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



1773 Webster Ln – Looking Southeast at Existing Building



1773 Webster Ln – Looking East at Existing Parking Area



1773 Webster Ln – Public Notice and Front of Property



1773 Webster Ln – Looking North at Rear of Property

STANDARDS FOR CONDITIONAL USES

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Conditional Use in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly (two to three sentences each).

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;

This property is located in the C-3, General Commercial zoning district. Pursuant to Section 12-7-3, the proposed "LASR" request for the three tenants requires a conditional use permit.

2. The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

The proposed LASR is in accordance with the objectives of the City's Comprehensive Plan by providing ample business signage that enhances the welfare and serviceability of the community through a more safe and clear view of the proposed business, which will allow for greater customer demand.

3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;

The proposed design, use and operation will be in harmony with all other elements of compatibility pertinent to the Conditional Use and this particular location. The buildings design, materials and colors are complementary to the surrounding area and neighboring structures.

4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

The proposed development consists of nationally recognized QSR chains that do not pose a hazard to the safety or health of neighboring uses.

5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services;

The proposed uses will not require any disproportionate facilities or services and will not place undue burdens upon existing developments in the area. The prior facility on this property was serviced by the same public facilities.

6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

The proposed uses will not create or cause excessive or additional requirements to the public facilities and services and will not be detrimental to the economic welfare of the community. The prior facility on this property was serviced by the same public facilities. Additionally, these new uses will help increase the economic welfare of the community by providing jobs and local tax proceed.

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

The proposed conditional use does not involve uses, activities, process or materials that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odor.

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

The proposed access provided is similar to what was existing, which ultimately provides adequate and safe vehicular access without causing interference with surrounding thoroughfares and traffic.

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

The proposed use is in harmony with all other elements of compatibility pertinent to the site and will not cause any undue destruction, loss or damage to the natural scenic features of the surrounding area.

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested

The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested.



February 16, 2023

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

RE: 2777 Mannheim Road, Des Plaines – Project Narrative

Dear Village of Des Plaines,

GW Properties is proposing a new development on the Southwest corner of Mannheim Road and Pratt Street in Des Plaines, Illinois. The site would include a 3,000sf free standing quick service restaurant with drive-thru, a 3,500sf building with a pick-up window that can accommodate an additional restaurant and/or retail tenant and finally a 2,850sf free standing quick serve restaurant building with a drive-thru. Our complete development application provides the finding of facts with regard to our site plan, conditional uses and variance requests.

The proposed project if approved would be designed and constructed per the development site plan as submitted. Upon completion, the project would be subdivided into three lots to allow the proposed buildings to be on its own legal lots.

Furthermore, we have spoken with our traffic consultant, KLOA, although not directly with IDOT, in order to determine where to locate the curb cuts for our development. After various discussions with KLOA, we believe that the access drives as shown would be acceptable to IDOT, but still needs further review. Ultimately, all development activities would be completed in accordance with the City of Des Plaines, IDOT and all other governmental/municipal requirements.

This property would ultimately be transformed from its current state of a banquet hall into a vibrant development with several new businesses and offerings that will be complementary to the surrounding area. This project would create well over a dozen of new full-time jobs in Des Plaines and generate hundreds of thousands of dollars in property and sales tax for the City on an annual basis that do not exist today. This project entails the highest and best use for the property and is a rare opportunity to create one cohesive development that has been thoughtfully designed and considered.

We look forward to working with the City of Des Plaines on all aspects of the proposed development and welcome the opportunity to discuss it soon. If you have any questions, please feel free to contact me.

Regards,

A handwritten signature in black ink that reads 'Mitch Goltz'.

Mitch Goltz
Principal
GW Properties



Guzman Y Gomez Project Description Mannheim Road & Pratt Avenue in Des Plaines, IL

Guzman Y Gomez is an Australian multinational Mexican-style restaurant chain. Founded in 2009, Guzman Y Gomez has expanded to 151 locations throughout Australia, Singapore, Japan, and the United States. The franchise is Australia's fastest-growing QSR company, serving authentic, freshly made-to-order Mexican-style cuisine with a relevant menu of burritos, bowls, tacos, and salads as well as a variety of alcoholic beverages. The restaurants contemporary décor delivers a Latin pop aesthetic with vibrant colored artwork, Latin mixed music, and dim lighting. For those looking to eat on-the-go, Guzman Y Gomez offers drive through lanes and pick up stations. In 2021 the company launched "GYG Mobile", a proprietary mobile app that allows for faster, contact-free ordering as well as a loyalty program which provides users with added incentives. The franchise has received numerous accolades for its success including "Best Multi-Site Restaurant of the Year" by QSR Media and "Best Customer Service Award in QSR" by Roy Morgan Research.

The GYG structure will be approximately up to 2,850 square feet with a patio for outdoor dining and will be located on Lot C of the proposed development. The main building will utilize various materials to articulate a dynamic visual appearance, but be complimentary to our neighbors.

The daily hours are 7:00 am - 10 pm, with 5 to 10 team members on site at any given time.



CAVA Project Description

Mannheim Road & Pratt Avenue in Des Plaines, IL

CAVA is a fast casual restaurant that was founded in 2010, by its founders, Ike Grigoropoulos, Chef Dmitri Moshovitis, and Ted Xenohristos. Cava is grounded in the Mediterranean way of life, where food is at the center of culture and connection.

Ike Grigoropoulos, Chef Dmitri Moshovitis, and Ted Xenohristos cared deeply about creating restaurants that paid homage to the Mediterranean traditions they grew up with, where food equals connection, and what's good for you is also what tastes good too. However, it is not only about the food, though. CAVA's inspiration is rooted in the entire Mediterranean meal experience, notably that feeling-so-cared-for genuine expression of hospitality and warmth. Which is why, at CAVA, generosity is our cornerstone. In fact, we open our doors one day early to fee lunch and dinner to anyone in the community, free of charge. We are eager to meet our neighbors and welcome all to share a meal with us. Additionally, during Community Days, we also partner with and sponsor a local nonprofit organization.

At CAVA we serve delicious, healthy, and affordable meals that can be individually customized and ordered ahead of time so that customers can easily pickup their meal through our pickup window. Ultimately, this pickup window allows for our customers to have safe and easy access to our food without the need for menu boards or waiting in a line.

The CAVA structure will be approximately up to 3,500 square feet with a patio canopy for outdoor dining and will be located in the middle lot of the proposed development. The main building will utilize various materials to articulate a dynamic visual appearance, but be complimentary to our neighbors.

The daily hours are 10:45 am - 10 pm, with 5 to 10 team members on site at any given time.



Raising Cane's Project Description Mannheim Road & Pratt Avenue in Des Plaines, IL

Raising Cane's is a quick serve restaurant that was founded in 1996 in Baton Rouge, LA by its founder, Todd Graves. The restaurant has ONE LOVE, which is chicken, as evident by the minimal menu that includes: chicken fingers, fries, coleslaw and Texas toast. The food is always cooked to order to ensure the best quality and flavor possible.

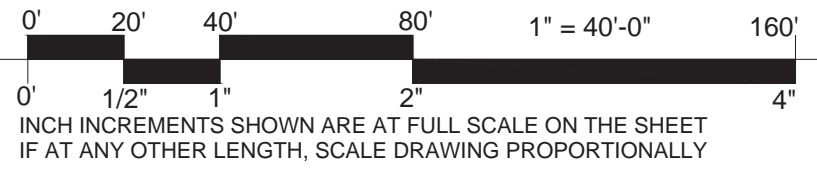
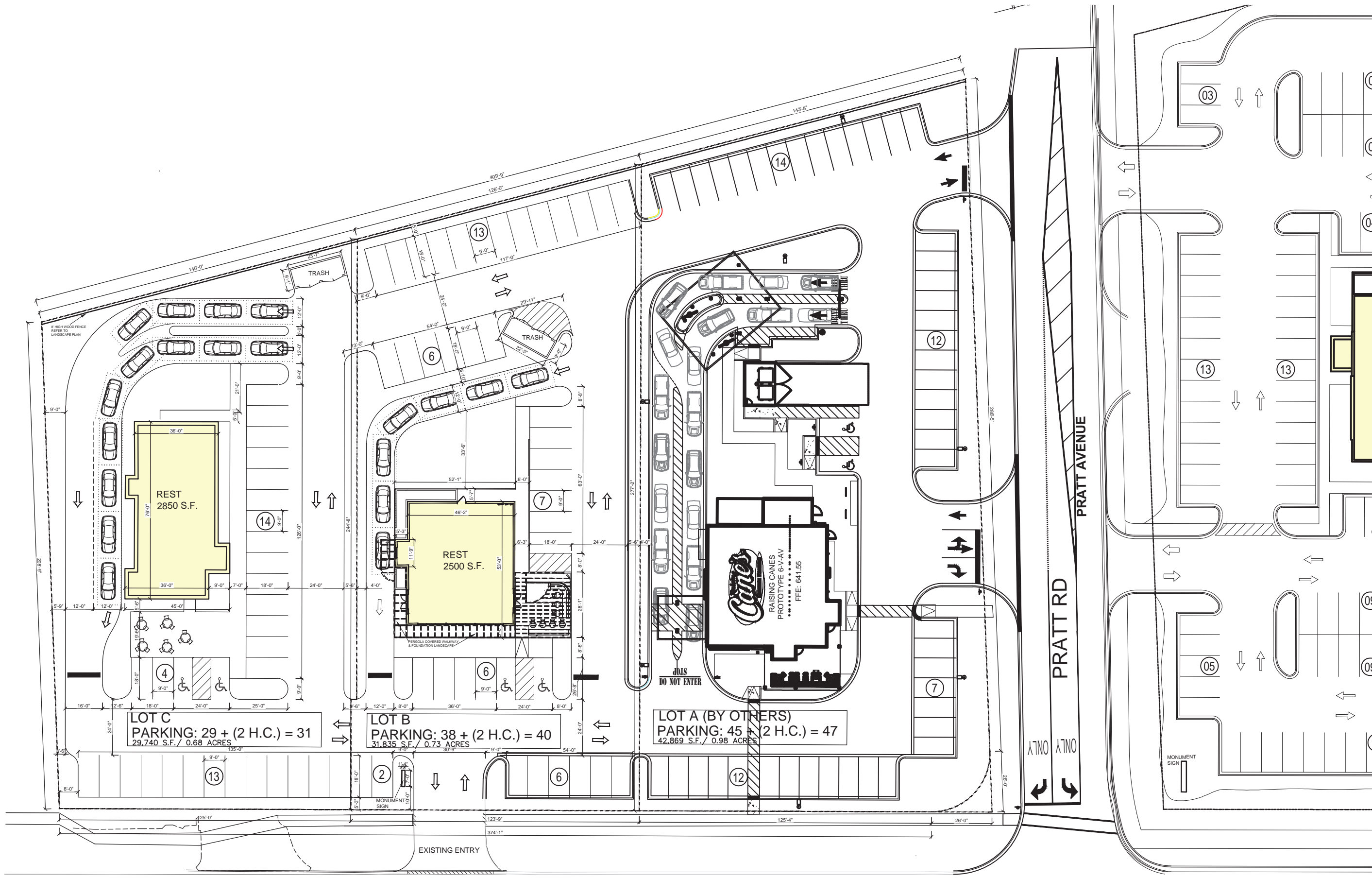
Raising Cane's is not just another 'chain' restaurant. It is part of the community. The restaurant not only employs people from the area but gives back to the community by promoting education, feeding the hungry, pet welfare, local community involvement and more.

The building itself promotes visual esthetics with the variations not only in the architecture, but the building materials themselves. All of this with the variations in the heights of the building, along with the ample landscaping around the building provides an aesthetically pleasing structure that accents the development unlike the fast food 'box' style of many businesses.

The structure is approximately 3,300 square feet with a patio canopy for outdoor dining. The main building will utilize various materials, such as brick and composite paneling, to articulate a dynamic visual appearance. The primary height of the building is 20'-6" from the finish floor.

Raising Cane's will have approximately 55 employees at this location, with an average of 8-15 employees per shift. The restaurant will be open Sun - Thu: 9:30am - 1:30am; Fri - Sat: 9:30am – 3:30am. The drive thru and outdoor patio are proposed to have the same hours of operation.

Raising Cane's will be the southern-most lot of an overall development that is being led by GW Properties. The building plans will be submitted for permitting by Raising Cane's after entitlement approvals with an anticipated construction start date of October 2023 and an anticipated opening date of June 2024.



MANNHEIM RD

SITE STUDY - MULTI TENANT

APPROX. TOTAL LOT AREA: 104,444 SF / 2.4 ACRES
SCALE: 1" = 40'



SITE STUDY - MULTI TENANT
GW PROPERTIES
MANNHEIM & PRATT
DES PLAINES
DESIGN STUDIO 24 LLC
ARCHITECTS
2211 N. Elston Ave. Chicago, IL 60614
Tel.: 847.885.7751 Fax: 847.885.9300

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CAUTION: Contractor to verify all existing conditions, dimensions, etc. PRIOR to bid and construction. Contractor to notify owner and architect of any discrepancies. No site of ignorance to existing conditions found to be different from drawings will be accepted.

CAUTION: This drawing may have been reproduced at a size different than originally drawn. The owner and architect assume no responsibility for the use of incorrect scale. Drawings are NOT to be scaled. Not published. All rights reserved. Notify architect of any discrepancies.

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Codes and Ordinances of DES PLAINES, ILLINOIS

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (Ill. Rev. Stat. 1985, ch. 111 1/2, pars. 3711 as amended) and the Illinois Accessibility Code, 111 ILCS Code 406.

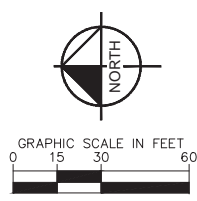
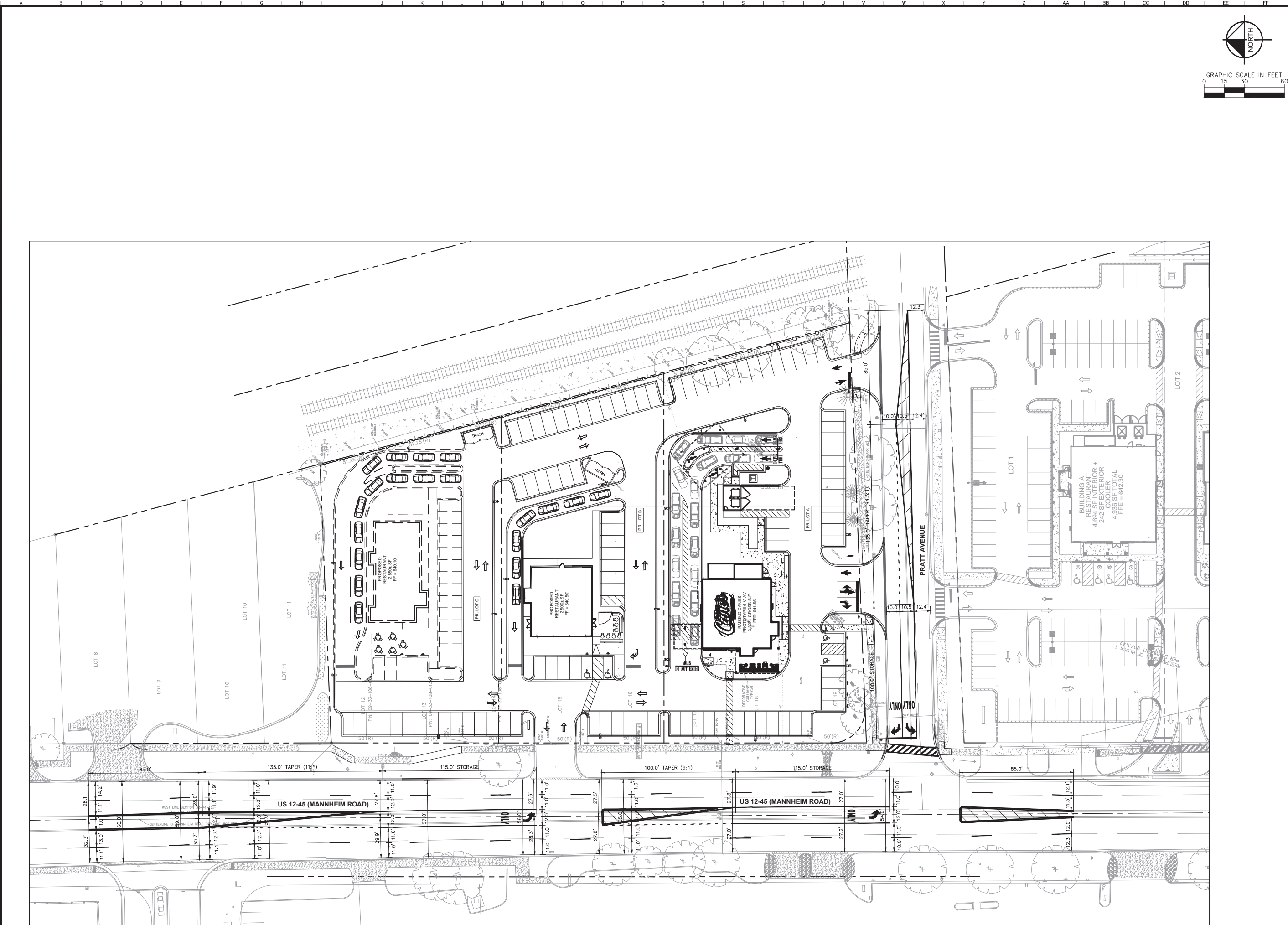
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| LAST UPDATED | 04.10.2023 |
| REVISIONS | |

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| SCALE | AS SHOWN |
| DRAWN BY: | MITESH PATEL |

MARK T. DiGANCI
REG. ARCHITECT

ST1.0
REST & RETAIL OPT
APR 2023

Drawing name: K:\GIS_DEVA\168726020_GW Properties_Des Plaines II\12 Design\GIS\STRIPING EXHIBIT.dwg Date: 06/30/2023 12:09pm by: jin-spence
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Attachment 7

| | | | |
|---|--|---|--|
| | | | |
| CONCEPT - GEOMETRICS & STRIPING | | SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: LJT | |
| ORIGINAL ISSUE: 03/06/2023 KHA PROJECT NO. 168726020 SHEET NUMBER | | CITY SUBMITTAL ISSUED FOR DEMOLITION REVISED PER CITY COMMENTS | |
| 2777 MANNHEIM ROAD DES PLAINES, IL 60018 | | © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 570 LAKE COOK ROAD, SUITE 200 DEERFIELD, IL 60015-2924 WWW.KIMLEY-HORN.COM | |
| EXH. | | DATE 06/30/23 06/20/23 04/10/23 | |

FINAL ENGINEERING PLANS

GW PROPERTIES - DES PLAINES II

2777 MANNHEIM ROAD

DES PLAINES, ILLINOIS 60018



UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
CITY OF DES PLAINES
1420 MINER STREET
DES PLAINES, IL 60016
TEL: (847) 391-5385
CONTACT: JOHN LA BERG, P.E., C.F.M.

LOCAL STORM SEWER, SANITARY SEWER, & WATER
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
1111 JOSEPH J. SCHWAB ROAD
DES PLAINES, IL 60016
TEL: (847) 391-5464
CONTACT: TIMOTHY OAKLEY, P.E., C.F.M.

METROPOLITAN WATER RECLAMATION DISTRICT
100 EAST ERIE STREET
CHICAGO, IL 60611
TEL: (708) 588-4055

POWER COMPANY
COMED
TEL: (630) 576-7094

NATURAL GAS COMPANY
NICOR
TEL: (630) 576-7094

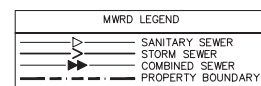
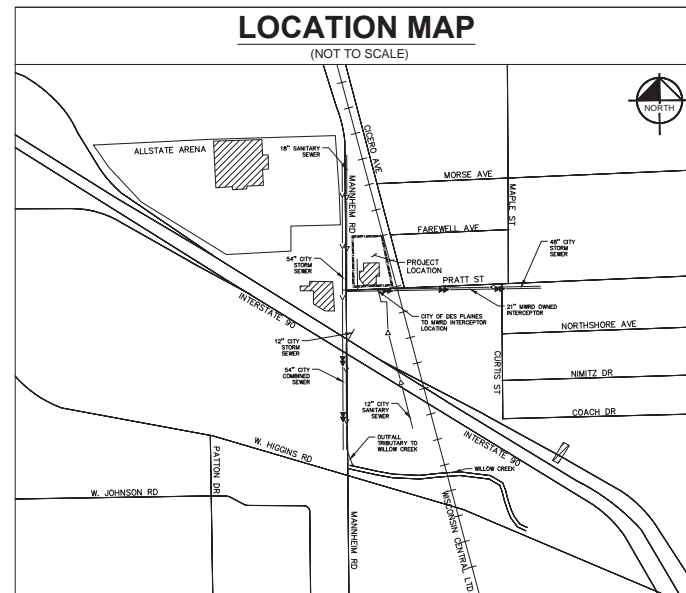
PROJECT TEAM

DEVELOPER
GW PROPERTIES
2211 N. ELSTON AVE., SUITE 304
CHICAGO, IL 60614
TEL: (773) 741-1825
CONTACT: MITCH GOLTZ

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
570 LAKE COOK RD, SUITE 200
DEERFIELD, IL 60015
TEL: (847) 260-7804
EMAIL: ERIC.TRACY@KIMLEY-HORN.COM
CONTACT: ERIC TRACY, P.E.

LANDSCAPE ARCHITECT
PLANNED ENVIRONMENT ASSOCIATES, INC.
P.O. BOX 2256
CHESTERTON, IN 46304
TEL: (219)-299-3383
CONTACT: JON RUBLE, P.L.A.

SURVEYOR
COMPASS SURVEYING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
TEL: (630) 820-9100
CONTACT: SCOTT KREBS, P.L.S.



BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 SOUTHEAST BOLT ON FIRST FIRE HYDRANT NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45. ELEVATION=639.81

SBM #2 BOLT ON FIRST FIRE HYDRANT WEST OF RAIL ROAD TRACKS ON NORTH SIDE OF PRATT AVENUE. ELEVATION=641.85

LEGAL DESCRIPTION

PART OF THE WEST 1/2 OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

| Sheet List Table | |
|------------------|--|
| Sheet Number | Sheet Title |
| C0.0 | COVER SHEET |
| V0.0 | ALTA SURVEY (BY OTHERS) |
| V0.1 | TOPOGRAPHIC SURVEY (BY OTHERS) |
| C0.1 | GENERAL NOTES |
| C0.2 | MWRD GENERAL NOTES |
| C1.0 | DEMOLITION PLAN |
| C2.0 | SITE PLAN |
| C3.0 | EROSION CONTROL PLAN |
| C3.1 | EROSION CONTROL DETAILS |
| C4.0 | GRADING PLAN |
| C5.0 | UTILITY PLAN |
| C6.0 | CONSTRUCTION DETAILS |
| C6.1 | CONSTRUCTION DETAILS |
| C6.2 | CONSTRUCTION DETAILS |
| C7.0 | MWRD PLAN |
| C8.0 | PAVEMENT MARKINGS PLAN - MANNHEIM ROAD |
| C9.0 | CROSS SECTIONS - MANNHEIM ROAD |
| C9.1 | CROSS SECTIONS - MANNHEIM ROAD |
| C9.2 | CROSS SECTIONS - MANNHEIM ROAD |
| C10.0 | IDOT ADA DETAILS |

DRAINAGE CERTIFICATION

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IS SUCH SURFACE WATER DRAINAGE WILL CHANGE, ADEQUATE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 27TH DAY OF JULY, A.D., 2023.

Eric Tracy

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-067482
MY LICENSE EXPIRES ON NOVEMBER 30, 2023



PROFESSIONAL ENGINEER'S CERTIFICATION

I, ERIC J. TRACY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF GW PROPERTIES BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 27TH DAY OF JULY, A.D., 2023.

Eric Tracy

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-067482
MY LICENSE EXPIRES ON NOVEMBER 30, 2023
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



| NO. | REVISIONS | DATE | BY |
|-----|---------------------------|----------|-----|
| 1 | CITY SUBMITTAL #2 | 07/27/23 | INS |
| 2 | CITY SUBMITTAL | 06/30/23 | INS |
| 3 | ISSUED FOR DEMOLITION | 06/20/23 | INS |
| 4 | REVISED PER CITY COMMENTS | 04/10/23 | INS |

Kimley-Horn
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570 LAKE COOK ROAD, SUITE 200
DEERFIELD, IL 60015
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: INS
DRAWN BY: INS
CHECKED BY: LJT



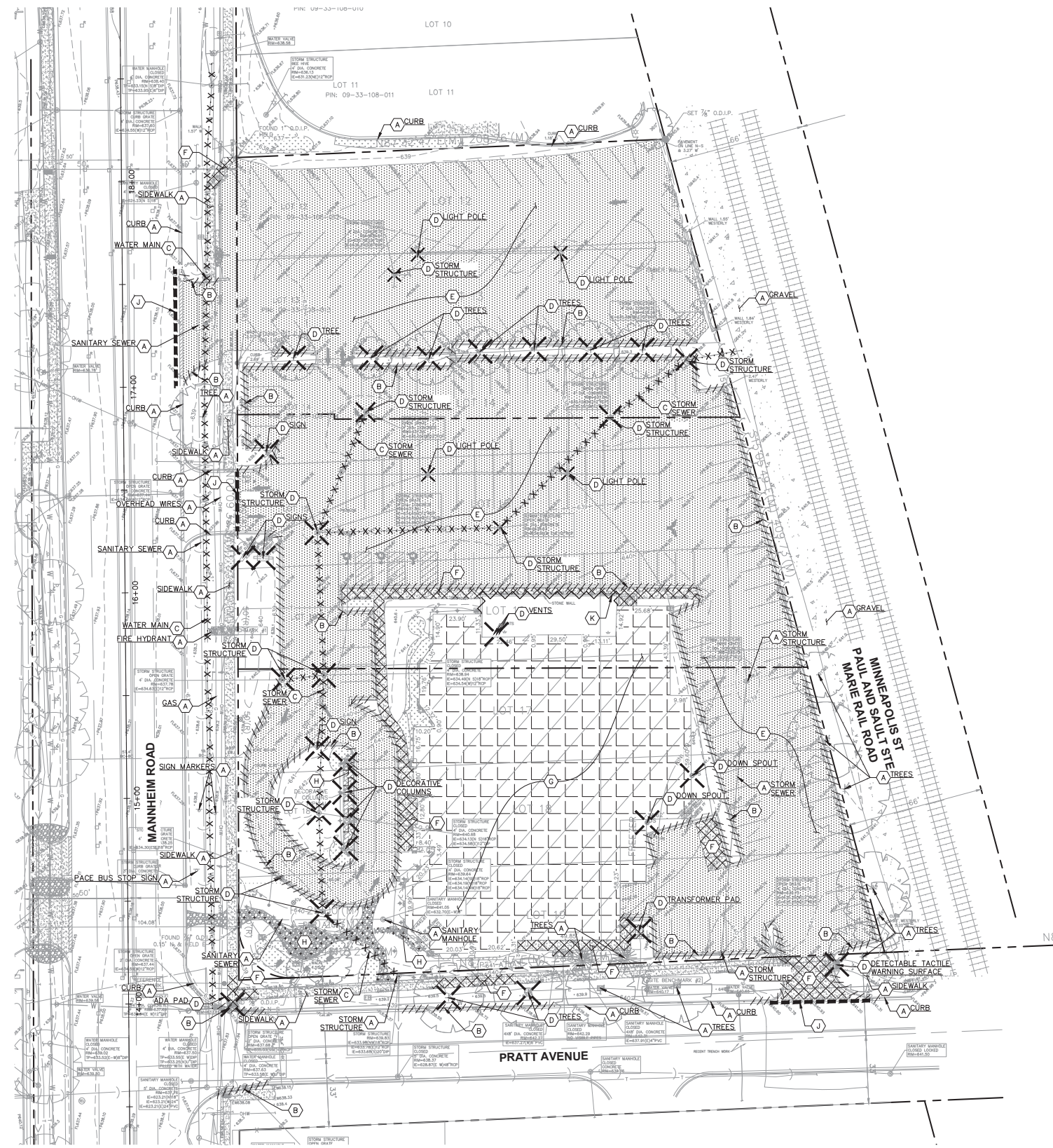
COVER SHEET

GW PROPERTIES
DES PLAINES II
2777 MANNHEIM ROAD
DES PLAINES, IL 60018

ORIGINAL ISSUE:
03/06/2023
KHA PROJECT NO.
168726020
SHEET NUMBER

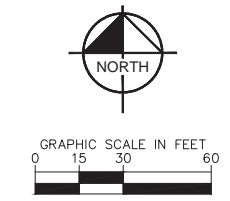
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WARNING DEMOLITION NOTES

- WORK WITHIN THE IDOT RIGHT-OF-WAY IS PROHIBITED UNTIL FINAL ENGINEERING PLANS HAVE BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, AND ALL APPLICABLE PERMIT AND BOND FORMS HAVE BEEN EXECUTED BY ALL PARTIES.
- CONTRACTOR TO REFER TO SHEET CO.2 MWRD NOTES FOR ADDITIONAL SPECIFICATIONS AND REQUIREMENTS.
- SITE DEVELOPMENT, INCLUDING BUT NOT LIMITED TO GRADING, PAVING, UTILITY INSTALLATION IS PROHIBITED UNTIL FINAL ENGINEERING PLANS HAVE BEEN APPROVED BY THE CITY OF DES PLAINES AND MWRD AND ALL APPLICABLE FORMS AND SCHEDULES HAVE BEEN EXECUTED BY ALL PARTIES.



DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'JULIE' (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED Limestone (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO RISK OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

| CITY SUBMITTAL #2 | INS | DATE |
|-------------------|------|------|
| 07/27/23 | INS | |
| 06/30/23 | INS | |
| 06/20/23 | INS | |
| 04/10/23 | INS | |
| REVISIONS | DATE | BY |
| | | |
| | | |
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SCALE: AS NOTED
 DESIGNED BY: INS
 DRAWN BY: INS
 CHECKED BY: LIT

DEMOLITION PLAN
 GW PROPERTIES

DEMOLITION PLAN II
 GW PROPERTIES
 2777 MANNHEIM ROAD
 DES PLAINES, IL 60018

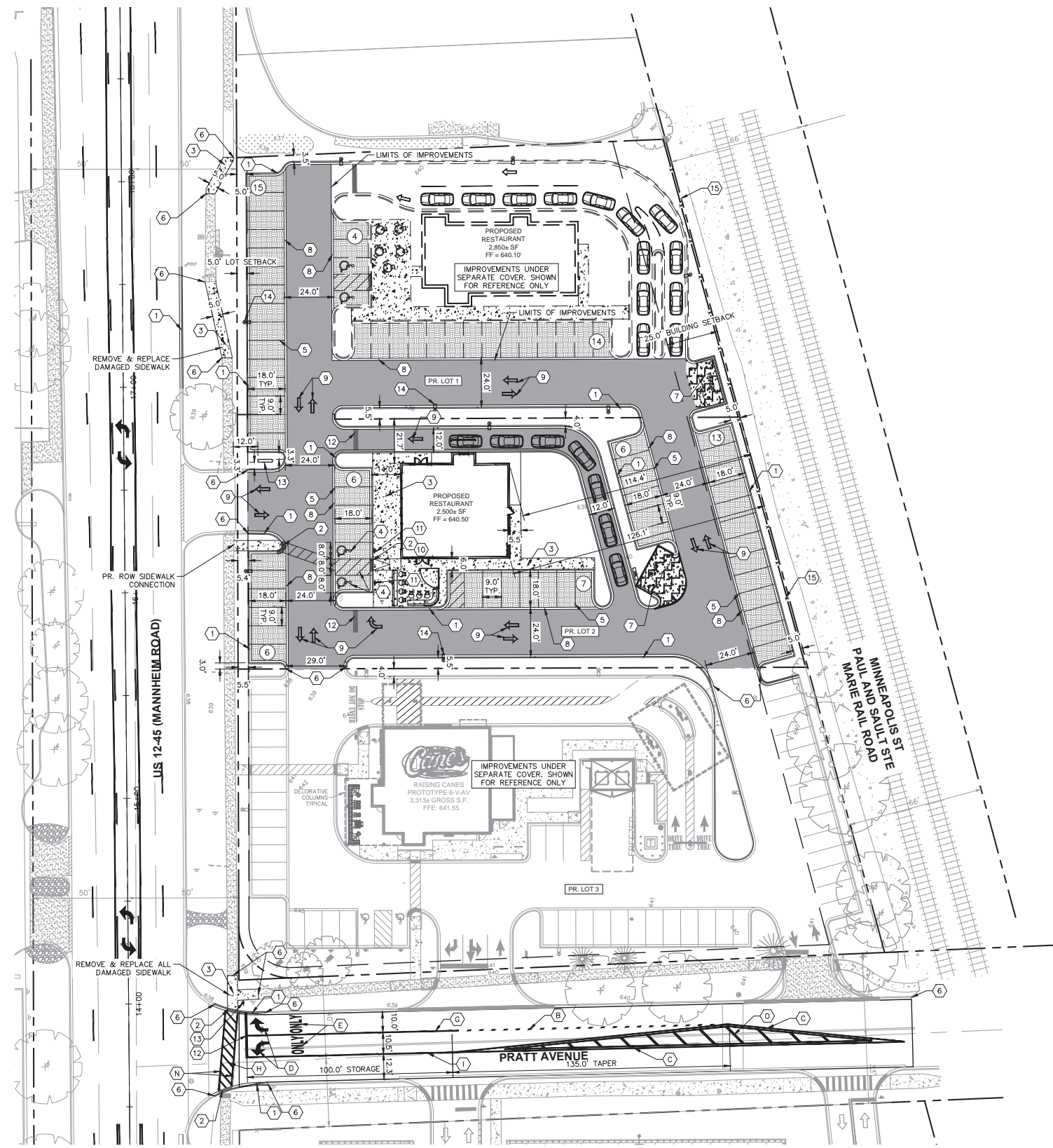
ORIGINAL ISSUE:
 03/06/2023
 KHA PROJECT NO.
 168726020
 SHEET NUMBER

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION LEGEND

| | |
|-----|---|
| (A) | ITEM TO REMAIN, PROTECT DURING CONSTRUCTION |
| (B) | CURB REMOVAL |
| (C) | UTILITY REMOVAL |
| (D) | ITEM TO BE REMOVED |
| (E) | FULL-DEPTH ASPHALT PAVEMENT REMOVAL |
| (F) | CONCRETE REMOVAL |
| (G) | BUILDING REMOVAL |
| (H) | STONE REMOVAL |
| (I) | BRICK REMOVAL |
| (J) | SAWCUT LINE |
| (K) | WALL REMOVAL |

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 User: jon.sprince
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GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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KEY NOTES

| | |
|----|---|
| 1 | B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS) |
| 2 | DEPRESSED CURB AND GUTTER |
| 3 | CONCRETE SIDEWALK, TYP. (SEE DETAILS) |
| 4 | ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS) |
| 5 | 4" WIDE PAINTED SOLID LINE, TYP. |
| 6 | CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP. |
| 7 | TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS) |
| 8 | 1" CONCRETE CURB RIBBON (SEE DETAILS) |
| 9 | PAVEMENT DIRECTIONAL STRIPING, TYP. |
| 10 | ACCESSIBLE RAMP (SEE DETAILS) |
| 11 | ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS) |
| 12 | 24" WIDE STOP BAR, TYP. (SEE DETAILS) |
| 13 | MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS) |
| 14 | LIGHT POLE, TYP. (SEE PHOTOMETRIC PLAN FOR DETAILS) |
| 15 | FENCE |

PAVING AND CURB LEGEND

| | |
|--|---|
| | HEAVY DUTY ASPHALT PAVEMENT PAVEMENT SECTION TO BE PROVIDED AT LATER DATE |
| | CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION |
| | PERMEABLE PAVERS SEE CONSTRUCTION DETAILS SHEET C6.2 |
| | HEAVY DUTY CONCRETE PAVEMENT PAVEMENT SECTION TO BE PROVIDED AT LATER DATE |
| | STANDARD PITCH CONCRETE CURB AND GUTTER |
| | CONCRETE DEPRESSED CURB AND GUTTER |
| | REVERSE PITCH CONCRETE CURB AND GUTTER |

KEY NOTES

| | |
|---|---|
| A | INSTALL 4" WHITE THERMOPLASTIC SKIP-DASH STRIPE. (10' LINE, 30' SPACE) |
| B | INSTALL 6" WHITE THERMOPLASTIC SHORT SKIP-DASH STRIPE (2' LINE, 6' SPACE) |
| C | INSTALL (2) - 4" YELLOW THERMOPLASTIC SOLID STRIPE (11" C-C) |
| D | INSTALL 8" WHITE THERMOPLASTIC LANE-USE ARROW, DIRECTION PER PLANS |
| E | INSTALL 8" WHITE THERMOPLASTIC "ONLY" PAVEMENT MARKING |
| F | INSTALL 6" WHITE THERMOPLASTIC SOLID STRIPE |
| G | INSTALL 4" WHITE THERMOPLASTIC SOLID STRIPE |
| H | INSTALL 1' X 10' WHITE THERMOPLASTIC CROSSWALK STRIPE (3' OC) |
| I | INSTALL 4" YELLOW THERMOPLASTIC SOLID STRIPE |
| J | DETECTABLE WARNINGS STRIP (SEE DETAILS) |
| K | ONE-WAY CRYSTAL MARKER (SEE IDOT TC-11 DETAILS) |
| L | TWO-WAY AMBER MARKER (SEE IDOT TC-11 DETAILS) |
| M | INSTALL 4" YELLOW THERMOPLASTIC SKIP-DASH STRIPE. (10' LINE, 30' SPACE) |
| N | INSTALL 6" WHITE LONGITUDINAL STRIPING (SEE DETAIL 'A' TC-13 DETAILS) |
| O | INSTALL 12" SOLID WHITE DIAGONALS AT 45° 30' C-C (SEE TC-13 DETAILS) |

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 17031C0219J, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.

PARKING SUMMARY

| | |
|---|-------------|
| LOT B: | |
| PARKING SPACES REQUIRED (CITY STANDARD) | = 25 SPACES |
| RESTAURANT CLASS A: 1 SPACE / 100 SF | |
| STANDARD PARKING SPACES PROVIDED | = 38 SPACES |
| ACCESSIBLE PARKING SPACES REQUIRED | = 2 SPACES |
| ACCESSIBLE PARKING SPACES PROVIDED | = 2 SPACES |
| TOTAL PARKING SPACES PROVIDED | = 40 SPACES |
| LOT C: | |
| PARKING SPACES REQUIRED (CITY STANDARD) | = 29 SPACES |
| RESTAURANT CLASS A: 1 SPACE / 100 SF | |
| STANDARD PARKING SPACES PROVIDED | = 29 SPACES |
| ACCESSIBLE PARKING SPACES REQUIRED | = 2 SPACES |
| ACCESSIBLE PARKING SPACES PROVIDED | = 2 SPACES |
| TOTAL PARKING SPACES PROVIDED | = 31 SPACES |

| | | | | |
|--|---------------------------|----------|-----|----|
| | CITY SUBMITTAL #2 | 07/27/23 | INS | BY |
| | CITY SUBMITTAL | 06/30/23 | INS | |
| | ISSUED FOR DEMOLITION | 06/20/23 | INS | |
| | REVISED PER CITY COMMENTS | 04/10/23 | INS | |
| | REVISIONS | DATE | | |

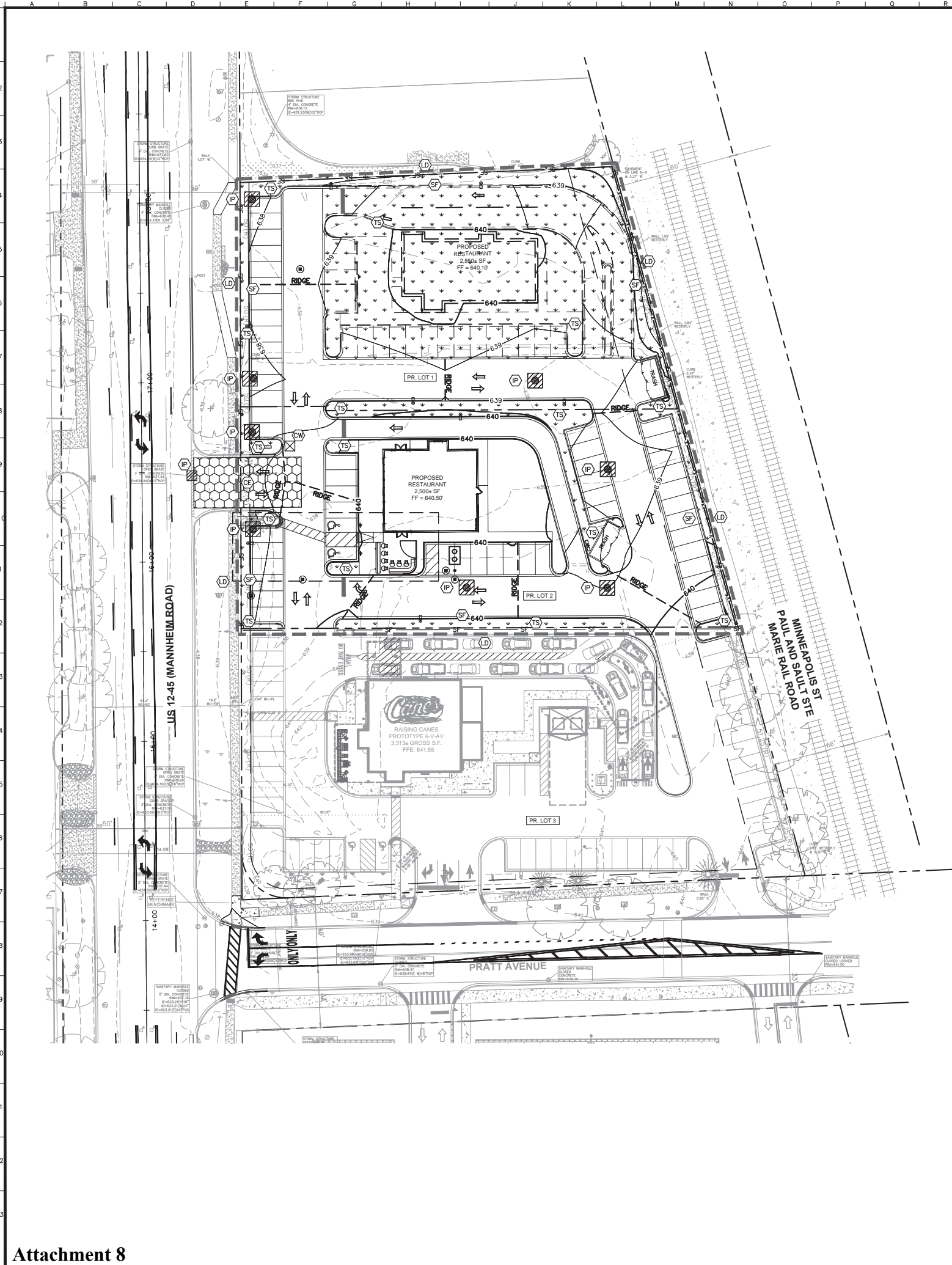
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SHEET NUMBER

ORIGINAL ISSUE:
03/06/2023
KHA PROJECT NO.
168726020
SHEET NUMBER
C2.0

2777 MANNHEIM ROAD
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Drawing name: K:\GIS_DEVA\168726020_gw_properties\des\plains_c3.0_erosion_control_plan.dwg Jul 27, 2023 2:47pm by: jon.sims
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EROSION CONTROL LEGEND

| | | |
|--|------|---|
| | TS | TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS) |
| | EB | TEMPORARY EROSION CONTROL BLANKET (SEE EROSION CONTROL NOTE #7) |
| | CE | CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS) |
| | SF | SILT FENCE (SEE EROSION CONTROL DETAILS) |
| | IP | INLET PROTECTION (SEE EROSION CONTROL DETAILS) |
| | CW | CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR) |
| | SS | TEMPORARY SOIL STOCKPILE |
| | LD | LIMITS OF DISTURBANCE |
| | ---- | EXISTING CONTOURS |
| | --- | PROPOSED CONTOURS |

EROSION CONTROL SCHEDULE AND SEQUENCING:

- I. ROUGH GRADING** CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
- II. UTILITY INSTALLATION** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
- III. PAVING** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
- IV. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

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EROSION CONTROL NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SLOPE AREAS ON ALL SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL WALES.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE. LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA, CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

| | | | |
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| DRAWN BY: INS | CITY SUBMITTAL | 06/30/23 | INS |
| CHECKED BY: LIT | ISSUED FOR DEMOLITION | 06/20/23 | INS |
| | REVISED PER CITY COMMENTS | 04/10/23 | INS |
| | | | DATE |

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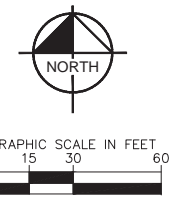
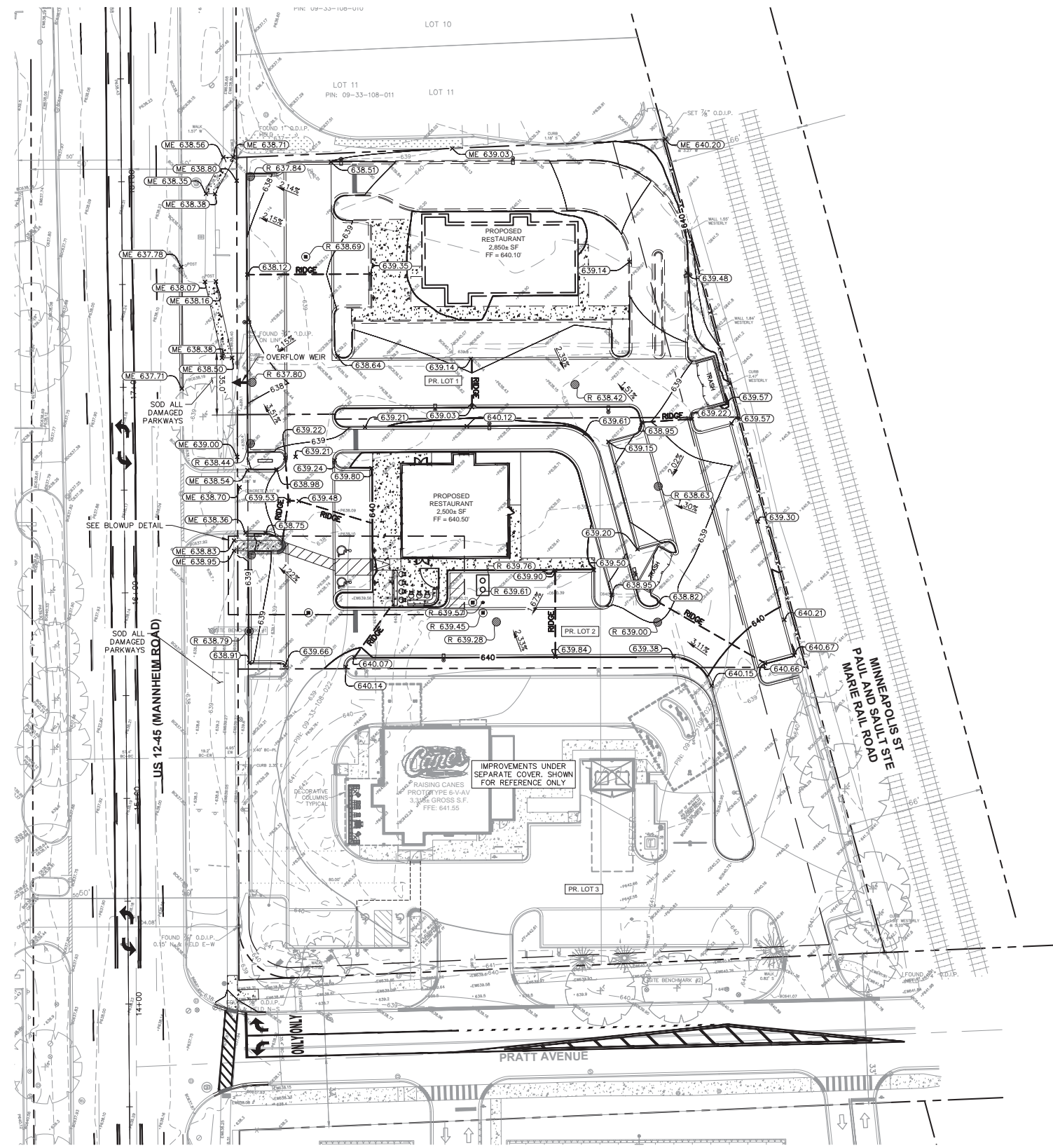
EROSION CONTROL PLAN

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03/06/2023
KHA PROJECT NO.
168726020
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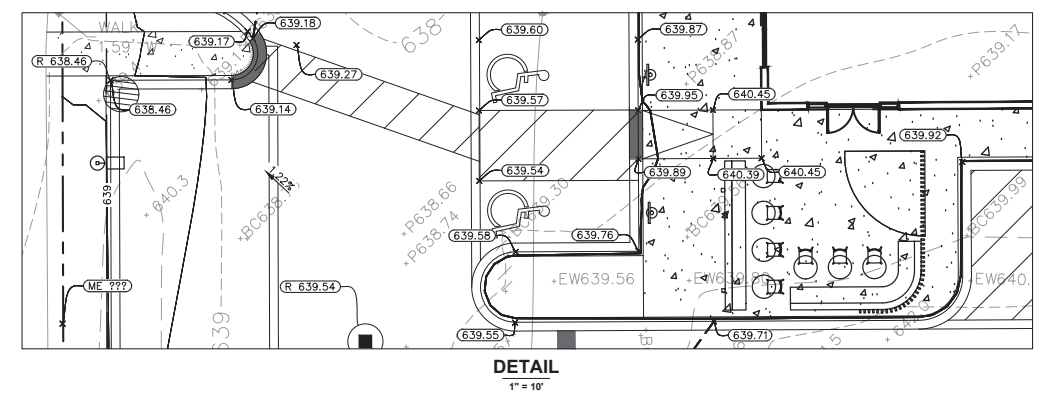
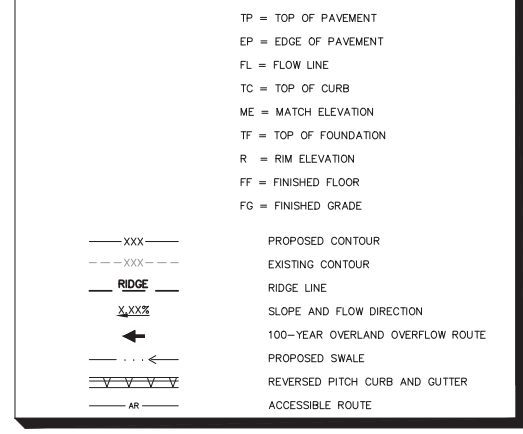


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GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND



| NO. | REVISIONS | DATE | BY |
|-----|---------------------------|----------|-----|
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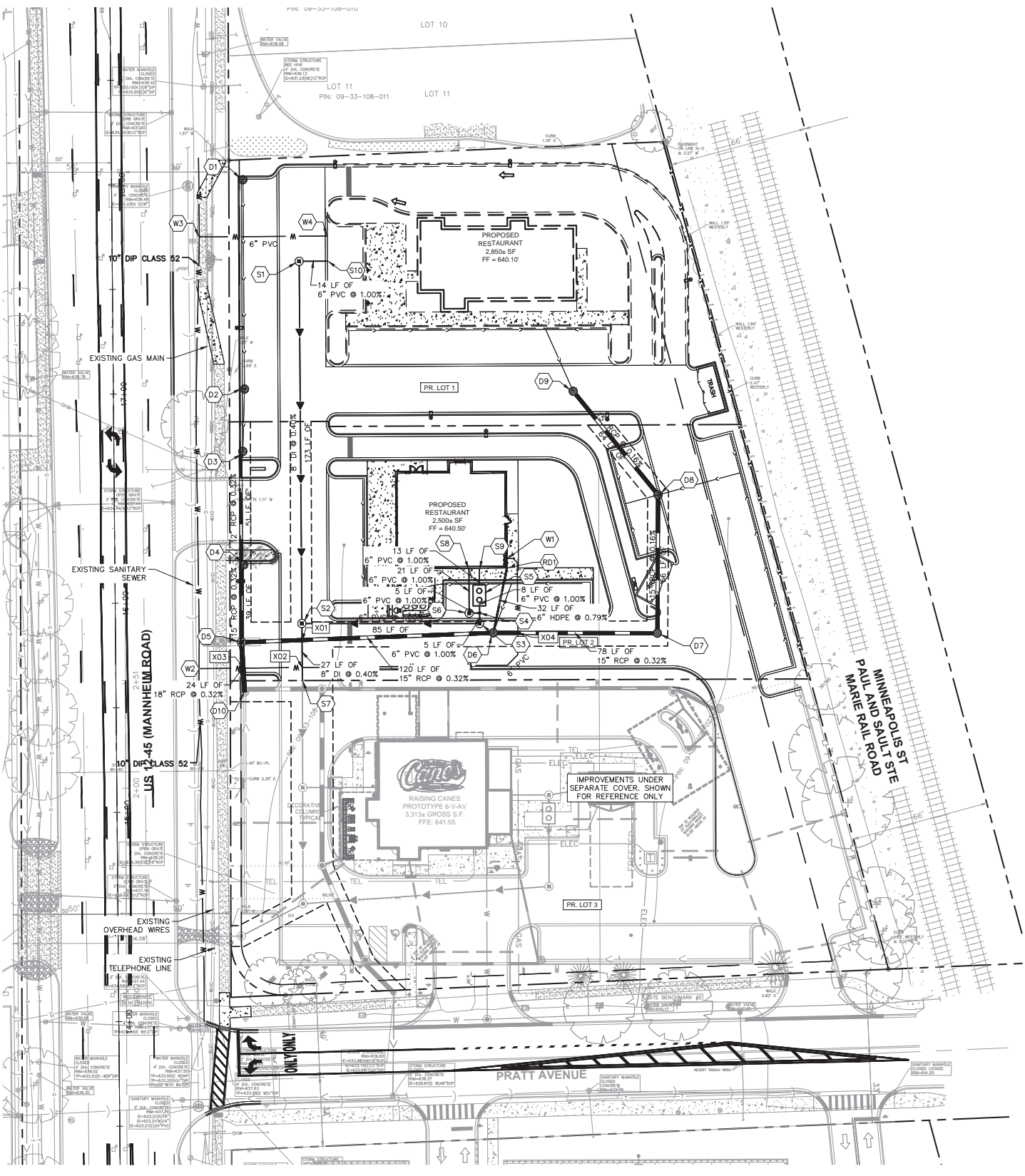


GRADING PLAN

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Drawing name: K:\GIS_DEVA\168726020_gw_properties\des\plaines\1_A_2_Design\CAD\Utilities\1_A_2_UTILITY_PLAN.dwg C5.0 Jul 27, 2023 2:56pm by: kmj
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| SANITARY STRUCTURE TABLE | |
|--------------------------|--|
| STRUCTURE NAME: | DETAILS: |
| S1 | MH RIM: 638.69 INV IN: 634.00 (E, 6") INV OUT: 634.00 (S, 8") |
| S2 | SANITARY MANHOLE RIM: 639.41 INV IN: 633.27 (E, 6") INV IN: 633.27 (N, 8") INV OUT: 633.27 (S, 8") |
| S3 | SANITARY MANHOLE RIM: 639.45 INV IN: 634.12 (N, 6") INV OUT: 634.12 (W, 6") |
| S4 | 6" SANITARY CLEANOUT RIM: 639.57 INV IN: 634.12 (W, 6") INV IN: 634.17 (N, 6") INV OUT: 634.17 (S, 6") |
| S5 | GREASE TRAP RIM: 639.76 INV IN: 634.25 (N, 6") INV OUT: 634.25 (S, 6") |
| S6 | SANITARY MANHOLE RIM: 639.61 INV IN: 634.22 (N, 6") INV OUT: 634.22 (E, 6") |
| S7 | 45° WYE INV IN: 633.20 (N, 8") |
| S8 | SANITARY BUILDING CONNECTION RIM: 640.49 INV OUT: 634.43 (S, 6") |
| S9 | SANITARY BUILDING CONNECTION RIM: 640.49 INV OUT: 634.38 (S, 6") |
| S10 | SANITARY STUB INV OUT: 634.14 (W, 6") |

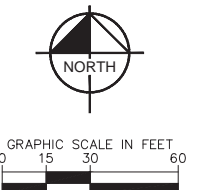
| STORM STRUCTURE TABLE | |
|-----------------------|--|
| STRUCTURE NAME: | DETAILS: |
| D1 | 48" STORM CATCH BASIN RIM: 637.84 |
| D2 | 48" STORM CATCH BASIN RIM: 637.80 |
| D3 | 48" STORM CATCH BASIN RIM: 638.44 INV OUT: 634.72 (S, 12") |
| D4 | 48" STORM CATCH BASIN RIM: 638.46 INV IN: 634.56 (N, 12") INV OUT: 634.56 (S, 15") |
| D5 | 48" CLOSED LID STORM MH RIM: 638.79 INV IN: 634.44 (E, 15") INV IN: 634.44 (N, 15") INV OUT: 634.44 (S, 18") |
| D6 | 48" STORM CATCH BASIN RIM: 639.28 INV IN: 634.83 (E, 15") INV IN: 634.83 (N, 6") INV OUT: 634.83 (W, 15") |
| D7 | 48" STORM CATCH BASIN RIM: 639.00 INV IN: 635.08 (N, 15") INV OUT: 635.08 (W, 15") |
| D8 | 48" STORM CATCH BASIN RIM: 638.63 INV IN: 635.19 (NW, 15") INV OUT: 635.19 (S, 15") |
| D9 | 48" STORM CATCH BASIN RIM: 638.42 INV OUT: 635.29 (SE, 15") |
| D10 | EXISTING STORM STRUCTURE RIM: 636.36 INV IN: 634.36 (N, 18") |
| RD1 | ROOF DRAIN RIM: 640.50 INV OUT: 635.08 (S, 6") |

| WATER STRUCTURE TABLE | |
|-----------------------|---|
| STRUCTURE NAME: | DETAILS: |
| W1 | WATER BUILDING CONNECTION FG ELEV: 640.50 |
| W2 | CONNECTION TO EXISTING WATER. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION. FG ELEV: 0.00 |
| W3 | CONNECTION TO EXISTING WATER. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION. FG ELEV: 0.98 |
| W4 | 6" WATER STUB FG ELEV: 638.86 |

SITE BENCHMARKS:
 SOUTHEAST BOLT ON FIRST FIRE HYDRANT NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45
 ELEV = 639.81
 *SEE SURVEY FOR DETAILS

BOLT ON FIRST FIRE HYDRANT WEST OF RAILROAD TRACKS ON NORTH SIDE OF PRATT AVENUE
 ELEV = 639.81
 *SEE SURVEY FOR DETAILS

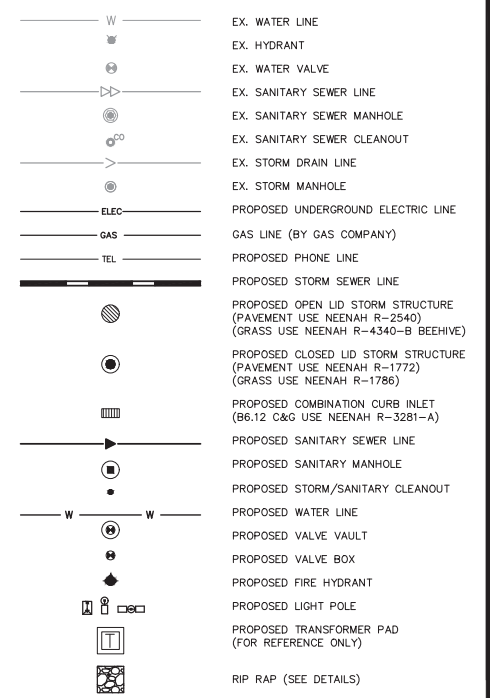
ADDITIONAL NOTES:
 - CALL 48 HOURS BEFORE INSPECTION IS NEEDED
 - \$20,000 STREET OPENING BOND
 - CITY STANDARDS SUPERCEDE ALL OTHERS



UTILITY NOTES

- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

UTILITY LEGEND



CITY OF DES PLAINES NOTES

- CONTRACTOR TO NOTIFY THE CITY OF DES PLAINES PUBLIC WORKS / ENGINEERING DEPARTMENT 48 HOURS IN ADVANCE OF STORM SEWER IMPROVEMENTS. PHONE NUMBER: 847-391-5390

| CITY SUBMITTAL #2 | INS | DATE |
|---------------------------|-----|------|
| 07/27/23 | INS | |
| CITY SUBMITTAL | INS | |
| ISSUED FOR DEMOLITION | INS | |
| REVISED PER CITY COMMENTS | INS | |
| | REV | |

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 570 LAKE COOK ROAD, SUITE 200
 DEERFIELD, IL 60015-7624
 WWW.KIMLEY-HORN.COM

| SCALE: | AS NOTED |
|--------------|----------|
| DESIGNED BY: | INS |
| DRAWN BY: | INS |
| CHECKED BY: | LIT |



UTILITY PLAN

GW PROPERTIES
DES PLAINES II
 2777 MANNHEIM ROAD
 DES PLAINES, IL 60018

| | |
|-----------------|------------|
| ORIGINAL ISSUE: | 03/06/2023 |
| KHA PROJECT NO. | 168726020 |
| SHEET NUMBER | |

FINAL CIVIL CONSTRUCTION PLANS FOR



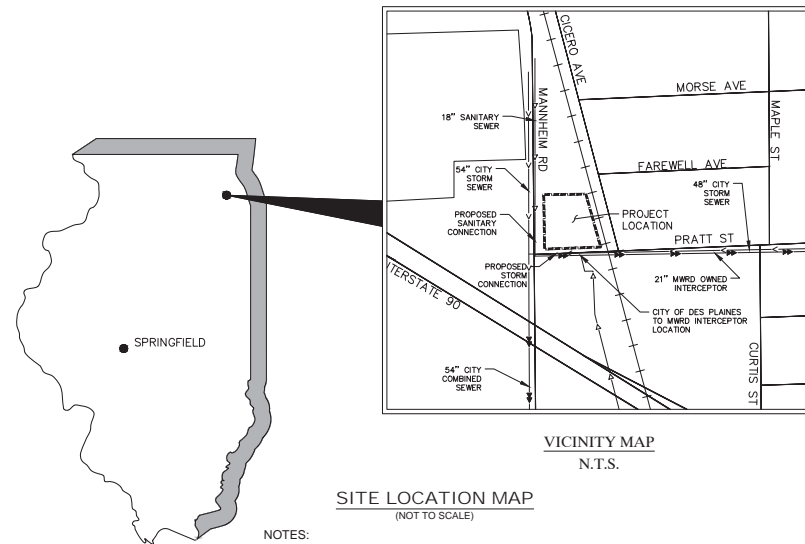
RAISING CANE'S DES PLAINES 2781 MANNHEIM ROAD CITY OF DES PLAINES COOK COUNTY, IL 60018

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.
P (708) 588-4055
E WMOJobStart@mwr.org

| SHEET LIST TABLE | |
|------------------|------------------------------------|
| Sheet Number | Sheet Title |
| C1.0 | COVER SHEET |
| C2.0 | GENERAL NOTES |
| C2.1 | GENERAL NOTES |
| V0.0 | ALTA SURVEY (BY OTHERS) |
| V0.1 | ALTA SURVEY (BY OTHERS) |
| C3.0 | EROSION CONTROL PLAN |
| C3.1 | EROSION CONTROL NOTES AND DETAILS |
| C4.0 | DEMOLITION PLAN |
| C5.0 | SITE KEYNOTE PLAN |
| C5.1 | DIMENSION CONTROL PLAN |
| C5.2 | STRIPING AND SIGNAGE PLAN |
| C6.0 | GRADING PLAN |
| C6.1 | IDOT CROSS SECTIONS SHEET |
| C7.0 | UTILITY PLAN |
| C7.1 | SANITARY SEWER PROFILES |
| C8.0 | MRWD MAINTENANCE & MITIGATION PLAN |
| C8.1 | MWRD DRAINAGE PLAN |
| C9.0 | CONSTRUCTION DETAILS |
| C9.1 | CONSTRUCTION DETAILS |
| C9.2 | CONSTRUCTION DETAILS |
| C9.3 | CONSTRUCTION DETAILS |

GOVERNMENT/UTILITY CONTACTS

| | |
|--|--|
| PLANNING & DEVELOPMENT DEPARTMENT CONTACT: JONATHAN STYTZ | CITY OF DES PLAINES 1420 MINER STREET DES PLAINES, IL 60016 TEL: (847) 391-5392 |
| ENGINEERING DEPARTMENT CONTACT: JOHN LA BERG | CITY OF DES PLAINES 1420 MINER STREET DES PLAINES, IL 60016 TEL: (847) 391-5385 |
| SANITARY/STORM SEWER CONTACT: TIMOTHY OAKLEY | DEPARTMENT OF PUBLIC WORKS AND ENGINEERING 1111 JOSEPH J. SCHWAB ROAD DES PLAINES, IL 60016 TEL: (847) 391-5464 |
| POWER COMPANY CONTACT: TBD | COMED TEL: (866) 639-3532 |
| NATURAL GAS COMPANY CONTACT: ZACH JARLING | NICOR GAS TEL: (224) 239-3341 |
| TELEPHONE COMPANY CONTACT: TBD | AT&T TEL: (833) 862-0662 |
| MWRD LOCAL SEWERS CONTACT: JAWAD RAHMAN | 6001 W. PERSHING RD CICERO, IL 60804 TEL: (708) 488-7851 |



VICINITY MAP
N.T.S.

SITE LOCATION MAP
(NOT TO SCALE)

NOTES:

- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

BENCHMARKS

LOCATIONS SHOWN ON SURVEY

REFERENCE BENCHMARK
VERTICAL DATUM - NAVD83

ALL ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY USING RTK/GPS OBSERVATIONS BASED ON TRIMBLE VRS+ HARN NETWORK

SITE BENCHMARKS:

SITE BENCHMARK #1
SOUTHEAST BOLT ON FIRE HYDRANT ON NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45
ELEVATION = 639.81

SITE BENCHMARK #2
BOLT ON FIRST FIRE HYDRANT WEST OF RAIL ROAD TRACKS ON NORTH SIDE OF PRATT AVENUE
ELEVATION = 641.85

ENGINEER Kimley»Horn

4201 WINFIELD ROAD
SUITE 600
WARRENVILLE, IL 60555
PH. (311) 481-7330
CONTACT: TOM SZAFRANSKI, P.E.

OWNER/DEVELOPER



RAISING CANES RESTAURANT, LLC
6800 BISHOP ROAD
PLANO, TX 75024
(P) (972) 769-3364
CONTACT: LUARON FOSTER

ARCHITECT



ADA ARCHITECTS, INC.
17710 DETROIT AVENUE
LAKEWOOD, OH 44107
(P) (216) 521-5134
CONTACT: DUSTIN JOHNSTON



DRAINAGE CERTIFICATION

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IS SUCH SURFACE WATER DRAINAGE WILL CHANGE, ADEQUATE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 1ST DAY OF AUGUST, A.D., 2023.

IL LICENSED PROFESSIONAL ENGINEER 062.070698
MY LICENSE EXPIRES ON NOVEMBER 30TH, 2023



Date of Expiration: 11-30-23

PROFESSIONAL ENGINEER'S CERTIFICATION

I, THOMAS J. SZAFRANSKI, A LICENSED PROFESSIONAL ENGINEER OF KIMLEY-HORN AND ASSOCIATES, INC., HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF RAISING CANE'S, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

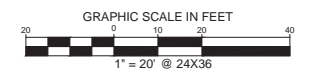
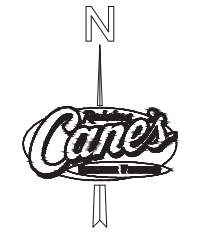
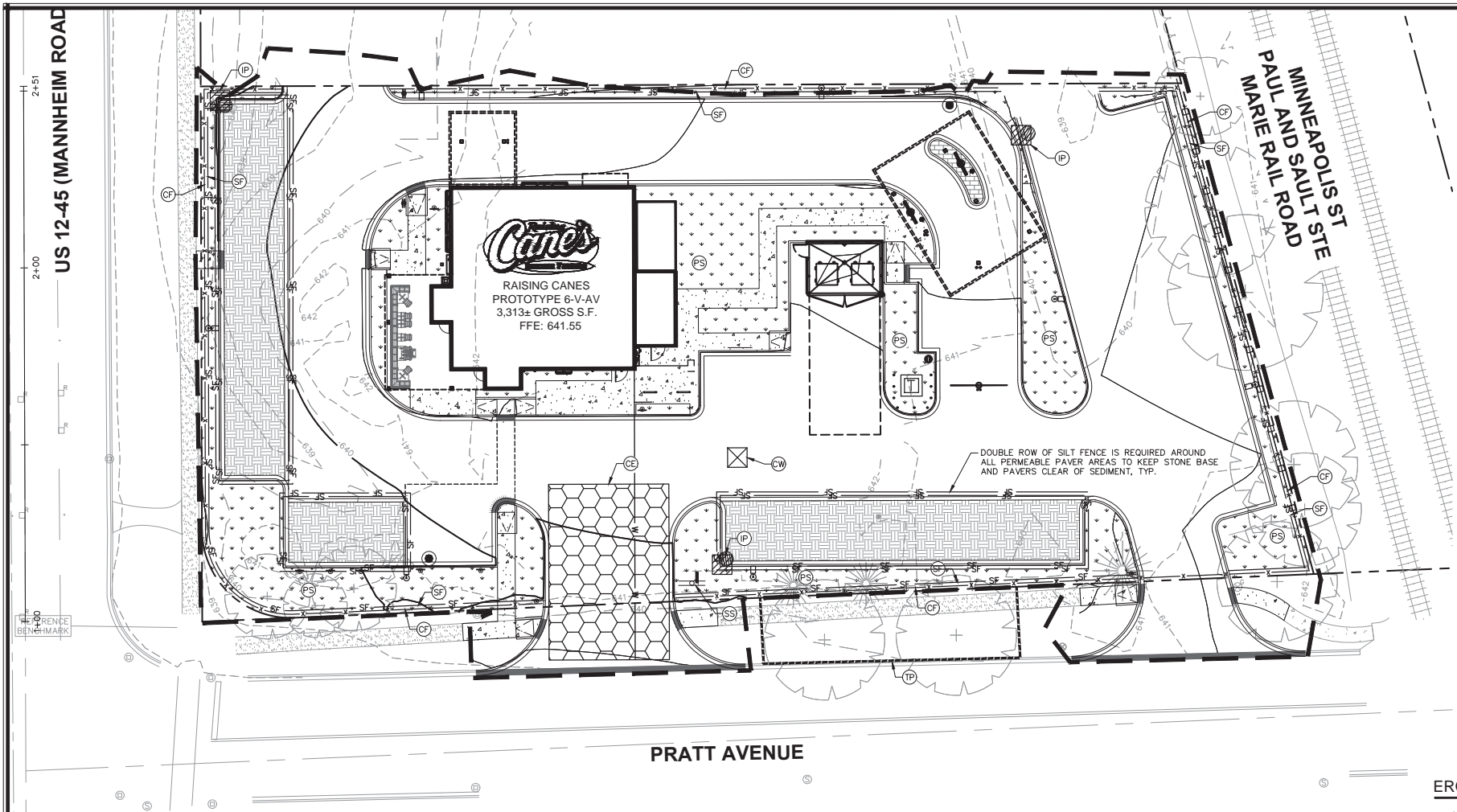
DATED THIS 1ST DAY OF AUGUST, A.D., 2023.

IL LICENSED PROFESSIONAL ENGINEER 062.070698
MY LICENSE EXPIRES ON NOVEMBER 30, 2023.



Date of Expiration: 11-30-23

C1.0



LEGEND

- PROPERTY/LEASE/LOT LINE
- - - - - 15' EXISTING CONTOUR
- - - - - 15' PROPOSED CONTOUR
- PROPOSED LIMITS OF DISTURBANCE
- 1.00% PROPOSED DIRECTION OF OVERLAND FLOW W/GRADE
- PROPOSED CLOSED LID STORM STRUCTURE
- PROPOSED OPEN LID STORM STRUCTURE
- EXISTING STORM STRUCTURE
- SF — SILT FENCE. SEE EROSION CONTROL DETAILS.
- CF — 6 TALL CHAIN LINK CONSTRUCTION FENCE.
- CE — CONSTRUCTION EXIT. SEE EROSION CONTROL DETAILS.
- PS — PERMANENT STABILIZATION. REFER TO L2.0-LANDSCAPE PLAN
- IP — PROPOSED GRATE INLET PROTECTION. SEE EROSION CONTROL DETAILS.
- CW — CONCRETE WASHOUT (LOCATION DETERMINED BY CONTRACTOR). SEE EROSION CONTROL DETAILS.
- SS — SWPPP INFORMATION SIGN
- TP — TREE PROTECTION FENCE. SEE SHEET L1.0 - TREE PRESERVATION PLAN.

EROSION CONTROL NOTES

1. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
2. GENERAL CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
3. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. SEE PHASING SCHEDULE THIS SHEET.
5. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
6. GENERAL CONTRACTOR TO PROVIDE INLET PROTECTION IN PUBLIC ROW ONLY DURING EARTH MOVING ACTIVITIES. GENERAL CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW OR ON ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION.
7. THERE ARE NO ON-SITE OR ADJACENT WETLANDS OR WATERS OF THE U.S. PRESENT ON THIS PROJECT.
8. CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PARKING LOT CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF NEEDED.
10. THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF CLEARING & SITE PREPARATION, EARTHWORK, GRADING, UTILITIES, PAVING, AND LANDSCAPING.
11. SEDIMENTATION BASIN: NEITHER A TEMPORARY NOR PERMANENT SEDIMENTATION BASIN HAS BEEN PROVIDED ON THIS SITE BECAUSE THE SITE IS LESS THAN 10 ACRES IN AREA.
12. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING AND LANDSCAPING.
13. GENERAL CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF NOI, NOT, POSTING OF SITE NOTICES, AND ANY ADDITIONAL INFORMATION OR SUBMITTALS REQUIRED BY IEPA OR LOCAL JURISDICTION.
15. COORDINATE EXISTING TREES TO REMAIN WITH LANDSCAPE PLANS. ALL EXISTING TREES TO REMAIN ARE TO RECEIVE TREE PROTECTION AROUND THE CRITICAL ROOT ZONE IN ORDER TO PREVENT DAMAGE DURING CONSTRUCTION. TREE PROTECTION SHOULD BE INSTALLED PRIOR TO ANY DEMOLITION OR EARTH DISTURBING ACTIVITIES.
16. CONSTRUCTION ENTRANCE SHOWN ON THIS PLAN FOR REFERENCE ONLY. CONTRACTOR SHALL DETERMINE FINAL LOCATION OF CONSTRUCTION ENTRANCE.
17. CONSTRUCTION FENCE SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND PROPOSED SITE IMPROVEMENTS AND REVISE LOCATION AS NECESSARY TO INSTALL THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL ENSURE THE FENCE LOCATION DOES NOT IMPACT THE OVERALL DEVELOPMENT.

EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL BE IN GENERAL CONFORMANCE WITH THE FOLLOWING PHASING SCHEDULE. REFERENCE THE NOTES GENERAL PERMIT FOR DETAILED REQUIREMENTS.

- PHASE 1 - DEMOLITION**
- A. INSTALL PERIMETER BMP'S INCLUDING THE CONSTRUCTION ENTRANCE/EXIT, SWPPP SIGNAGE, SILT FENCE, AND ALL OTHER NECESSARY BMP'S ACCORDING TO THE LOCATION SHOWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMP'S.
 - B. SET THE PROJECT OFFICE TRAILER AND PREPARE TEMPORARY PARKING AND STORAGE AREAS. NOTE: IF LOCATION IS NOT WITHIN PROPERTY BOUNDARY, CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE CITY OF DES PLAINES FOR ALL AREA USED OUTSIDE OF THE PROPERTY LIMITS.
 - C. DENOTE DATES OF BMP INSTALLATION AND MAINTENANCE ON SITE-MAPS.
 - D. BEGIN DEMOLITION AND CLEARING OF THE SITE.
 - E. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WHENEVER CLEARING, GRADING, OR EARTH DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED AND WILL NOT RESUME WITHIN 14 DAYS PER GENERAL PERMIT REQUIREMENTS.
- PHASE 2 - GRADING**
- A. ENSURE APPROPRIATE BMP'S ARE IN PLACE DOWNSTREAM OF SITE WORK OR WHERE RUNOFF MAY EXIT THE SITE.
 - B. BEGIN GRADING THE SITE.
 - C. SEED AND RE-VEGETATE SLOPES AS AREAS ARE BROUGHT TO GRADE OR STOCKPILES THAT WILL REMAIN INACTIVE FOR 14 DAYS PER GENERAL PERMIT REQUIREMENTS.
- PHASE 3 - UTILITIES**
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
 - B. INSTALL UTILITIES, STORM DRAINS, CURB AND GUTTERS.
 - C. INSTALL INLET PROTECTION AS SPECIFIED ON PLAN SHEETS AS STORM STRUCTURES ARE INSTALLED.
 - D. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION, ANY DISTURBED AREAS THAT ARE LIKELY TO REMAIN INACTIVE FOR 14 DAYS.
- PHASE 4 - PAVING**
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
 - B. STABILIZE SUBGRADE.
 - C. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- PHASE 5 - LANDSCAPING AND DEVELOPMENT**
- A. INSTALL LANDSCAPING PER THE LANDSCAPE PLANS AND DETAILS.
 - B. REMOVE EROSION CONTROL DEVICES WHEN FINAL STABILIZATION IS ACHIEVED PER THE NPDES GENERAL PERMIT.
 - C. STABILIZE ANY AREAS DISTURBED BY REMOVAL OF BMP'S.

SITE DATA

| | |
|----------------------|-----------|
| LOT/LEASE AREA | 0.99 ± AC |
| TOTAL DISTURBED AREA | 1.08 ± AC |



Raising Canes
RESTAURANT SUPPORT OFFICE
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

STORE:
RAISING CANE'S RESTAURANT
2781 MANNHEIM RD
DES PLAINES, IL 60018
PROTOTYPE P6-V-AV
SCHEME: B
RESTAURANT #RC1009
VERSION: 2023-1.0 RELEASE 5.22.2023

ADA ARCHITECTS
17710 Detroit Avenue, Lakeview, Ohio 44107
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

PERMIT SET

ENGINEER INFORMATION:
Kimley»Horn
3023 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418039

SHEET REVISIONS

| # | DATE | TYPE |
|----|------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

EROSION CONTROL PLAN

ISSUE DATE: 08/01/2023
JOB NO. 22297
C3.0
SHEET NO.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

STORE:
RAISING CANE'S RESTAURANT
2781 MANNHEIM RD
DES PLAINES, IL 60018
PROTOTYPE P6-V-AV
SCHEME: B
RESTAURANT #RC1009
VERSION: 2023-1.0 RELEASE 5.22.2023



17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

PERMIT SET

ENGINEER INFORMATION:

Kimley»Horn
3023 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418039

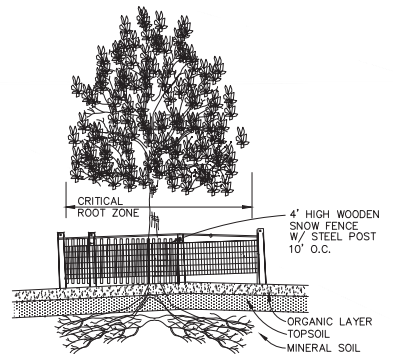
| SHEET REVISIONS | | |
|-----------------|------|------|
| # | DATE | TYPE |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

EROSION CONTROL NOTES AND DETAILS
ISSUE DATE: 08/01/2023
JOB NO. 22297
C3.1
SHEET NO.

| Stabilization Type | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC |
|--------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| Permanent Seeding | | A | | | | X | X | X | X | X | | |
| Dormant Seeding | B | | | | | | | | | | | |
| Temporary Seeding | | C | | | | X | X | X | X | | | |
| Sodding | | | | | | E | X | X | | | | |
| Mulching | | | | | | | | | | | | |

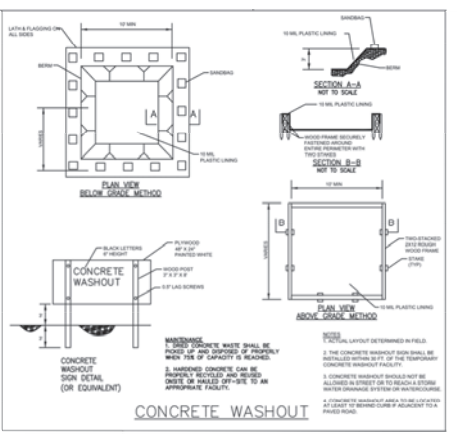
A = Kentucky Bluegrass @ 90 lbs/oc. Mixed with Perennial Ryegrass @ 30 lbs/oc.
B = Kentucky Bluegrass @ 135 lbs/oc. Mixed with Perennial Ryegrass @ 45 lbs/oc.
C = Spring Oats @ 100 lbs/oc.
D = Wheat or Cereal rye @ 150 lbs/oc.
E = Sod
F = Straw Mulch (Hydrumulch or use Straw Blanket) @ 2 tons/oc.
XXX = Irrigation needed.
Irrigation should be provided as necessary to thoroughly establish intended growth.

TYPICAL SOIL PROTECTION CHART

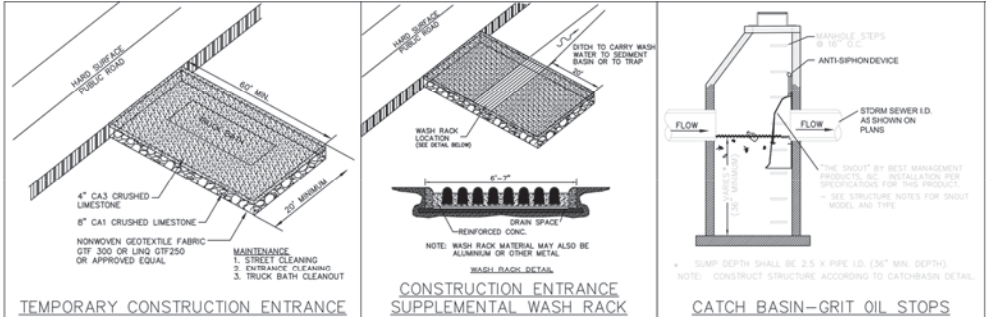


PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE. FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND FOR INDIVIDUAL TREES OR STANDS OF TREES.

TREE PROTECTION
N.T.S.



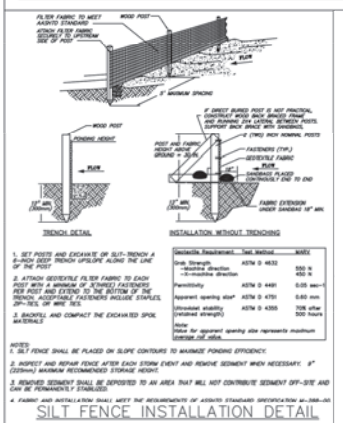
CONCRETE WASHOUT



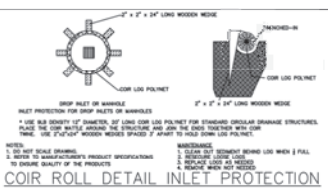
TEMPORARY CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE SUPPLEMENTAL WASH RACK

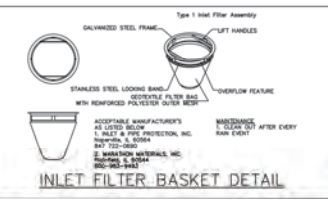
CATCH BASIN-GRIT OIL STOPS



SILT FENCE INSTALLATION DETAIL



COIR ROLL DETAIL INLET PROTECTION



INLET FILTER BASKET DETAIL

| REV. NO. | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |
| | | |
| | | |

FILE: C:\USERS\BSHIPP\CITY OF DES PLAINES\ENGINEERING DEPARTMENT - COMMON\AUTODESK\CIVIL 3D PROJECTS\STANDARD DETAILS\STANDARD DETAILS REV2023 FOR WEB.DWG

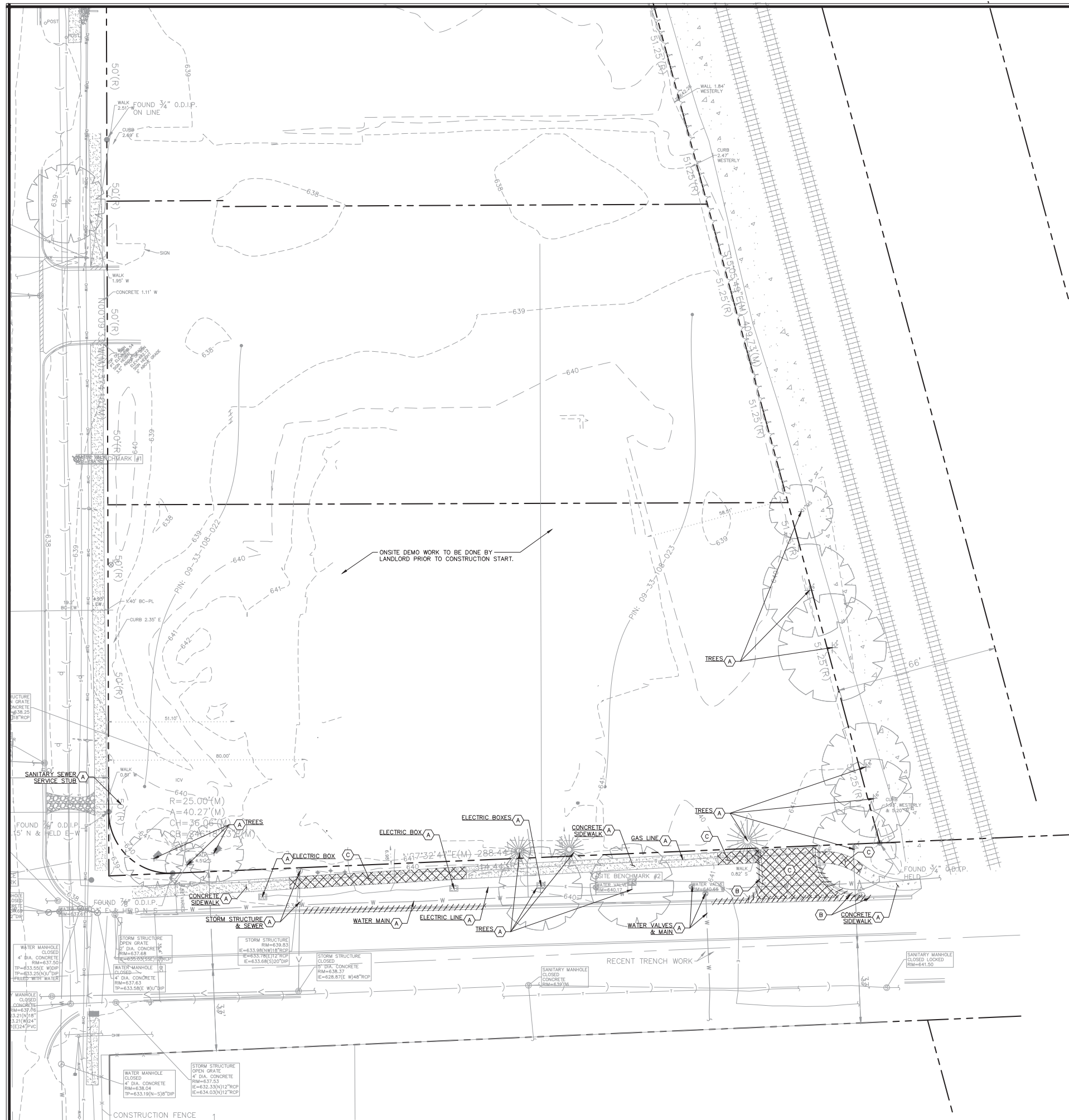


CITY OF DES PLAINES
PUBLIC WORKS AND ENGINEERING DEPARTMENT
1420 MINER STREET
DES PLAINES, IL 60018
PHONE-847-391-5390 FAX 847-391-5619
WWW.DESPLAINES.ORG

SOIL EROSION AND SEDIMENT CONTROL DETAILS

DESIGNED BY: BLS/AJD
CHECKED BY: AJD
APPROVED BY: TPO
DATE: 2/7/2023
SCALE: HORIZ: N/A
VERT: N/A
SHEET NO.: 1 OF 1



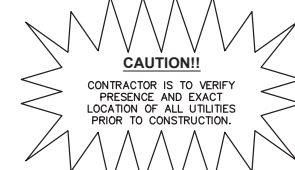


DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) CURB REMOVAL
- (C) CONCRETE REMOVAL

DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'JULIE' (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINISH LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LESTONITE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
16. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.



STORE:
RAISING CANE'S RESTAURANT
 2781 MANNHEIM RD
 DES PLAINES, IL 60018
 PROTOTYPE P6-V-AV
 SCHEME: B
 RESTAURANT #RC1009
 VERSION: 2023-1.0 RELEASE 5.22.2023



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ENGINEER INFORMATION:
Kimley»Horn
 3023 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600, IL 60555
 PHONE: 630-487-5550
 WWW.KIMLEY-HORN.COM

KH JOB NO. 168418039

SHEET REVISIONS

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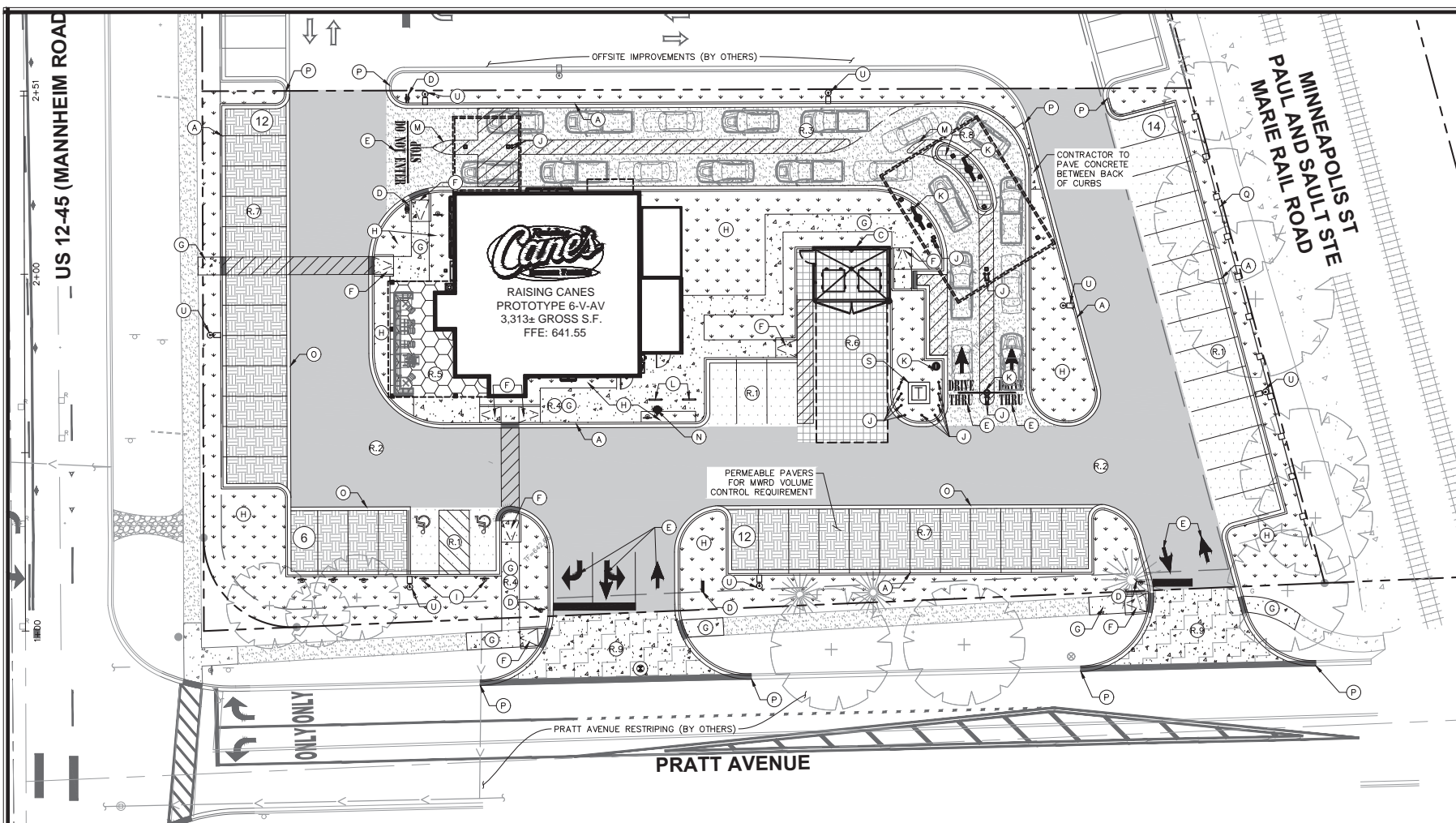
DEMOLITION PLAN

ISSUE DATE: 08/01/2023

JOB NO. 22297

C4.0

SHEET NO.



SITE LEGEND

| | |
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| (A) | B6.12 BARRIER CURB AND GUTTER. SEE CONSTRUCTION DETAILS. |
| (B) | NOT USED. |
| (C) | RECYCLING/TRASH DUMPSTER LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND FINISHES. |
| (D) | SITE DIRECTIONAL SIGN. SEE SHEET. |
| (E) | DIRECTIONAL PAVEMENT MARKING. SEE SHEET. |
| (F) | BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS. |
| (G) | CONCRETE SIDEWALK. SEE CONSTRUCTION DETAILS. |
| (H) | LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS. |
| (I) | ACCESSIBLE PARKING SIGN. |
| (J) | 4" PIPE BOLLARD. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| (K) | DRIVE THRU ORDER BOARD. PRE-ORDER BOARD OR HEIGHT DETECTOR. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| (L) | BIKE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| (M) | PAVEMENT STRIPING. |
| (N) | PROPOSED FIRE HYDRANT. SEE SHEET C7.0 - UTILITY PLAN FOR DETAILS. |
| (O) | 1" CONCRETE CURB RIBBON. SEE CONSTRUCTION DETAILS. |
| (P) | TIE PROPOSED CURB AND GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTIGUOUS TRANSITIONS. |
| (Q) | 8" WOOD FENCE (BY LANDLORD). |
| (R1) | STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS. |
| (R2) | HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS. |
| (R3) | HEAVY DUTY INTEGRAL COLORED CONCRETE PAVEMENT. SEE CONSTRUCTION DETAILS AND GENERAL NOTES. |
| (R4) | STANDARD DUTY CONCRETE PAVEMENT. FOR SIDEWALK. SEE CONSTRUCTION DETAILS. |
| (R5) | PATIO AREA PAVING. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| (R6) | HEAVY DUTY INTEGRAL COLORED CONCRETE PAVEMENT AT TRASH ENCLOSURE. SEE CONSTRUCTION DETAILS. |
| (R7) | PERMEABLE PAVERS. SEE SHEETS C8.0 AND C9.1 FOR COARSE AGGREGATE DEPTHS AND SPECIFICATIONS. |
| (R8) | PAVERS - BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKET WEAVE PATTERN, CHARCOAL OR SIMILAR GREY COLOR. |
| (R9) | HEAVY DUTY CONCRETE APRON. |
| (S) | TRANSFORMER PAD LOCATION. SEE ELECTRICAL PLANS FOR DETAILS. |
| (T) | NOT USED. |
| (U) | LIGHT POLE. SEE LIGHTING PLANS FOR DETAILS. |

SITE ANALYSIS TABLE

| | | |
|--|--------------------------|-----------|
| EXISTING ZONING | C-3 | |
| PROPOSED USE | RESTAURANT W/ DRIVE THRU | |
| LOT AREA | 42,869 SF / 0.98 AC | |
| GROSS BUILDING AREA | 3,313 SF | |
| PARKING STALL REQUIREMENT | | |
| NET FLOOR AREA (EXCLUDING MECH. ROOMS, FOOD PREP, RESTROOMS, AND PATIO) = 1,297 SF | | |
| 1 SPACE PER 50 SF = 26 SPACES | | |
| 1 SPACE PER 3 EMPLOYEES = 5 SPACES (ASSUMES 15 EMPLOYEES) | | |
| TOTAL PARKING | 31 SPACES | 47 SPACES |
| ACCESSIBLE | 2 SPACES | 2 SPACES |

LEGEND

- PROPERTY/LEASE/LOT LINE
- ADJACENT PROPERTY LINE
- PROPOSED CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- DEPRESSED CURB AND GUTTER
- PROPOSED PARKING COUNT
- STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
- HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
- HEAVY DUTY CONCRETE PAVEMENT. INTEGRAL COLOR 860 GRAPHITE (IRON OXIDE) SEE GENERAL NOTES - PAVING NOTES.
- STANDARD DUTY CONCRETE FOR SIDEWALKS. SEE CONSTRUCTION DETAILS.
- PATIO PAVEMENT. SEE ARCHITECTURAL AND STRUCTURAL PLANS.
- HEAVY DUTY CONCRETE PAVEMENT AT TRASH ENCLOSURE. INTEGRAL COLOR 860 GRAPHITE (IRON OXIDE) SEE CONSTRUCTION DETAILS.
- PERMEABLE PAVERS. SEE SHEETS C8.0 AND C9.1 FOR COARSE AGGREGATE DEPTHS AND SPECIFICATIONS.
- PAVERS - BELGARD HOLLAND STONE, LEGACY PAVERS IN HERRINGBONE/BASKET WEAVE PATTERN, CHARCOAL OR SIMILAR GREY COLOR.
- HEAVY DUTY CONCRETE APRON

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - EXISTING UTILITY STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
 - EXISTING SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COMPASS SURVEYING, LTD. DATED SEPTEMBER 5TH 2022.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF DES PLAINES STANDARDS.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
 - THERE ARE EXISTING TREES ONSITE. REFER TO LANDSCAPE PLAN (BY OTHERS) FOR TREES TO REMAIN.
 - CONTRACTOR SHALL SAWCUT ALONG ALL EXISTING PAVEMENT TO PROVIDE CLEAN UNIFORM SURFACE TO TIE INTO PROPOSED PAVEMENT.
 - CONTRACTOR SHALL RESTORE ALL DAMAGED PARKWAYS WITH SOG.

BENCHMARKS

LOCATIONS SHOWN ON SURVEY

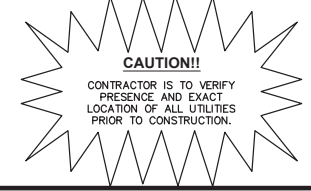
REFERENCE BENCHMARK:
VERTICAL DATUM - NAVD88

ALL ELEVATIONS SHOWN HERON WERE ESTABLISHED BY USING RTK/GPS OBSERVATIONS BASED ON TRIMBLE VRS HARN NETWORK

SITE BENCHMARKS:

SITE BENCHMARK #1
SOUTHEAST BOLT ON FIRE HYDRANT ON NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45
ELEVATION = 639.81

SITE BENCHMARK #2
BOLT ON FIRST FIRE HYDRANT WEST OF RAIL ROAD TRACKS ON NORTH SIDE OF PRATT AVENUE
ELEVATION = 641.85



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

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DES PLAINES, IL 60018
PROTOTYPE P6-V-AV
SCHEME: B
RESTAURANT #RC1009
VERSION: 2023-1.0 RELEASE 5.22.2023

ADA ARCHITECTS

17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

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Kimley»Horn
3023 KIMLEY-HORN AND ASSOCIATES, INC.
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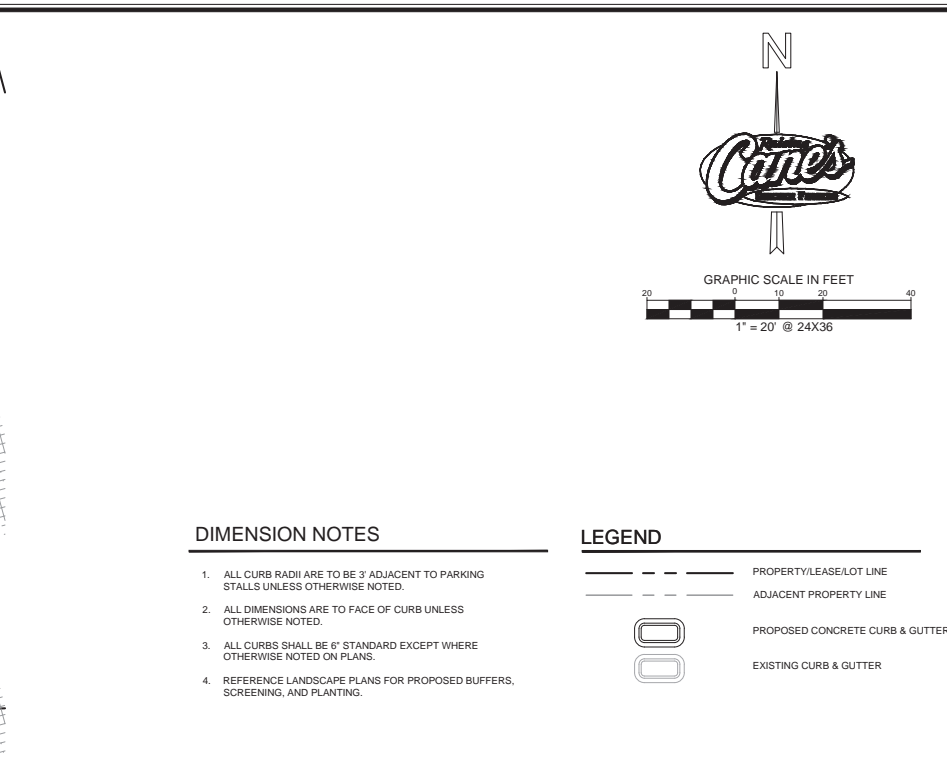
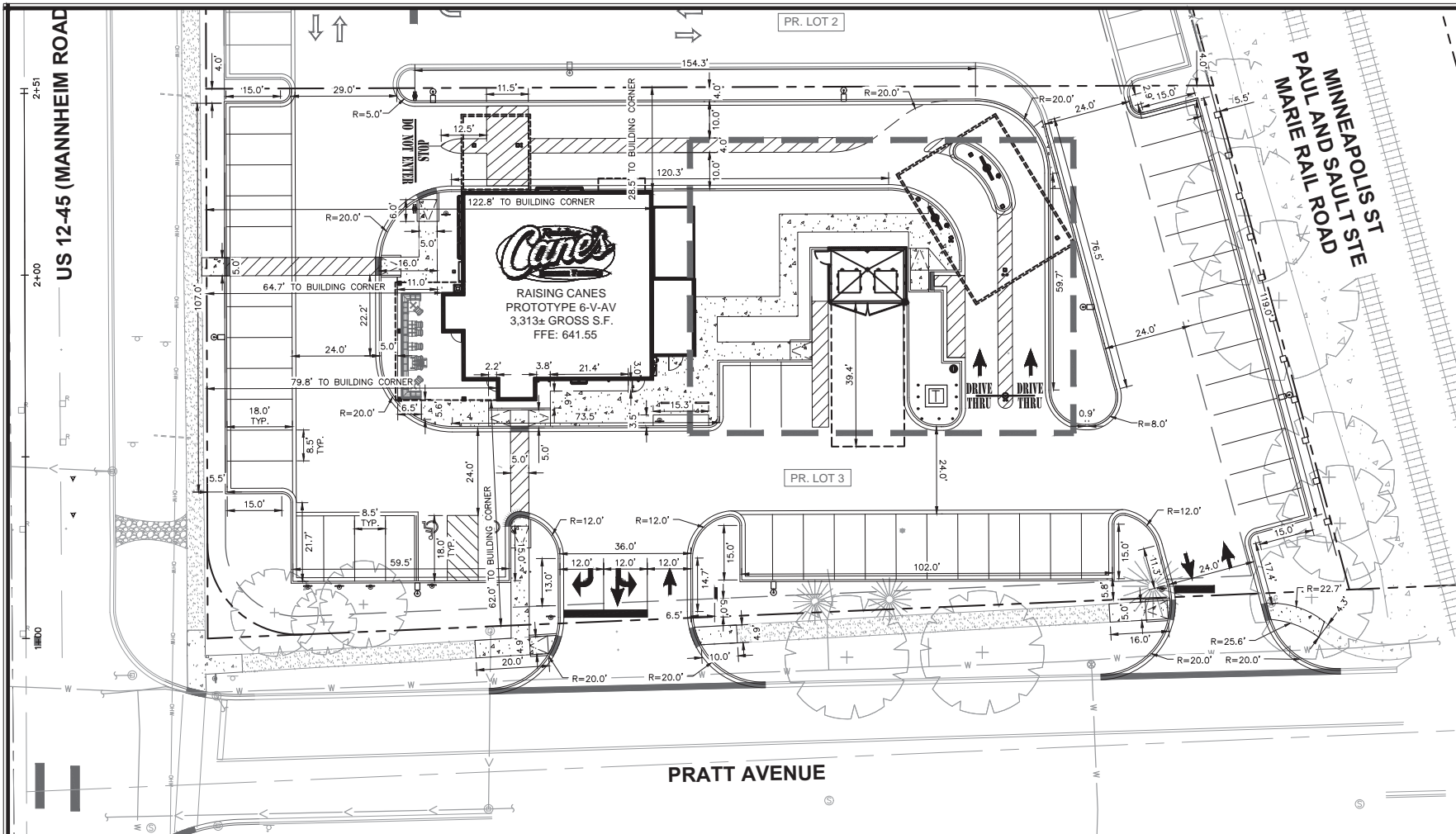
KH JOB NO. 168418039

SHEET REVISIONS

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SITE KEYNOTE PLAN

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C5.0
SHEET NO.

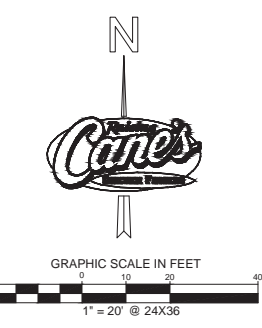


DIMENSION NOTES

1. ALL CURB RADII ARE TO BE 3' ADJACENT TO PARKING STALLS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
4. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

LEGEND

- PROPERTY/LEASE/LOT LINE
- - - ADJACENT PROPERTY LINE
- ▭ PROPOSED CONCRETE CURB & GUTTER
- ▭ EXISTING CURB & GUTTER



STORE:
RAISING CANE'S RESTAURANT
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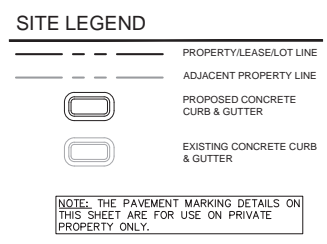
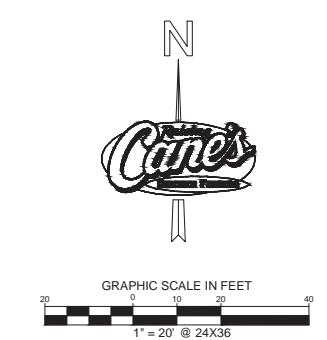
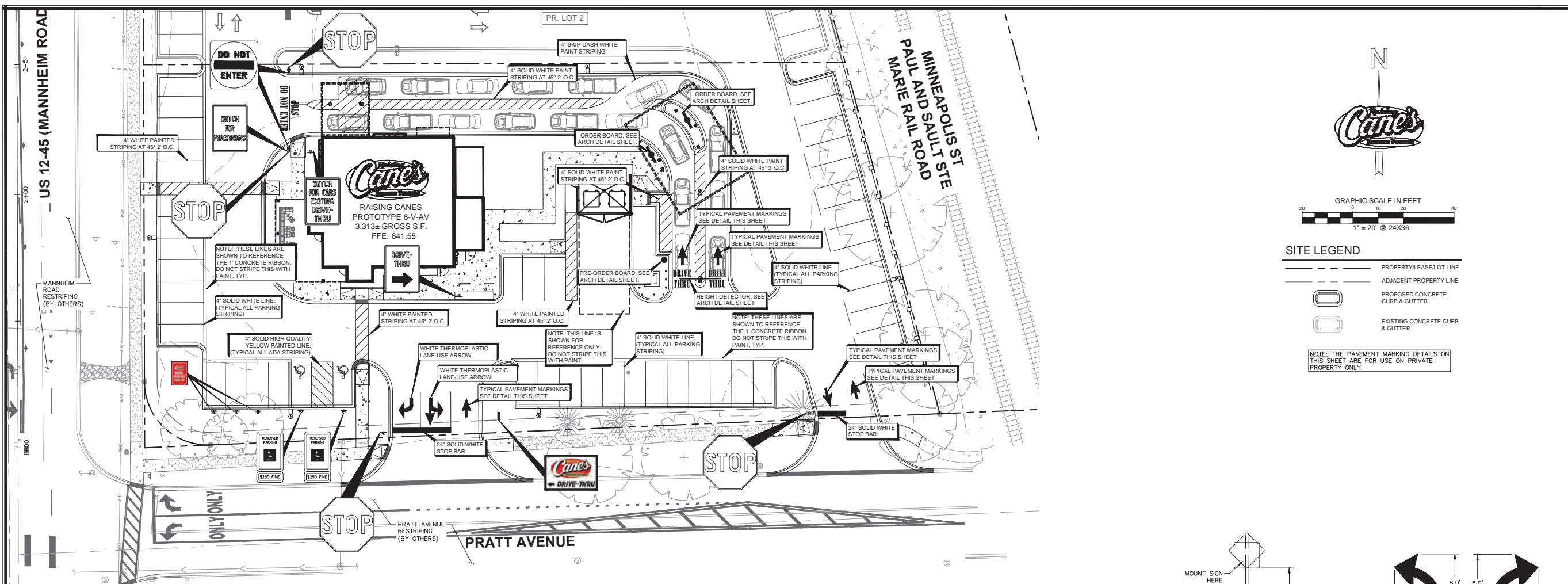
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DIMENSION CONTROL PLAN
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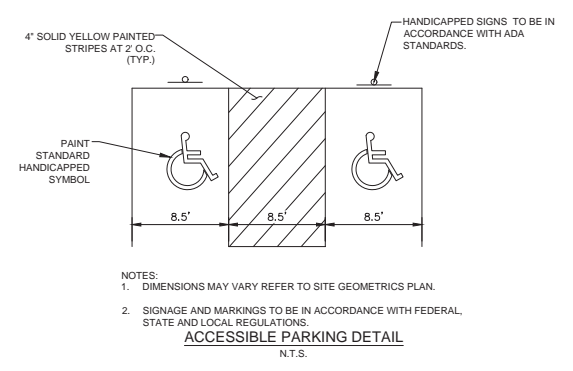
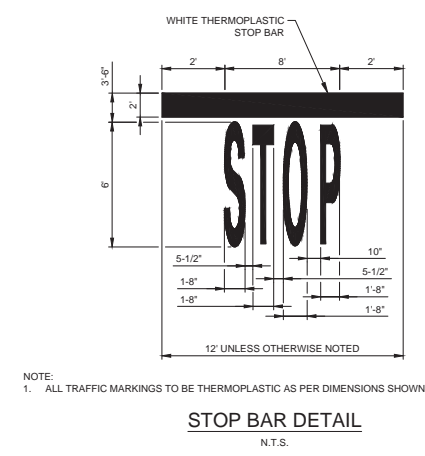
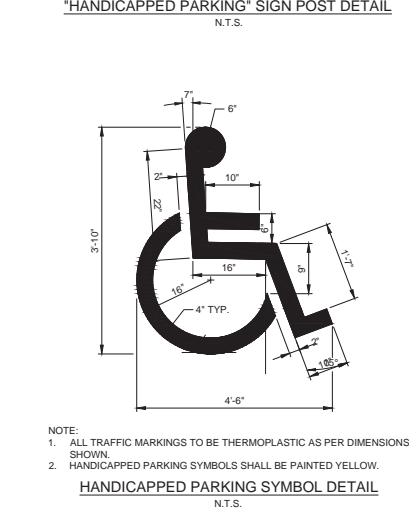
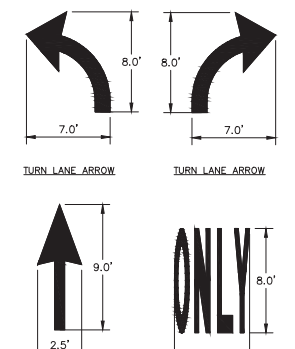
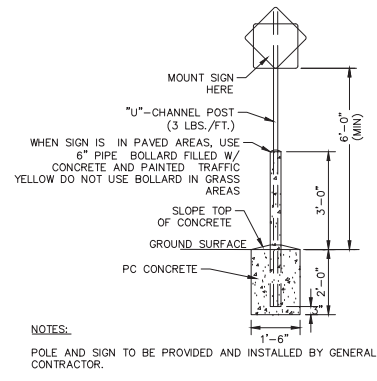
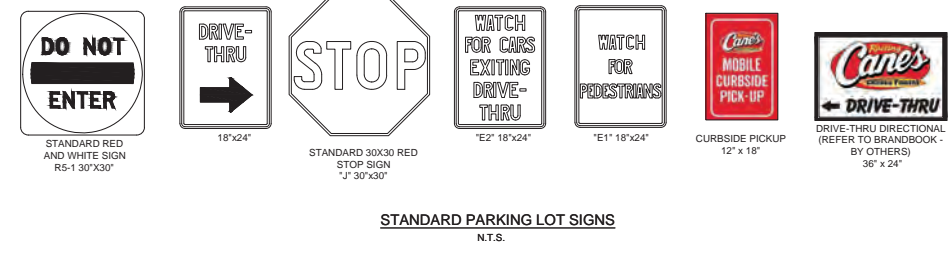
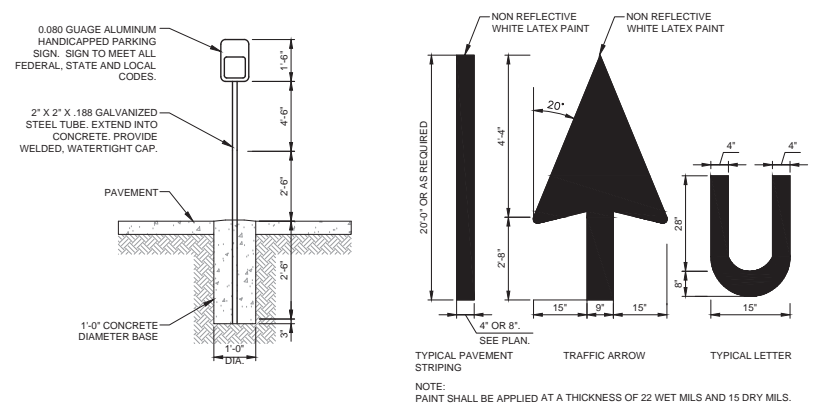
BENCHMARKS

LOCATIONS SHOWN ON SURVEY
 REFERENCE BENCHMARK:
 VERTICAL DATUM - NAVD88
 ALL ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY USING RTK/GPS OBSERVATIONS BASED ON TRIMBLE VRS HARN NETWORK.
 SITE BENCHMARKS:
 SITE BENCHMARK #1
 SOUTHEAST BOLT ON FIRE HYDRANT ON NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45
 ELEVATION = 639.81
 SITE BENCHMARK #2
 BOLT ON FIRST FIRE HYDRANT WEST OF RAIL ROAD TRACKS ON NORTH SIDE OF PRATT AVENUE
 ELEVATION = 641.85

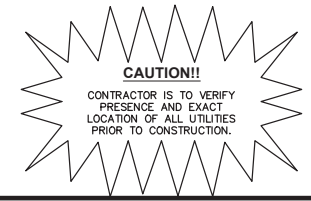




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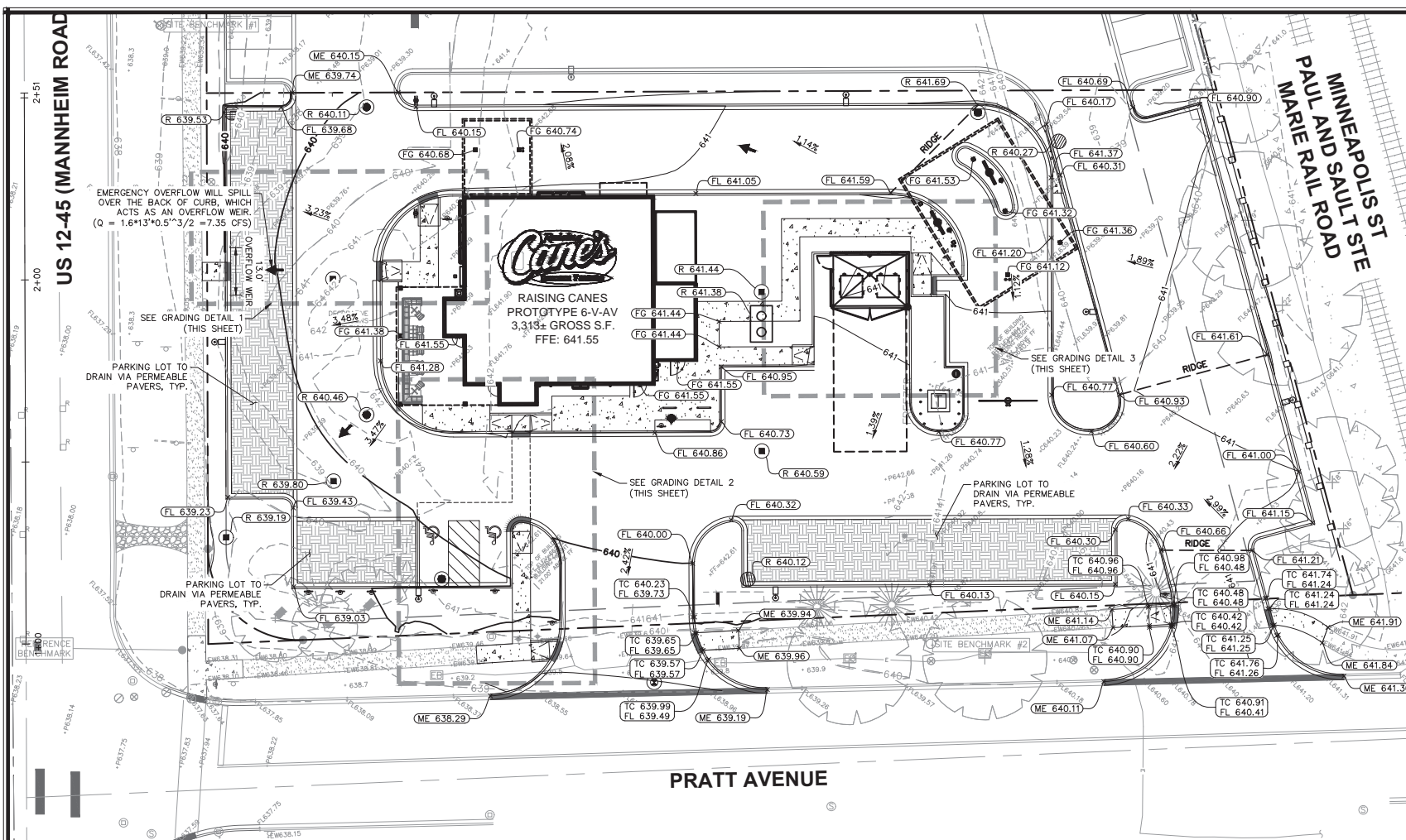
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STRIPING AND SIGNAGE PLAN
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C5.2
 SHEET NO.

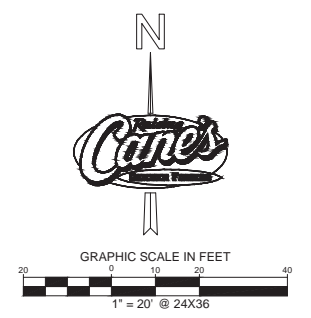


- GRADING LEGEND**
- PROPERTY/LEASE/LOT LINE
 - ADJACENT PROPERTY LINE
 - EXISTING EASEMENT
 - - - 650 --- EXISTING CONTOUR
 - - - 650 --- PROPOSED CONTOUR
 - 1.00% --- PROPOSED FLOW ARROW WITH SLOPE
 - FL --- FLOW LINE
 - TS --- TOP OF SLAB (DUMPSTER PAD)
 - ME --- MATCH EXISTING ELEVATION
 - FG --- FINISHED GRADE
 - EG --- EXISTING GRADE
 - R --- RIM ELEVATION
 - RIDGE --- PROPOSED RIDGE
 - ← 100 YEAR OVERLAND FLOW ROUTE

- UTILITY LEGEND**
- ⊕ EX. HYDRANT
 - ⊗ EX. SANITARY SEWER MANHOLE
 - ⊙ EX. STORM MANHOLE
 - ⊚ EX. STORM STRUCTURE
 - ⊛ PROPOSED STORM STRUCTURE
 - ⊜ PROPOSED SANITARY MANHOLE
 - ⊝ PROPOSED STORM/SANITARY CLEANOUT
 - ⊞ PROPOSED WATER STRUCTURE
 - ⊟ PROPOSED TRANSFORMER
 - ⊠ LIGHT POLE

GRADING NOTES

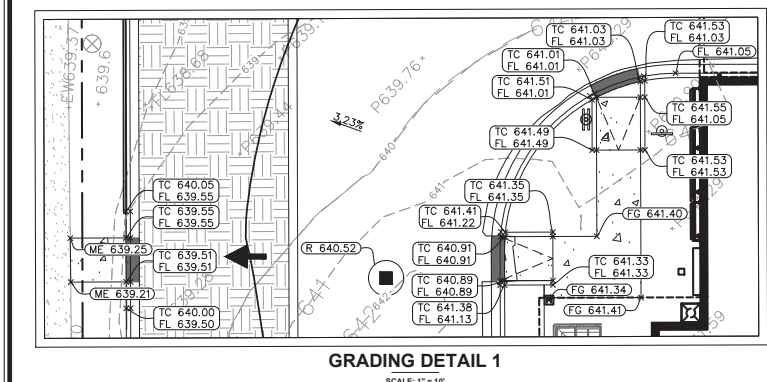
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF DES PLAINES STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. FOR CURRENT TOPOGRAPHIC INFORMATION REFER TO SHEETS V0.0 AND V0.1 ALTA SURVEY. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
15. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE. CONTRACTOR SHALL CONFIRM ALL EXISTING MANHOLES WITHIN PROJECT AREA ARE IN COMPLIANCE WITH CURRENT CITY OF DES PLAINES REQUIREMENTS. CONTRACTOR SHALL IMPROVE STRUCTURES AS NECESSARY TO MEET CURRENT REQUIREMENTS.
16. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
17. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
18. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
19. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
20. ALL VEGETATION SHALL BE CLEARED AND GRUBBED FOR ALL AREAS TO BE DISTURBED.
21. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.



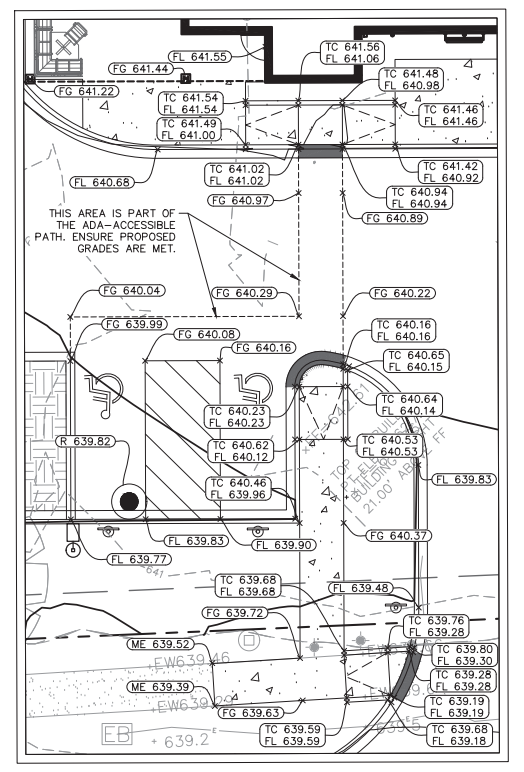
RAISING CANE'S
RESTAURANT
2781 MANNHEIM RD
DES PLAINES, IL 60018
PROTOTYPE P6-V-AV
SCHEME: B
RESTAURANT #RC1009
VERSION: 2023-1.0 RELEASE 5.22.2023



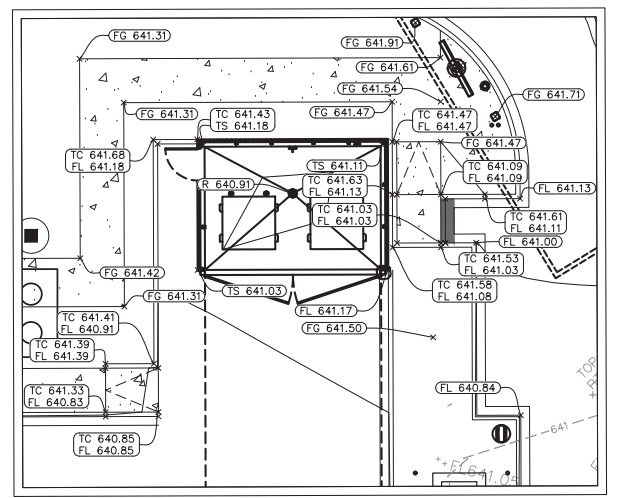
17710 Detroit Avenue
Lakewood, Ohio 44107
Phone (216) 521-5134
Fax (216) 521-4824
www.adaarchitects.com



GRADING DETAIL 1
SCALE: 1" = 10'



GRADING DETAIL 2
SCALE: 1" = 10'



GRADING DETAIL 3
SCALE: 1" = 10'



SHEET REVISIONS

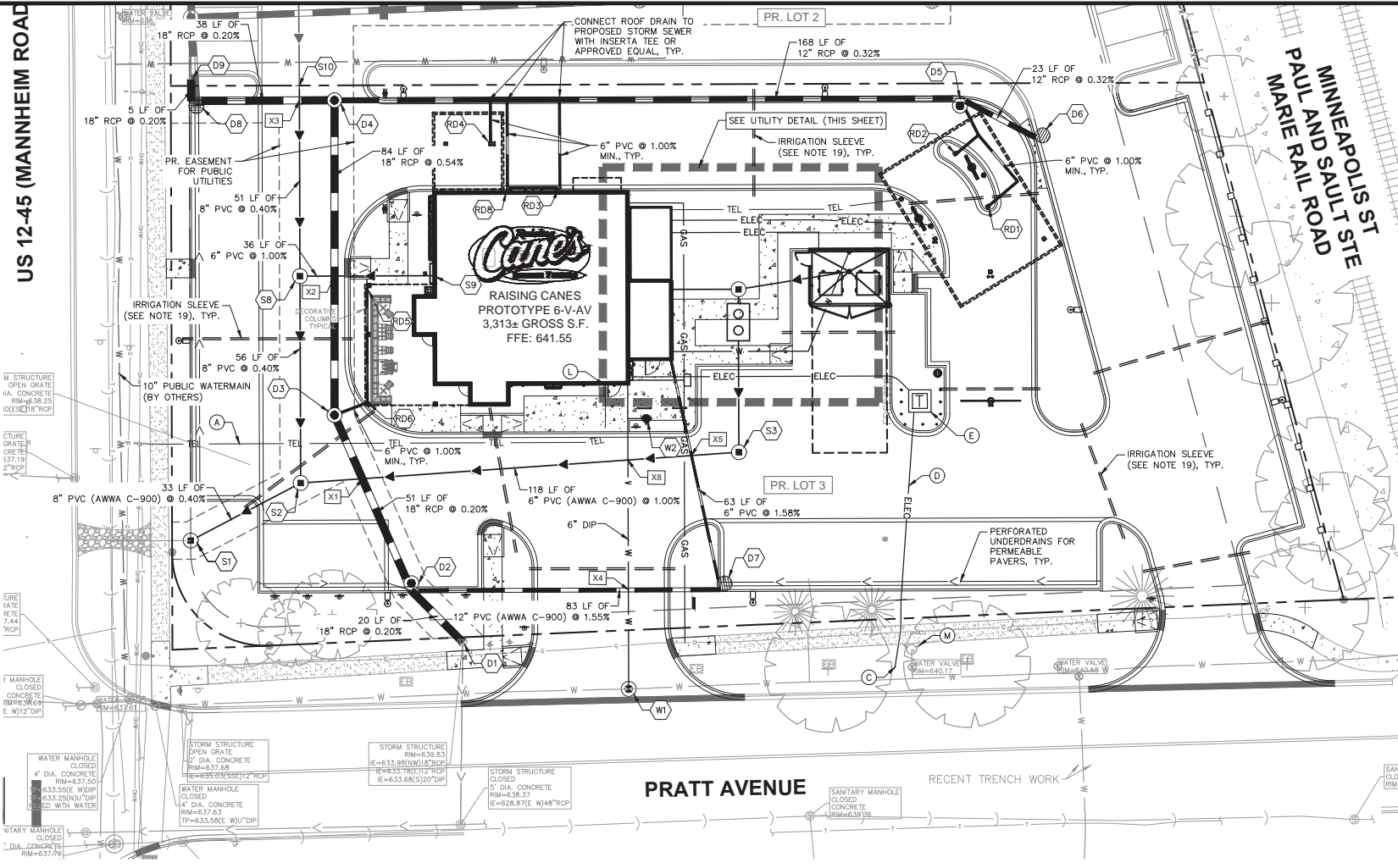
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GRADING PLAN

ISSUE DATE: 08/01/2023
JOB NO. 22297

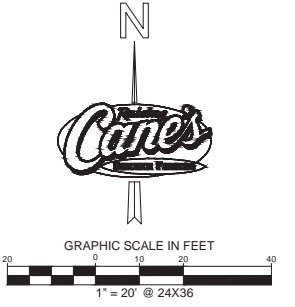
C6.0
SHEET NO.

US 12-45 (MANNHEIM ROAD)



BENCHMARKS

LOCATIONS SHOWN ON SURVEY
 REFERENCE BENCHMARK:
 VERTICAL DATUM - NAVD83
 ALL ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY USING RTK/GPS OBSERVATIONS BASED ON TRIMBLE VRS HARN NETWORK
 SITE BENCHMARKS:
 SITE BENCHMARK #1
 SOUTH-EAST BOLT ON FIRE HYDRANT ON NORTH OF PRATT AVENUE ON EAST SIDE OF ROUTE 45 ELEVATION = 639.81
 SITE BENCHMARK #2
 BOLT ON FIRST FIRE HYDRANT WEST OF RAIL ROAD TRACKS ON NORTH SIDE OF PRATT AVENUE ELEVATION = 641.85

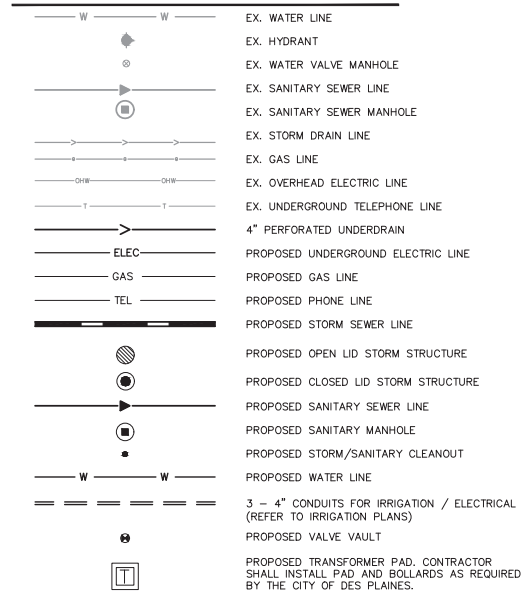


UTILITY CROSSING LEGEND

| | | |
|----|----------------------|------------------------------|
| X1 | 18" STORM 6" SSWR | B/P = 633.58 T/P = 633.36 |
| X2 | 18" STORM 6" SSWR | B/P = 633.82 T/P = 633.63 |
| X3 | 18" STORM 6" SSWR | B/P = 634.09 T/P = 633.87 |
| X4 | 12" STORM 6" WATR | B/P = 634.45 T/P = 632.95 |
| X5 | 6" STORM 6" SSWR | B/P = 635.56 T/P = 634.24 |
| X6 | 6" SSWR 1" WATR | B/P = 634.21 T/P = 632.42 |
| X7 | 6" SSWR 1" WATR | B/P = 634.97 T/P = 633.47 |
| X8 | 6" SSWR 6" WATR | B/P = 633.54 T/P = 632.04 |

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/WMQ MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3159 OR DUCTILE IRON PIPE RCP STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

UTILITY LEGEND

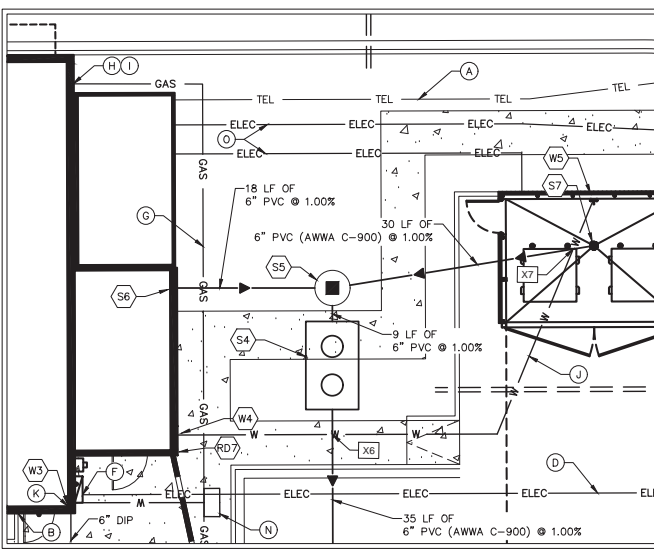


UTILITY KEYNOTE LEGEND

| | |
|-----|---|
| (A) | INSTALL TWO 4" SCHEDULE 40 PVC CONDUIT WITH PULL WIRE FOR TELEPHONE AND INTERNET. SEE ELECTRICAL PLANS. |
| (B) | PROPOSED TELEPHONE AND INTERNET ENTRY. REFERENCE ELECTRICAL PLANS FOR CONNECTION. |
| (C) | BEGIN UNDERGROUND ELECTRIC CONDUIT. |
| (D) | INSTALL TWO 4" SCHEDULE 40 PVC WITH PULL WIRE FOR ELECTRIC. |
| (E) | PROPOSED VAULT MOUNTED TRANSFORMER. CONCRETE PAD BY DEVELOPER. CONTRACTOR TO INSTALL BOLLARD PER COMED REQUIREMENTS. |
| (F) | PROPOSED ELECTRIC SERVICE ENTRY. REFERENCE ELECTRICAL PLANS. |
| (G) | INSTALL ONE 2" PVC CONDUIT FOR GAS SERVICE LINE. |
| (H) | GAS METER LOCATION. |
| (I) | GAS ENTRY. REFERENCE PLUMBING PLANS FOR CONTINUATION. |
| (J) | PROPOSED TWO 1" WATER TO DUMPSTERS WITH RPZ VALVES. REFERENCE MEP PLANS. |
| (K) | PROPOSED 6" WATER LINE ENTRY. PROPOSED 2" DOMESTIC TAP AND VALVE OFF OF 6" WATER LINE TO BE LOCATED INSIDE BUILDING. WATER METER AND BACKFLOW PREVENTERS TO BE LOCATED INSIDE BUILDING. REFERENCE MEP PLANS FOR CONTINUATION. |
| (L) | PROPOSED FIRE DEPARTMENT CONNECTION. REFER TO ARCHMEP PLANS FOR DETAILS. |
| (M) | EXISTING FIRE HYDRANT. |
| (N) | 1" IRRIGATION LINE. CONNECT TO IRRIGATION BOX. (BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING). |
| (O) | ELECTRIC CONDUIT TO TRASH ENCLOSURE & MENU BOARD. REFERENCE ELECTRICAL PLAN FOR SIZE AND MATERIAL. |

UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURE PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- WATER LINES SHALL BE AS FOLLOWS:
 PRIVATE (LARGER THAN 3 INCHES): DUCTILE IRON PIPE, CLASS 52 OR POLYVINYL CHLORIDE PLASTIC PIPE (ASTM D-3212 AND AWWA C900)
 PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM 888
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF DES PLAINES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER LINE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY OF DES PLAINES STANDARDS.
- WATER TIGHT CONNECTION SHALL BE MADE USING A RESILIENT CONNECTOR "SEAL BOOT" PER ASTM C-923.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5.5 FEET COVER ON ALL WATER LINES.
- CONTRACTOR TO PROVIDE POWER TO MONUMENT SIGN. REFER TO ELECTRICAL SITE PLAN FOR SIZE AND TYPE.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL PARKING LOT CATCH BASINS & MANHOLES SHALL BE 48" DIAMETER MINIMUM.
- REFER TO L2.01 - IRRIGATION PLAN BY BELLA FIRMA FOR EXACT LOCATIONS OF THE IRRIGATION SLEEVES.



UTILITY DETAIL

SCALE: 1" = 10'
 NOTE: REFERENCE MEP PLANS FOR EXACT LOCATION OF ALL UTILITY BUILDING ENTRIES.

| STORM STRUCTURE TABLE | |
|-----------------------|---|
| STRUCTURE NAME: | DETAILS: |
| D1 | CONNECT TO EXISTING STORM SEWER MH. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EX. SEWER PRIOR TO ORDERING MATERIALS. RIM: 639.81 INV IN: 633.68 (NW, 18") INV OUT: 633.68 (S, 21") |
| D2 | CLOSED-LID MANHOLE RIM: 639.82 INV IN: 633.72 (NW, 18") INV IN: 633.72 (E, 12") INV OUT: 633.72 (SE, 18") |
| D3 | CLOSED-LID MANHOLE RIM: 640.46 INV IN: 633.82 (E, 6") INV IN: 633.82 (N, 18") INV OUT: 633.82 (SE, 18") |
| D4 | CLOSED-LID MANHOLE RIM: 640.11 INV IN: 634.28 (E, 12") INV IN: 634.28 (W, 18") INV OUT: 634.28 (S, 18") |
| D5 | CLOSED-LID MANHOLE RIM: 641.69 INV IN: 634.82 (SE, 12") INV IN: 638.37 (SE, 6") INV OUT: 634.82 (W, 12") |
| D6 | OPEN-LID MANHOLE RIM: 640.27 INV OUT: 634.89 (NW, 12") |
| D7 | OPEN-LID MANHOLE RIM: 640.12 INV IN: 635.00 (N, 6") INV OUT: 635.00 (W, 12") |
| D8 | OPEN-LID MANHOLE RIM: 639.53 INV IN: 634.36 (N, 18") INV OUT: 634.36 (E, 18") |
| D9 | STORM SEWER STUB RIM: 636.82 INV OUT: 634.37 (S, 18") |

| MISCELLANEOUS STORM STRUCTURE TABLE | |
|-------------------------------------|--|
| STRUCTURE NAME: | DETAILS: |
| RD1 | DT CANOPY DRAIN INV OUT: 638.75 (NE, 6") |
| RD2 | DT CANOPY DRAIN INV OUT: 638.56 (NE, 6") |
| RD3 | ROOF DRAIN INV OUT: 634.96 (N, 6") |
| RD4 | DT CANOPY DRAIN INV OUT: 634.74 (N, 6") |
| RD5 | PATIO CANOPY DRAIN INV OUT: 634.22 (S, 6") |
| RD6 | PATIO CANOPY DRAIN INV IN: 633.92 (N, 6") INV OUT: 633.92 (W, 6") |
| RD7 | ROOF DRAIN INV OUT: 636.00 (S, 6") |
| RD8 | ROOF DRAIN INV OUT: 634.93 (N, 6") |

| WATER STRUCTURE TABLE | |
|-----------------------|--|
| STRUCTURE NAME: | DETAILS: |
| W1 | PRESSURE CONNECT TO EXIST WATER IN VALVE VAULT. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING WATER LINE PRIOR TO ORDERING MATERIALS. FG ELEV: 638.97 |
| W2 | FIRE HYDRANT FG ELEV: 641.36 |
| W3 | WATER CONNECTION FG ELEV: 641.55 |
| W4 | WATER CONNECTION FG ELEV: 641.55 |
| W5 | POST HYDRANT (FOR HOSE BIB) SEE ARCHITECTURAL PLANS. FG ELEV: 641.14 |

| SANITARY STRUCTURE TABLE | |
|--------------------------|--|
| STRUCTURE NAME: | DETAILS: |
| S1 | DOORHOUSE MANHOLE CONNECTION TO EXISTING SEWER SERVICE. CONTRACTOR TO TELETYPE REMAINDER OF EXISTING SERVICE LINE WEST TO PUBLIC MAIN. SUBMIT VIDEO TO KIMLEY-HORN FOR REVIEW PRIOR TO ORDERING MATERIALS. RIM: 639.19 INV IN: 632.44 (NE, 8") INV OUT: 632.34 (W, 8") |
| S2 | 4" DIA. SANITARY MANHOLE RIM: 639.80 INV IN: 632.67 (E, 6") INV IN: 632.67 (N, 8") INV OUT: 632.57 (SW, 8") |
| S3 | 4" DIA. SANITARY MANHOLE RIM: 640.59 INV IN: 633.95 (N, 6") INV OUT: 633.85 (W, 6") |
| S4 | 1,500 GAL GREASE INTERCEPTOR (REFER TO PLUMBING PLANS BY OTHERS) RIM: 641.38 INV IN: 634.55 (N, 6") INV OUT: 634.30 (S, 6") |
| S5 | 4" DIA. SANITARY MANHOLE RIM: 641.44 INV IN: 634.74 (W, 6") INV IN: 634.74 (E, 6") INV OUT: 634.64 (S, 6") |
| S7 | 4" PVC DRAIN WITH CLOSED/LOCKED ZURN-2315 ACCESS COVER (REFER TO ARCH PLANS FOR DETAILS) RIM: 640.91 INV OUT: 635.04 (W, 6") |
| S8 | 4" DIA. SANITARY MANHOLE RIM: 640.52 INV IN: 633.00 (E, 6") INV IN: 633.00 (N, 8") INV OUT: 632.90 (S, 8") |

| MISCELLANEOUS SANITARY STRUCTURE TABLE | |
|--|--|
| STRUCTURE NAME: | DETAILS: |
| S6 | SANITARY BUILDING CONNECTION INV OUT: 634.92 (E, 6") |
| S9 | SANITARY BUILDING CONNECTION INV OUT: 633.35 (W, 6") |
| S10 | SANITARY SEWER STUB INV OUT: 633.20 (S, 8") |



STORE:
RAISING CANE'S RESTAURANT
 2781 MANNHEIM RD
 DES PLAINES, IL 60018
 PROTOTYPE P6-V-AV
 SCHEME: B
 RESTAURANT #RC1009
 VERSION: 2023-1.0 RELEASE 5.22.2023



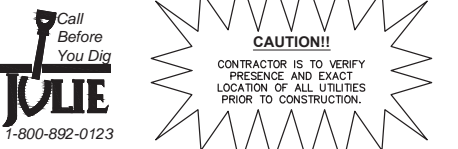
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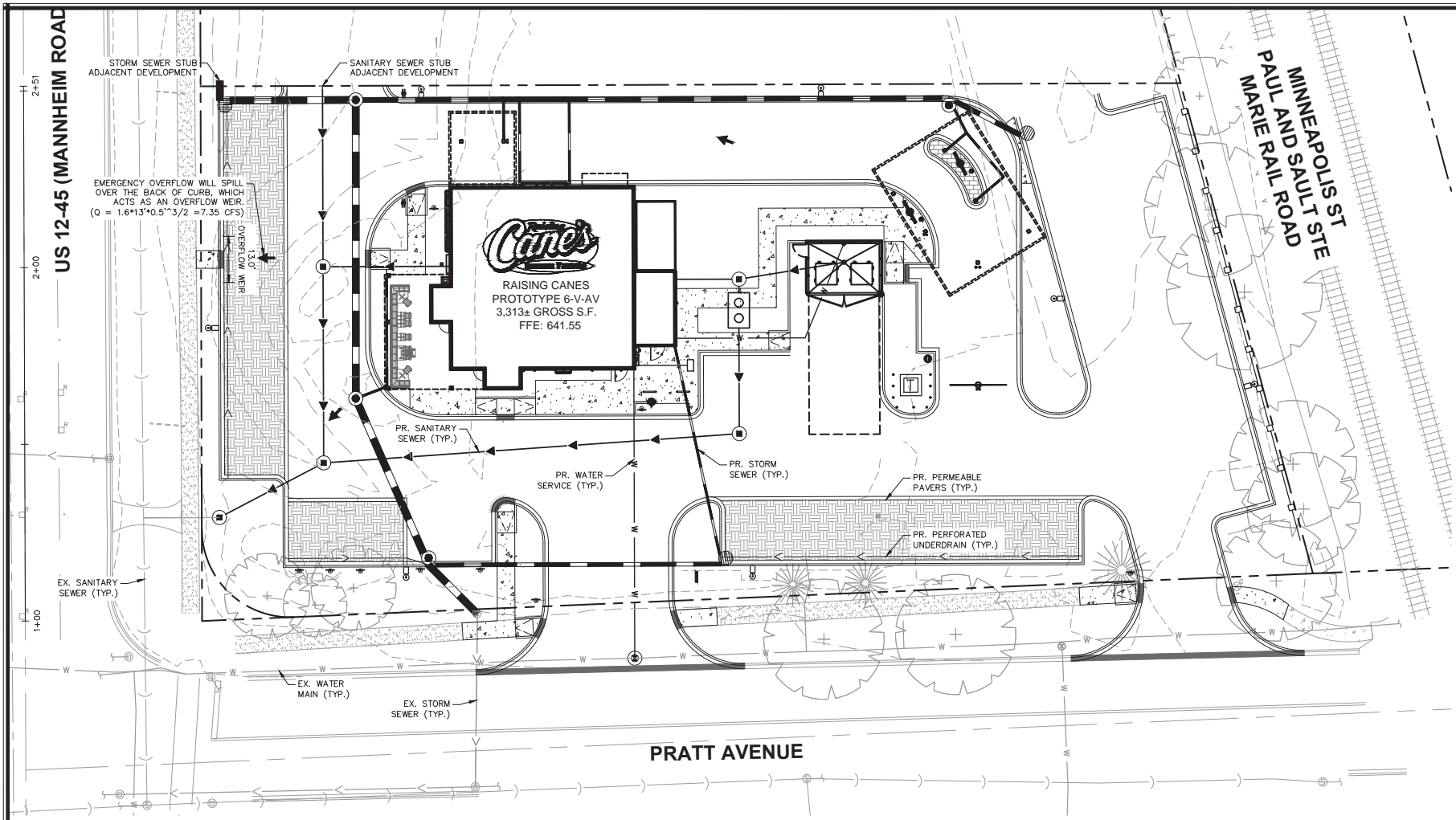
ENGINEER INFORMATION:
Kimley»Horn
 3023 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 MNFIELD ROAD, SUITE 600, IL 60555
 PHONE: 630-487-5550
 WWW.KIMLEY-HORN.COM
 KH JOB NO. 168418039

| SHEET REVISIONS | | |
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UTILITY PLAN

ISSUE DATE: 08/01/2023
 JOB NO. 22297
C7.0
 SHEET NO.





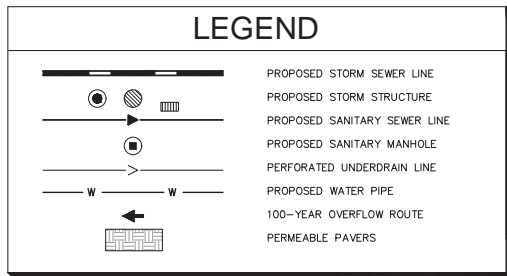
RESPONSIBLE PARTY

PERMEABLE PAVERS:
 RAISING CANES RESTAURANTS, L.L.C.
 6800 BISHOP ROAD,
 PLANO, TX 75024
 TEL: (972) 769-3364
 CONTACT: LUARON FOSTER

SITE SUMMARY

PROPERTY ADDRESS: 2777 MANNHEIM RD. DES PLAINES, IL
 PROPERTY INDEX NUMBERS: 09-33-108-022-0000, 09-33-108-023-0000

1. PROPERTY AREA: 0.98 ACRES
 2. VOLUME CONTROL REQUIRED: 0.06 AC-FT
 3. VOLUME CONTROL PROVIDED: 0.06 AC-FT



MAINTENANCE PLAN

STORMWATER MANAGEMENT FACILITIES
 ALL COMPONENTS OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE CHECKED MONTHLY BETWEEN MARCH AND NOVEMBER AND MAINTAINED AS NECESSARY TO ENSURE PROPER PERFORMANCE. IT IS CRITICAL THAT ALL INFLOW AND OUTFLOW TO THE VOLUME CONTROL FACILITIES ARE CLEAN AND PERFORMING AS DESIGNED. INSPECTION FOR THE FOLLOWING SPECIFIC ITEMS SHOULD BE CONDUCTED MONTHLY BETWEEN MARCH AND NOVEMBER:

VOLUME CONTROL FACILITY

- INSPECT STORMWATER VOLUME CONTROL FACILITY TO ENSURE THAT THE CONSTRUCTED VOLUME IS MAINTAINED.
- NO SEDIMENT, TOPSOIL, OR OTHER DUMPING INTO THE FACILITY SHALL BE ALLOWED.

QUALIFIED SEWER CONSTRUCTION

- PERFORM MANHOLE INSPECTIONS ONCE EVERY FIVE YEARS, MAKE NECESSARY REPAIRS.
- PERFORM SEWER INSPECTIONS ONCE EVERY FIVE YEARS, MAKE NECESSARY REPAIRS.
- PERFORM REGULAR CLEANING SO THAT EACH SEWER SEGMENT IS CLEANED ONCE EVERY 5 YEARS.
- REMOVE ANY OBSTRUCTIONS PLACED IN MAINTENANCE EASEMENT THAT MAY IMPEDE MAINTENANCE EQUIPMENT ACCESS.

PERMEABLE PAVER MAINTENANCE

WEEKLY MAINTENANCE

PREVENT CONTAMINATION FROM ROUTINE LANDSCAPE MAINTENANCE SUCH AS GRASS CLIPPINGS FROM MOWING, HEDGE TRIMMING, MULCHING PLANT BEDS, ETC. BY IMPLEMENTING THE FOLLOWING JOINT OPENING CLEANING PROCEDURES IMMEDIATELY AFTER CONTAMINATION OCCURS:

- HAND BROOM DEBRIS FROM THE PAVER SURFACE.
- BLOW DEBRIS FROM THE PAVER SURFACE WITH BACKPACK BLOWER TYPE DEVICE, COLLECT AND DISPOSE.
- MECHANICALLY SWEEP PAVER SURFACE.

MONTHLY MAINTENANCE

OBSERVE ANY COLLECTION AREAS OF DEBRIS, DIRT, TOPSOIL, MULCH, ETC. AFTER SEASON EVENTS SUCH AS SNOWFALL, RAIN STORMS, LEAF LITTER, ETC. AND INVESTIGATE IF CLOGGING IS OCCURRING. IMMEDIATELY RESTORE INFILTRATION USING THE FOLLOWING CLEANING OPTIONS:

- BREAK UP ANY CRUST COVERING THE JOINT AGGREGATE MATERIAL WITH HAND BROOM FOR SMALLER AREAS OR MECHANICALLY WITH A ROTARY SWEEPER FOR LARGER AREAS. REMOVE DEBRIS MATERIAL.
- WHEN NECESSARY, RESTORE INFILTRATION USING WET/DRY SHOP VACUUM FOR SMALL AREAS OR VACUUM TRUCK FOR LARGER AREAS BY REMOVING DEBRIS FROM JOINT AGGREGATE MATERIAL.
- REPLENISH JOINT AGGREGATE MATERIAL TO "LIP" OF PAVER.

YEARLY MAINTENANCE

ESTABLISH A SEASONAL MAINTENANCE SCHEDULE THAT INCLUDES THE FOLLOWING:

- SWEEP ENTIRE PERMEABLE PAVING SURFACE WITH APPROPRIATE PREVENTATIVE SWEEPING DEVICES.
- REPLENISH JOINT AGGREGATE MATERIAL TO "LIP" OF PAVER.

JOINT FILLER MAINTENANCE

- REFILL JOINT MATERIAL ONCE BETWEEN 3 AND 6 MONTHS AFTER INITIAL INSTALLATION.
- REFILL JOINT MATERIAL AS NEEDED APPROXIMATELY EVERY 5-10 YEARS.

NOTE: ANY ADDITIONAL MAINTENANCE PROCEDURES RECOMMENDED BY THE PAVER MANUFACTURER SHALL BE FOLLOWED

LEGAL DESCRIPTION

LOTS 12, 13, 14, 15, 16, 17, 18 AND 19 IN BLOCK 8 IN OLIVER SALINGER AND COMPANY'S GLEN ACRES SUBDIVISION IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 3, 1939 AS DOCUMENT 12335452, IN COOK COUNTY, ILLINOIS.

MAINTENANCE PLAN

GENERAL MAINTENANCE

REGULAR INSPECTIONS AND ROUTINE MAINTENANCE OF GENERAL AREAS SHALL BE PERFORMED ON A MONTHLY OR AS-NEEDED BASIS. SPECIFIC ITEMS OF CONCERN INCLUDE:

- LITTER AND DEBRIS SHALL BE CONTROLLED.
- LANDSCAPED AREAS SHALL BE MAINTAINED WITH REGULAR MOWING AND RESTORED WITH APPROPRIATE SEEDING/VEGETATION AS NECESSARY.
- ACCUMULATED SEDIMENT SHALL BE DISPOSED OF PROPERLY, ALONG WITH ANY WASTES GENERATED DURING MAINTENANCE OPERATIONS.
- ROADS SHALL BE SEPT, VACUUMED AND OR WASHED ON A REGULAR BASIS.

STORMWATER COLLECTION SYSTEM

THE OWNER SHALL PERFORM MONTHLY INSPECTION OF ALL COMPONENTS OF THE COLLECTION SYSTEM. THE MONTHLY INSPECTION SHALL OCCUR BETWEEN MARCH AND NOVEMBER AND INCLUDE THE FOLLOWING SPECIFIC AREAS OF CONCERN:

STORM INLETS/MANHOLE

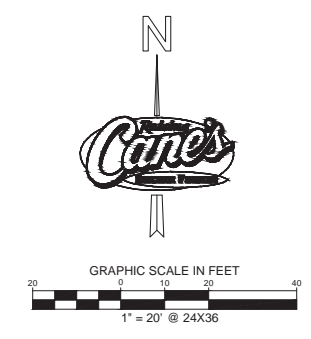
- REMOVE ACCUMULATED LEAVES AND OTHER DEBRIS FROM GRATES.
- RESET COVERS/LIDS ON AS-NEEDED BASIS.
- REMOVE ACCUMULATED SEDIMENT FROM MANHOLE BOTTOM WHEN 50% OF SUMP IS FILLED.

STORM SEWERS/CULVERTS

- VISUALLY INSPECT PIPES BY REMOVING MANHOLE LIDS, MAKE REPAIRS AS NECESSARY.
- STORM SEWERS AND CULVERTS SHALL BE CHECKED FOR SILTATION DEPOSITS AT INLETS, OUTLETS, AND WITHIN THE CONDUIT. CLEAN OUT AS NECESSARY.
- RESTORE RIPRAP AT OUTFALL IF EROSION IS OBSERVED.
- REPLANT AND RESEED ANY ERODED AREAS.

OVERLAND FLOW ROUTES (DITCHES/SWALES)

- ANNUAL VISUAL INSPECTION SHALL BE PERFORMED THAT VERIFY THE DESIGN CAPACITY OF THE OVERLAND FLOW ROUTES IS MAINTAINED THE SLOPE AND CROSS-SECTIONAL AREA OF THE DITCH/SWALE SHALL BE VERIFIED DURING THIS INSPECTION.
- REMOVE ANY OBSTRUCTIONS THAT HAVE BEEN PLACED IN THE DRAINAGE PATH.
- SEED AND SOD ANY ERODED AREAS.
- REGRADE TO PROVIDE POSITIVE DRAINAGE AS NECESSARY.
- PROVIDE REGULAR MOWING TO CONTROL VEGETATION.



STORE:
RAISING CANE'S RESTAURANT
 2781 MANNHEIM RD
 DES PLAINES, IL 60018
 PROTOTYPE P6-V-AV
 SCHEME: B
 RESTAURANT #RC1009
 VERSION: 2023-1.0 RELEASE 5.22.2023



PERMIT SET

ENGINEER INFORMATION:
Kimley»Horn
 3023 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600, IL 60555
 PHONE: 630-487-5550
 WWW.KIMLEY-HORN.COM

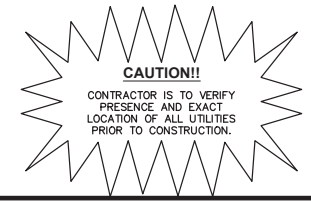
KH JOB NO. 168418039

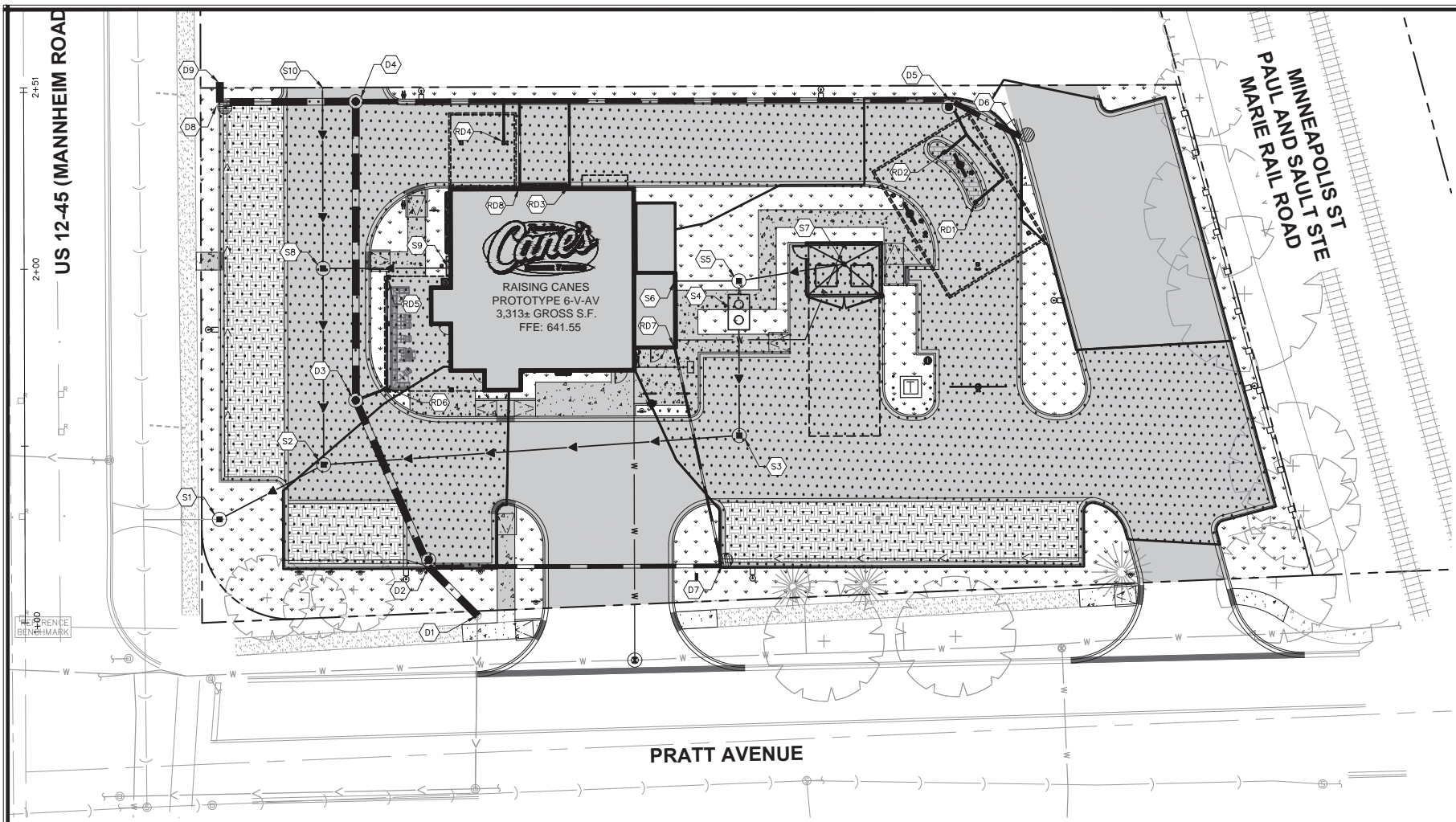
SHEET REVISIONS

| # | DATE | TYPE |
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MRWD MAINTENANCE & MITIGATION PLAN

ISSUE DATE: 08/01/2023
 JOB NO. 22297
C8.0
 SHEET NO.





MWRD DETENTION STATISTICS

| | |
|--|------------|
| 1. PROPERTY AREA | 0.98 ACRES |
| 2. INLET TIME OF CONCENTRATION | 10 MINUTES |
| 3. RAINFALL DEPTH FOR 100-YR 24-HR EVENT | 8.57 INCH |
| 4. VOLUME CONTROL REQUIRED | 0.06 AC-FT |
| 5. VOLUME CONTROL PROVIDED | 0.06 AC-FT |

DRAINAGE LEGEND

| | | |
|--|---|--------------|
| | ONSITE IMPERVIOUS AREA ROOFS, ASPHALT, CONCRETE | = 0.69 ACRES |
| | ONSITE PERVIOUS AREA GRASS | = 0.20 ACRES |
| | PERMEABLE PAVERS AREA | = 0.09 ACRES |
| | IMPERVIOUS AREA TRIBUTARY TO VOLUME CONTROL PERMEABLE PAVERS ROOFS, ASPHALT, CONCRETE | = 0.57 ACRES |



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ENGINEER INFORMATION:
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 4201 WINFIELD ROAD, SUITE 600, IL 60555
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KH JOB NO. 168418039

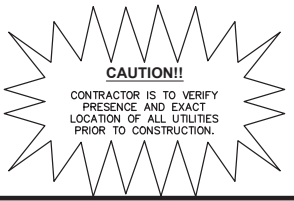
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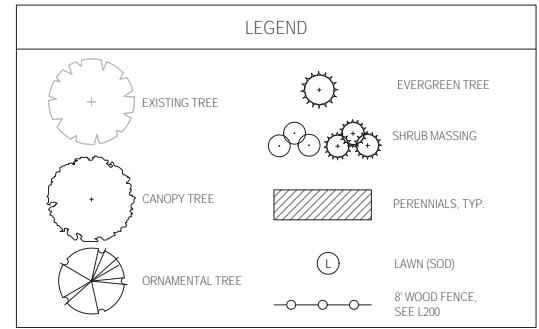
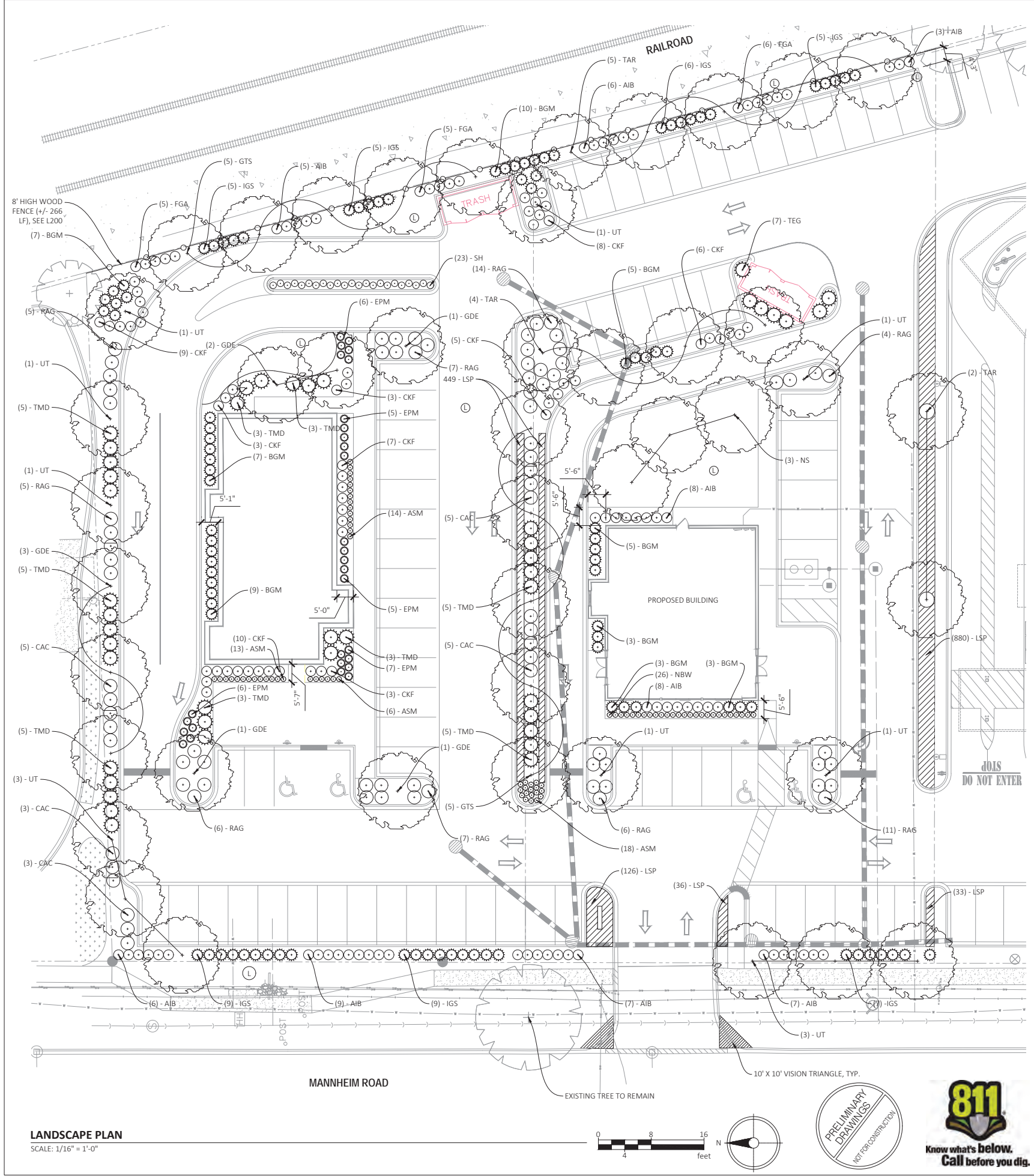
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MWRD DRAINAGE PLAN

ISSUE DATE: 08/01/2023
 JOB NO. 22297

C8.1
 SHEET NO.





| PLANTING SCHEDULE | | | | | | |
|--------------------------------------|-------|---------------------------------|----------------------------------|-----------|----------|--------------|
| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | COMMENTS |
| DECIDUOUS TREES | | | | | | |
| GDE | 8 | GYMNOCLADUS DIOCUS 'ESPRESSO' | ESPRESSO KENTUCKY COFFEETREE | 2.5" CAL. | 35" O.C. | B&B SPECIMEN |
| GTS | 10 | GLEDITSIA TRIACANTHOS 'SKYCOLE' | SKYLINE HONEYLOCUST | 2.5" CAL. | 30" O.C. | B&B SPECIMEN |
| NS | 3 | NYSSA SYLVATICA | BLACK GUM | 2.5" CAL. | 25" O.C. | B&B SPECIMEN |
| TAR | 11 | TILIA AMERICANA 'REDMOND' | REDMOND AMERICAN LINDEN | 2.5" CAL. | 30" O.C. | B&B SPECIMEN |
| UT | 13 | ULMUS 'MORTON GLOSSY' | TRIUMPH ELM | 2.5" CAL. | 40" O.C. | B&B SPECIMEN |
| EVERGREEN TREES | | | | | | |
| TEG | 7 | THUJA OCCIDENTALIS 'SMARAGD' | EMERALD GREEN ARBORVITAE | 6'-8" HT. | 4' O.C. | B&B SPECIMEN |
| DECIDUOUS SHRUBS | | | | | | |
| AIB | 59 | ARONIA MELANOCARPA 'MORTON' | IROQUOIS BEAUTY CHOKEBERRY | #3 CONT. | 36" O.C. | |
| CAC | 21 | CLETHRA ALNIFOLIA 'CALEB' | VANILLA SPICE SUMMERSWEET | #3 CONT. | 48" O.C. | |
| FGA | 16 | FOTHERGILLA GARDENII | DWARF FOTHERGILLA | #3 CONT. | 36" O.C. | |
| RAG | 65 | RHUS AROMATICA 'GRO LOW' | GRO-LOW SUMAC | #3 CONT. | 48" O.C. | |
| EVERGREEN SHRUBS | | | | | | |
| BGM | 52 | BUXUS 'GREEN MOUNTAIN' | GREEN MOUNTAIN BOXWOOD | #3 CONT. | 36" O.C. | |
| IGS | 47 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY | #3 CONT. | 36" O.C. | |
| TMD | 37 | TAXUS x MEDIA 'DENSIFORMIS' | DENSE YEW | #3 CONT. | 48" O.C. | |
| ORNAMENTAL GRASSES | | | | | | |
| CKF | 54 | CALAMOGROSTIS X 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | #3 CONT. | 36" O.C. | |
| SH | 23 | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | #1 | 24" O.C. | |
| PERENNIALS & GROUNDCOVERS | | | | | | |
| ASM | 51 | ALLIUM 'MILLENIUM' | MILLENIUM ALLIUM | #1 CONT. | 18" O.C. | |
| EPM | 29 | ECHINACEA 'CBG CONEZ' | PIXIE MEADOWBRITTE CONEFLOWER | #1 CONT. | 24" O.C. | |
| LSP | 1,524 | LIRIOPE SPICATA | CREeping LILYTURF | QUARTS | 12" O.C. | |
| NBW | 26 | NEPETA 'BLUE WONDER' | BLUE WONDER NEPETA | #1 CONT. | 18" O.C. | |

| LANDSCAPE ORDINANCE REVIEW: DES PLAINES, ILLINOIS | | | |
|---|---|--|---|
| SPECIFIC ORDINANCE | CODE REQUIRES | CALCULATION | COMPLIANCE |
| 12-10-8: PARKING LOT LANDSCAPING | INTERIOR PARKING LOT LANDSCAPING: NOT LESS THAN FIVE PERCENT OF THE INTERIOR OF PARKING LOT SHALL BE DEVOTED TO LANDSCAPING. LANDSCAPED AREAS ALONG THE PERIMETER OF THE PARKING LOT BEYOND THE CURB OF EDGE OF PAVEMENT SHALL NOT BE COUNTED TOWARD THE SATISFACTION OF THIS REQUIREMENT. | INTERIOR OF PARKING LOT = 38,570 SF; 5% OF 38,570 SF = 1,929 SF REQUIRED. | 2,479 SF PROVIDED. |
| | INTERIOR PARKING LOT LANDSCAPING: A MINIMUM OF 50 PERCENT OF EVERY INTERIOR PARKING LOT LANDSCAPING AREA SHALL BE PLANTED WITH AN APPROVED GROUND COVER IN THE APPROPRIATE DENSITY TO ACHIEVE COMPLETE COVER WITHIN TWO YEARS. MULCH MAY BE SUBSTITUTED FOR OTHER GROUND COVER IF IT IS APPLIED TO 100 PERCENT OF THE LANDSCAPING AREA AT A THICKNESS OF AT LEAST TWO INCHES. | ALL INTERIOR LANDSCAPING AREAS PLANTED WITH GROUND COVER ON GROUND PLANE. | 100% PROVIDED. |
| | INTERIOR PARKING LOT LANDSCAPING: ONE SHADE TREE SHALL BE PROVIDED FOR EVERY ONE HUNDRED SF OF LANDSCAPING AREA. | 2,479 SF OF LANDSCAPING AREA PROVIDED; 2,479 / 100 = 25 TREES REQUIRED. | 21 TREES PROVIDED. TREES HAVE BEEN MAXIMIZED GIVEN THE CONSTRAINTS OF THE SITE. 4 ADDITIONAL TREES PROVIDED ALONG THE PERIMETER WHERE MORE SPACE IS AVAILABLE TO ACHIEVE THE 25 TREE QUANTITY REQUIREMENT. SEE ROW BELOW. |
| | PERIMETER PARKING LOT LANDSCAPING - SHADE TREES: ONE SHADE TREE FOR EVERY 40 LF OF PERIMETER LANDSCAPE AREA LENGTH. TREES MAY BE CLUSTERED. | TOTAL PERIMETER LANDSCAPE AREA LENGTH = 600 LF. 600/40 = 15 TREES REQUIRED. | 24 TREES PROVIDED (INCLUDES 4 EXTRA TREES FROM ROW ABOVE). UNDERGROUND AND OVERHEAD UTILITIES PREVENT PERIMETER TREES FROM BEING PLANTED ALONG MANNHEIM ROAD. |
| | PERIMETER PARKING LOT LANDSCAPING - SHRUBS: ONE SHRUB, MEASURING A MINIMUM OF 18 INCHES AT PLANTING AND NOT TO EXCEED FOUR FEET AT MATURITY, FOR EVERY THREE FEET OF PERIMETER LANDSCAPE AREA LENGTH, CLUSTERED OR SPACED LINEARLY. THE LANDSCAPE TREATMENT SHALL RUN 75 PERCENT OF THE YARD WHEN ABUTTING A NON-RESIDENTIAL USE. | TOTAL PERIMETER LANDSCAPE AREA LENGTH = 600 LF. 600 LF * 75% = 450 LF; 450 LF / 3 = 150 SHRUBS REQUIRED. | 150 SHRUBS PROVIDED. |
| 12-10-10: FOUNDATION PLANTING | INTERIOR LOTS: ALL INTERIOR LOTS SHALL BE IMPROVED WITH A MINIMUM LANDSCAPE AREA OF 25% OF THE FOUNDATION OF THE PRINCIPLE STRUCTURES WITH AN EMPHASIS ON STREET-FACING ELEVATIONS. | FOUNDATION = 425 LF; 512 LF * 25% = 107 LF OF FOUNDATION PLANTING REQUIRED. | 252 LF OF FOUNDATION PLANTING PROVIDED. |

PROJECT NAME:
PROPOSED MANNHEIM
2777 MANNHEIM
DES PLAINES, IL

OWNER NAME:
GW PROPERTIES
2211 N. ELSTON AVE., UNIT 400
CHICAGO, IL 60614
p.773.382.0445

CONSULTANTS:
DESIGN STUDIO 24
2211 N. ELSTON AVE.
CHICAGO, IL 60614
p. 847.885.8300

KIMLEY HORN
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
p. 630.487.5550

Planned Environment Associates
2191 999.3383
www.plannedenv.com

CHESTERTON, IN 46508

DATE: 01.26.23
REVISION: 02.03.23
DATE: 03.01.23
REVISION: 03.20.23
DATE: 04.10.23

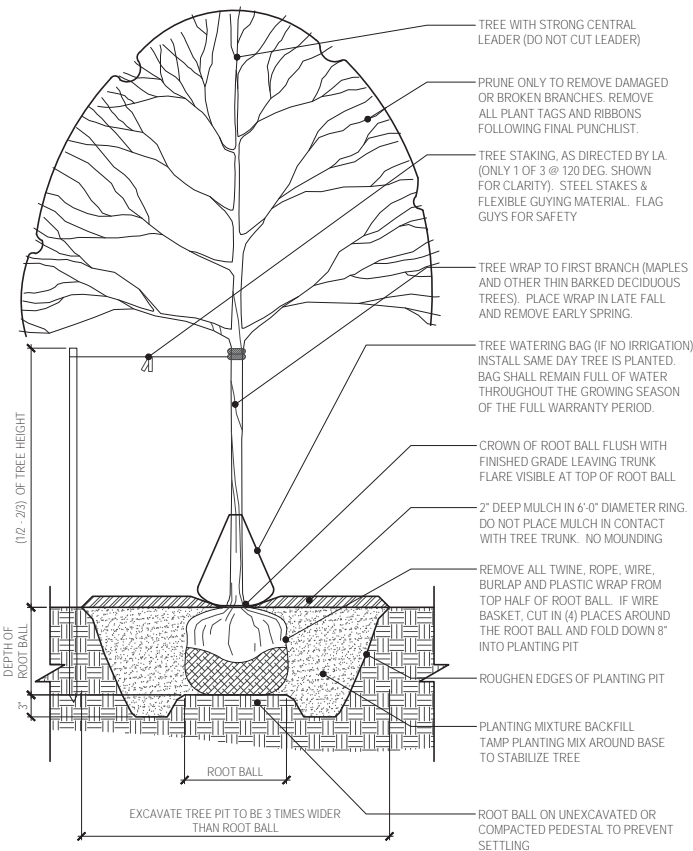
STAMP:
JAMES J. POWERS
PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF ILLINOIS

TITLE:
LANDSCAPE PLAN

SHEET:
L100

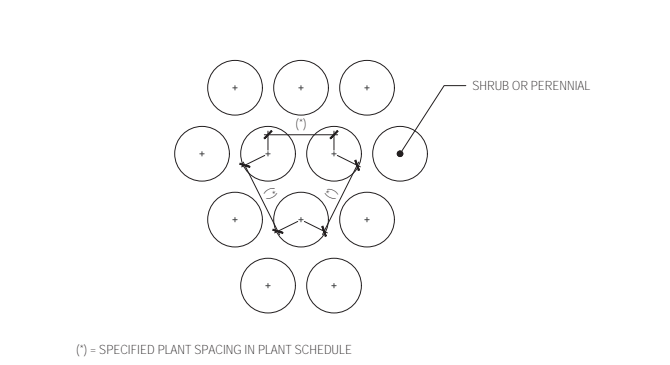
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CHECK BY: JRR
PROJECT #: 23-003

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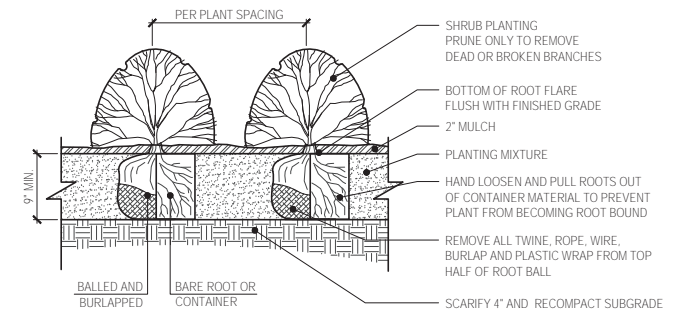
1 TREE PLANTING

SCALE: 1/2" = 1'-0"



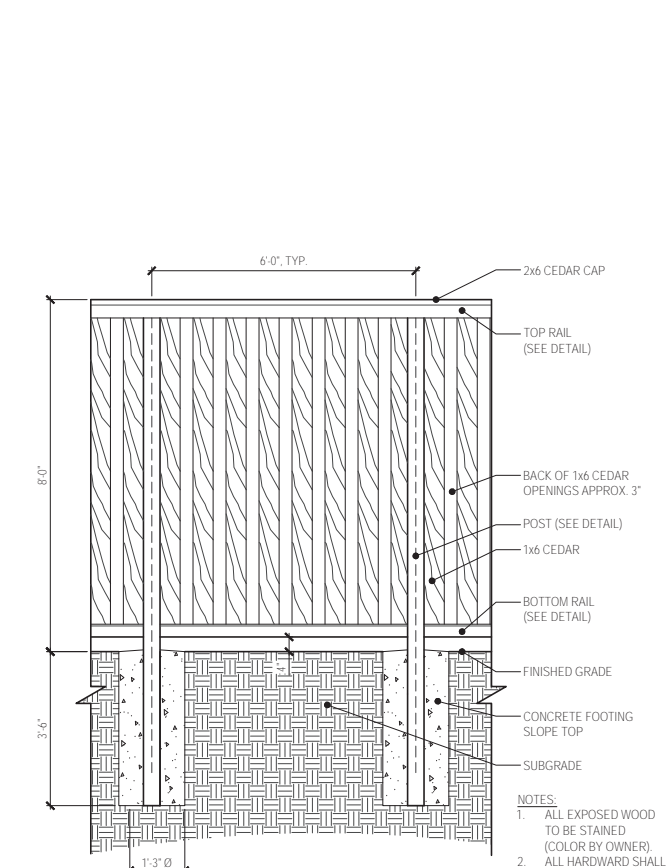
4 PLANT SPACING

NOT TO SCALE



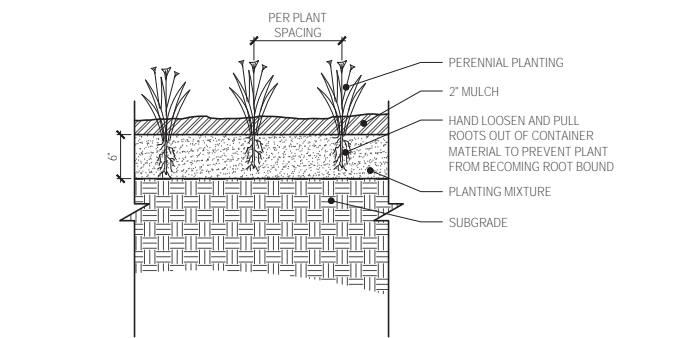
2 SHRUB PLANTING

SCALE: 1" = 1'-0"



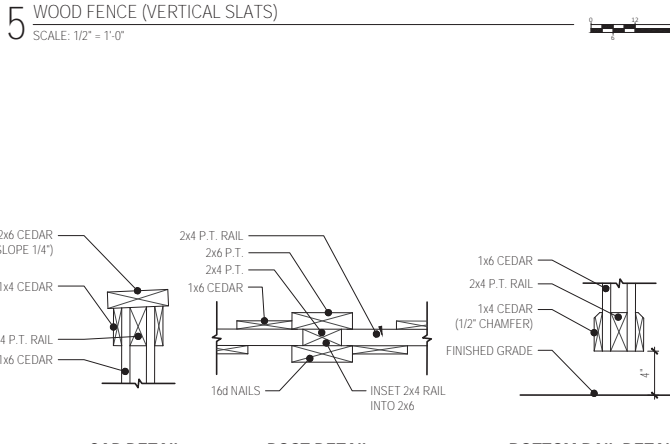
5 WOOD FENCE (VERTICAL SLATS)

SCALE: 1/2" = 1'-0"



3 PERENNIAL PLANTING

SCALE: 1" = 1'-0"



6 WOOD FENCE (VERTICAL SLATS) - ENLARGEMENTS

SCALE: 1-1/2" = 1'-0"

PLANTING NOTES

- SEE SHEET L100 FOR LANDSCAPE ORDINANCE REVIEW DATA TABLE, SWORN STATEMENTS AND PLANT SCHEDULE.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- THE CONTRACTOR SHALL CONTACT 811 PRIOR TO WORK.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE GRAPHIC SYMBOLS SHOWN ON THE PLAN SHALL DICTATE.
- PLANT MATERIALS:
 - ALL PLANT MATERIALS SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK, MOST CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTS SHALL BE EQUAL TO OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST.
 - PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES.
 - TREES SHALL HAVE STRAIGHT TRUNK WITH LEADER INTACT, UNDEFORMED AND UNMISSED. BRANCHING MUST BE WELL DEVELOPED.
 - ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
 - NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING.
 - ALL PLANTS ARE SUBJECT TO INSPECTION AND APPROVAL. THE LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT TO SELECT AND TAG ALL PLANT MATERIAL AT THE NURSERY PRIOR TO PLANTING AND REJECT UNACCEPTABLE PLANT MATERIAL AT ANY TIME DURING THE PROGRESS OF THE PROJECT.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
- IRRIGATION:
 - CONTRACTOR SHALL PROVIDE BID ALTERNATE FOR IRRIGATION PER THE IRRIGATION PERFORMANCE SPECIFICATIONS.
 - IF BID ALTERNATE OF IRRIGATION SYSTEM IS NOT SELECTED BY OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHMENT WATERING THROUGH TEMPORARY FACILITIES, WATERING BAGS, ETC., AS APPROVED BY OWNER FOR PLANT WARRANTY.
- TOPSOIL & PLANTING MIXTURES:
 - ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
 - SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
 - TOPSOIL SHALL BE MATERIALS CONSISTING OF FERTILE, FRIABLE, FINE SANDY LOAM, UNIFORM IN COMPOSITION AND FREE OF SUBSOIL, STONES, LUMPS, CLODS OF HARD EARTH, PLANTS, PLANT ROOTS, STICKS, NOXIOUS WEEDS, SLAG, CINDERS, DEMOLITION DEBRIS OR OTHER EXTRANEIOUS MATTER OVER 1" IN LARGEST DIMENSION.
 - EXISTING TOPSOIL SHALL BE PREPARED BY THOROUGHLY MIXING IN COMPOST AT THE RATE OF 1/3 VOLUME OF SOIL REPLACED.
 - TOPSOIL SHALL BE TESTED AND AMENDED (AS SPECIFIED BY THE TESTING AGENCY) TO THE FOLLOWING:
 - ADJUST SOIL TO A pH OF 6.0 TO 6.5.
 - ORGANIC MATTER: 4% MIN, 10% MAX
 - AVAILABLE PHOSPHORUS: 25 PPM, MIN
 - EXCHANGEABLE POTASSIUM: 125 PPM, MIN
 - THE FOLLOWING FERTILIZERS SHALL BE USED AS FOLLOWS, OR ALTERNATIVES SUBMITTED BY CONTRACTOR TO OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL:
 - TREES & SHRUBS = 14-4-6 BRIQUETTES @ 17g
 - LAWN = HIGH NITROGEN STARTER FERTILIZER
 - LAWN SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 4" DEPTH OF TOPSOIL.
 - PLANTING BEDS SHALL RECEIVE MINIMUM 6" DEPTH OF AMENDED TOPSOIL.
 - NATIVE LANDSCAPE SEEDING AREAS SHALL RECEIVE A MINIMUM 18" DEPTH OF TOPSOIL.
- MULCH MATERIALS:
 - ALL MULCH MATERIALS SHALL BE PROCESSED DOUBLE SHREDDED HARDWOOD BARK MULCH OF UNIFORM SIZE. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. SUBMIT SAMPLE TO ARCHITECT.
 - MULCH SHALL BE 2-INCH THICK MINIMUM COVERAGE IN ALL AREAS OF TREE PITS OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
 - MULCH SHALL BE HELD 1" BELOW SURFACE ELEVATION OF DOWNHILL SIDE OF WALK, SLAB, CURB, LAWN, ETC.
- LANDSCAPE BED EDGING:
 - ALL LANDSCAPE BED EDGING SHALL BE SHOVEL-CUT SPADE EDGE BETWEEN LAWN AREAS UNLESS OTHERWISE NOTED.
- STORAGE & INSTALLATION:
 - CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
 - EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. NO VEHICLES OR EQUIPMENT ARE ALLOWED WITHIN THE DRIP LINE OF TREES TO BE PROTECTED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
 - PRUNING AND REMOVAL OF BRANCHES ON EXISTING TREES SHALL BE DIRECTED IN THE FIELD BY OWNER OR LANDSCAPE ARCHITECT.
 - EQUIPMENT, PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE STORED OUTSIDE OF THE DRIP LINE OF TREES TO BE PROTECTED AND PLACED WHERE THEY WILL NOT CONFLICT W/ CONSTRUCTION OPERATIONS.
 - NEW PLANTING AREAS ARE TO BE TREATED WITH HERBICIDE (APPROVED BY STATE CHEMIST) TO KILL ALL EXISTING GROUND COVER. THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUND COVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.
 - WHERE PROPOSED PLANTINGS ARE INDICATED IN EXISTING PAVING AREAS, CONTRACTOR SHALL EXCAVATE A MINIMUM OF 2'-0" BELOW PAVING SURFACE.
 - FINAL PLACEMENT OF PLANT MATERIALS, ETC., ARE SUBJECT TO APPROVAL BY OWNER AND LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOOD STAKE OR FLAG INDICATING VARIETY AND SIZE OF TREE. ALL GROUND COVER AND PLANTING BED LINES SHALL BE MARKED W/ HIGHLY VISIBLE PAINT LINES W/ OCCASIONAL WOOD STAKES FOR REFERENCE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. OWNER RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE.
 - ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL COORDINATE A FINAL INSPECTION WALK-THROUGH WITH OWNER AND LANDSCAPE ARCHITECT FOR OWNER ACCEPTANCE. THE LANDSCAPE ARCHITECT WILL PROVIDE A PUNCHLIST OF ANY DEFICIENCIES AND PROVIDE TO OWNER AND CONTRACTOR FOR REVIEW AND REMEDIATION.
- MAINTENANCE:
 - INCLUDE PRICING WITH THE BID FOR A 60-DAY MAINTENANCE PERIOD OF ALL LANDSCAPE PLANTINGS FOLLOWING COMPLETE INSTALLATION AND FINAL INSPECTION BY OWNER AND LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, MULCHING, MOWING, AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS.
- WARRANTY:
 - ALL LANDSCAPE PLANTINGS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FOLLOWING 60-DAY MAINTENANCE PERIOD. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY (EXCEPT FOR DEFECTS RESULTING FROM ABUSE OR DAMAGE BY OTHERS, OR OTHER ACTS DETERMINED AS FORCE MAJEURE) BY OWNER AND LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR. THE REPLACEMENTS SHALL ALSO BE WARRANTED FOR 1 YEAR.

IRRIGATION NOTES:

- CONTRACTOR SHALL PROVIDE DESIGN/BUILD IRRIGATION SYSTEM PER THE IRRIGATION NOTES BELOW:
 - DESIGN GUIDELINES: CONTRACTOR TO VERIFY PRESSURE AND AVAILABLE WATER SERVICE SIZE
 - EMISSION (LAWNS): HUNTER I-40 SPRAY ROTARS (OR APPROVED EQUAL)
 - DRIP (BEDS): HUNTER HDL-CV (OR APPROVED EQUAL)
 - QUICK COUPLER: HUNTER QC-V - 3RC
 - CONTROLLER: HUNTER HCC (OR APPROVED EQUAL)
 - SENSOR: HUNTER SOLAR-SYNC & HC FLOW METER (OR APPROVED EQUAL)
 - PIPING: PVC OR APPROVED EQUAL
 - INSECT REPELLENT: AUTOMATED PRO FEEDER SYSTEM WITH 5-GALLON STORAGE FOR NATURE SHIELD
- CONTRACTOR SHALL PROVIDE A QUALIFIED IRRIGATION DESIGNER OR IRRIGATION CONSULTANT TO DESIGN THE SYSTEM FOR EFFICIENT AND UNIFORM DISTRIBUTION OF WATER. "QUALIFIED" MEANS CERTIFIED BY ONE THE FOLLOWING AGENCIES BELOW:
 - CERTIFIED IRRIGATION CONTRACTOR (CIC)
 - CERTIFIED LANDSCAPE IRRIGATION AUDITOR (CLIA)
 - CERTIFIED LANDSCAPE IRRIGATION MANAGER (CLIM)
 - CERTIFIED IRRIGATION DESIGNER (CID)
 - CERTIFIED WATER CONSERVATION MANAGER-LANDSCAPE (CWCM)
- SYSTEM DESIGN:
 - THE SYSTEM SHALL BE COMPRISED OF EITHER:
 - DRIP/MICRO-IRRIGATION COMPONENTS THAT ALLOW FOR HIGHER DISTRIBUTION UNIFORMITY AND LOWER EVAPORATION AND RUNOFF.
 - THE DESIGN AND LAYOUT OF THE EMISSION DEVICES PROVIDES FOR ZERO OVERSPRAY ACROSS OR ONTO A STREET, PUBLIC DRIVEWAY OR SIDEWALK, PARKING AREA, BUILDING, FENCE OR ADJOINING PROPERTY. OVERSPRAY MAY OCCUR DURING THE OPERATION OF THE IRRIGATION SYSTEM DUE TO THE ACTUAL WIND CONDITION THAT DIFFER FROM THE DESIGN CRITERIA.
- SYSTEM CONTROLLER:
 - THE SYSTEM SHOULD USE A CONTROLLER THAT HAS MULTI-PROGRAM CAPABILITY WITH AT LEAST FOUR START TIMES (FOR MULTIPLE REPEAT SOAK CYCLES) AND RUN TIME ADJUSTMENT IN ONE MINUTE INCREMENTS. THE CONTROLLER PROGRAMMING (SCHEDULING) SHOULD BE MANAGED TO RESPOND TO THE CHANGING NEED FOR WATER IN THE LANDSCAPE.
- DESIGN FEATURES:
 - FOLLOW ALL ORDINANCES RELATING TO IRRIGATION SYSTEMS INCLUDING THE INSTALLATION OF BACKFLOW DEVICES.
 - INSTALL A MASTER VALVE TO STOP UNSCHEDULED FLOW OF IRRIGATION WATER
 - A DESIGN THAT RESULTS IN UNIFORM AND EFFICIENT COVERAGE. SPRINKLER HEAD SPACING SHOULD BE A MINIMUM OF "HEAD-TO-HEAD" (MINIMUM 50% OF DIAMETER) UNLESS THE COVERAGE IS DESIGNED FOR WIND DE-RATING. WIND DE-RATING SHOULD BE BASED ON AVERAGE NIGHTTIME WIND SPEED.
 - A MINIMUM OF "HEAD-TO-HEAD" (MINIMUM OF 50% OF DIAMETER) UNLESS THE COVERAGE IS DESIGNED FOR WIND DE-RATING. WIND DE-RATING SHOULD BE BASED ON AVERAGE NIGHTTIME WIND SPEED. DESIGN TO AVOID OVERSPRAY ONTO HARDSCAPES, FENCES, BUILDINGS AND ADJOINING PROPERTY.
 - HAVE SEPARATE STATIONS/ZONES (HYDROZONES) FOR AREAS WITH DISSIMILAR WATER OR SCHEDULING REQUIREMENTS
 - PROVIDE SENSOR TO SUSPEND IRRIGATION DURING WET WEATHER CONDITIONS.
 - PROVIDE FLOW METER FOR MONITORING FLOW CONDITIONS AND SAVING WATER.
 - PROVIDE OWNER WITH WALKTHROUGH FOR SYSTEM OPERATIONS, PRIOR TO FINAL ACCEPTANCE. INCLUDE PROCEDURES FOR CONTROLLER PROGRAMMING, MAINTENANCE AND WINTERIZATION.

PROJECT NAME:
PROPOSED DEVELOPMENT
2777 MANNHEIM DES PLAINES, IL

OWNER NAME:
GW PROPERTIES
2211 N. ELSTON AVE. UNIT 400
CHICAGO, IL 60614
p: 773.382.0445

CONSULTANTS:
DESIGN STUDIO 24
2211 N. ELSTON AVE.
CHICAGO, IL 60614
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KIMLEY HORN
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
p: 630.487.5550

Planned Environment Associates
(219) 399-3333
www.plannedenv.com
P.O. BOX 2256
CHESTER, IN 46304

| SUBMITTAL & REVISIONS | |
|-----------------------|----------------------------|
| 1 | 01.26.23 SCHEMATIC DESIGN |
| 2 | 02.02.23 REVISED SITE PLAN |
| 3 | 03.01.23 REVISED SITE PLAN |
| 4 | 03.20.23 REVISED SITE PLAN |
| 5 | 04.10.23 REVISED SITE PLAN |

STAMP:
LANDSCAPE ARCHITECT
JAMES J. POWERS
0104000
OFFICE OF LANDSCAPE ARCHITECTURE

TITLE:
LANDSCAPE NOTES & DETAILS

SHEET:
L200

DRAWN BY: JIF
CHECK BY: JRR
PROJECT #: 23-003





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6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

STORE:
RAISING CANE'S RESTAURANT
2781 MANNHEIM RD
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PROTOTYPE: P6-V-AV
SCHEME: B
RESTAURANT #RC1009
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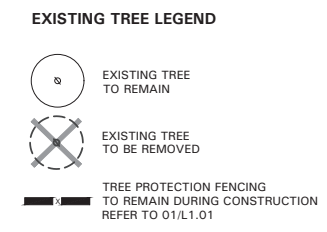
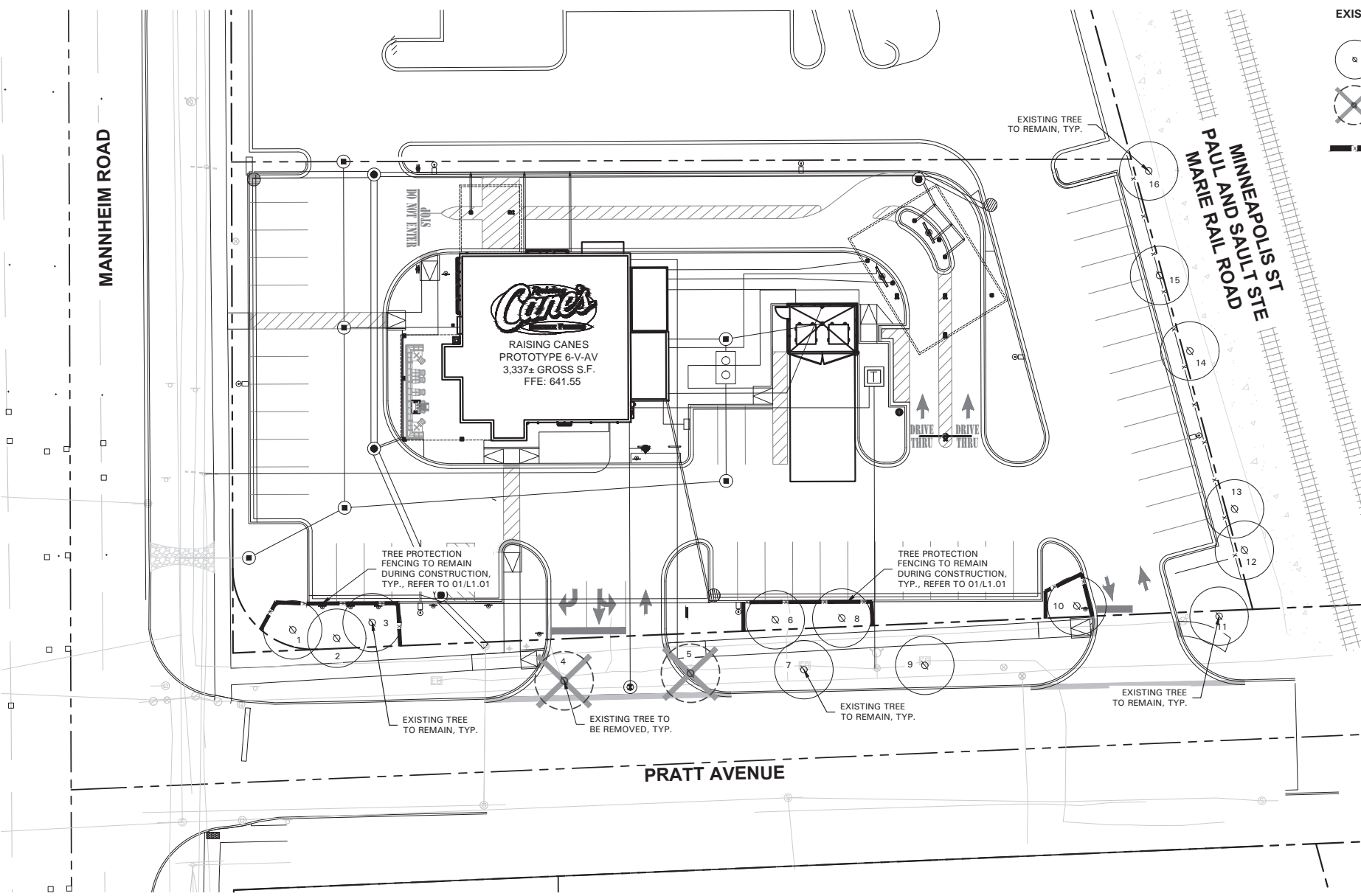
TREE PRESERVATION PLAN

PERMIT DATE: 08/01/2023

JOB NO. 22297

L1.01

SHEET NO.



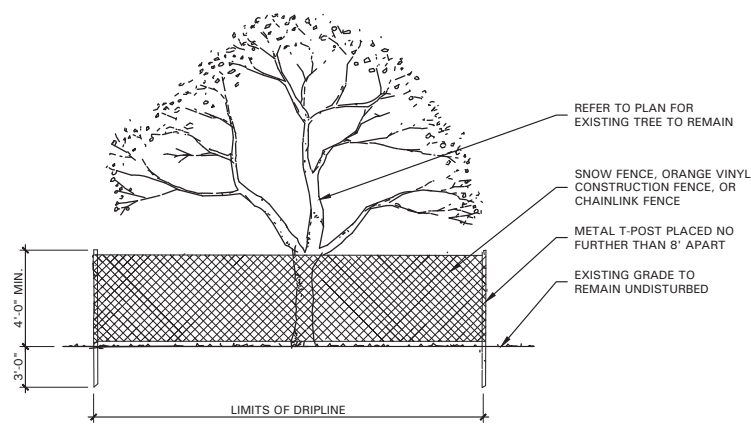
TREE SURVEY FIELD DATA

| No. | Dia. (inches) | Species (common name) | Status | Remarks |
|-----|---------------|-----------------------|---------------|---------|
| 1 | 12 | TREE | TO REMAIN | |
| 2 | 9 | TREE | TO REMAIN | |
| 3 | 12 | TREE | TO REMAIN | |
| 4 | 17 | TREE | TO BE REMOVED | |
| 5 | 17 | TREE | TO BE REMOVED | |
| 6 | 12 | TREE | TO REMAIN | |
| 7 | 17 | TREE | TO REMAIN | |
| 8 | 12 | TREE | TO REMAIN | |
| 9 | 17 | TREE | TO REMAIN | |
| 10 | 17 | TREE | TO REMAIN | |
| 11 | 17 | TREE | TO REMAIN | |
| 12 | 16 | TREE | TO REMAIN | |
| 13 | 18 | TREE | TO REMAIN | |
| 14 | 22 | TREE | TO REMAIN | |
| 15 | 19 | TREE | TO REMAIN | |
| 16 | 11 | TREE | TO REMAIN | |

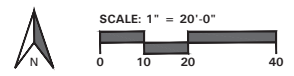
| | |
|----------------------------------|-----|
| Total Caliper Inches on Site | 245 |
| Total Caliper Inches Removed | 34 |
| Total Mitigation Inches Required | 0 |
| Total Mitigation Inches Provided | 0 |

TREE PRESERVATION NOTES

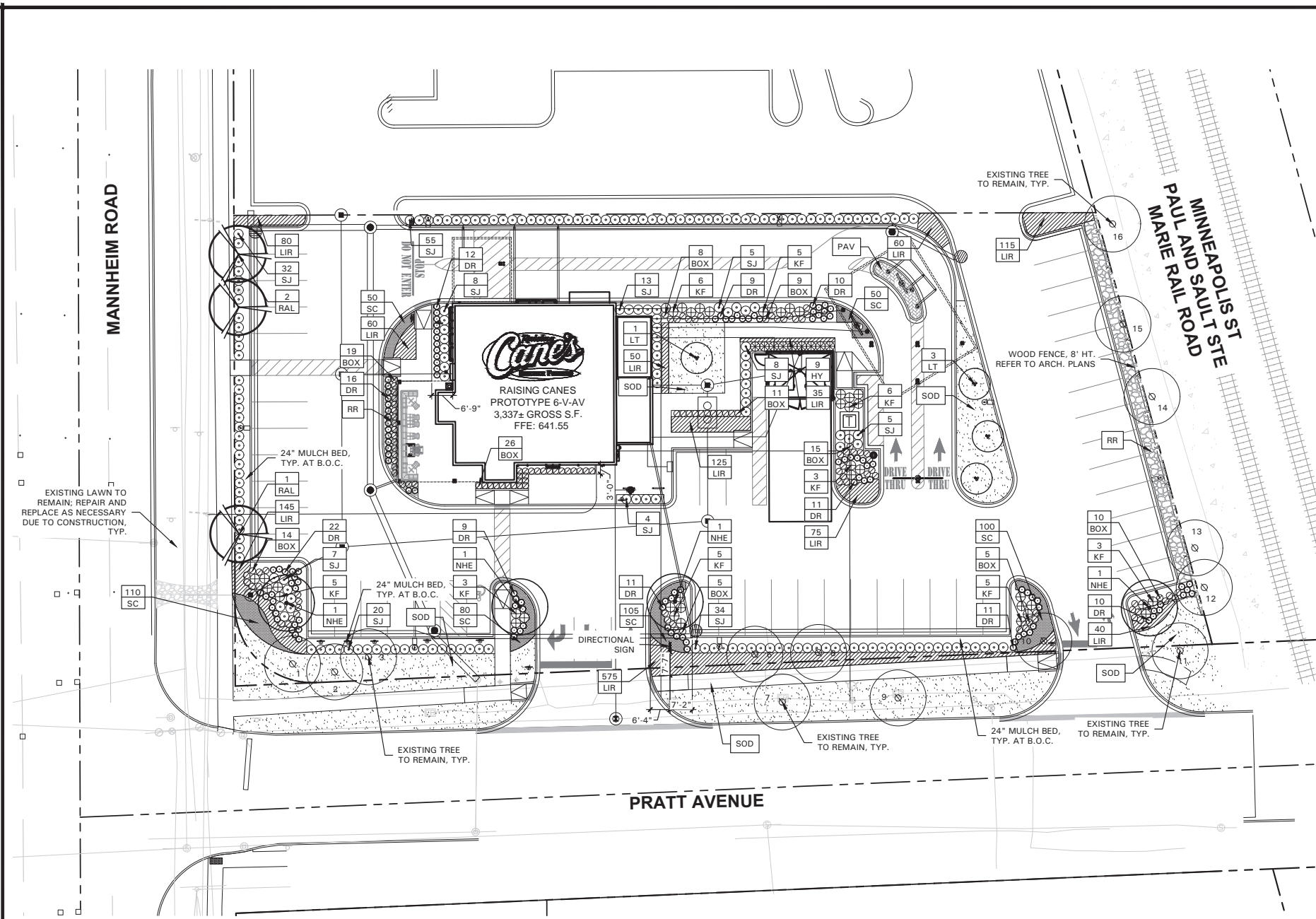
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



01 TREE PROTECTIVE FENCING NOT TO SCALE



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Dallas, Texas 75205
214.865.7192 office



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD KENTUCKY BLUEGRASS FESCUE MIX, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS

THE CITY OF DES PLAINES, ILLINOIS

PARKING LOT LANDSCAPING

- Not less than 5% of the interior of a parking lot shall be devoted to landscaping.
- One (1) shade tree shall be provided for every 100 s.f. of landscaping area.
- A minimum of 50% of every interior parking lot landscaping area shall be planted with groundcover.

| | | |
|------------------------------|--------------------|--------------------------------------|
| Parking Lot Area: 7,421 s.f. | Required | Provided |
| 371 s.f. (5%) | (4) trees, 3" cal. | 790 s.f. (10%) (4) trees, 3" cal. |
| 50% groundcover | 100% groundcover | |

PERIMETER PARKING LOT LANDSCAPING

- One (1) tree for every 40 l.f. of frontage.
- One (1) shrub for every 3 l.f. of frontage.

| | | |
|-------------------------|-------------|-----------|
| Mannheim Road: 126 l.f. | Required | Provided |
| (3) trees | (3) trees | (3) trees |
| (42) shrubs | (80) shrubs | |

| | | |
|------------------------|--------------------|--------------|
| Pratt Avenue: 308 l.f. | Required | Provided |
| (8) trees | (9) existing trees | (140) shrubs |

FOUNDATION LANDSCAPING

- 35% of the site to be landscape area.

| | | |
|---------------------------|---------------|----------|
| Foundation Area: 100 l.f. | Required | Provided |
| 35 l.f. (35%) | 60 l.f. (60%) | |

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO SOD INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

CONCRETE PAVER NOTES

- CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVER INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
- CONCRETE PAVERS SHALL BE:
 - BELGARD® LEGACY SERIES
 - MODEL: HOLLAND STONE
 - PATTERN: HERRINGBONE
 - COLOR: CHARCOAL
- CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
- THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
- CONCRETE PAVERS AVAILABLE FROM:
 - WWW.BELGARD.COM
- THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" ON-SITE, AT NO EXPENSE TO THE OWNER, FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL WORK EXECUTED BY THE CONTRACTOR WHICH DOES NOT MEET HIS/HER EXPECTATIONS AND THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.

PLANT LIST

| SYMBOL | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | REMARKS |
|---------------------------|---|----------------------------------|-------|---------|---|
| TREES | | | | | |
| LT | <i>Syringa reticulata</i> 'Ivory Silk' | Ivory Silk Japanese Lilac Tree | 4 | 2" cal. | container grown, 8' ht., 4' spread min. |
| NHE | <i>Ulmus davidiana</i> var. <i>japonica</i> | New Horizon Elm | 4 | 3" cal. | container grown, 12' ht., 4' spread, 4' branching ht., matching |
| RAL | <i>Tilia americana</i> 'Redmond' | Redmond American Linden | 3 | 3" cal. | B&B, 12' ht., 4' spread, 4' branching ht., matching |
| SHRUBS/GROUNDCOVER | | | | | |
| BOX | <i>Buxus x 'Winter Gem'</i> | Boxwood 'Winter Gem' | 122 | 7 gal. | container full, 20" spread, 24" o.c. |
| DR | <i>Rosa 'Red Drift'</i> | Red Drift Rose | 121 | 5 gal. | container full, 24" spread, 20" ht., 24" o.c. |
| HY | <i>Taxus x media</i> 'Hicksii' | Hicksii Yew | 9 | 7 gal. | container full |
| KF | <i>Calamagrostis x scutiflora</i> 'Karl Foerster' | Karl Foerster Feather Reed Grass | 41 | 5 gal. | container full, 24" ht., 36" o.c. |
| LIR | <i>Liriope muscari</i> 'Big Blue' | Liriope 'Big Blue' | 1,380 | 4" pots | container full top of container, 12" o.c. |
| SC | | Seasonal Color | 495 | 4" pots | container full, 12" o.c., selection by Owner |
| SJ | <i>Juniperus chinensis</i> 'Sea Green' | Sea Green Juniper | 191 | 5 gal. | container full, 24" spread, 24" o.c. |
| MISCELLANEOUS | | | | | |
| PAV | | Concrete Pavers | | | refer to 03/L1.02 |
| RR | | Native River Rock | | | 2" - 4" dia., 4" depth rock mulch, typ. at planting adjacent to patio |
| SOD | <i>Poa pratensis</i> x <i>Festuca arundinacea</i> | Kentucky Bluegrass Fescue Mix | | | solid sod, refer to Solid Sod Notes |

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

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DES PLAINES, IL 60018
PROTOTYPE: P6-V-Av
SCHEME: B
RESTAURANT #RC1009
VERSION: 2023-1.0 RELEASE 5.22.2023



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Phone (216) 521-5134 Fax (216) 521-4824
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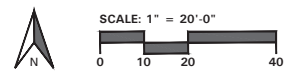
LANDSCAPE PLAN

PERMIT DATE: 08/01/2023

JOB NO. 22297

L2.01

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4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



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IRRIGATION PLAN

PERMIT DATE: 08/01/2023

JOB NO. 22297

L3.01

SHEET NO.

4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



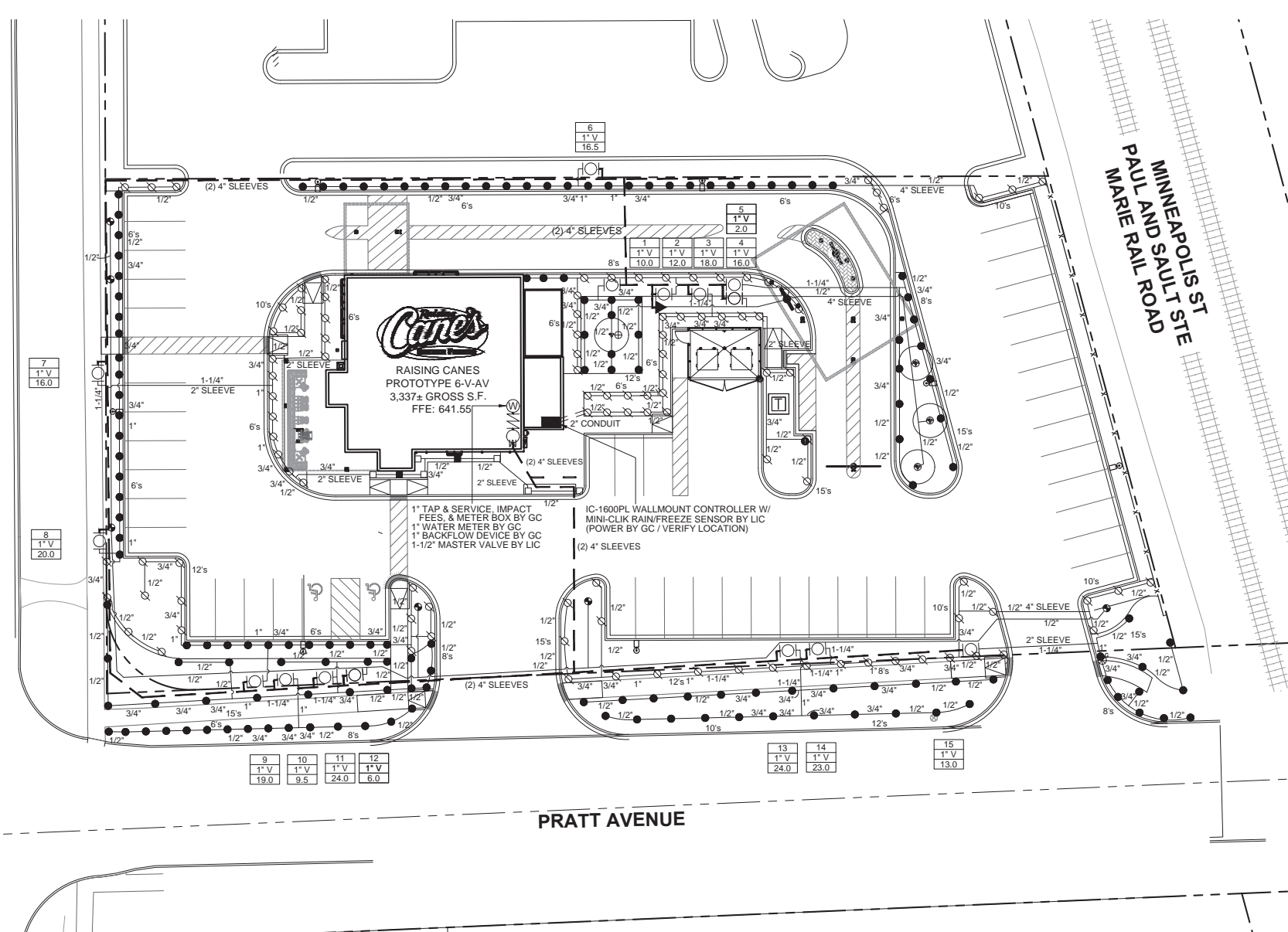
SETH HEIDMAN
IRRIGATION DESIGN & CONSULTING, LLC
1000 W. Parker Rd., #1000, Denver, CO 80201 Tel: 303.440.6000

SCALE: 1" = 20'-0"



IRRIGATION LEGEND:

| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL NO. |
|--------|------------------------|-----------------|--|
| ● | LAWN SPRAY HEAD | HUNTER (30 PSI) | PROS-04-CV WITH MPR PLASTIC NOZZLE ON HUNTER SJ SWING JOINT |
| ⊗ | HIGH-POP SPRAY HEAD | HUNTER (30 PSI) | PROS-12-CV WITH MPR PLASTIC NOZZLE ON HUNTER SJ SWING JOINT |
| ○ | SHRUB SPRAY HEAD | HUNTER (30 PSI) | PLASTIC ADAPTER WITH MPR PLASTIC NOZZLE UNLESS NOTED OTHERWISE |
| ⊕ | BUBBLER HEAD | HUNTER (30 PSI) | PCB-50 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT |
| ⊙ | BUBBLER HEAD | HUNTER (30 PSI) | PCB-10 PLASTIC BUBBLER NOZZLE ON HUNTER SJ SWING JOINT |
| ⊖ | REMOTE CONTROL VALVE | HUNTER | PGV, REFER TO PLAN FOR SIZE |
| ▲ | QUICK COUPLING VALVE | HUNTER | HQ-DNP |
| ■ | CONTROLLER | HUNTER | ICORE WALLMOUNT WITH MINI-CLIK WIRELESS RAIN AND FREEZE SENSOR |
| — | MAINLINE PIPING | REFER TO SPEC. | 1-1/2" CLASS 200 PVC |
| - - - | LATERAL PIPING | REFER TO SPEC. | 3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC |
| ⊙ | WATER METER | REFER TO SPEC. | PER LOCAL BUILDING CODE |
| ⊖ | RPZ BACKFLOW PREVENTER | FEBCO | 860, REFER TO PLAN FOR SIZE |
| ⊕ | MASTER VALVE | HUNTER | PGV, REFER TO PLAN FOR SIZE |
| ⊖ | STATION NUMBER | | |
| ⊖ | VALVE SIZE | | |
| ⊖ | GPM (APPROX.) | | |





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PERMIT SET

ENGINEER INFORMATION:



| SHEET REVISIONS | | |
|-----------------|------|------|
| # | DATE | TYPE |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
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| 10 | | |

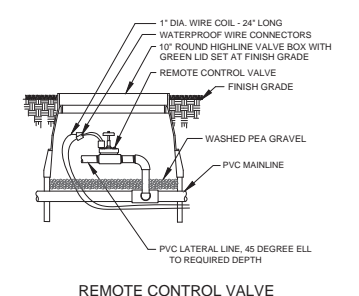
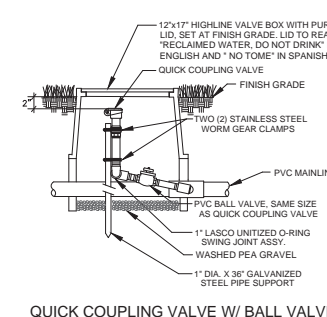
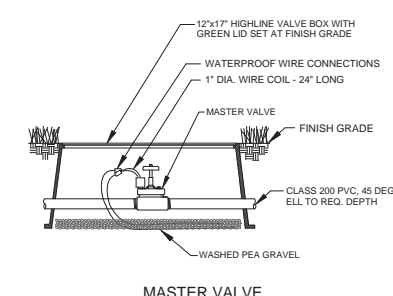
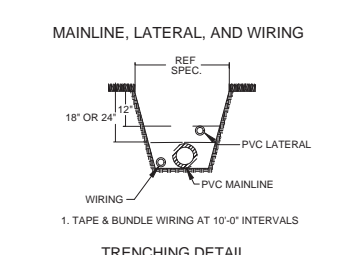
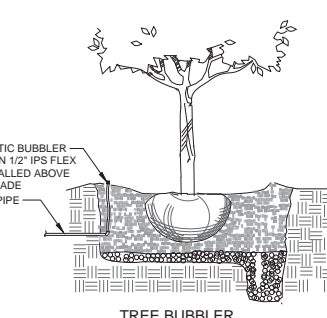
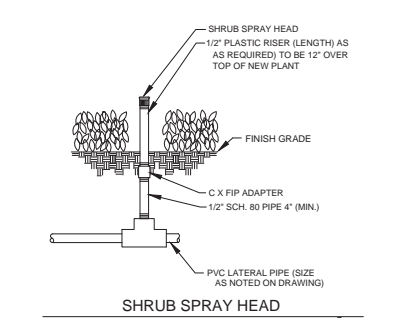
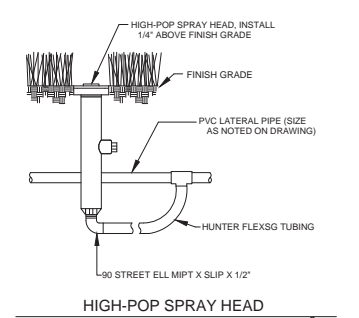
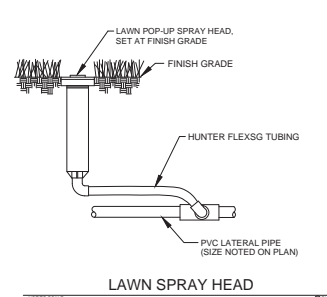
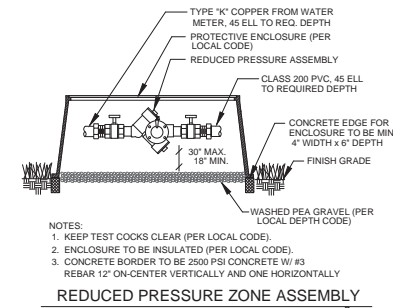
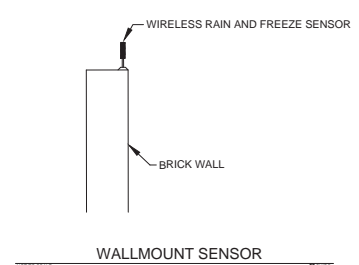
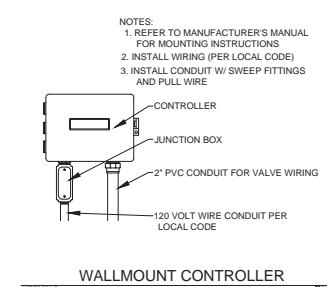
IRRIGATION SPECIFICATIONS AND DETAILS

PERMIT DATE: 08/01/2023

JOB NO. 22297

L3.02

SHEET NO.



| FLOW/GPM: | PIPE SIZE: |
|-------------|------------|
| 0 - 4.0 | 1/2" |
| 4.1 - 9.5 | 3/4" |
| 9.6 - 14.5 | 1" |
| 14.6 - 27.0 | 1-1/4" |
| 27.1 - 35.0 | 1-1/2" |
| 35.1 - 55.0 | 2" |

PVC PIPE SIZE CHART

NOTES:

- 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. WIRE SPLICES SHALL BE 3M-DBY PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
- LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. ALL FITTINGS TO BE SCHEDULE 40 PVC. SIZE ALL LATERAL PIPING PER MANUFACTURER'S RECOMMENDATIONS OF NOT EXCEEDING 5 FPS. REFERENCE PIPE SIZE CHART. USE SOLVENT WELD PVC GLUE AND PURPLE PRIMER FOR PVC CONNECTIONS SPECS.
- CONNECT LAWN SPRAY, TREE BUBBLER, AND DRIP INDICATOR HEADS TO LATERAL PIPING WITH HUNTER 1/2" SJ SWING JOINT.
- INSTALL QUICK COUPLING VALVES IN TEN (10") INCH PLASTIC VALVE BOX. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH HUNTER HSJ SWING JOINT. SUPPLY OWNER WITH ONE (1) COUPLER KEY WITH SWIVEL HOSE BIBB EACH. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP.
- PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX AND HARDWIRED WITHIN FIVE (5) FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR.
- INSTALL REMOTE CONTROL VALVES AND WIRE SPLICES IN TEN (10") INCH ROUND HIGHLINE VALVE BOXES.
- INSTALL SLEEVES UNDER ALL HARDSCAPE SURFACES SUCH AS ROADS, DRIVES, WALKS, ETC. WHETHER SHOWN OR NOT. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY IRRIGATION CONTRACTOR.
- ADJUST NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY. THIS MAY REQUIRE ADJUSTABLE NOZZLES. NO OVERSPRAY ALLOWED ON ANY HARDSCAPE SURFACES.
- DESIGN PRESSURE IS 63.0 PSI. STATIC PRESSURE IS 70 PSI. TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN STATED DO NOT START WORK UNTIL NOTIFIED TO PROCEED.
- MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE EIGHTEEN (18") INCHES AND MINIMUM HORIZONTAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
- WHERE POSSIBLE LOCATE ALL MAINLINES, VALVES, OR CONTROL WIRES SHALL BE LOCATED AND INSTALLED OUTSIDE RIGHT-OF-WAY.
- PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND DIG WITHIN ALL EXISTING TREE ROOT ZONES. CONTRACTOR MUST STAKE DITCHES AND RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING OR DIGGING.
- ALL STATE OF ILLINOIS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES ARE MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS CAUTIONED THAT THEY ARE TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF ILLINOIS OR LOCAL DES PLAINES CODES CONCERNING LANDSCAPE IRRIGATION.



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

FINAL PLAT OF SUBDIVISION 2777 MANNHEIM ROAD SUBDIVISION

LOTS 12, 13, 14, 15, 16, 17, 18, AND 19 IN BLOCK 8 IN OLIVER
SALINGER AND COMPANY'S GLEN ACRES SUBDIVISION IN THE
WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP
41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
ACCORDING TO THE PLAT THEREOF RECORDED JUNE 3, 1939 AS
DOCUMENT 12359452, IN COOK COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

I, MITCH GOLTZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF COOK COUNTY, ILLINOIS, AND IS SUBJECT TO THE ZONING ORDINANCES OF SAID COUNTY, ILLINOIS, AND THE ORDINANCES OF THE BOARD OF ZONING AND PLANNING OF THE CITY OF DES PLAINES, ILLINOIS, AND THE ORDINANCES OF THE BOARD OF ZONING AND PLANNING OF THE CITY OF AURORA, ILLINOIS.

NOTARY'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF }
} SS

I, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN [AND] PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND I HEREBY CERTIFY THAT SAID INSTRUMENT WAS SIGNED AND DELIVERED SAID INSTRUMENT AS HIS (HER) [THEIR] FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF }
} SS

PROVISIONS OF A CERTAIN MORTGAGE DATED _____, AS MORTGAGEE UNDER AND RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY, ILLINOIS, AS DOCUMENT NUMBER _____ ENGINEERING THE PROPERTY DESCRIBED ON THIS PLAT OF SUBDIVISION, HEREBY CONSENTS TO RECORDING OF THE SUBDIVISION HEREIN SHOWN.

DATED AT _____

THIS _____ DAY OF _____, A.D., 20____

BY: _____ BY: _____

TITLE: _____ TITLE: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF }
} SS

I, _____, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ (TITLE) _____ (TITLE)

OF _____ (COMPANY) WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHO WERE SUBSCRIBED TO THE FOREGOING MORTGAGEE'S CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE FOR THE SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS _____ DAY OF _____, A.D., 20____

BY: _____ NOTARY PUBLIC

MAYOR'S CERTIFICATE

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES, ILLINOIS ON THIS _____ DAY OF _____, 20____

MAYOR _____

ATTEST: _____

CITY CLERK _____

PLANNING AND ZONING BOARD CERTIFICATE

APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES, ILLINOIS ON THIS _____ DAY OF _____, 20____

CHAIRMAN _____

SPACE FOR I.D.O.T. STAMP

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO CH. 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

JOSE RIOS, P.E.
REGION ONE ENGINEER

DIRECTOR OF FINANCE CERTIFICATE

I, HEREBY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATE: _____

DIRECTOR OF FINANCE

DIRECTOR OF PUBLIC WORKS & ENGINEERING CERTIFICATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS & ENGINEERING OF THE CITY OF DES PLAINES, ILLINOIS ON THIS _____ DAY OF _____, 20____

TIMOTHY P. GANLEY, P.E., DIRECTOR OF PUBLIC WORKS AND ENGINEERING

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE IMPAIRED BY THE PROPOSED SUBDIVISION. THE DRAINAGE OF SURFACE WATERS WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS OWNED, MAINTAINED, OPERATED AND PAID FOR BY THE CITY OF DES PLAINES, ILLINOIS. THE PLANNED DEVELOPMENT ACCORDANCE WITH GENERAL ENGINEERING PRACTICES, SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

OWNER _____ REGISTERED PROFESSIONAL ENGINEER

NAME: _____

DATE: _____ FIRM: _____

DATE: _____ (SEA)

SURVEYOR'S AUTHORIZATION TO RECORD

STATE OF ILLINOIS }
COUNTY OF KANE }
} SS

I, HEREBY DESIGNATE _____ AND/OR REPRESENTATIVES HEREOF TO RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.

DATED THIS _____ DAY OF _____, 20____

AT AURORA, KANE COUNTY, ILLINOIS.

COMPLASS SURVEYS, LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184--002778
LICENSE EXPIRES 4/30/2025

BY: _____
SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
EXPIRES 11/30/2024

SURVEYOR'S CERTIFICATE

I, SCOTT C. KREBS, HEREBY CERTIFY THAT I HAVE PREPARED THE PLAT SHOWN HEREON AND COMPASS SURVEYS, LTD. HAS BEEN PREPARED IN ACCORDANCE WITH THE ILLINOIS SURVEYING ACT AND THE ILLINOIS SURVEYOR REGULATION. THE PLAT HAS BEEN PLACED IN THE GROUND AS INDICATED HEREON, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE DES PLAINES CITY CODE; THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES, WHICH HAS ADOPTED AN OFFICIAL FLOOD INSURANCE RATE MAP, MAP NUMBER 1703TC0219.J, OF COMMUNITY PANEL NUMBER 170158 0219 J, HAVING A REVISED DATE OF AUGUST 19, 2008.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS

THIS _____ DAY OF _____, 20____

COMPLASS SURVEYS, LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184--002778
LICENSE EXPIRES 4/30/2025

BY: _____
SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/2024



ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, ILLINOIS 60108
PHONE: (630) 820-9100 FAX: (630) 830-7000 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: NONE

2 OF 2

PROJ. NO.: 23.0015

CLIENT



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4201 WINFIELD ROAD, SUITE 600,
PICO CA, CA 94705
PHONE: 650-487-0550
WWW.KIMLEY-HORN.COM

PROJECT
2777 MANHEIM ROAD SUBDIVISION
DES PLAINES, IL

OWNER / DEVELOPER

GW PROPERTIES
211 N. ELSTON AVENUE, SUITE #600
CHICAGO, IL

DATE: 6/29/2023 FC N/A DRAWN BY: MRA CHECKED BY: SK BOOK N/A PG N/A

| NO. | REVISIONS | DATE | BY |
|-----|--|---------|-----|
| 1 | REVISED PER CITY COMMENTS RECEIVED 7/17/23 | 7/25/23 | MRA |
| 2 | REVISED PER CITY COMMENTS | 8/17/23 | MRA |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: August 3, 2023
To: John Carlisle, Director of Community and Economic Development
From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Cc: John La Berg, P.E., CFM, Civil Engineer
Subject: 2777 Mannheim Rd Proposed Retail Subdivision

Public Works and Engineering has reviewed the subject final engineering plans and is approving them subject to the conditions below:

- Pratt Av. pavement shall be ground 1 ½” and resurfaced for its entire width and frontage along the development.
- A new 10” ductile iron water main in polyethylene encasement shall be constructed by the developer in the East Mannheim Rd. ROW. This water main will be connected to the existing water main at both ends.
- MWRD, IEPA, and IDOT permits will need to be obtained.

TPO/jl

Sign F

Illuminated LOGO
plex face/LED internal illumination
UL Listed

5in projection

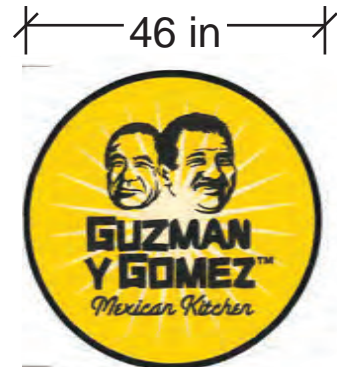


radius =41.5 in
Pi (radius squared)
41.5inX41.5in X 3.14 (Pi)
5,407.86 in / 144 = 37.7 sqft

Sign C

Illuminated LOGO
plex face/LED internal illumination
UL Listed

5in projection



11.6 sqft

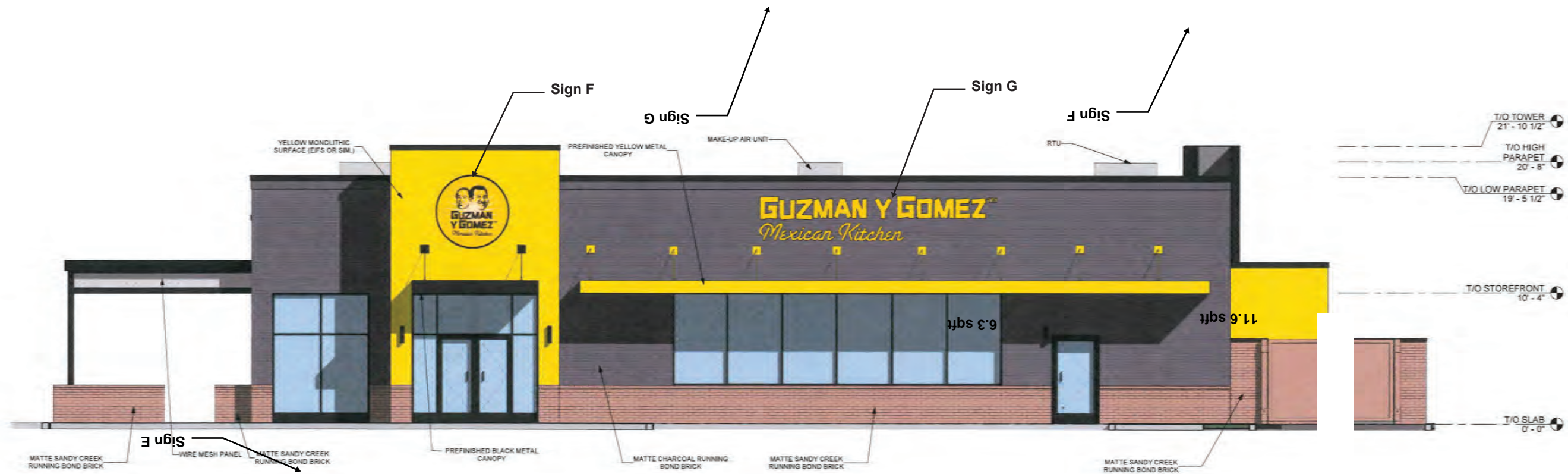
Sign E

Illuminated LOGO
plex face/LED internal illumination
UL Listed

5in projection



6.3 sqft



UL Listed channel Letters

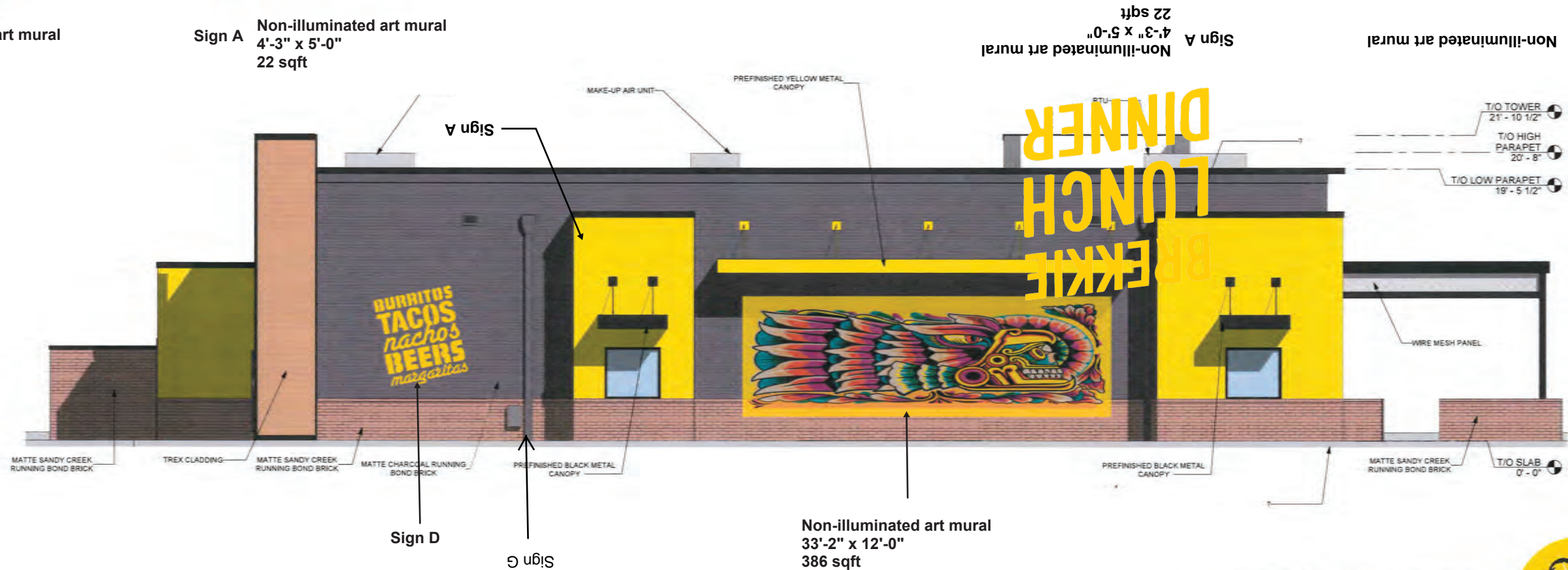
Sign G



GYG DES PLAINES, IL 60018
08.15.23

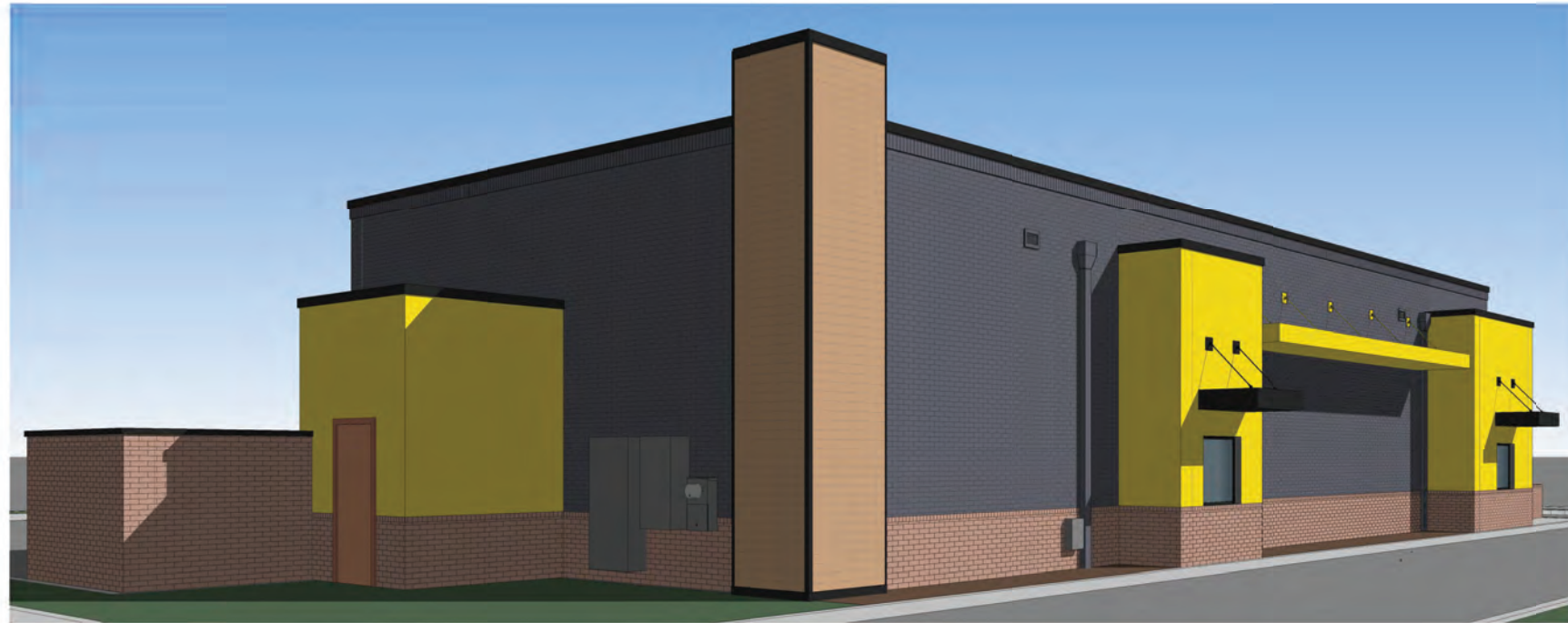


UL Listed channel Letters



GYG DES PLAINES, IL 60018
 08.15.23

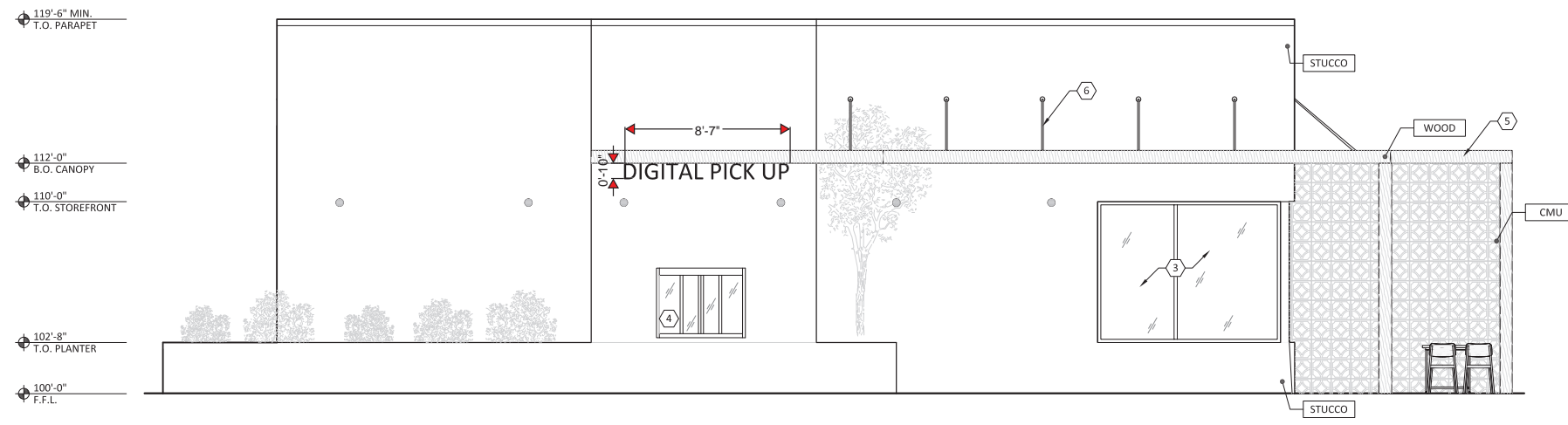




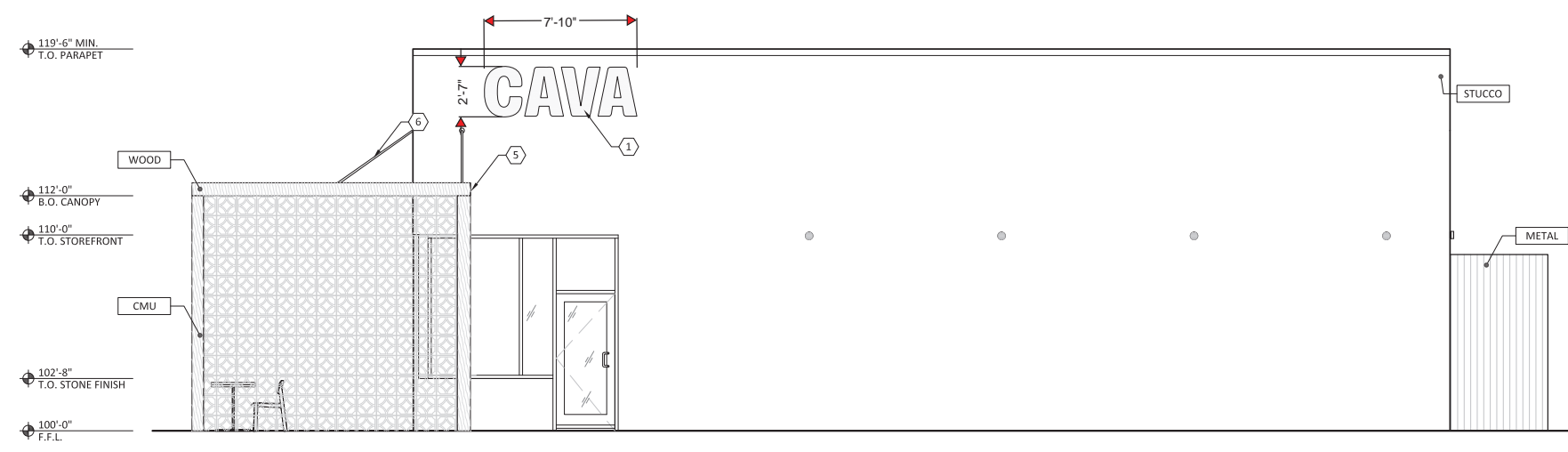
- EXT. ELEVATION CODED NOTES** (#)
1. REFERENCE SIGN SHOP DRAWINGS FOR LOCATION AND SIZE OF NEW SIGN. SIGNAGE UNDER SEPARATE PERMIT, GC TO PROVIDE BLOCKING AS NEEDED AND PULL POWER.
 2. NEW DOOR VINYL BY SIGN VENDOR.
 3. STOREFRONT SYSTEM.
 4. PICK UP BY CAR WINDOW.
 5. CANOPY.
 6. CREAM PAINTED TIE BACKS TO MATCH STUCCO FINISH.

EXT. FINISH MATERIAL LEGEND

| | | |
|--|--------|--|
| | STUCCO | PAINT/COLOR MATCH TO SW 7106- HONIED WHITE |
| | WOOD | |
| | METAL | |
| | CMU | |



1
A210 SIDE ELEVATION
1/4" = 1'-0"



2
A210 SIDE ELEVATION
1/4" = 1'-0"

ferris+sloane

100 N. Howard Street, Suite 4503 Spokane, WA 99201

CAVA

CAVA #010408 - DES PLAINES, IL
2777 Manheim Rd, Building B
Des Plaines, IL 60018
FOR CAVA
702 H STREET, 2ND FLOOR, WASHINGTON, DC 20001

AOR PROJECT NUMBER:
CAV0018

| ISSUE | DATE |
|----------|--------------|
| TEST FIT | FEB 15 2023 |
| ZONING | APRIL 3 2023 |

EXTERIOR ELEVATIONS

SHEET:

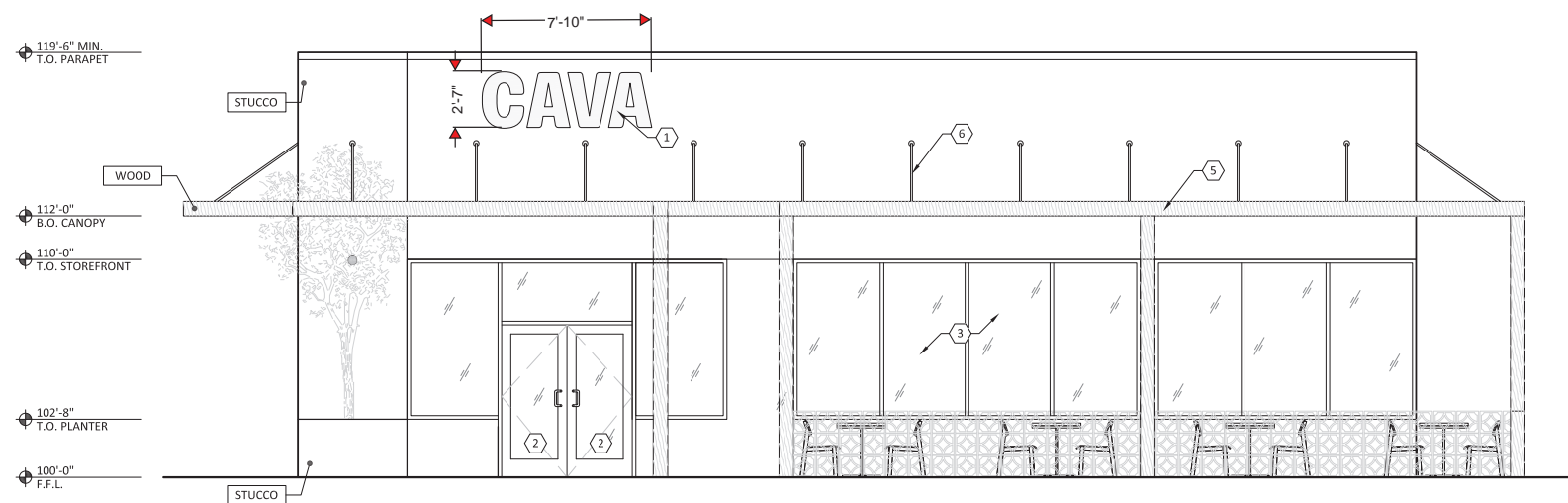
A210

3/28/2023 10:39 PM

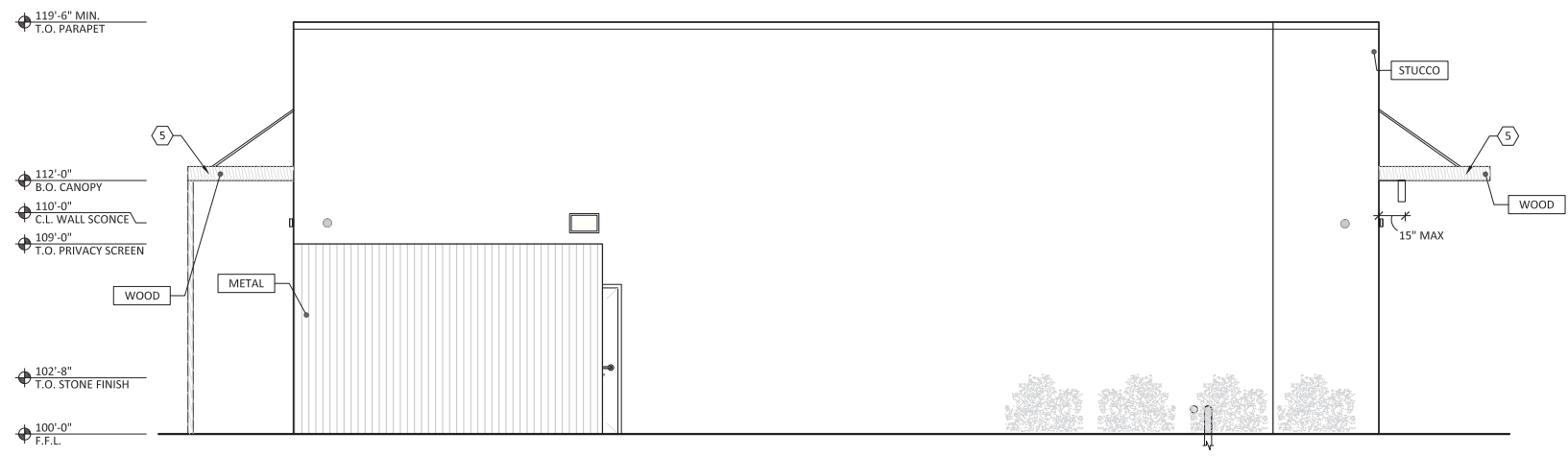
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EXT. FINISH MATERIAL LEGEND

| | | |
|--|--------|--|
| | STUCCO | PAINT/COLOR MATCH TO SW 7106- HONIED WHITE |
| | WOOD | |
| | METAL | |
| | CMU | |



1 FRONT ELEVATION
A211 1/4" = 1'-0"



2 BACK ELEVATION
A211 1/4" = 1'-0"

ferris+sloane

100 N. Howard Street, Suite 4503 Spokane, WA 99201

CAVA

CAVA #010408 - DES PLAINES, IL
2777 Manheim Rd, Building B
Des Plaines, IL 60018
FOR CAVA
702 H STREET, 2ND FLOOR, WASHINGTON, DC 20001

AOR PROJECT NUMBER:
CAV0018

| ISSUE | DATE |
|----------|--------------|
| TEST FIT | FEB 15 2023 |
| ZONING | APRIL 3 2023 |

EXTERIOR ELEVATIONS

SHEET:

A211

3/28/2023 10:39 PM

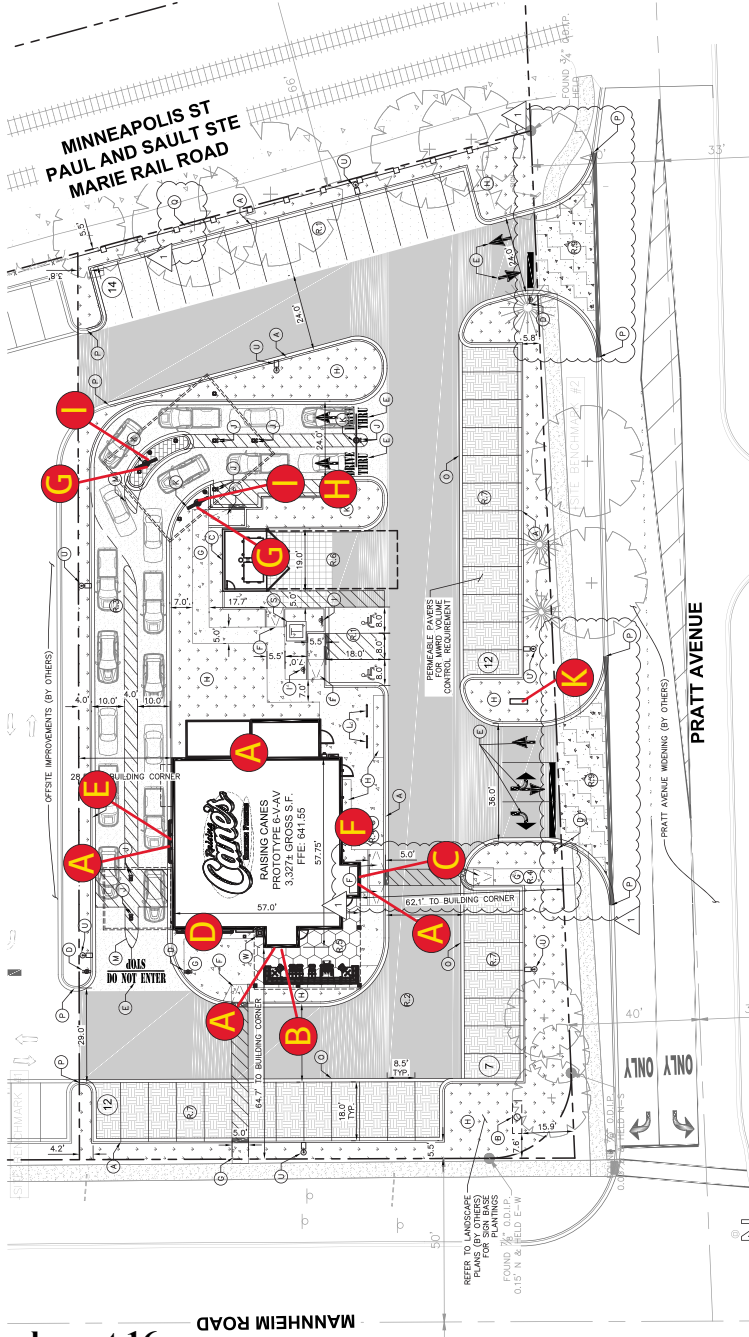


2777 Mannheim & Pratt/RC1009
 Des Plaines, IL 60018
 06/29/2023

| DRAWING REVISIONS | |
|-------------------|---|
| DATE | CHANGE |
| 6/19/23 | Updated siteplan, elevations, PM, & signage |
| 6/29/23 | Added DT arrow |
| | |
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| | |

SITEMAP

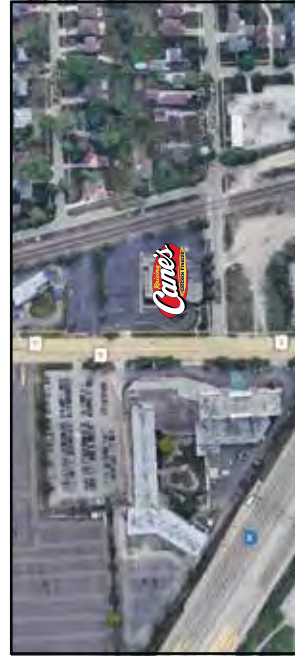
J NOT SHOWN BELOW



| QTY. | CODE | DESCRIPTION |
|------------|--------|---------------------------|
| A 4 | WS-8FT | 4x8 Wall Sign |
| B 1 | ONS | Open Sign |
| C 1 | CFNS | Chicken Fingers Neon Sign |
| D 1 | OLH | One Love Heart |
| E 1 | PAMRL | Painted Arrow Mural |
| F 1 | RD-1 | Red Dog |
| G 2 | DTMB | DT Menuboard |
| H 1 | DTPS | Pre Sell Board |
| I 2 | DTSP | Speaker Post |
| J 1 | MTM | Multi-Tenant Monument |
| K 1 | DIR | Directional |

| YES | NO |
|-------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> |

No dev or LL restrictions as of 10/15/2022
 Freestanding signs allowed 2 NTE 110 SF per sign; or 200 SF for 2 signs. NTE OAH of 20'. setback 5'; from all PL and sidewalks
 Wall signs allowed 2 per bldg elevation when facing a street; however, when facing residential must be non illuminated allowed at 3 SF / LF of building fronting a public street or 1 SF / LF of non street frontage elevation. NTE total of 125 SF
 Window signs 2 per sign window; NTE 50% of total window area
 Painting directly on wall prohibited; artwork not in code subject to review
 Cove lighting not regulated per code
 Drive thru allowed 1 menuboard per order point NTE 42 SF @ 6' OAH



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Date: 10/07/2022

Location: Des Plaines, IL

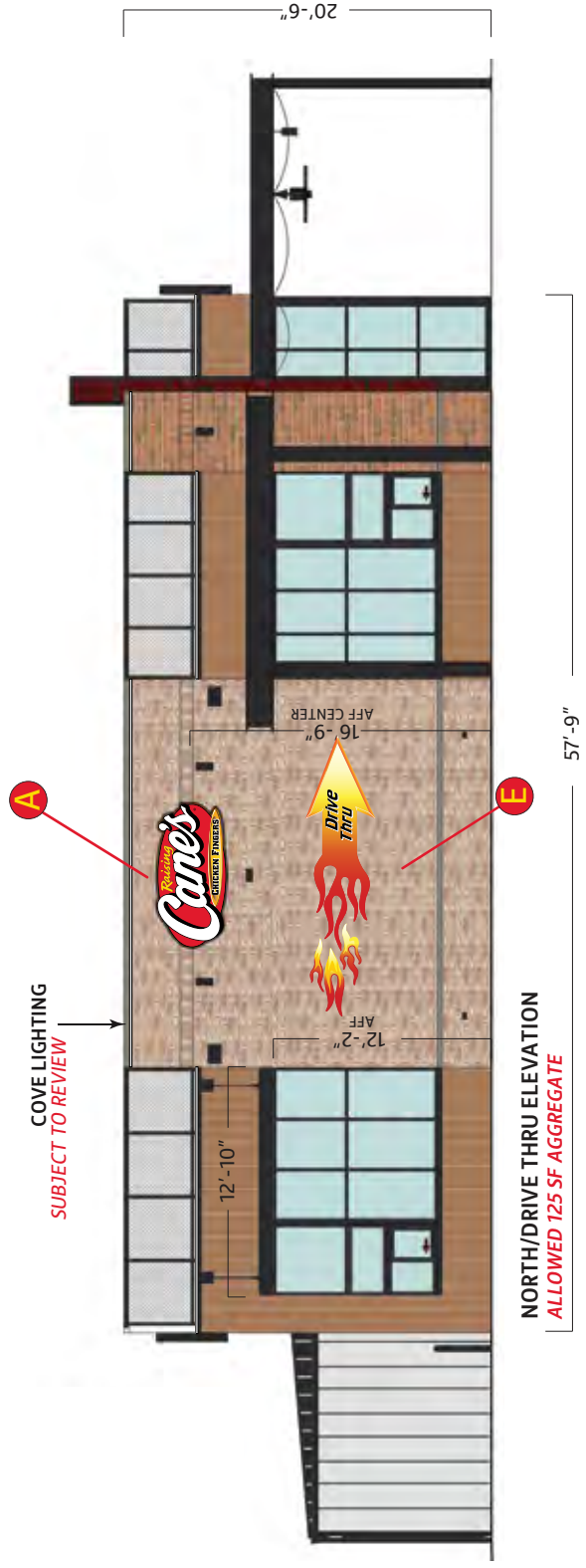
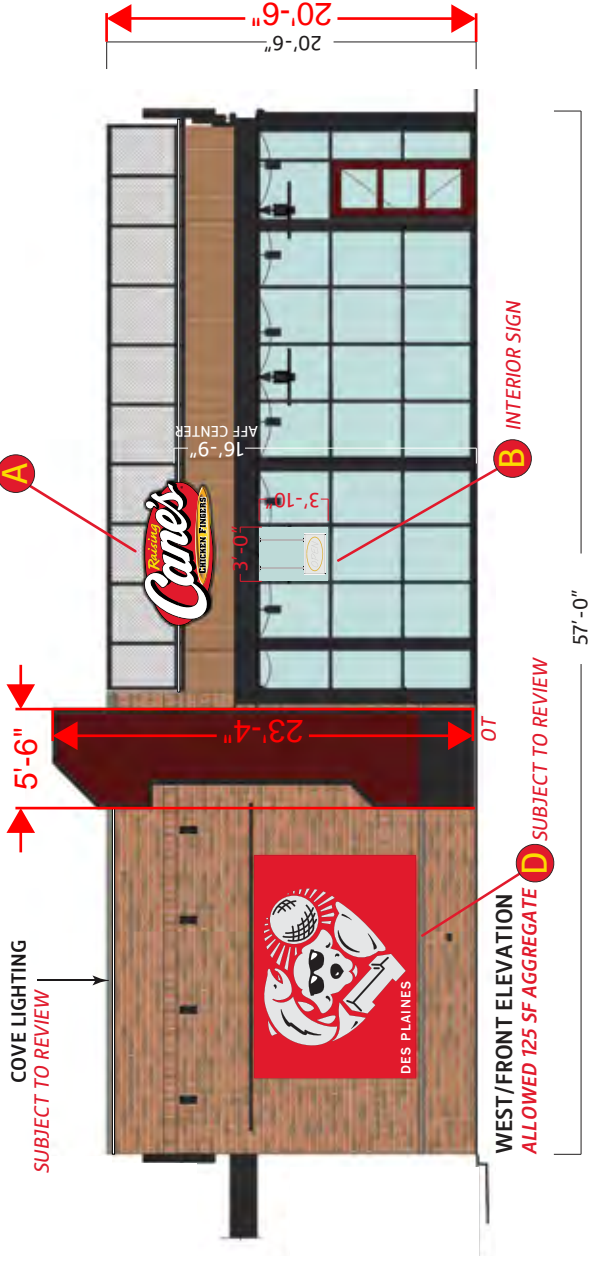
Site ID: RC1009

AGI PM: Scott Rogers



ELEVATIONS

| QTY. | CODE | DESCRIPTION |
|------|--------|---------------------------|
| 4 | WS-8FT | 4x8 Wall Sign |
| 1 | ONS | Open Sign |
| 1 | CFNS | Chicken Fingers Neon Sign |
| 1 | OLH | One Love Heart |
| 1 | PAMRL | Painted Arrow Mural |
| 1 | RD-1 | Red Dog |
| 2 | DTMB | DT Menuboard |
| 1 | DTPS | Pre Sell Board |
| 2 | DTSP | Speaker Post |
| 1 | MTM | Multi-Tenant Monument |
| 1 | DIR | Directional |



Scale: 3/32" = 1'



Location: Des Plaines, IL
Site ID: RC1009

Date: 10/07/2022
AGI PM: Scott Rogers

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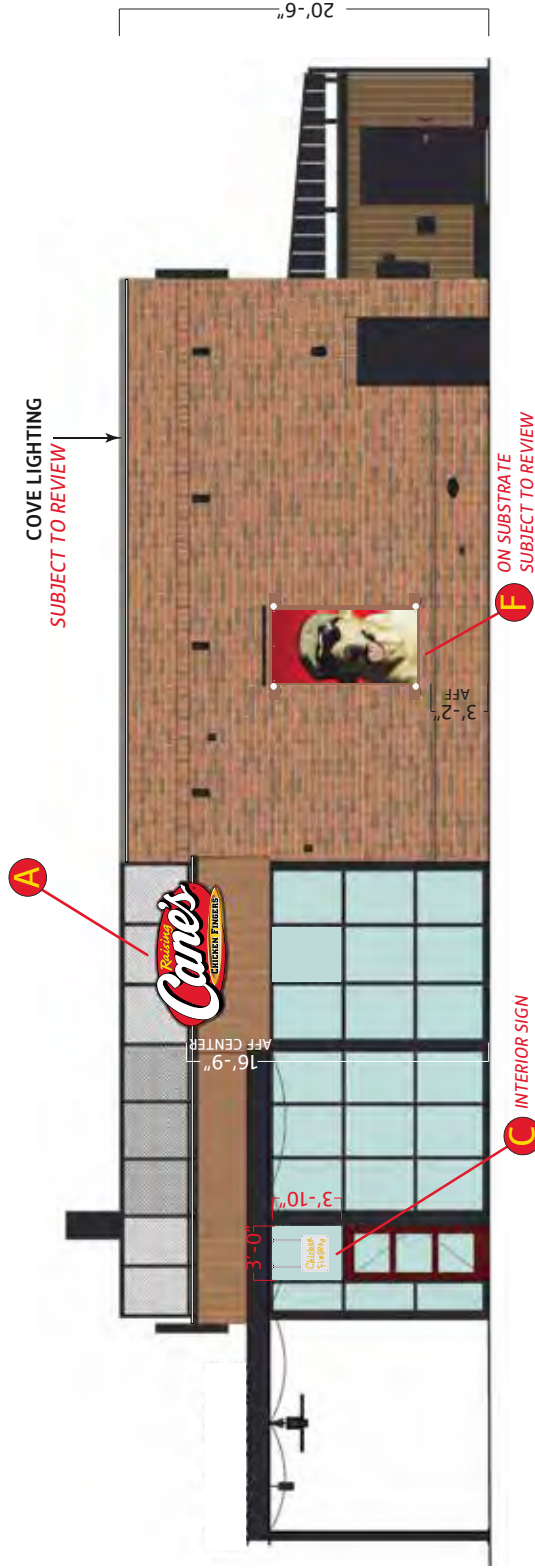
ELEVATIONS

| QTY. | CODE | DESCRIPTION |
|------|--------|---------------------------|
| 4 | WS-8FT | 4x8 Wall Sign |
| 1 | ONS | Open Sign |
| 1 | CFNS | Chicken Fingers Neon Sign |
| 1 | OLH | One Love Heart |
| 1 | PAMRL | Painted Arrow Mural |
| 1 | RD-1 | Red Dog |
| 2 | DTMB | DT Menuboard |
| 1 | DTPS | Pre Sell Board |
| 2 | DTSP | Speaker Post |
| 1 | MTM | Multi-Tenant Monument |
| 1 | DIR | Directional |



EAST/REAR ELEVATION
FACES RESIDENTIAL ZONING

57'-0"



SOUTH/SIDE ENTRY ELEVATION
ALLOWED T25 SF AGGREGATE

57'-9"

Scale: 3/32" = 1'



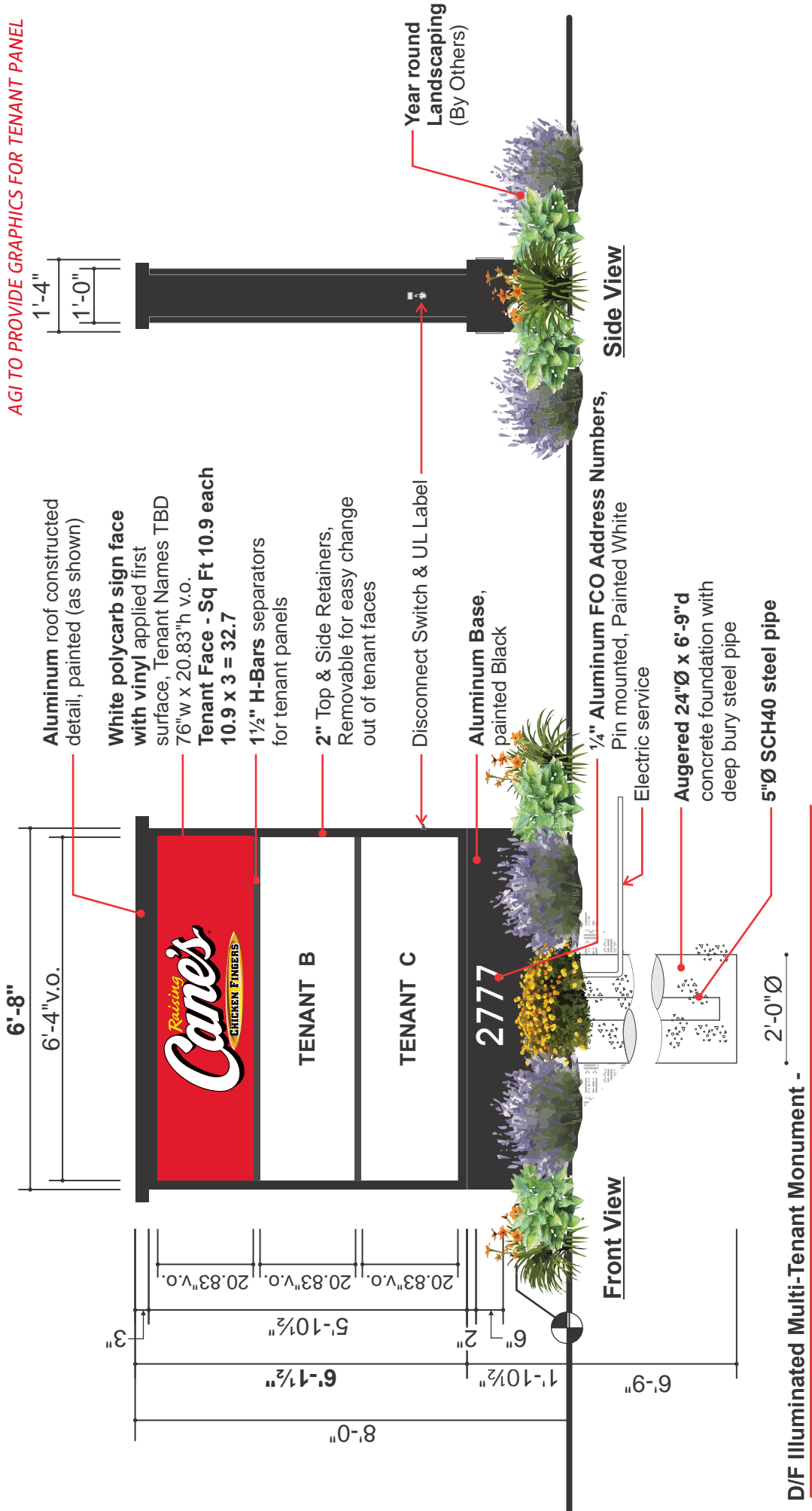
| | |
|---------------------------|----------------------|
| Location: Des Plaines, IL | Date: 10/07/2022 |
| Site ID: RC1009 | AGI PM: Scott Rogers |

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CUTSHEET

Multi-Tenant Monument
 DEVELOPER TO PERMIT, MANUFACTURE, & INSTALL
 AGI TO PROVIDE GRAPHICS FOR TENANT PANEL



D/F Illuminated Multi-Tenant Monument -

Scale 3/8" = 1'-0"
 Qty: (1) Required
 Square Footage: 51.54

Aluminum constructed sign frame with white polycarb sign faces. Removable retainers for easy change out of tenant faces. Sign to illuminated using White LED Modules. Sign to have aluminum base to match new development. Electrical service to be brought top sign sites (By Others). **Drawing for concept purposes only.**



| | |
|---------------------------|----------------------|
| Location: Des Plaines, IL | Date: 10/07/2022 |
| Site ID: RC1009 | AGI PM: Scott Rogers |

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CUTSHEET
WS-8FT

2 PER ELEVATION WHEN FACING A STREET
LIMITED TO 1 SIGN PER ELEVATION FOR NON STREET FACING ELEVATIONS
WHEN FACING RESIDENTIAL MUST BE NON ILLUMINATED ALLOWED AT 3
COPY & DROP SHADOW ARE AS

FOLLOWS: 'RAISING' IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-015 'YELLOW', DROP SHADOW IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-53 'CARDINAL RED'.

BORDER IS PAINTED 'BLACK'
BACKGROUND IS SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-73 'RED'
.150" THERMO FORMED CLEAR POLYCARBONATE FACE REGISTER MARK IS PAINTED 'BLACK'
DOUBLE EMBOSSED LETTERS ARE PAINTED SECOND SURFACE 'WHITE'
EMBOSS AROUND LETTERS IS PAINTED SECOND SURFACE 'BLACK'
EMBOSSED SURFBOARD IS AS FOLLOWS:
-SIDES ARE PAINTED TO MATCH PANTONE #109C 'YELLOW'
-GRAPHICS ARE SECOND SURFACE APPLIED DIGITAL PRINT



FRONT ELEVATION

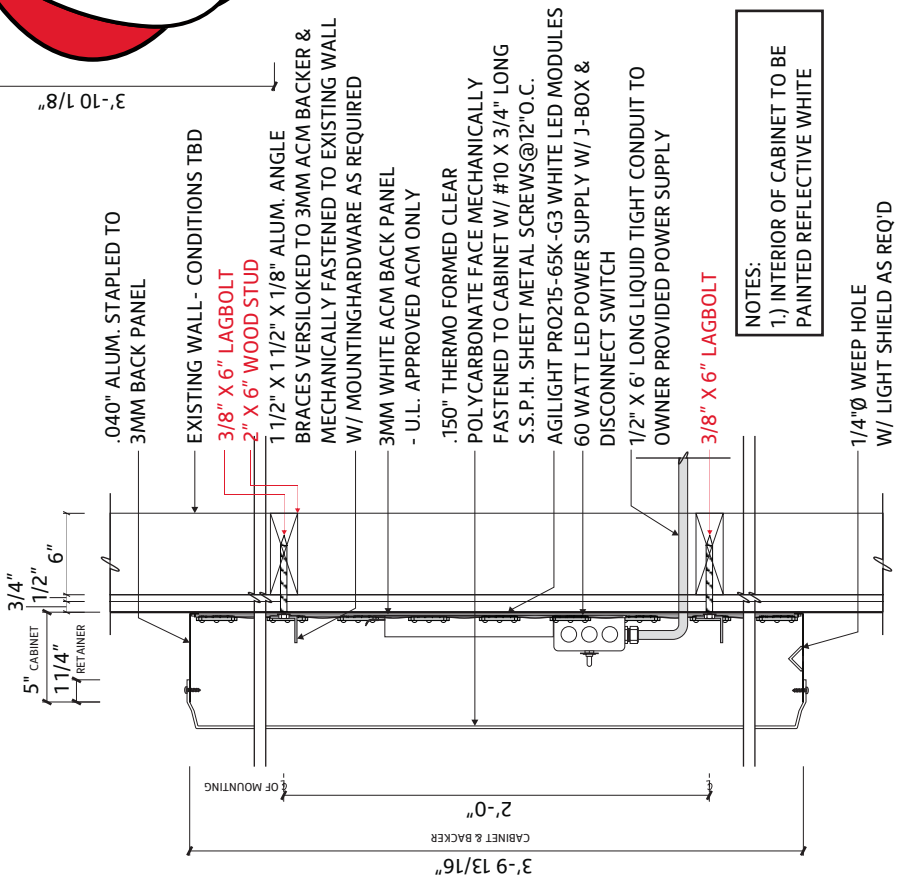
24.14
Square Footage

COLOR CHART

| | |
|--|----------------------------|
| | 3M #3630-15 'YELLOW' |
| | 3M #3630-73 'RED' |
| | 3M #3630-53 'CARDINAL RED' |

ELECTRICAL DATA

| | |
|----------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 1.8 |



NOTES:
1.) INTERIOR OF CABINET TO BE PAINTED REFLECTIVE WHITE

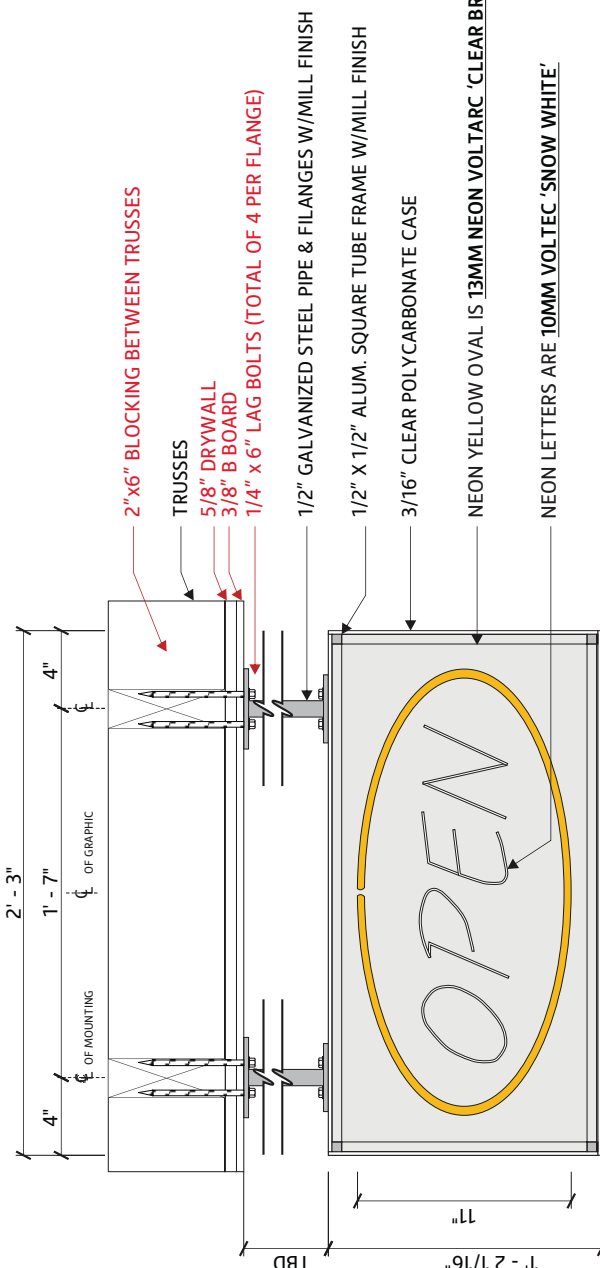


Location: Des Plaines, IL
Date: 10/07/2022
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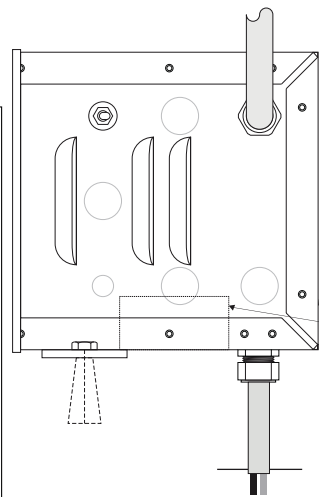


**CUTSHEET
ONS (H)**
**INTERIOR SIGN
PIPE LENGTH TO BE VERIFIED
2 PER SIGN WINDOW
NTE 50% OF TOTAL WINDOW AREA**



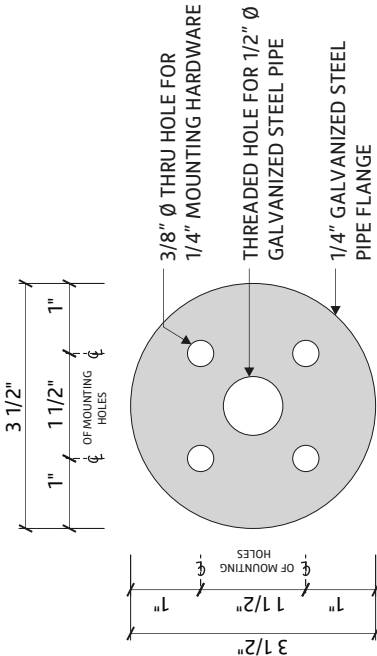
Scale: 1 1/4" = 1'

- NOTES:**
- 1.) TRANSFORMER IS MOUNTED REMOTELY
 - 2.) CONNECT 14 GA GROUND WIRE TO EACH MOUNTING FLANGE & TO GROUND LUG PROVIDED BY TRANSFORMER.
- CONNECT TRANSFORMER GROUND TO SERVICE GROUND AT PANEL BOX



EXISTING TRANSFORMER BOX

LIGHTING COMPONENTS
 LC-2-12-3-C (2,000-12,000V 30 MA)
 MOUNTED IN REMOVE TRANSFORMER BOX

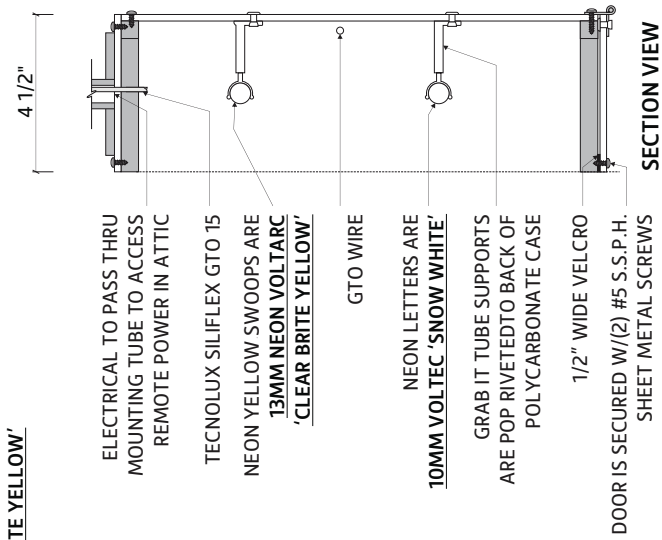


PIPE FLANGE DETAIL

BLOW UP DETAIL

1 1/2" CONTINUOUS PIANO HINGE IS POP RIVETED TO POLYCARBONATE BOTTOM & MECHANICALLY FASTENED TO POLYCARBONATE BACKER & ALUM. TUBE FRAME 2/ #6 S.S.P. H. SHEET METAL SCREWS

(3) STRIPS OF 1/2" WIDE BLACK VELCRO TO CLOSE POLYCARBONATE DOOR @ TUBE FRAME
 -DOOR IS SECURED W/ (2) #6 S.S.P. H. SHEET METAL SCREWS



SECTION VIEW

| ELECTRICAL DATA | |
|-----------------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 2.1 |

ELECTRICAL TO PASS THRU MOUNTING TUBE TO ACCESS REMOTE POWER IN ATTIC

TECNOLUX SILIFLEX GTO 15

NEON YELLOW SWOOPS ARE 13MM NEON VOLTARC 'CLEAR BRITE YELLOW'

GTO WIRE

NEON LETTERS ARE 10MM VOLTEC 'SNOW WHITE'

GRAB IT TUBE SUPPORTS ARE POP RIVETED TO BACK OF POLYCARBONATE CASE

1/2" WIDE VELCRO

DOOR IS SECURED W/(2) #5 S.S.P.H. SHEET METAL SCREWS



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Date: 10/07/2022

Location: Des Plaines, IL

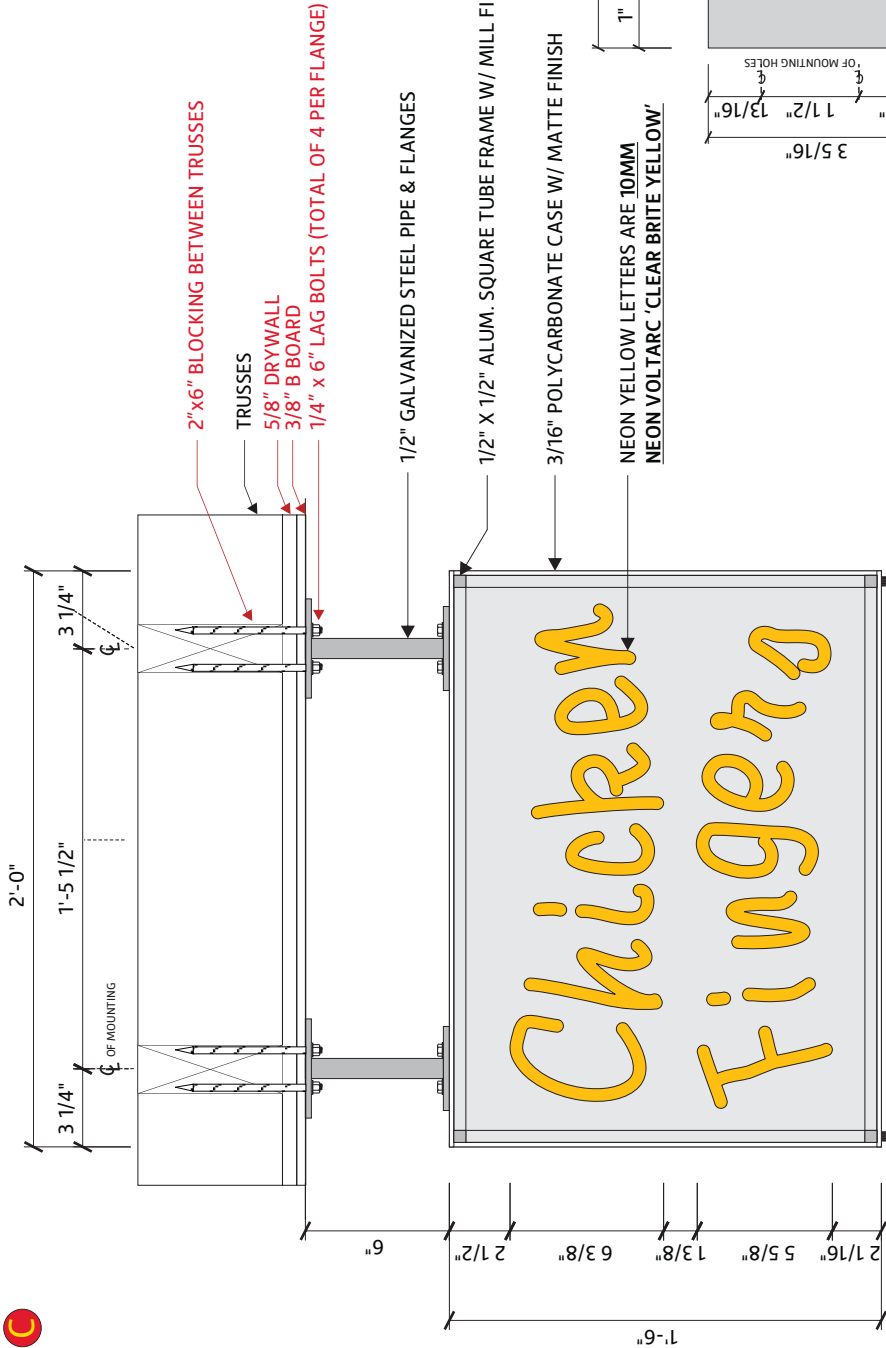
AGI PM: Scott Rogers

Site ID: RC1009



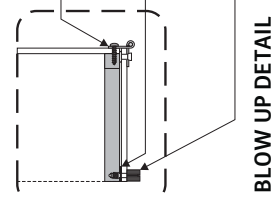


CUTSHEET
"Original" Chicken Fingers Neon Sign
INTERIOR SIGN
PIPE LENGTH TO BE VERIFIED
2 PER SIGN WINDOW
NTE 50% OF TOTAL WINDOW AREA

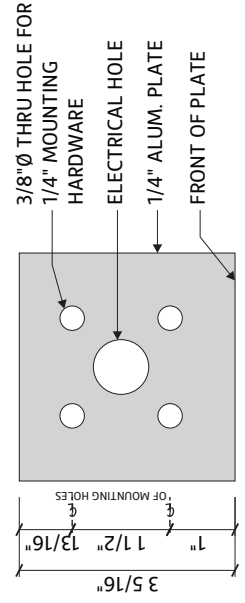


FRONT ELEVATION
 Scale: 1 1/2" = 1'

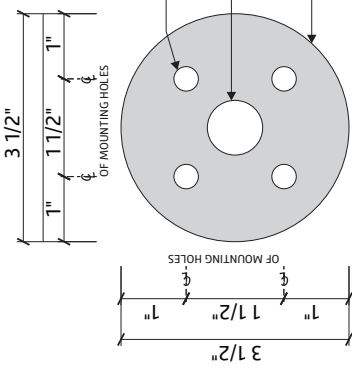
- 1 1/2" CONTINUOUS PIANO HINGE IS POP RIVETED TO POLYCARBONATE BOTTOM & MECHANICALLY FASTENED TO POLYCARBONATE BACKER & ALUM. TUBE FRAME W/ #6 S.S.P.H. SHEET METAL SCREWS
- (1) STRIP OF 1/2" WIDE CLEAR 3M DUAL LOCK POLYCARBONATE DOOR @ TUBE FRAME @ CENTER ONLY
- 3/16" POLYCARBONATE CASE W/ MATTE FINISH IS OPEN @ FRONT W/ #10-32 X 5/8" LONG 18-8 S.S. KNURLED HEAD CAPTIVE PANEL SCREW W/ SLOTTED DRIVE MCMASTER CARR #91035A508W/ 18-8 S.S. RETAINER FOR 10-32 THREAD MCMASTER CARR #91065A720



BLOW UP DETAIL

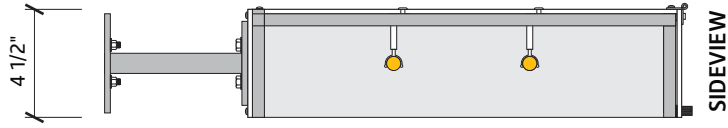


INTERIOR PLATE DETAIL



EXTERIOR PLATE DETAIL

| ELECTRICAL DATA | |
|-----------------|-----|
| VOLTAGE | 120 |
| AMPERAGE | 2.1 |



SIDEVIEW

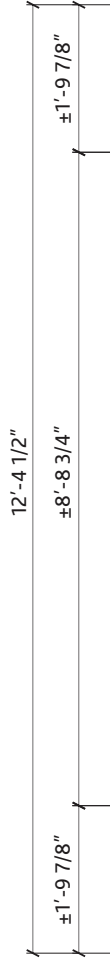


Location: Des Plaines, IL
Date: 10/07/2022

Site ID: RC1009
AGI PM: Scott Rogers

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WALL IS PAINTED 'RED'
 (CLIENT TO SPECIFY COLOR)

DETAIL IS SURFACE APPLIED OPAQUE
 VINYL 'BLACK' (CLIENT TO SPECIFY COLOR)

MAP BRUSHED ALUM.

1/8" PRECISION
 ROUTED ALUM.

EXISTING WALL

#8 HX HD SHEET METAL
 SCREWS - S.S. X 1/2"

1/2" X 1/2" X 1/16" ALUM.
 ANGL TACK WELD TO BACK
 OF ALUM FACE

3/16" Ø SCREW TO WALL



Location: Des Plaines, IL

Site ID: RC1009

Date: 10/07/2022

AGI PM: Scott Rogers

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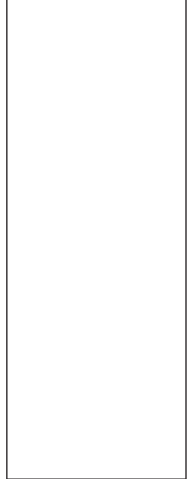
62.42
Square Footage



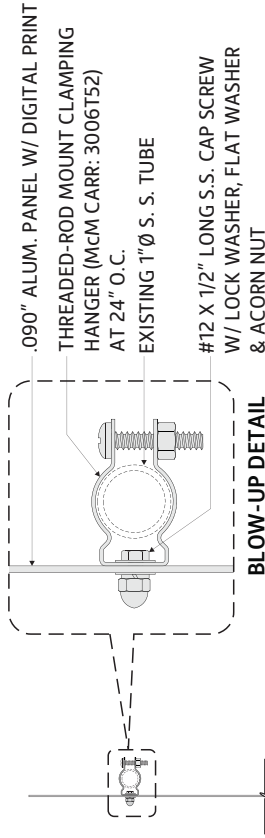
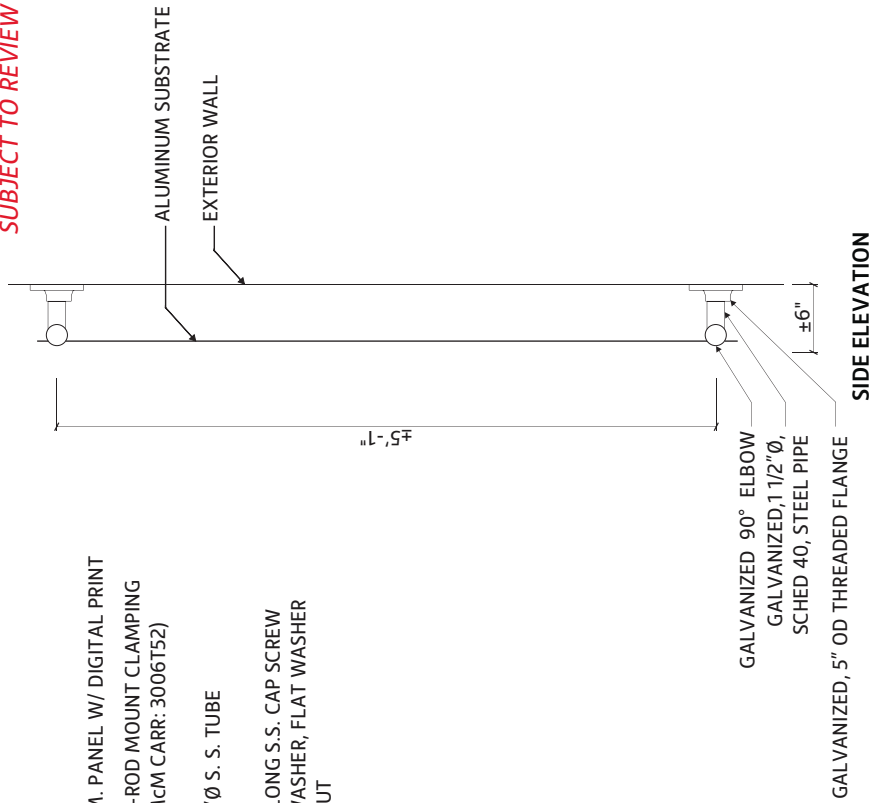
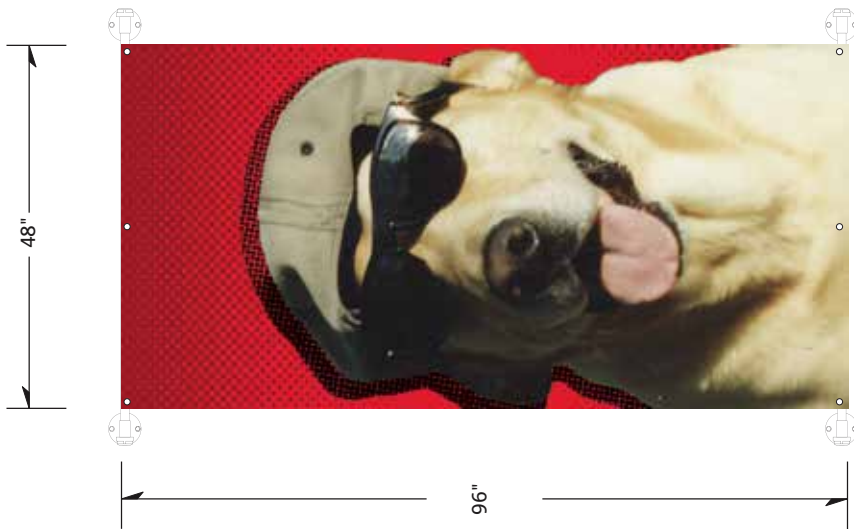
Location: Des Plaines, IL
Site ID: RC1009

Date: 10/07/2022
AGI PM: Scott Rogers

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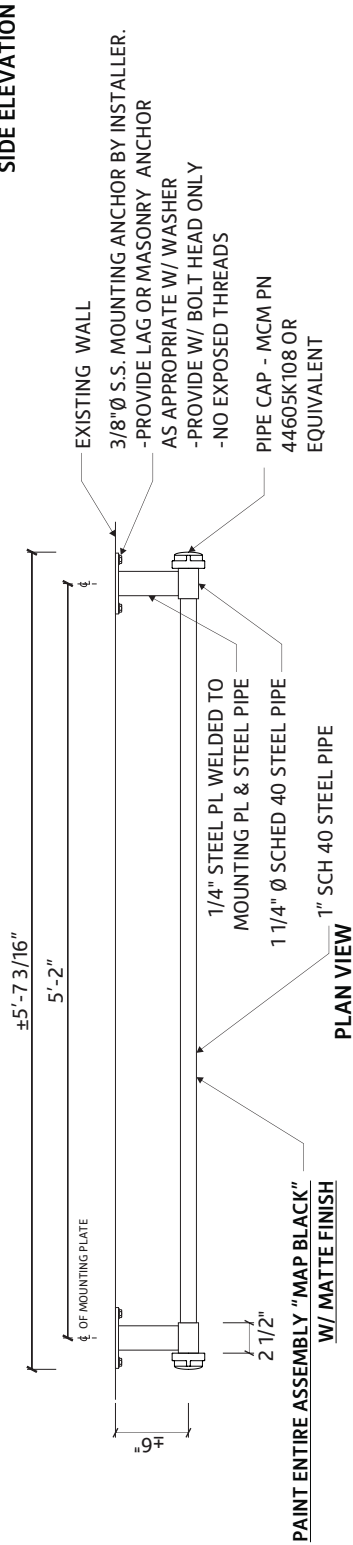


CUTSHEET
Red Dog on Substrate
ARTWORK NOT IN CODE
SUBJECT TO REVIEW



SIDE VIEW

THIS IS A DIGITAL PRINT ON ALUMINUM SUBSTRATE AND RIGID.



PLAN VIEW



Location: Des Plaines, IL

Site ID: RC1009

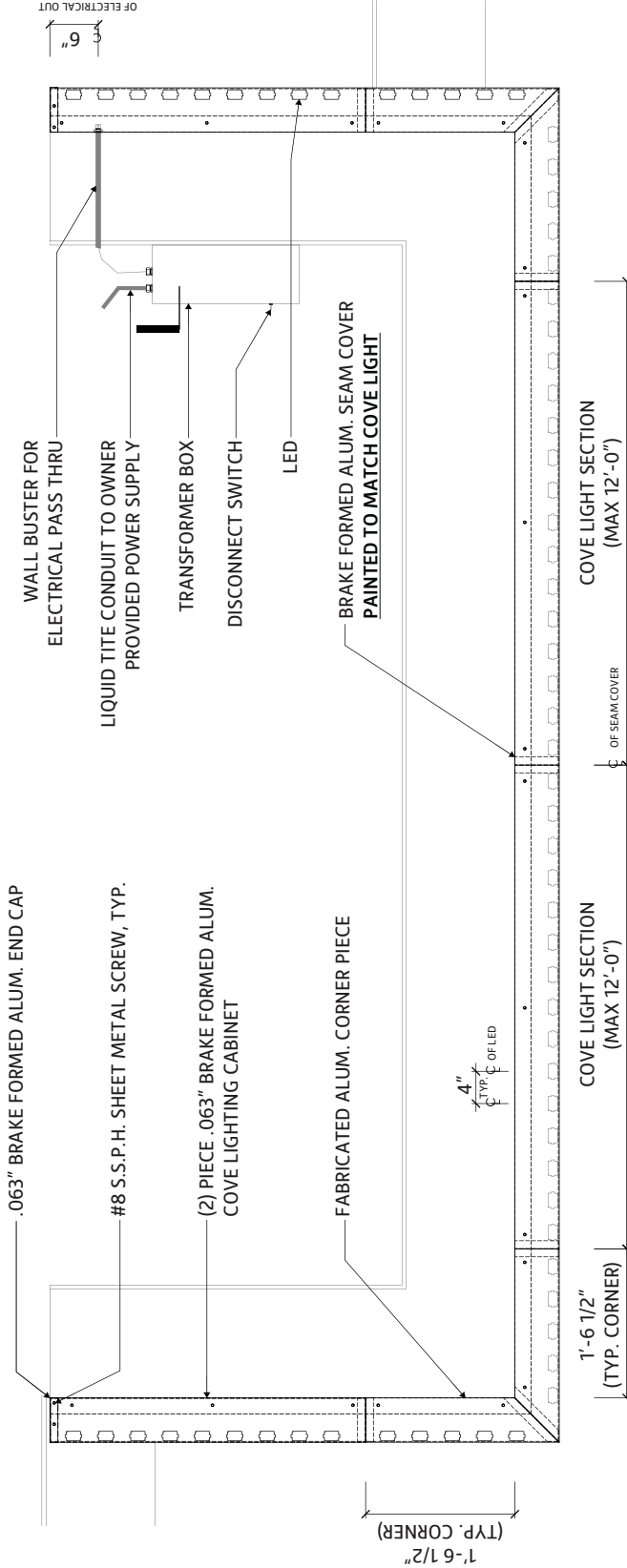
AGI PM: Scott Rogers

Date: 10/07/2022

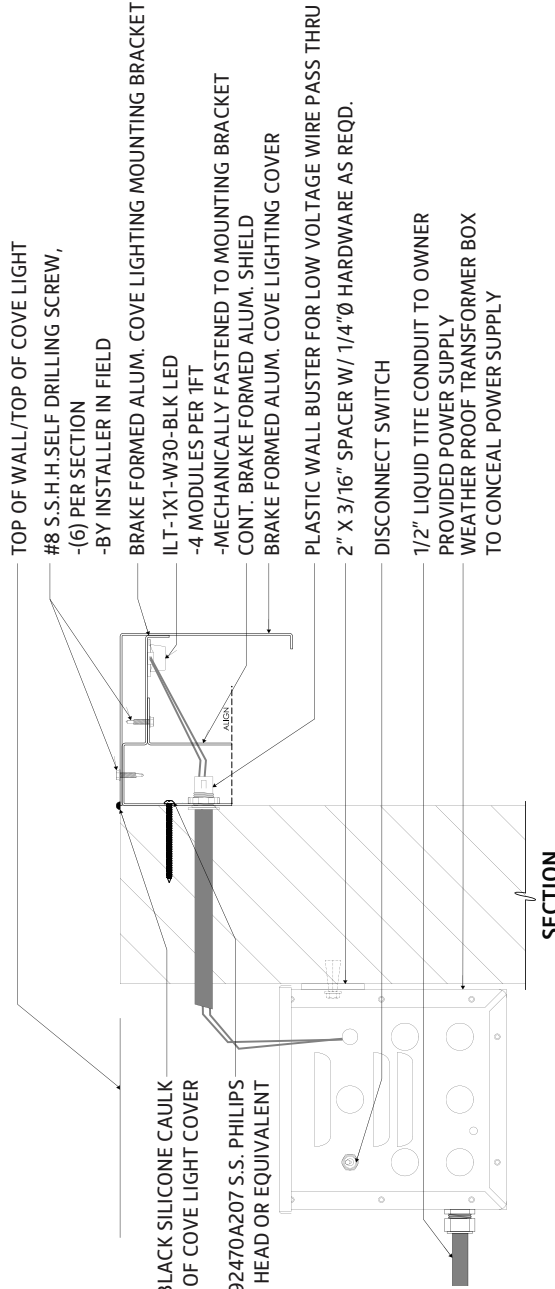
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CUTSHEET
 Cove Lighting ILT
NOT IN CODE
SUBJECT TO REVIEW



STRUCTURAL PLAN VIEW



SECTION

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Date: 10/07/2022
AGI PM: Scott Rogers

Location: Des Plaines, IL
Site ID: RC1009

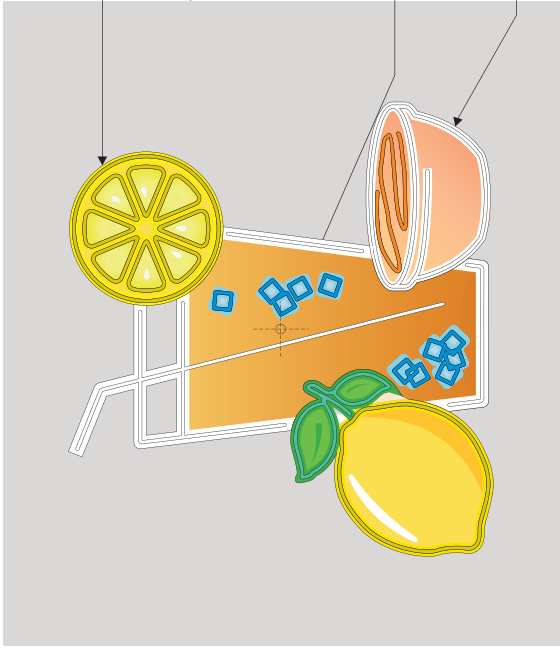


CUTSHEET

Lemonade Sign (P6)

INTERIOR SIGN

±3'-5 1/8"

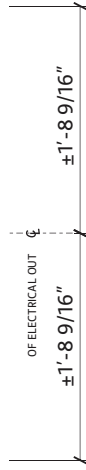
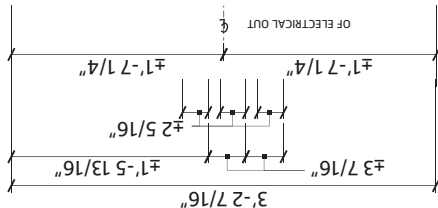


FABRICATED ALUM. CHANNEL CABINET
 PAINTED MAP 'GLOSS WHITE'
 ON FACE & RETURNS W/ ALUM. FACE
 TO HAVE SURFACE APPLIED
 DIGITAL PRINT W/ GLOSS OVERLAMINATE

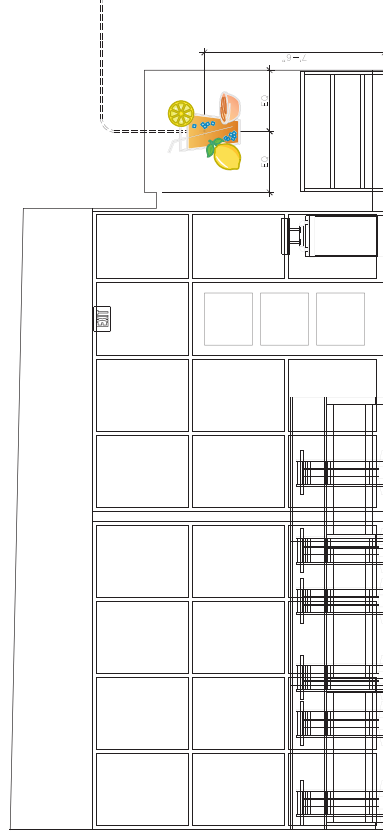
EXISTING CERAMIC TILE WALL

ELECTRICAL
 OUT LOCATION

GRAPHICS ARE
 TRANSLUCENT
 WHITE MOLDED
 SILICONE
 BACKED W/
 #7328 WHITE
 POLY & VINYL



FRONT ELEVATION



INTERIOR ELEVATION PLACEMENT

Scale: 1/8" = 1'

- .063" ALUM. RETURN
RC-WS-MDND-38-01
- WELDED TO FACE PANEL
- .063" ALUM. BREAK FORMED ANGLE, 1/2" X 1/2", 3/4" LONG
RC-WS-LMND-38-01
- POP RIVETED TO BACKER PANEL & FABRICATED FACES
FASTENED TO USING S.S.C.S. SHEET METAL SCREWS
STAINLESS HEX NUT
- AGI HEX NUT-316 STAINLESS
- 1/4" Ø SHOT WELDED STUDS
- RC-WS-LMND-38-01
- .063" BREAK FORMED BAFFLE
- RC-WS-LMND-38-01
- WELDED OR VERSILOKED TO BACKER PANEL
MCM #4869A71 RUBBER TRIM
- RC-WS-LMND-38-01
- MOLDED SILICONE
RC-WS-LMND-38-02
- .177" #7328 WHITE POLY
RC-WS-LMND-38-03
- LS-UMIN-65K-L4-50B
AGILIGHT ULTRA MINI WHITE
- LEDS PER LAYOUT
- .063" BREAK FORMED ALUM ANGLE, 1/2" X 1/2", 3/4" LONG
RC-WS-LMND-38-01
- WELDED TO RETURN FOR SUPPORT

SECTION



Location: Des Plaines, IL

Site ID: RC1009

Date: 10/07/2022

AGI PM: Scott Rogers

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CUTSHEET
 Drive Thru Menu Board
 1 MENUBOARD PER ORDER POINT
 NTE 42 SF @ 6' OAH



28.63
 Square Footage

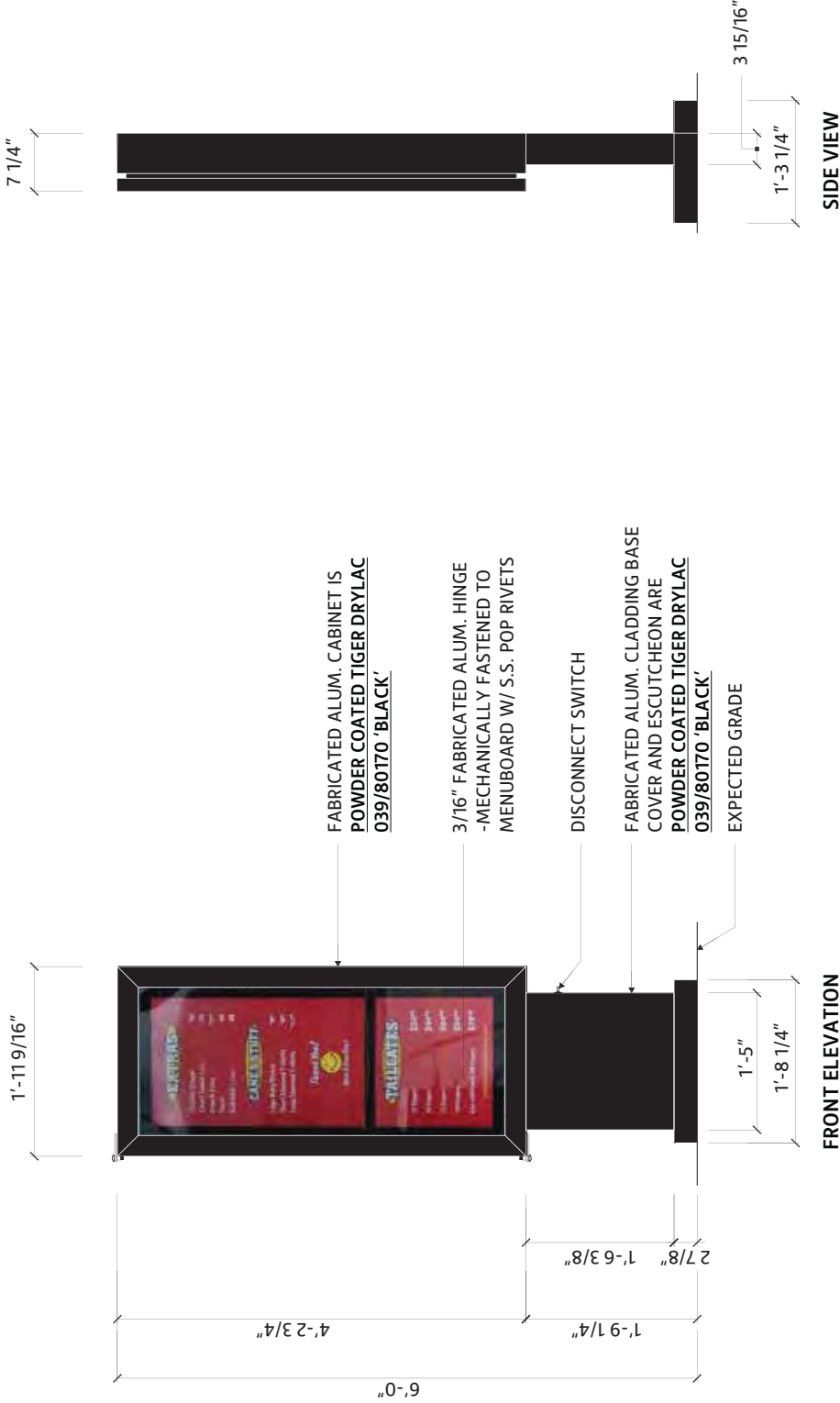


Location: Des Plaines, IL
 Site ID: RC1009

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PAGE 18



8.31
Square Footage



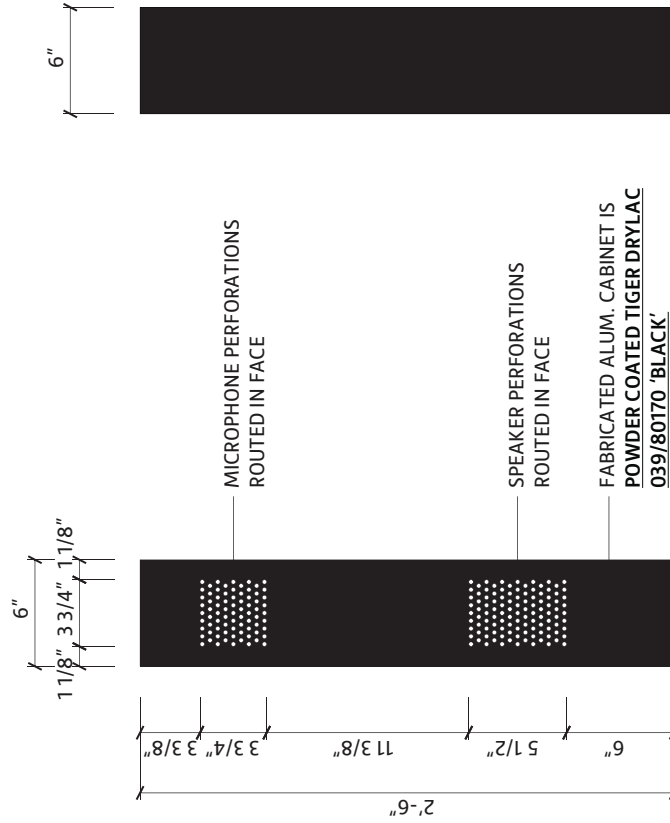
| | |
|----------------------------------|-----------------------------|
| Location: Des Plaines, IL | Date: 10/07/2022 |
| Site ID: RC1009 | AGI PM: Scott Rogers |

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CUTSHEET

Speaker Post



SIDE VIEW

FRONT ELEVATION



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AGI PM: Scott Rogers

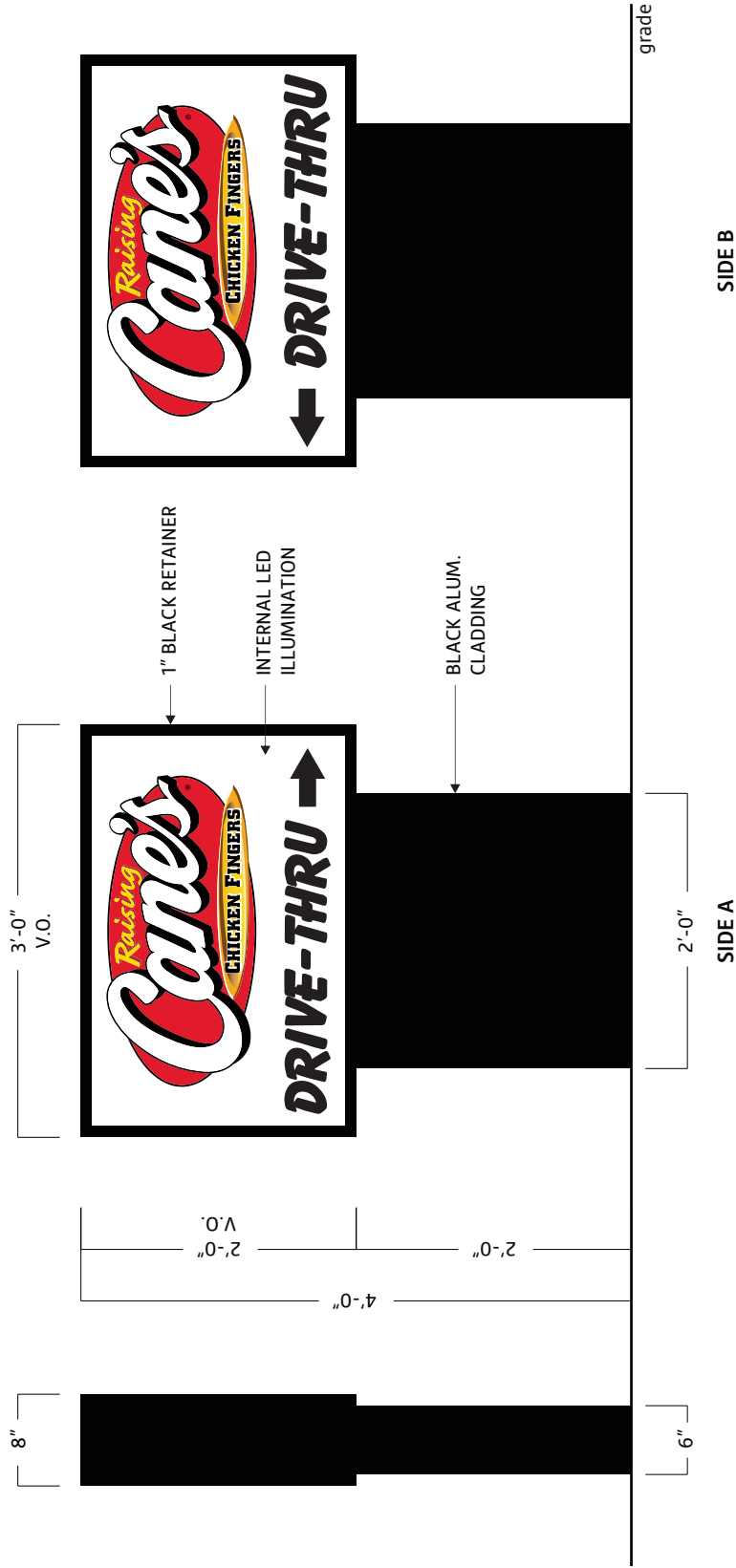
Location: Des Plaines, IL

Site ID: RC1009





CUTSHEET
Directional



Scale: 3/4" = 1'



Location: Des Plaines, IL

Site ID: RC1009

Date: 10/07/2022

AGI PM: Scott Rogers

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COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 14, 2023
To: Planning and Zoning Board (PZB)
From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Jonathan Stytz, AICP, Senior Planner *JSS*
Subject: Request to Continue 23-051-PUD-CU LASR: 2995-3001 Mannheim Road

Due to the quantity of comments addressed by staff in the Official Review Letter, the petitioner has requested to continue the hearing to the Board's regular meeting on Tuesday, September 12, 2023. I recommend the Board grant this request, which is attached.

From: [Rehan Zaid](#)
To: [Todd Shaffer](#); [Jonathan Stytz](#)
Subject: Re: Official Letter for 2995-3001 Mannheim Road - Final PUD Amendment and LASR Amendment
Date: Monday, August 14, 2023 2:31:37 PM

This shall serve as confirmation to change the meeting date -

R. Rehan Zaid
Principal
Prominence Hospitality Group
847-361-7362

From: Todd Shaffer <todd-s@haegerengineering.com>
Sent: Monday, August 14, 2023 2:02:01 PM
To: Jonathan Stytz <jstytz@desplaines.org>
Cc: Rehan Zaid <rzaid@prohosp.com>
Subject: RE: Official Letter for 2995-3001 Mannheim Road - Final PUD Amendment and LASR Amendment

Jonathan:

We had a virtual call with Rehan, Popeyes and Tesla this afternoon. Due to the comments received and coordination involved we are not able to meet the 8/16/22 resubmittal deadline for the 8/22/23 PZB meeting and request that we be put on the 9/12/23 PZB meeting. We anticipate a resubmittal to the City on Friday 8/25/23.

In the interim, we are requesting a meeting/virtual call between the City, Tesla, Landscape Architect and Haeger to discuss the landscape comments. I will send a separate email with the team members and you to start the line of communication on this.

Sincerely,

Todd A. Shaffer, PE, CFM, SIT
Principal

HAEGER ENGINEERING
direct: 847.230.3180

From: Jonathan Stytz <jstytz@desplaines.org>
Sent: Thursday, August 10, 2023 11:30 AM
To: 'Rehan Zaid' <rzaid@prohosp.com>
Cc: Todd Shaffer <todd-s@haegerengineering.com>
Subject: Official Letter for 2995-3001 Mannheim Road - Final PUD Amendment and LASR Amendment
Importance: High

Good morning Rehan,

Staff has reviewed your Final PUD Amendment and LASR Amendment petition documents and plans for the proposed project at 2995-3001 Mannheim Road. There are comments that need to be addressed in the application. These revisions need to be submitted on or before **Wednesday, August 16, 2023 by 4 pm**. This item is currently scheduled for the August 22, 2023 Planning and Zoning Board meeting.

Final Comments

1. Please ensure that all re-submitted drawings and documents have a revision date on them.
2. Staff encourages the presenter to utilize a PowerPoint presentation at the future Planning and Zoning Board meeting. A projector and screen will be provided for this meeting.

If you have any questions regarding any of the comments listed above, please do not hesitate to contact me directly at 847.391.5392 or via email at jstytz@desplaines.org.

“How are we doing? Our department wants your feedback. Based on your recent experience with us, please take a few moments to complete this [customer satisfaction survey](#).”

Sincerely,

JONATHAN STYTZ, AICP
SENIOR PLANNER
City of Des Plaines
1420 Miner Street, Des Plaines, IL 60016
P: 847.391.5392 W: desplaines.org





COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
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MEMORANDUM

Date: August 16, 2023

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: John T. Carlisle, AICP, Director of Community and Economic Development JC

Subject: Request to Continue 23-043-TA: Text Amendment for Accessory Structures

Due to the request of PZB to obtain additional information on the accessory structure regulations of surrounding communities, staff has requested to continue the hearing to the Board's regular meeting on Tuesday, September 12, 2023. I recommend the Board grant this request, which is attached.