

Planning and Zoning Board Agenda

April 11, 2023

Room 102 – 7:00 P.M.

Call to Order and Roll Call

Approval of Minutes, March 28, 2023

Public Comment: For matters that are not on the agenda

Pending Applications:

1. Address: 2777 Mannheim Road

Case Number: 23-014-CU-TSUB

The petitioner is requesting the following items: (i) a conditional use permit to allow two drive-through uses on the subject property that is next to residential properties; (ii) a tentative plat of subdivision to consolidate the five existing lots into three lots of record; and (iii) and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09331080120000, 09-33-108-013-0000, 09-33-108-014-0000, 09-33-108-022-0000, and 09-33-108-023-0000

Petitioner: GW Properties (Mitch Goltz), 2211 N. Elston Avenue, Suite 400, Chicago, IL, 60614

Owner: Gus Sutter, 2777 Mannheim Road, Des Plaines, IL, 60018

2. Address: 820-848 Lee Street

Case Number: 23-013-CU

The petitioner is requesting an amendment to a previously approved conditional use permit and variation, or a new conditional use permit and variation, whichever is necessary, related to the following items: (i) operating a Commercially Zoned Assembly Use in the C-5 Zoning District; (ii) operating a private elementary and high school in the C-5 Zoning District; and (iii) operating with a variation from the collective off-street parking requirements at the subject property; and any other variations, waivers, and zoning relief as may be necessary.

PINs: 09-17-425-029-0000, 09-17-425-030-0000, 09-17-425-031-0000, 09-17-425-032-0000, and 09-17-425-033-0000

Petitioner: Little Bulgarian School in Chicago, 832 Lee Street, Des Plaines, IL, 60016

Owner: Little Bulgarian School in Chicago, 832 Lee Street, Des Plaines, IL, 60016

3. Address: 827 Elmhurst Road

Case Number: 22-054-CU

The petitioner is requesting a conditional use permit to operate an auto service repair use in the C-3 zoning district and any other variations, waivers, and zoning relief as may be necessary.

PIN: 08-24-100-031-0000

Petitioner: GW Properties (Mitch Goltz), 2211 N. Elston Avenue, Suite 400, Chicago, IL 60614

Owner: RDK Ventures, LLC c/o Mac's Convenience Stores, LLC, P.O. Box 347, 4080 W. Jonathan Moore Pike, Columbus, IN 47201

4. Address: 1378 Margret Street

Case Number: 22-055-APPEAL

(continued from January 24, 2023 and February 28, 2023)

The petitioner is appealing a decision by the Zoning Administrator regarding the classification of a structure on the subject property as a trellis.

PIN: 09-20-314-012-0000

Petitioner: Jennifer Toner, 1368 Margret Street, Des Plaines, IL 60018

Owner: Patrick and Val Howe, 1378 Margret Street, Des Plaines, IL 60018

5. Address: 930, 946, and 970 North Avenue

Case Number: 23-012-TSUB

The applicant has requested a Tentative Plat of Subdivision under section 13-2-2 of the Subdivision Regulations to re-initiate and ultimately complete consolidation of multiple existing lots into one.

PINs: 09-17-103-031-0000, 09-17-103-041-0000, 09-17-103-042-0000, 09-17-103-044-0000, 09-17-103-045-0000, and 09-17-103-048-0000

Applicant: Blue Sky Residence, LLC (Representative: Dan R. Pontarelli, 1204 E. Central Road, Arlington Heights, IL 60005)

Owner: Old Second National Bank Land Trust No. 7923 via Chicago Title Land Trust Company (Beneficiary: Blue Sky Residence, LLC, 1204 E. Central Road, Arlington Heights, IL 60005)

New Business:

1. Discussion of Potential PZB Workshop and Special Meeting

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.



**DES PLAINES PLANNING AND ZONING BOARD MEETING
March 28, 2023
DRAFT MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, March 28, 2023, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chair Szabo called the meeting to order at 7:00 p.m. and roll call was established.

PRESENT: Catalano, Hofherr, Saletnik, Weaver, Fowler, Szabo

ABSENT: Veremis

ALSO PRESENT: Jonathan Stytz, Senior Planner
Margie Mosele, Executive Assistant

A quorum was present.

Call to Order and Roll Call

Approval of Minutes: March 14 ,2023

APPROVAL OF MINUTES

A motion was made by Board Member Weaver, seconded by Board Member Hofherr to approve the meeting minutes of March 14, 2023 with changes to page 1 and page 18.

AYES: Weaver, Hofherr, Catalano, Saletnik, Szabo

NAYES: None

ABSTAIN: Fowler

*****MOTION CARRIES UNANIMOUSLY ****

PUBLIC COMMENT ON NON-AGENDA ITEM

None

Applications

1. **Address:** 2805 Sycamore Street

Case Number: 23-008-V

Issue: The petitioner is requesting a Standard Variation to reduce the required interior side yard setback from five feet to 0.21 feet in order to enclose an existing covered roof area to create an attached garage.

Petitioner: Jose George, 2805 Sycamore Street, Des Plaines, IL 60018

Owner: Jose George, 2805 Sycamore Street, Des Plaines, IL 60018

**Real Estate Index
Number:** 09-33-303-019-0000

Ward: #6, Alderman Malcolm Chester

Existing Zoning: R-1 Single Family Residential district

Existing Land Use: Single Family Residence

Surrounding Zoning: North: R-1 Single Family Residential district
South: R-1 Single Family Residential district
East: R-1 Single Family Residential district
West: C-3 General Commercial district

Surrounding Land Use: North: Single Family Residence (Residential)
South: Single Family Residence (Residential)
East: Single Family Residence (Residential)
West: ComEd Substation (Public Utilities)

Street Classification: Pratt Avenue and Sycamore Street are both local roads.

Comprehensive Plan: The Comprehensive Plan illustrates the site as residential.

Zoning/Property History: Based on City records, the subject property was annexed into the city in 1956 and has been utilized as a single-family residence.

Project Description: *Overview*

The petitioner, Jose George, has requested a standard variation to allow an existing covered roof structure to be converted into an enclosed and attached garage in the R-1 Single Family Residential district at 2805 Sycamore Street. The subject property consists of a single, 7,000-square foot (0.16 acre) lot with a 1,698-square-foot split-level brick house—including a basement and covered roof area—two frame sheds, residential walkways, a concrete patio, and concrete driveway off Pratt Avenue as shown in the attached Plat of Survey. As such, the petitioner proposes to fully enclose the existing roof structure on all three open sides to convert it into an attached garage without any changes to the roof structure itself, the concrete slab under it, or the concrete driveway surface.

Existing Non-Conformity

The subject of the variation request is a roof structure with no walls except the east elevation of the residence for which it is attached with a setback that is less than one foot from the east property line. Note that the structure in question is referred to as a roof structure instead of a carport given that Section 12-13-3 defines a carport as “an accessory structure with a permanent roof and three or fewer walls that is generally used for storing motor vehicles, boats, equipment and other items.” Due to the fact that the structure is attached to the residence, it is not an accessory structure and therefore is not a carport by definition.

Since City records indicate that this roof structure has been existing on site prior to the adoption of the 1998 Zoning Ordinance, it is classified as a non-conforming structure. The current use of this structure is a covered off-street parking area for vehicles. However, the petitioner’s proposal to enclose the roof structure area with walls to utilize it as an attached garage increases the degree of the non-conformity requiring a variation request.

Proposed Floor Plan & Elevations

The existing roof structure is approximately 26 feet long by 18.63 feet wide (484.25 square feet), all of which the petitioner intends to utilize for the proposed attached garage as shown on the attached Floor Plan. The existing door on the east elevation of the residence will serve as the direct access into the house from the proposed garage. However, an additional door is proposed on the south elevation of the proposed attached garage to provide access to the concrete patio area directly abutting the existing roof structure. The existing window on the east elevation of the residence will be removed and the area filled in with brick to match the existing residence. However, a new window will be installed on the south elevation of the proposed attached garage facing the concrete patio area. A new 16-foot-wide by 7-foot-tall garage door will be installed on the north (front) elevation of the proposed attached garage and the new walls for the garage structure will consist of face brick that matches the existing exterior of the residence as shown in the attached Elevations.

Building Design Standards

Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects when there are “appearance altering renovations to the front or corner facades of a principal structure.” Since the proposal does alter the front of the residence, the regulations in this section are required to be met. For the subject property, the front façade is the north elevation facing Pratt Avenue. A scaled drawing of the front elevation has not been provided. However, the provided elevations include an illustration that demonstrates the proposed alterations to the front of the residence. The proposed alterations will require the following:

	Requirement	Proposed
Building Materials	Natural stone, face brick, or anchored or adhered masonry veneer	Face brick, to match existing residence (Refer to attached Elevations)
Blank Wall Limitations	No rectangular area greater than 30 percent of a story's facade, as measured from the floor of one story to the floor of the next story, may be windowless	Scaled drawings not provided with sufficient information. Requirement must be met or minor variation obtained.
	No part of a story's facade may be windowless for a horizontal distance greater than 15 feet.	Scaled drawings not provided with sufficient information. Requirement must be met or minor variation obtained.

Off-Street Parking

Single family residences are required to provide two off-street parking spaces pursuant to Section 12-9-7 of the Zoning Ordinance. As shown on the attached Plat of Survey, there is ample space for two off-street parking spaces on the uncovered driveway area and two off-street parking spaces underneath the roof structure for a total of four. As noted on the attached Site Plan, there are no proposed changes to the current number of off-street parking spaces since the existing driveway and roof structure footprint are proposed to remain the same.

_____ *Alternative Plans Considered*

As part of the revisions for this request, the petitioner submitted an exhibit identifying alternative garage plans considered for the subject property as shown on the attached Alternative Garage Plans. Two alternative plans are displayed, both proposing the removal of the existing driveway off Pratt Avenue, the conversion of the roof structure to a solarium, and a new garage and driveway surface accessed from Sycamore Street with slight differences in the garage and solarium setback distances from the property lines and hard surface size and locations. In the Response to Standards, the petitioner states the alternatives presented greater practical difficulty and would require more variations compared to the original plan. The PZB may wish to have the petitioner provide additional details on both alternative plans considered and why these alternative plans are not feasible.

Variation Findings:

Variation requests are subject to the standards set forth in Section 12-3-6(H) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: Considering the other opportunities available, the zoning challenges encountered do not rise to the level of hardship or practical difficulty. The petitioner argues that a majority of the City's population have two or more vehicles and claims that there is not ample space in the covered roof area to accommodate a two-car enclosed garage while meeting the setback requirement. However, the subject property has ample space in the rear yard to install a two-car detached garage and meet the minimum 5-foot-setback requirement, which is necessary space to satisfy the property owner's needs and is a property characteristic not always available to other owners of smaller R-1 zoned properties. The R-1 bulk regulations apply to all residential properties in the R-1 zoning district, regardless of their characteristics, with the intention of promoting developments whose setback distance from property lines is consistent with other R-1 zoned properties throughout the City. Allowing an existing roof structure that does not meet minimum setback requirements to be enclosed sets a precedent for additional reduced structure separation areas on residential lots.

PZB Additions or Modifications (if necessary): _____

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the**

subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Comment: The subject property is a corner lot 70 feet wide and 7,000 square feet in area, which exceeds the minimum lot size requirement for a corner lot in the R-1 district. These dimensions are larger than many corner lots within the City in R-1 district. Even with the existing 1,698-square foot residence, there is still space to construct an enclosed garage structure whether attached or detached. It has been noted that the existing roof structure is non-conforming and their safety and security concerns associated with an open parking area. However, *these are conditions of the existing development on the property—not unique physical conditions of the subject property itself*, which is the basis of this variation standard. Further, the petitioner is still able to utilize the structure as is without any changes. Thus, the request appears to be more of a personal preference of the property owner instead of a definable physical condition.

PZB Additions or Modifications (if necessary): _____

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Comment: While the subject property's location, size, and development may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. Even at 70 feet in width and 7,000 square feet in area, the subject property provides adequate space for the existing residence and garage without any unique physical conditions present. It is the staff's opinion that the proposal does not adequately utilize the available space and access on the site or appropriately design the proposed garage to avoid the need for a variation.

PZB Additions or Modifications (if necessary): _____

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Comment: Carrying out the strict letter of this code for the interior side yard setback does not deprive the property owners of substantial rights. First, while homeowners are able to construct an enclosed garage, as permitted by the R-1 district regulations, having the ability to construct an enclosed garage structure, in and of itself, is not a right granted to property owners. Enforcing the setback requirements does not deny the property owners from constructing an enclosed garage structure on their property or address the importance of safety and security associated with an enclosed garage but requires said enclosed garage structure to conform with the applicable setback requirements that apply to all R-1 zoned properties. Regarding the request to convert the existing roof structure and increase the degree of an existing non-conformity, the PZB may ask itself if this is a right to which

Des Plaines property owners are entitled given there are available alternatives to achieve the functional, security, and safety needs of the petitioner elsewhere on the subject property.

PZB Additions or Modifications (if necessary): _____

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.**

Comment: Granting this variation would provide a special privilege for the property owner not available to other single-family residential properties. As written under Standard No. 2, there are other single-family residences with similar lot characteristics and others that are non-conforming in size and area. Other corner lots in Des Plaines of various sizes and shapes have designed an enclosed garage structure that has met the required setback regulations, while others have requested and received variations. Variation decisions are made on a case-by-case, project-by-project basis upon applying the variation standards. In those evaluations, the determining body (e.g. PZB and/or City Council) usually determines the applicant has exhausted design options that do not require a variation. In this case, there are different design options and positions for the enclosed garage structure elsewhere on the subject property, given the buildable space to the south. Granting a variation for this design at this location, when other viable options are available elsewhere on the property, could be too lenient and tread into the territory of allowing a special privilege.

PZB Additions or Modifications (if necessary): _____

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

Comment: On one hand, the project would allow re-investment into a single-family home, which the Zoning Ordinance and Comprehensive Plan want to encourage. However, the proposed attached garage is largely for the benefit of the property owner. For one, the existing covered parking area underneath the roof structure and driveway are able to accommodate multiple vehicles. Moreover, this off-street parking area could be replaced in the rear yard on the south portion of the property with a new driveway and enclosed detached garage structure. The existing roof structure and the proposal to enclose it for an attached garage use is not harmonious with other residences in the R-1 district and does not align with Chapter 7: Water Research Management of the Comprehensive Plan as the proposal would arguably further impact stormwater drainage on the property. There are reasonable options for designing a garage to create an enclosed and secure parking area on site without needing relief from the setback requirements.

PZB Additions or Modifications (if necessary): _____

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: There are alternatives to the proposed setback variation being requested as provided by the petitioner in the attached Alternative Garage Plans. One of these alternatives includes the removal of the driveway off Pratt Avenue and the construction of a detached garage and driveway surface at the rear of the property accessed by Sycamore Street, which would achieve the petitioner's primary goal of obtaining an enclosed and secure parking area. The PZB may wish to ask why certain alternative designs are not feasible.

PZB Additions or Modifications (if necessary): _____

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The approval of the setback reduction may provide relief for the petitioner given their current proposal. However, staff argues that the alleged hardship related to the safety, security, and functionality associated with an enclosed two-car garage could be satisfied with alternative proposals that better utilize the available property and meet the setback requirements for all structures. And while the conversion of the existing roof structure into an attached garage may be more convenient and less intensive than the alternative plans, these are not factors in staff's analysis that demonstrate a true hardship or practical difficulty.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Conditions: Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions.

Conditions of Approval:

1. No easements are affected, or drainage concerns are created.
2. Fire-rated walls will be required for the entire east elevation and in all areas where the structure is set back less than five feet from the property line.
3. All appropriate building permit documents and details, including dimensions and labels necessary to denote the addition, must be submitted and approved for the proposed project. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building and life safety codes.

Attachments:

Attachment 1: Petitioner's Responses to Standards for Variation
Attachment 2: Location and Zoning Map
Attachment 3: Plat of Survey
Attachment 4: Site & Context Photos
Attachment 5: Existing Condition Photos
Attachment 6: Site Plan
Attachment 7: Floor Plan
Attachment 8: Elevations
Attachment 9: Alternative Garage Plans

Chair Szabo swore in Jose George -Petitioner and Stan Weisbrod – Architect for the project. Mr. Weisbrod explained the project. The petitioner has an open-air covered garage. He would like to wall up to make it an enclosed garage. The new wall would be within inches of the property line. He stated that they would make this a rated wall to be fully compliant with the City's regulations. He stated that that in simple terms that they are just walling the garage.

Chair Szabo asked the petitioner if other neighbors have the same type of garage.

Mr. George stated that he does not know of any other neighbors with similar garages.

Member Hofherr asked if the neighbor's fence will be in the car area.

Mr. George stated that he has spoken to the neighbor, and he is ok to move the fence.

Member Catalano asked about diagram page 20.

Mr. Weisbrod stated that a year ago the Planning Department requested the diagram to have an alternative scheme in case it was needed. He stated that they are using the current scheme not the alternative. He stated this project is a simple request to close up the walls and make a complete garage.

Jonathan Stytz, Senior Planner reviewed the staff report. The petitioner is requesting a standard variation. He currently has a roof structure over a paved area. The roof structure is not a carport because it is attached to the house. Mr. Stytz reviewed pictures of the current structure. He explained the site plan which includes keeping the structure and enclosing it. Mr. Stytz went over the requirements and proposals 12-3-11 of the code. He went over the Floor Plan, Front, South and East Elevations.

Member Weaver asked staff if the city has heard from the neighbor at 1761 Pratt Ave. regarding this proposal?

Mr. Stytz stated that he has not heard anything from the neighbor about the project.

Member Fowler asked if they are planning to update the driveway?

Mr. Weisbord stated that he put some proposals on the plans that they could make the driveway nicer with decorative trim.

Staff Member Stytz stated that the site plan shows the driveway staying the same.

Member Weaver stated that there does not seem to be a lot of pervious surfaces between the driveways. He asked that in cases of heavy rain, where will the rainwater go?

Mr. Weisbord stated that they are proposing to avert the water onto the petitioner's property via roof gutter.

Member Hofherr asked where the downspout would be located?

Mr. Weisbord stated that they will have a downspout by the side panel of the garage, and it will be directed toward the street.

Mr. Stytz stated the PZB Procedure and Recommended Conditions: Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions:

Conditions of Approval:

1. No easements are affected, or drainage concerns are created.
2. Fire-rated walls will be required for the entire east elevation and in all areas where the structure is set back less than five feet from the property line.
3. All appropriate building permit documents and details, including dimensions and labels necessary to denote the addition, must be submitted and approved for the proposed project. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building and life safety codes.

A motion was made by Board Member Saletnik seconded by Board Member Fowler to recommend approval for the standard variation as requested with the three conditions as recommended by staff.

AYES: Saletnik, Fowler, Weaver, Catalano, Hofherr, Szabo
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY *****

2 Address: 2109 Eastview Drive

Case Number: 23-009-V

The petitioner is requesting a Standard Variation to allow a total building coverage to 31.60 percent where a maximum of 30.00 percent is permitted for an interior lot in the R-1 district.

Petitioner: Ban Bahrani and Badi Aisalami, 2109 Eastview Drive,
Des Plaines, IL 60018

Owner: Ban Bahrani and Badi Aisalami, 2109 Eastview Drive,
Des Plaines, IL 60018

**Real Estate Index
Number:** 09-29-308-010-0000

Ward: #5, Alderman Carla Brookman

Existing Zoning: R-1 Single Family Residential district

Existing Land Use: Single Family Residence

Surrounding Zoning: North: R-1 Single Family Residential district
South: R-1 Single Family Residential district
East: R-1 Single Family Residential district
West: R-1 Single Family Residential district

Surrounding Land Use: North: Single Family Residence (Residential)
South: Single Family Residence (Residential)
East: Park (Recreation)
West: Single Family Residence (Residential)

Street Classification: Eastview Drive is classified as a local road.

Comprehensive Plan: The Comprehensive Plan illustrates the site as residential.

Zoning/Property History: Based on City records, the subject property was annexed into the city in 1959 and has been utilized as a single-family residence. In 2017, a building permit was approved for an interior remodel of the lower level of the residence to add a dedicated laundry/mechanical area, restroom, and lower-level living space. Aside from the existing 1,883-square foot residence, there are no other structures constructed on the subject property. As such, the current building coverage is 1,883 square feet or 26.9 percent of the total property area (7,000 square feet).

Project Description: *Overview*

The petitioners, Ban Bahrani and Badi Aisalami, have requested a standard variation to allow a total building coverage of 31.60 percent in order to construct a one-story addition onto the existing residence in the R-1 Single Family Residential district at 2109 Eastview Drive. The maximum building coverage allowed for this zoning district is 30 percent. As defined in Section 12-13-3 of the Zoning Ordinance, building coverage is “the percentage of the surface area of a zoning lot that is occupied by principal buildings and any accessory buildings and structures. All areas of buildings or structures covered by a roof are included in building coverage.”

The subject property consists of a single, 7,000-square foot (0.16 acre) lot with an 1,883-square-foot 1½-story brick house, residential walkways, a concrete patio, and concrete driveway off Eastview Drive as shown in the attached Plat of Survey and the attached Photos of Existing Conditions. The petitioners propose to replace the existing concrete patio area located at the southeast corner of the residence with a new 322-square-foot addition for use as an expanded kitchen area and living space. For additional information on the proposal, please see the attached Site Plan and Project Narrative.

The proposed 322-square-foot addition to the residence by the petitioners increases the overall building coverage to 2,205 square feet or 31.6 percent of the total property area, in violation of Section 12-7-2.J restricting building coverage of interior lots in the R-1 district to no more than 30 percent and requiring a standard variation.

Proposed Floor Plan & Elevations

The proposed addition will be about 8¾ feet in height compared to 8¼ feet in height of the remainder of the first (main) level of the residence. It also notes that the addition will be notched in slightly from both the south elevation and east elevation of the existing residence resulting in a 5¼-foot setback from the south property line—in conformance with the required minimum 5-foot-side-yard setback—as shown on the attached Site Plan.

The existing split-level residence consists of three levels, each with separate living spaces as shown on the attached Architectural Plans. The table below compares the proposed floor plan changes included with the proposal.

Level	Existing Area (SF)	Proposed Area (SF)
Lower Level¹ <ul style="list-style-type: none"> Living area Laundry/mechanical Restroom 	Total: 427 SF <ul style="list-style-type: none"> 221 SF 147 SF 59 SF 	Total: 436 SF <ul style="list-style-type: none"> 233 SF 143 SF 60 SF
First (Main) Level <ul style="list-style-type: none"> Second Living / Dining area Kitchen Foyer and closet area Attached garage. Family Room (Proposed Addition)² 	Total: 1,195 SF <ul style="list-style-type: none"> 561 SF 150 SF 108 SF 376 SF N/A 	Total: 1,499 SF <ul style="list-style-type: none"> 484 SF 244 SF 73 SF 376 SF 322 SF
Second (Upper) Level³ <ul style="list-style-type: none"> Bedroom 1 Bedroom 2 Bedroom 3 Hallway Restroom 	Total: 675 SF <ul style="list-style-type: none"> 199 SF 111 SF 159 SF 61 SF 91 SF 	Total: 675 SF <ul style="list-style-type: none"> 199 SF 111 SF 159 SF 61 SF 91 SF

Building Design Standards

Section 12-3-11 of the Zoning Ordinance requires that building design standards are met for projects that consisting of “additions to principal structures resulting in greater than a fifteen percent change of gross floor area.”

Since the proposal does result in a greater than 15 percent change in floor area (17 percent), the exterior building material regulations in this section are required to be met.

In regard to exterior building materials, the exterior elevation drawings of the attached Architectural Plans identify that the new addition will be constructed with face brick (a permitted ground story material for detached single family residences) and it will match the brick on a majority of the residence.

As for the transparency requirements, these are not required as this regulation is only required on street-facing elevations. Since the proposed addition area faces

¹ Proposed changes on the lower level including the filling-in of the window in the laundry/mechanical room and installing full counter top and cabinets with washer/dryer; slight increase of 9-square-feet in area proposed.

² Adds a new 322-square-foot addition that replaces the existing outdoor concrete patio area with a 253-square-foot family room area and 69-square-foot overhang area that is not habitable.

³ No proposed changes.

the side and rear property boundaries, it does not need to comply with the blank wall limitations that restrict the amount of windowless area permitted on a building façade in Section 12-3-11 of the code. However, the proposal does include the addition of a large window area on both the south and east building elevations.

Comparison of Surrounding Properties

The petitioner has argued that many interior lots along Eastview Drive exceed 30 percent in building coverage pursuant to the Des Plaines Geographic Information System (GIS) map. However, this service is utilized as a reference and does not accurately represent the building coverage of all structures on properties. Scaled site plans or surveys would be required to determine the exact dimensions of each structure and lot to calculate building coverage. In addition, it is not standard practice to approve a variation based on existing non-conformities in a neighborhood. Variations are meant to be reviewed on a case-by-case basis, examining any uniqueness and hardship presented by the conditions of a *specific property*. Comparison of the variation request with the Zoning Ordinance and comprehensive plan are discussed in staff's responses.

Variation Findings:

Variation requests are subject to the standards set forth in Section 12-3-6(H) of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Comment: Considering the other opportunities available, the zoning challenges encountered do not rise to the level of hardship or practical difficulty. First, the existing residence has a second (upper) level that could be expanded to make room for additional living space, which could satisfy the property owner's needs. Moreover, the size of the subject property (7,000 square feet) is larger than many interior lots in Des Plaines and larger than the minimum 6,875-square-foot interior lot size required. Due to the size, the property has space for a larger building than most other interior lots subject property to have more building coverage than many other interior lots based on the building coverage allowance of 30 percent of the total lot area and is a property characteristic not always available to other owners of smaller R-1 zoned properties. The existing split-level design of the residence may pose some design challenges to the petitioner, including the lack of use of the 69-square-foot overhang area on the residence's south elevation. However, this does not deny the petitioner the ability to construct an addition on the property, but rather limits the size of the addition.

PZB Additions or Modifications (if necessary): _____

- 2. Unique Physical Condition:** The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Comment: The subject property is an interior lot 56 feet wide and 7,000 square feet in area, which exceeds the minimum lot size requirement for an interior lot in the R-1 district. As this is not always the case for corner lots in the R-1 district—some of which with non-conforming lot widths and areas—this does not qualify as a physical constraint of the property. The existing 27 percent building coverage of the lot is not unique either as other interior residential lots in the city have constraints based on existing large developments positioned on smaller lots. The GIS map noted by the petitioner is a reference tool and not an accurate source for determining building coverage. Thus, the request appears to be more of a personal preference of the property owner instead of a definable physical condition.

PZB Additions or Modifications (if necessary): _____

- 9. Not Self-Created:** The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

Comment: While the subject property's location, size, and development may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. Even at 56 feet in width and 7,000 square feet in area, the subject property provides adequate space for a single-story or second-story addition without any unique physical conditions present. As such, the proposal does not adequately utilize the available space on the site or appropriately designs the proposed addition to avoid the need for a variation.

PZB Additions or Modifications (if necessary): _____

- 10. Denied Substantial Rights:** The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Comment: Staff's review has concluded that carrying out the strict letter of this code for building coverage does not deprive the property owners of substantial rights. First, while homeowners are able to construct an addition, as permitted by the R-1 district regulations, having the ability to construct an addition, in and of itself, is not a right granted to property owners. Enforcing the building coverage requirements does not deny the property owners

from constructing an addition on their property but requires said addition to conform with the applicable building coverage requirements that apply to all R-1 zoned properties. One could also argue that the proposal could be redesigned to make a smaller single-story addition more functional, and would be permitted without a variation. PZB may ask itself if this is a right to which Des Plaines property owners are entitled.

PZB Additions or Modifications (if necessary): _____

11. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Comment: Granting this variation would, in fact, provide a special privilege for the property owner not available to other single-family residential properties. Other interior lots in Des Plaines of various sizes and shapes have designed additions that meet the required building coverage regulations, and the petitioners have the ability to do so as well on the subject property. The aforementioned consideration for building coverage indicates to staff that variation decisions are made on a case-by-case, project-by-project basis upon applying the variation standards. In those evaluations, the determining body (e.g. PZB and/or City Council) usually looked to see if the applicant exhausted design options that do not require a variation. In this case, it seems there are different design options and positions for the addition that have not been considered by the petitioner. *The PZB may wish to ask what, if any, alternative plans the petitioner considered prior to requesting the variation request.* Granting a variation for this design, when other viable options are available, could be too lenient and tread into the territory of allowing a special privilege. Nonetheless, the PZB should decide.

PZB Additions or Modifications (if necessary): _____

12. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

Comment: On one hand, the project would allow re-investment into a single-family home, which the Zoning Ordinance and Comprehensive Plan want to encourage. However, the existing 1,883-square-foot residence is of considerable size for the lot, covering nearly 27 percent of the subject property. Also, the proposed addition exceeds the maximum building coverage allowed while creating 69 square feet of non-inhabitable space, which is neither functional nor practical and is not an effective use of the available space on the property. In addition, there are reasonable options for redesigning the proposed addition to create a functional living space without needing relief.

PZB Additions or Modifications (if necessary): _____

13. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: There are alternatives to the proposed building coverage variation being requested. There is an option to build up on a portion of the first (main) level. The Ordinance allows for up to 2½ stories or 35 feet of total building height, which is possible given the height of the existing first (main) level. A smaller single-story addition with a redesigned floor plan is also possible. The PZB may wish to ask why certain alternative designs are not feasible.

PZB Additions or Modifications (if necessary): _____

14. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: The approval of the additional building coverage may provide relief for the petitioner given their current proposal. However, staff argues that the alleged hardship related to the functionality associated with an enlarged kitchen and living space could be satisfied with alternative proposals that better utilize the available property and meet the building coverage requirement for the property. And while the anticipated location and work associated with a ground-level, single-story addition may be more convenient and less intensive than the alternative plans, such as a second-story addition, as these are not factors in staff's analysis that demonstrate a true hardship or practical difficulty.

PZB Additions or Modifications (if necessary): _____

PZB Procedure and Recommended Conditions: Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions.

Conditions of Approval:

1. No easements are affected or drainage concerns are created.
- 2 That all appropriate building permit documents and details, including all dimensions and labels necessary to denote the addition are submitted as necessary for the proposal. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building and life safety codes.

Attachments:

Attachment 1: Project Narrative
Attachment 2: Petitioner's Responses to Standards for Variation
Attachment 3: Location Map
Attachment 4: Plat of Survey
Attachment 5: Site & Context Photos
Attachment 6: Existing Condition Photos
Attachment 7: Site Plan
Attachment 8: Architectural Plans

Chair Szabo swore in Ban Bahrani – petitioner and Mark Lunardin- Architect for the project.

Mr. Lunardin explained the scope of the project. The petitioners are working to enlarge and renovate the kitchen and adding a rear addition. The request for variation is to go over the coverage allowance by 1.6% The coverage allowance is 30% and the request is to go over 31.6%. The addition will have brick veneer that will match the rest of the house.

Chair Szabo asked if any of the neighbors asked about the project?

Mr. Bahrani stated that his next-door neighbor did something similar 15 years ago. He also stated that no one has asked him about the project.

Member Weaver stated that looking at the area right behind the proposal is already paved. He asked if they planned to go into the grass area.

Mr. Lunardin stated that they will not planning on adding any pervious surfaces into the grass area.

Member Catalano asked if they are planning to add a patio?

Mr. Lunardin stated that no plans have been made to add a patio but if they do they will go through the City's regulations and they would use a pervious surface.

Mrs. George stated that it would be nice to have an area to sit on in the back for two chairs. They would use a paving system for drainage.

Jonathan Stytz, Senior Planner, reviewed the staff report. He discusses location at 2109 Eastview in the R-1 district. He went over the site photos of the front, side, and rear of the project area. Mr. Stytz explained the building coverage definition.12-13-3. Since this is the only structure on the lots the total building coverage is based on the house size. He also went over the site plan showing the addition. He discussed the floor plan showing the differences between the existing plan and proposed plan. He went over pages 25 and 26 which includes the proposal with the east evaluation and proposed windows.

Mr. Stytz stated that PZB Procedure and Recommended Conditions: Under Section 12-3-6(F) of the Zoning Ordinance (Standard Variations), the PZB has the authority to approve, approve subject to conditions, or deny the request. The decision should be based on review of the

information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined in the Zoning Ordinance. If the PZB approves the request, staff recommends the following conditions.

Conditions of Approval:

1. No easements are affected, or drainage concerns are created.
2. That all appropriate building permit documents and details, including all dimensions and labels necessary to denote the addition are submitted as necessary for the proposal. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building and life safety codes.

Member Saletnik asked staff to clarify that if the petitioner does a ground level patio, we could suggest that it be pervious but since it's a ground level patio it has nothing to do with the amount of buildable area. It does not add to the percentage of the buildable area of the lot.

Member Weave asked staff if this property has a maximum impervious surface limitation?

Staff Member Stytz stated that there is a rear lot coverage restriction which is 60 %. Only 60% of the rear lot can be covered by a paved surface.

Member Weaver asked if the proposal would put them in violation of the 60% rear lot coverage?

Staff Member Stytz stated that their proposal would not put them in violation.

A motion was made by Board Member Saletnik seconded by Board Member Catalano recommend approval for the standard variation as requested with the two conditions as recommended by staff. Also, as a suggestion, if they do a ground level patio it would be highly recommended that it be pervious.

AYES: Saletnik, Catalano, Weaver, Fowler, Hofherr, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

ADJOURNMENT

The next scheduled Planning & Zoning Board meeting is Tuesday April 11, 2023.

Chairman Szabo adjourned the meeting by voice vote at 7:38 p.m.

Sincerely,

Margie Mosele, Executive Assistant/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: April 3, 2023

To: Planning and Zoning Board (PZB)

From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Jonathan Stytz, AICP, Senior Planner *JS*

Subject: Request to Continue 23-014-CU-TSUB: 2777 Mannheim Road

Due to the quantity of comments addressed by staff in the Official Review Letter, the petitioner has requested to continue the hearing to the Board's regular meeting on Tuesday, April 25, 2023. We recommend the Board grant this request, which is attached.



2211 North Elston, Suite 304
Chicago, Illinois 60614
Main: 773.382.0445
Fax: 773.796.3037

March 30, 2023

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

RE: 2777 Mannheim Road, Des Plaines – Meeting Continuance Request

Dear City of Des Plaines,

GW Properties is requesting a continuance to our Planning and Zoning Board meeting for the property referenced above. We respectfully request that this meeting be continued to the April 25, 2023 Planning and Zoning Board meeting.

Regards,

A handwritten signature in black ink that reads 'Mitch Goltz'.

Mitch Goltz
Principal
GW Properties



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: April 5, 2023

To: Planning and Zoning Board (PZB)

From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Samantha Redman, Associate Planner *SR*

Subject: Request to Continue 23-013-CU: 820-848 Lee St.

In order to address necessary comments related to their case, the petitioner has requested to continue the hearing to the Board's regular meeting on Tuesday, April 25, 2023. We recommend the Board grant this request, which is attached.

Samantha Redman

From: Camillucci, Karl D. <kcamillucci@taftlaw.com>
Sent: Wednesday, April 5, 2023 12:25 PM
To: Samantha Redman
Cc: John Carlisle; Peter Friedman (Contact); Jonathan Stytz; gpetrov@mbuchicago.com
Subject: Condition Use Application - Little Bulgarian School - 820-848 Lee Street

Hi Samantha,

As you know, we represent the Little Bulgarian School in its application for a conditional use permit for a school and commercial assembly use at 820-848 Lee Street. Thank you for your review of the application, which has been noticed for a public hearing at the April 11, 2023 meeting of the Planning and Zoning Board. The Little Bulgarian School is in the process of working with you and other City staff to address certain comments and provide certain information in connection with its application. To facilitate that process and ensure that those matters are addressed before consideration by the Planning and Zoning Board, we respectfully request that the Planning and Board continue the public hearing to its next regularly scheduled meeting on April 25, 2023.

Thanks again for your work on this application. We look forward to continuing to work with the City on it.

Best,
Karl



Karl D. Camillucci

Partner

kcamillucci@taftlaw.com

Dir: 312.836.4085

Tel: 312.527.4000 | Fax: 312.966.8583

111 E. Wacker Drive, Suite 2600

Chicago, Illinois 60601-4208

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taftlaw.com

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MEMORANDUM

Date: April 3, 2023

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: John T. Carlisle, AICP, Director of Community and Economic Development JC

Subject: Consideration of Conditional Use for an Auto Service Repair Use in the C-3 District at 827 Elmhurst Road, Case #22-054-CU (8th Ward)

Issue: The applicant is requesting a conditional use under Section 12-3-4 of the Zoning Ordinance to allow an auto service repair use in the C-3 district at 827 Elmhurst Road.

Petitioner: GW Properties (Representative: Mitch Goltz, 2211 N. Elston Avenue, Suite 400, Chicago, IL 60614)

Owner: RDK Ventures, LLC c/o Mac's Convenience Stores, LLC, P.O. Box 347, 4080 W. Jonathan Moore Pike, Columbus, IN 47201

Case Number: 22-054-CU

PIN: 08-24-100-031-0000

Ward: #8, Alderman Shamoon Ebrahimi

Existing Zoning: C-3 General Commercial District

Existing Land Use: Vacant Lot (previous auto fuel station)

Surrounding Zoning: North: C-3 General Commercial District
South: C-3 General Commercial District
East: C-3 General Commercial District
West: C-3 General Commercial District

Surrounding Land Use: North: Grocery Store (Commercial)
South: Bank (Commercial)
East: Grocery Store (Commercial) / Shopping Center (Commercial)
West: Shopping Center (Commercial)

- Street Classification:** Elmhurst Road is classified as an other principal arterial road.
- Comprehensive Plan:** The Comprehensive Plan illustrates the site as commercial.
- Zoning/Property History:** Based on City records, the subject property was used as an auto filling station until 2019. Since then, the fuel station has been demolished and the property has been vacant. The subject 20,099-square-foot (0.46-acre) vacant property is in the C-3 General Commercial district. The subject property fronts Elmhurst Road but is accessed via a single access point through the Jewel-Osco parking lot at 811 Elmhurst Road. As such, a cross-access agreement exists between the property owner—RDK Ventures, LLC c/o Mac’s Convenience Stores, LLC—and Jewel-Osco.

The PZB conducted a public hearing on January 10, 2023, to review the conditional use application for the proposed auto service business and voted 5-0 to recommend approval to the City Council. However, before the City Council could consider the necessary approving ordinance, the petitioner informed City staff that they would need to alter the Site Plan in a way that affected circulation and was notably different than what was presented in the public hearing. The petitioner elected to withdraw that petition and resubmit the new Site Plan for the PZB’s new consideration and public hearing, for which due noticing has occurred pursuant to the Zoning Ordinance.

- Project Description:** *Overview*
- The petitioner has requested a Conditional Use Permit to allow the construction of a new automotive service repair use, Strickland Oil, at 827 Elmhurst Road. An oil change business falls underneath an auto service repair use, which requires a conditional use permit in the C-3 district. While the proposed use has stayed the same, the proposed Site Plan and site access has changed from the original Site Plan heard by the PZB. The first plan utilized the one existing full-access curb-cut off the Jewel-Osco property in line with the existing drive aisle on the Jewel-Osco parking lot for all access to and from the subject property. After conversations with Jewel-Osco, the petitioner provided a new submittal on March 22, 2023 that changes the originally proposed entrance/exit curb-cut to an exit-only curb-cut and creates a new entrance/exit curb-cut at the rear of the subject property as a second connection to the Jewel-Osco parking. As a result, the attached Site Plan, Landscape Plan, and Photometric Plan have been updated to reflect the new submittal for the subject property.

Proposed Development

The petitioner proposes to redevelop the subject property by building a new 1,700-square-foot, single-story building with surface parking area, dumpster enclosure, and freestanding monument sign. The proposed building consists of three service bays, lobby area, unisex restroom, and office/waste oil storage area. The proposal includes the addition of both three-foot-wide foundation landscape areas around the north and south elevations of the building, and five-foot-wide parking lot landscaping areas around the perimeter of the parking area as required in Sections 12-10-8 and 12-10-10 of the Zoning Ordinance. The new submittal has reduced the amount of proposed landscaping on the subject property. However, the minimum requirements have been met.

New exterior lighting is also proposed for the new development as shown on the attached Photometric Plan. Section 12-12-10 restricts the amount of excess light that can bleed into surrounding properties based on the zoning of the properties surrounding the subject property. Since the subject property is surrounded by C-3-zoned properties, a maximum of 2.0 foot-candles is allowed. The attached Photometric Plan indicates that the exterior lighting will not exceed 1.3 foot-candles in conformance with the applicable regulations. The new submittal has resulted in a proposed third freestanding light post located next to the rear entrance/exit access point and north property line. While this does add more lighting on the subject property, the revised and attached Photometrics Plan indicates that the requirements have been met.

The change in site access adjusts the overall circulation of the subject property, directing a majority of the exiting traffic to the far southwest corner of the Jewel-Osco property in line with the existing Jewel-Osco parking lot drive aisle, but does provide a secondary exit at the rear of the building as shown in the revised and attached Site Plan. While this revised plan does provide two exits as opposed to the one proposed in the original plan, there may be concerns with the single entrance at the rear of the property regarding potential vehicle stacking on the Jewel-Osco property and lack of vehicle-pedestrian separation, which is a factor reviewed in accordance with the Site Plan Review standards. Nonetheless, the proposed driveway widths for both the one-way and two-way drive aisles meet the standards in Section 12-9-6 of the Zoning Ordinance. However, the PZB may wish to have the petitioner elaborate on the reason for this change, the anticipated benefits of this design, and how potential issues with its design have been addressed.

Off-Street Parking

Auto repair facilities are required to provide two parking spaces per service bay, plus one space for every 200 square feet of accessory retail. As a result, a total of seven off-street parking spaces, including a minimum of one mobility-impaired accessible parking space, are required. The Site Plan illustrates a total of 14 parking spaces, including one mobility-impaired accessible space, which meets this standard. All proposed standard parking spaces are proposed to be nine-feet-wide by 18-feet-long in conformance with Section 12-9-6 of the Zoning Ordinance. The one proposed accessible parking space is designed to be 18-feet-wide by 18-feet-long, which meets the standards in Section 12-9-8.

Business Operations

Strickland Oil proposes to operate from 8 a.m. to 7 p.m. Monday through Friday, 8 a.m. to 5 p.m. on Saturdays, and 10 a.m. to 5 p.m. on Sundays. Their services include stay-in-your-car oil changes, state inspections, tire rotations, air filter replacement, wiper blade replacement, and coolant and washer fluid refills. During normal operations, a total of 3-4 employees will be on site at a given time. Please see the attached Project Narrative for more information.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4.E of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the petitioner's response to standards. The PZB may use this rationale toward its recommendation, or the Board may adopt its own.

1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: Auto service repair is a Conditional Use, as specified in Section 12-7-3.K. of the Zoning Ordinance for properties in the C-3 General Commercial District.

PZB Additions or Modifications (if necessary): _____

_____.

2. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

Comment: The Comprehensive Plan illustrates this property as commercial. The Comprehensive Plan strives to foster growth and redevelopment of existing commercial corridors to retain new businesses in Des Plaines. The addition of a new commercial development meets this intent while also repurposing a vacant lot along a major commercial corridor in Des Plaines.

PZB Additions or Modifications (if necessary): _____

_____.

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The petitioner proposes to repurpose the property with a new commercial development designed to be consistent with and complementary to the surrounding commercial uses in the area. The proposed improvements, including landscaping, will transform the vacant property into a new use that will benefit the site from both a functional and aesthetic standpoint.

PZB Additions or Modifications (if necessary): _____

_____.

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The proposed automotive repair use will not be hazardous or distributing to neighboring uses because all operations will be conducted within this building. The proposed landscape screening and exterior lighting is designed to minimize the impact on surrounding properties. In addition, the new business will provide new services to Des Plaines' residents.

PZB Additions or Modifications (if necessary): _____

_____.

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The subject property was adequately served by essential public facilities and services when the previous auto filling station was in operation. The proposed auto service repair use will also be adequately served by public facilities and services as the existing access point from Elmhurst Road via the Jewel-Osco parking lot will remain unchanged. However, the changes in the access from the Jewel-Osco parking lot to the subject property will alter the access into the property by limiting all entering traffic to the rear of the subject property.

PZB Additions or Modifications (if necessary): _____

_____.

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The proposed auto service repair facility will not create a burden on public facilities or be a detriment to the economic well-being of the community. When compared to the previous auto filling station, there is no anticipated increase in demand for public facilities as a result of the Conditional Use Permit for a new auto service repair use.

PZB Additions or Modifications (if necessary): _____

_____.

7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: The proposed auto service repair use is not anticipated to create additional traffic as compared to the previous auto filling station. None of the proposed activities occurring on site that will be detrimental to the public. Staff has notified the petitioner of the required mechanical systems that will need to be installed to reduce the production of traffic, noise, smoke fumes, glare, and odors generating from this use.

PZB Additions or Modifications (if necessary): _____

_____.

8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The proposed auto service repair use will not create an interference with traffic on surrounding public thoroughfares. There will be no changes to the existing access point onto the property through the Jewel-Osco parking lot from Elmhurst Road that was utilized by the previous auto filling station.

PZB Additions or Modifications (if necessary): _____

_____.

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The proposed auto service repair use would not cause the destruction, loss, or damage of any natural, scenic or historic features since the site was already developed for the use of an auto filling station. The petitioner will redevelop the site with a freestanding building and add landscaping and screening to improve the aesthetics of the property.

PZB Additions or Modifications (if necessary): _____

_____.

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposed auto service repair use meets all other requirements of the Zoning Ordinance for the C-3 General Commercial District. No variations or additional actions are requested beyond the Conditional Use Permit.

PZB Additions or Modifications (if necessary): _____

_____.

PZB Procedure and Recommended Conditions: Under Section 12-3-4.D (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the PZB has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for an auto service repair use at 827 Elmhurst Road. City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4.E (Standards for Conditional Uses) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions.

Conditions of Approval:

1. Vehicles related to the business cannot be stored or parked overnight on the surrounding streets.
2. No damaged or inoperable vehicles shall be parked or stored outside at any time.
3. A revised cross-access agreement between the ownership of the subject property and the property at 811 Elmhurst (Jewel-Osco) will be provided at the time of building permit approval and maintained throughout the operation of the conditional use.
4. That all submitted permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building codes.
5. That a Do Not Enter sign shall be installed at the front exit curb-cut and stop signs installed at both proposed exits on the subject property.

Attachments:

Attachment 1: Location and Zoning Map

Attachment 2: Site and Context Photos

Attachment 3: ALTA/ACSM Land Title Survey

Attachment 4: Petitioner's Standards for a Conditional Use (*New Submittal on March 22, 2023*)

Attachment 5: Petitioner's Project Narrative (*New Submittal on March 22, 2023*)

Attachment 6: Business Narrative (*New Submittal on March 22, 2023; Revised on March 31, 2023*)

Attachment 7: Site Plan (*New Submittal on March 22, 2023; Revised on March 31, 2023*)

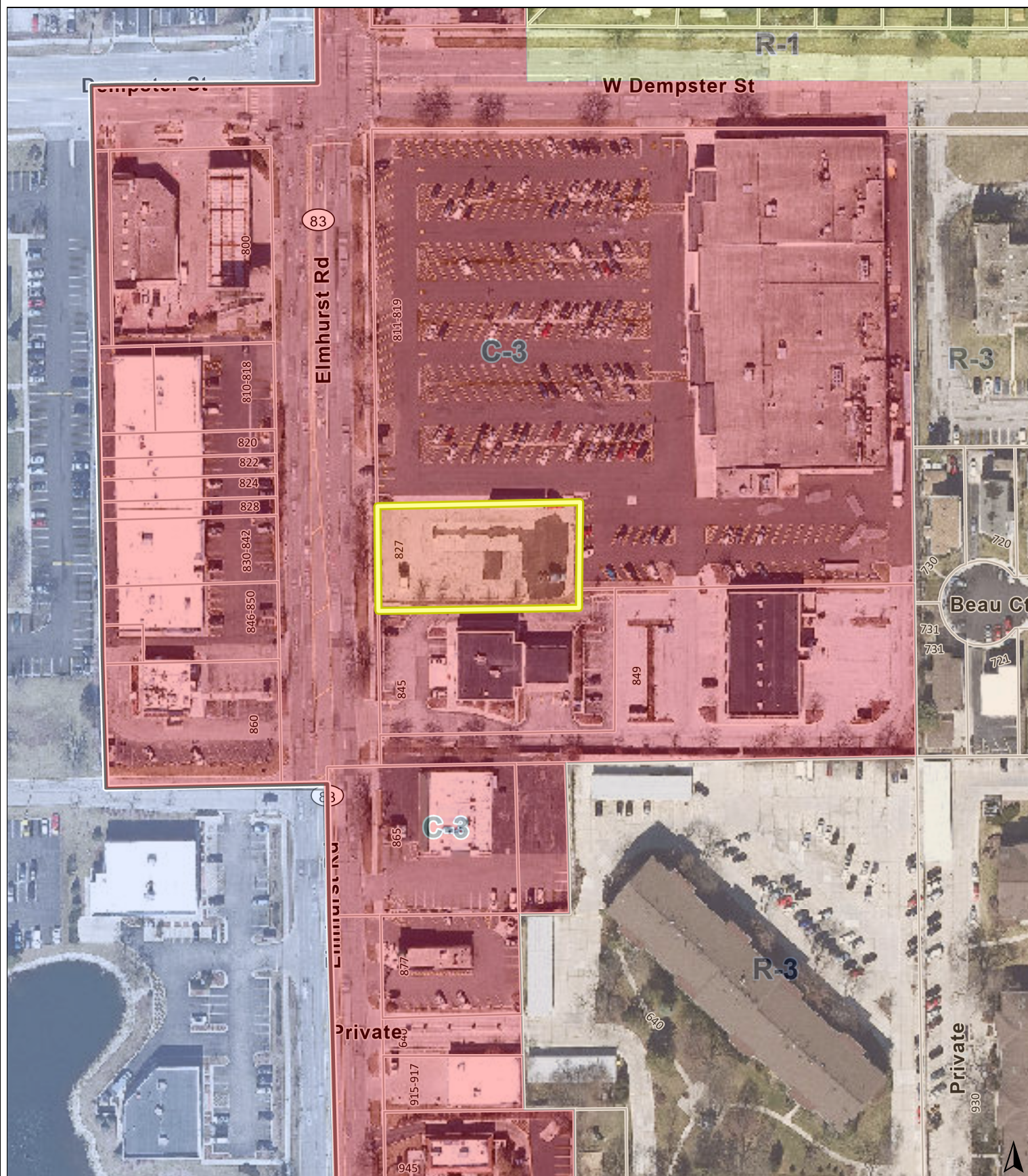
Attachment 8: Floor Plan (*New Submittal on March 22, 2023*)

Attachment 9: Elevations (*New Submittal on March 22, 2023; Revised on March 31, 2023*)

Attachment 10: Photometric Plan (*New Submittal on March 22, 2023; Revised on March 31, 2023*)

Attachment 11: Landscape Plan (*New Submittal on March 22, 2023; Revised on March 31, 2023*)

Attachment 12: Sign Plan (*New Submittal on March 22, 2023; Revised on March 31, 2023*)



0 150 300
ft

Print Date: 1/4/2023

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



827 Elmhurst Rd – Public Notice



827 Elmhurst Rd – Looking Southeast at Existing Lot



827 Elmhurst Rd – Looking Southwest at Existing Lot



827 Elmhurst Rd – Looking West at Existing Lot

ALTA/ACSM LAND TITLE SURVEY

NOTES CORRESPONDING TO SCHEDULE B

AS PER COMMITMENT NO. 1401-008861057-D1, DATED JUNE 22, 2011.

20 AGREEMENT MADE BY DES PLAINES-DEMPSTER PROPERTIES, INC., A CORPORATION OF DELAWARE, WITH JETCO PROPERTIES, INC., A CORPORATION OF DELAWARE, DATED OCTOBER 19, 1964 AND RECORDED OCTOBER 22, 1964 AS DOCUMENT 19281756 FOR A PARTY WALL TO BE CREATED ON EXISTING IMPROVEMENTS ON THE LAND. (DOES NOT AFFECT LOT 2)

21 EASEMENT IN FAVOR OF THE ILLINOIS BELL TELEPHONE COMPANY AND COMPANY, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE GRANT RECORDED/FILED AS DOCUMENT NO. 19288573, AFFECTING THE EAST 1/2 OF DDT 1, AND OTHER PROPERTY NOT NOW IN QUESTION. (DOES NOT AFFECT LOT 2)

22 TERMS, PROVISIONS AND CONDITIONS OF THE AGREEMENT MADE BY AND BETWEEN THE CITY OF DES PLAINES AND DES PLAINES-DEMPSTER PROPERTIES, INC., RECORDED DECEMBER 2, 1983 AS DOCUMENT 26882542, RELATING TO THE REGULATION OF TRAFFIC. (AFFECTS LOT 2, BLANKET IN NATURE, NOTHING TO PLOT.)

23 5 FOOT BUILDING LINE AS SHOWN ON THE PLAT OF VANDERCAR SUBDIVISION RECORDED AS DOCUMENT 0817016012, OVER THE EAST AND WEST LINE OF LOT 1 AND OVER A PORTION OF THE NORTH LINE OF LOT 1, AND OVER THE WEST LINE OF LOT 2. (AFFECTS LOT 2, SHOWN HEREON)

24 EASEMENT FOR PUBLIC UTILITY AND DRAINAGE AS SHOWN ON THE PLAT OF SUBDIVISION AFORESAID, AS FOLLOWS:
OVER THE EAST 5 FEET, THE SOUTH 5 FEET, THE SOUTH 5 FEET OF THE MOST NORTHERLY SOUTH LINE, AND OVER THE WEST 5 FEET OF THE MOST EASTERLY WEST LINE OF LOT 1, THE NORTH, EAST AND SOUTH 5 FEET OF LOT 2. (AFFECTS LOT 2, SHOWN HEREON)

25 EASEMENT IN FAVOR OF SEC/AT&T, ILLINOIS BELL TELEPHONE CO. (AMERITECH), THE COMMONWEALTH EDISON COMPANY, NORTHERN ILLINOIS GAS COMPANY, COMCAST AND WIDE OPEN WEST, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE PLAT RECORDED/FILED AS DOCUMENT NO. 0817016012, AFFECTING THOSE PORTIONS OF THE LAND SHOWN WITHIN THE DOTTED LINES AND MARKED "PUBLIC UTILITY EASEMENT" "COMMON AREA OR AREAS". (AFFECTS LOTS 1 AND 2) (AFFECTS LOT 2, SHOWN HEREON)

26 NOTATION AS SHOWN ON THE PLAT OF SUBDIVISION, AFORESAID:
EACH OWNER, AS GRANTOR, HEREBY GRANTS TO THE OTHER OWNERS, A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFICS AND VEHICULAR PARKING, SUBJECT TO CONDITIONS OF THE DECLARATION OF RESTRICTIONS AND EASEMENTS.
EACH OWNER, AS GRANTOR, HEREBY GRANTS TO THE OTHER OWNERS, A NON-EXCLUSIVE EASEMENT FOR PUBLIC OR PRIVATE UTILITIES OR UNDERGROUND FACILITIES, INCLUDING STORMWATER DETENTION, SUBJECT TO THE CONDITIONS OF THE DECLARATION OF RESTRICTIONS AND EASEMENTS. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOTHING TO PLOT.)

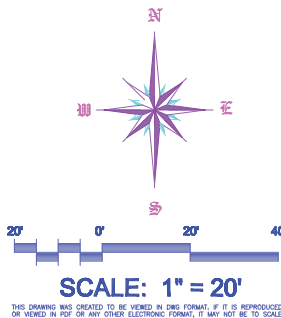
27 EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN THE DECLARATION OF RESTRICTIONS AND EASEMENTS EXECUTED BETWEEN ELMHURST AND DEMPSTER, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AND JETCO PROPERTIES, INC., A DELAWARE CORPORATION, RECORDED JUNE 18, 2008 AS DOCUMENT 0817016013. (AFFECTS THE LAND AND OTHER PROPERTY) (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOTHING TO PLOT)

LEGAL DESCRIPTION

LOTS 1 AND 2 IN VANDERCAR SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 18, 2008 AS DOCUMENT 0817016012, IN COOK COUNTY, ILLINOIS.

FOR THE PURPOSES OF THIS SURVEY ONLY LOT 2 WAS SURVEYED. LOT 1 IS OWNED BY THE SAME JEWEL/OSCO COMPANY. THE FUEL CENTER IS ONLY ON LOT 2.

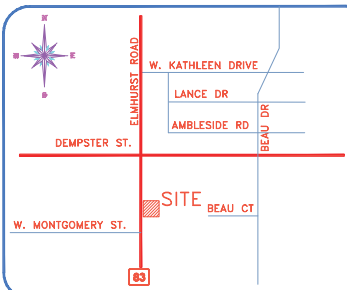
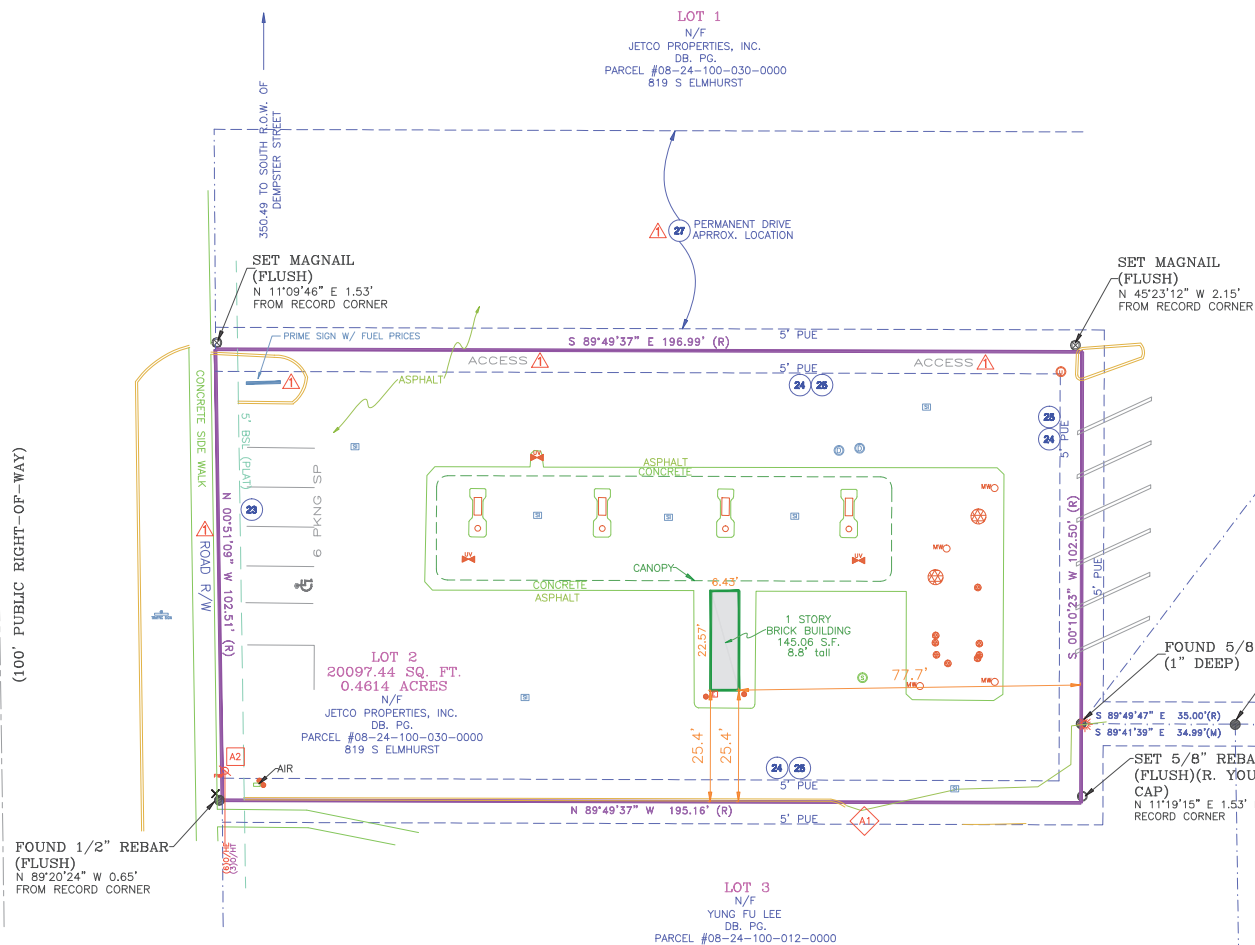
ALTA/ACSM LAND TITLE SURVEY



NORTH INDEX IS DEED, (DATE AND SOURCE) AND/OR N.C. GRID, NAD 83 OR 27

FOUND 1/2" PIPE (1" DEEP)

CALCULATED PLAT BEARING
N 57°10'15" E 54.45' (R)
N 57°10'15" E 54.45' (R)



VICINITY MAP

NOT TO SCALE

STANDARD LEGEND

● MONUMENT FOUND	⚡ POWERPOLE	—SS— SANSSEWER LINE
■ MONUMENT SET	⚡ GUY WIRE	—S— SEWER MANHOLE
■ P.K. NAIL FOUND	⚡ LIGHT POLE	—G— GREASE TRAP
⊙ P.K. NAIL SET	⚡ GROUND LIGHT	—C— CLEAN OUT
⊙ MAG NAIL FOUND	⚡ ELEC. TRANSFORMER	—SD— STORM DRAIN LINE
⊙ MAG NAIL SET	⚡ AIR CONDITIONER	⊙ STORM DRAIN MANHOLE
⊙ FOUND X MARK	⚡ BURIED ELECTRIC	⊙ STORM INLET
⊙ SET X MARK	⚡ OVERHEAD ELECTRIC	⊙ CURB INLET
▲ R.R. SPIKE FOUND	⚡ ELECTRIC MANHOLE	⊙ PAY PHONE
▲ R.R. SPIKE SET	⚡ ELECTRIC METER	⊙ TELEPHONE BOX
⊙ BENCHMARK	⚡ ELECTRIC BOX	⊙ TELEPHONE MANHOLE
⊙ CONC. R/W MARKER	⚡ WATER LINE	⊙ TELEPHONE POLE
(R) RECORD DATA	⚡ WATER MANHOLE	⊙ TELEPHONE LINE
(M) MEASURED DATA	⚡ WATER VALVE	⊙ OVERHEAD TELEPHONE
(C) CALCULATED DATA	⚡ HYDRANT	⊙ UNDERGROUND TELEPHONE MARKER
R/W RIGHT OF WAY	⚡ BACK FLOW PREVENTER	⊙ CABLE TELEVISION
RSJ BACK SET LINE	⚡ FIRE DEPARTMENT	⊙ FIBER OPTIC CABLE
RCP REINFORCED CONC PIPE	⚡ FIRE PROTECTION	⊙ OVERHEAD CABLE
CMP CORRUGATED METAL PIPE	⚡ HOSE BIBB	⊙ CABLE BOX
PVC PLASTIC PIPE	⚡ GAS VALVE	⊙ UNDERGROUND CABLE MARKER
MTL METAL	⚡ GAS METER	⊙ TELECOMMUNICATIONS
AGL ABOVE GROUND LEVEL	⚡ GAS MANHOLE	⊙ TELECOMMUNICATIONS
F.P. FOOTPRINT	⚡ GAS MANHOLE	⊙ PEDESTAL
DECIDUOUS TREE	⚡ LANDSCAPING	⊙ TRAFFIC SIGNAL
LANDSCAPING	⚡ CONIFER	⊙ TRAFFIC MANHOLE
CONIFER	⚡ SQUARE METAL LID	⊙ TRAFFIC SIGNAL BOX
⚡ FUEL TANK LID	⚡ FLAG POLE	⊙ STOP SIGN
⚡ UNKNOW MANHOLE	⚡ MONITORING WELL	⊙ SIGN
⚡ FROZEN MANHOLE	⚡ GUARD RAIL	
	⚡ FENCE	

SITE DATA

ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY A GENERAL REQUEST AT THE PUBLIC COUNCIL OF THE LOCAL ZONING AUTHORITY. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE INTERPRETATION OF COMPLEX ZONING ORDINANCES. COMPLIANCE IS BEYOND THE SCOPE OF THIS SURVEY. ANY USER OF SAID INFORMATION IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.

1. ZONING-C-3 COMMERCIAL
SETBACKS-
-FRONT= 5 FOOT
-SIDE= 0
-REAR= 5 FOOT
HEIGHT RESTRICTIONS- NOT TO EXCEED 45'
PARKING PROVIDED-
-REGULAR= 5 SPACES
-HANDICAP= 1 SPACES
TOTAL SPACES PROVIDED= 6 SPACES
PARKING REQUIRED= 2 SPACES FOR EACH PUMP, PLUS 1 SPACE FOR EACH 200 SQ. FT. OF RETAIL SPACE.

IMPROVEMENT NOTES

THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS DEED LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

A1 ASPHALT CROSSES DEED LINE

SURVEYOR NOTES

THIS SURVEY IS SUBJECT TO ANY AND ALL ENFORCEABLE RESTRICTIVE COVENANTS. ITEMS LISTED BELOW MAY REPRESENT AN EASEMENT THAT WAS NOT SHOWN IN SCHEDULE B DOCUMENTS

A2 POWERPOLE REPRESENTS POSSIBLE ELECTRIC EASEMENT

GENERAL NOTES

- THIS PROPERTY HAS AN AREA OF 20,097.44 SQUARE FEET OR 0.4614 ACRES OF LAND.
- THIS PROPERTY IS DESIGNATED BY COOK COUNTY, IL AS TAX MAP ID #08-24-100-030-0000.
- THERE WAS NO VISIBLE EVIDENCE OF CEMETERIES FOUND AT THE TIME OF THIS SURVEY.
- THE PROPERTY HAS ACCESS VIA ELMHURST ROAD, WHICH IS A PUBLIC RIGHT-OF-WAY.
- INTERIOR ROADWAYS APPEAR TO BE PRIVATE, VARIABLE IN WIDTH AND UNAMED.

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S CERTIFICATION

TO: CHICAGO TITLE INSURANCE COMPANY, BAKER & DANIELS LLP, MAC'S CONVENIENCE STORES LLC, RDK VENTURES LLC AND JETCO PROPERTIES, INC.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a)(b), 7(a)(b1)(c), 8, 9, 10a, 11a, 13 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 29, 2011

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

FIELD SURVEY: Mike Word, PLS

For inquiries, questions or concerns about this survey contact inquiries@usesurveyor.com or call 1-800-867-6783 ext. 200

U.S. SURVEYOR®
4929 Riverwind Points Drive
Evansville, Indiana 47715
"America's Land Surveyor"
1-800-TO-SURVEY

PREPARED FOR:
BAKER & DANIELS

PROJECT LOCATION:

COOK COUNTY, STATE OF ILLINOIS
STORE #6846

PROJECT ADDRESS:
827 ELMHURST ROAD
DES PLAINES, IL 60016

PROJECT TYPE:
ALTA/ACSM LAND
TITLE SURVEY



Rodney K. Young
L.S.
ILLINOIS REGISTRATION NO. 2999
DATE OF CERTIFICATION 10/07/11
LICENSE EXPIRATION DATE 11/30/12

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SHEET 1 OF 1

JOB NUMBER:
8840002.DWG_RY

FLOOD DATA

This property is in Zone X
of the Flood Insurance Rate Map, Community Panel No. 17031C.0212J
which has an effective date of AUGUST 19, 2008 and IS NOT in a Special Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.

IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, WHETHER SHOWN ON THIS SURVEY OR NOT PRIOR TO COMMENCEMENT OF WORK. THIS SURVEY HAS BEEN PREPARED USING AVAILABLE UTILITY DATA. THIS SURVEYOR DOES NOT MAKE STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATES OF OTHERS.

STANDARDS FOR CONDITIONAL USES

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Conditional Use in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly (two to three sentences each).

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;

This property is located in the C-3, General Commercial zoning district. Pursuant to Section 12-7-3, the proposed “auto service repair” facility requires a conditional use permit.

2. The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

The proposed Oil Change is in accordance with the objectives of the City's Comprehensive Plan by providing a business that enhances the welfare and serviceability of the community through ease of access to annual maintenance and safety checks on patrons vehicles. In addition, the Land Use Plan within the Comprehensive Plan recommends that the community stay within the existing land use framework and locate specific redevelopment opportunities to help realize its vision over the next ten years.

3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;

The proposed design, use and operation will be in harmony with all other elements of compatibility pertinent to the Conditional Use and this particular location. The building design, materials and colors are complementary to the surrounding area and neighboring structures.

4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

The proposed Oil Change facility is a nationally recognized chain that does not pose a hazard to the safety or health of neighboring uses. Through the implementation of strict safety protocols such as rolling down service bay doors while in use and immediately storing used fluids in special containers, neighboring uses will not have worry about obnoxious noises or smells.

5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services;

The proposed Oil Change will not require any disproportionate facilities or services and will not place undue burdens upon existing developments in the area. The prior facility on this property was serviced by the same public facilities and had a greater burden on the systems than our proposed use.

6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

The proposed Oil Change will not create or cause excessive or additional requirements to the public facilities and services and will not be detrimental to the economic welfare of the community. The prior facility on this property was serviced by the same public facilities and had a greater burden on the systems than our proposed use. Additionally, this new business will help increase the economic welfare of the community by providing jobs and local tax proceed.

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

The proposed Oil Change and subsequent conditional use does not involve uses, activities, process or materials that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odor. Through the implementation of strict safety protocols such as rolling down service bay doors while in use and immediately storing used fluids in special containers, neighboring uses will not have worry about obnoxious noises or smells.

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

The proposed access provided is similar to what was existing, which ultimately provides adequate and safe vehicular access without causing interference with surrounding thoroughfares and traffic. In addition, this access point will have stop signs in order to mitigate any potential conflicts on site within the shopping center.

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

The proposed use is in harmony with all other elements of compatibility pertinent to the site and will not cause any undue destruction, loss or damage to the natural scenic features of the surrounding area. The building shape and size is similar to what was existing, but more importantly will be constructed using more sustainable elements and toned down colors that blend into the overall area more adequately.

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested

The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested.



2211 North Elston, Suite 304
Chicago, Illinois 60614
Main: 773.382.0445
Fax: 773.796.3037

November 7, 2022

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

RE: 827 Elmhurst Road, Des Plaines – Project Narrative

Dear City of Des Plaines,

GW Properties is proposing a new development on the Southeast corner of Thacker Street and Elmhurst Road in Des Plaines, Illinois. The site would include a 1,700sf free standing oil change and service center located on the former Shell Gas Station outlot parcel to Jewel Shopping Center.

This property would ultimately be transformed from its current state of a vacant gas station into a vibrant development with new business offerings that will be complementary to the surrounding area. Moreover, this project would create many new full-time jobs in Des Plaines and generate thousands of dollars in property and sales tax for the City on an annual basis that do not exist today. This project entails the highest and best use for the property and is a rare opportunity to create one cohesive development that has been thoughtfully designed and considered.

We look forward to working with the City of Des Plaines on all aspects of the proposed development and welcome the opportunity to discuss it soon. If you have any questions, please feel free to contact me.

Regards,

A handwritten signature in black ink that reads 'Mitch Goltz'.

Mitch Goltz
Principal
GW Properties



After being turned down for a management-track position when working as an oil change technician, Strickland opted to start his own lube shop, Strickland Brothers 10 Minute Oil Change, in 2016. Unable to secure traditional funding at first, Strickland used a \$35,000 HELOC loan from his grandfather to open his first shop. By combining a streamlined business model with an obsessive focus on the customer experience, Strickland Brothers has experienced tremendous growth with over 125 locations now open across the country.

Strickland Brothers provides a unique customer experience by offering essential maintenance services without the high-pressure sales tactics that are standard within the automotive industry. Strickland Brothers is a one-stop-shop for fast and friendly oil changes and other preventative maintenance services including tire rotations, air filters, wiper blades, state inspections, coolant and washer fluids.

Our mission at Strickland Brother's 10 Minute Oil Change is to **exceed the expectations of every customer** by setting and meeting service standards that are innovative and centered around the highest level of service, **every time**.

For this specific project in Des Plaines, the site has been designed to include a 1,700sf free standing oil change and service center located on the former Shell Gas Station out lot parcel to the Jewel Shopping Center. Through several discussions with Jewel, the updated site plan as designed is the most efficient and safe design as possible and has been approved by Jewel. Furthermore, the parking layout has remained the same with appropriate drive isle and parking stall spacing so pedestrians can pull in and/or back-up without conflict. Ultimately, the one-way entrance on the east side of the property allows for less congestion buildup at the shopping centers main access point and creates a safer circulation pattern on the property as cars now have two clear egress and/or ingress location.

Services provided on site:

- Stay in your car oil changes
- State inspections
- Tire rotations
- Air filters
- Wiper blades
- Coolant and washer fluids

Number of Employees

- 3-4 employees will be on site at any given time

Hours of Operation:

Monday – Friday: 8:00 am – 7:00 pm



Saturday: 8:00 am – 5:00 pm

Sunday: 10:00 am – 5:00 pm

Parking Breakdown:

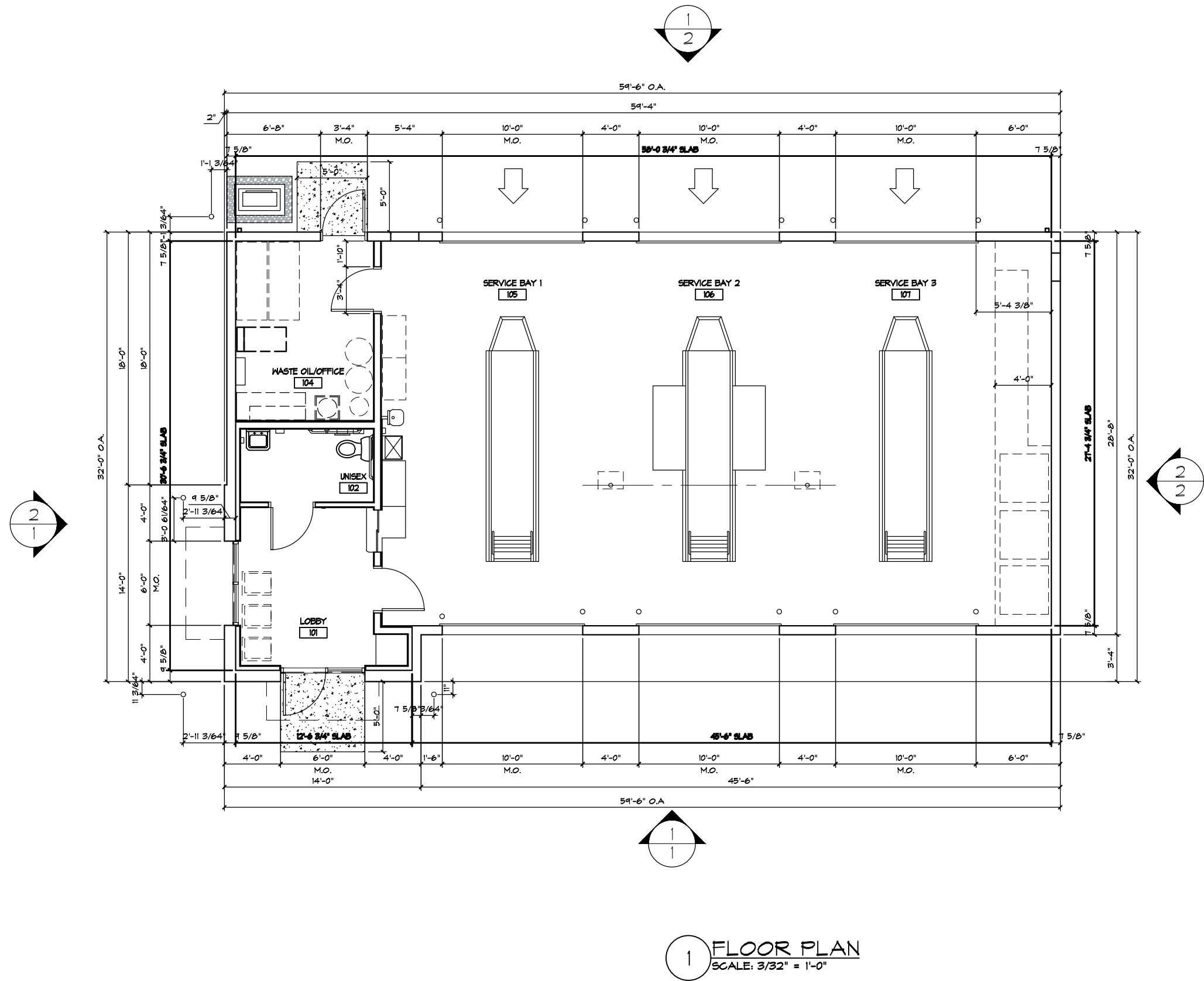
Minimal parking. 3-5 spaces in the rear of site for employees. Customers are to stay in their vehicles during the services listed above, with the exception of tire rotations and state inspections, where we have a waiting room for these quick services. Ultimately, customers spend an average of 10 minutes in the bays or waiting room.

This site plan shows a building with an attached garage and a parking lot. The building is yellow and labeled "AUTO 1700 S.F.". The garage is attached to the side of the building and contains three car stalls. The parking lot is located to the right of the building and contains four parking spaces, each with a car icon. The plan includes various dimensions, easements, and a north arrow. A monument sign is located at the top left. A ramp labeled "RAMP DN" is shown on the right side of the building. A trash area is located at the bottom right. The plan also shows a 5' utility easement along the top and bottom boundaries.



NORTH CAROLINA STATE UNIVERSITY

ST-1



STRICKLAND BROTHERS 10
MINUTE OIL CHANGE
COLOR ELEVATIONS
DES PLAINES, IL



DATE: 10-31-22
PROJECT #:
DRAWN BY: VW
CADD FILE NAME:

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Sheet
3

EXTERIOR MATERIALS SCHEDULE AND IMAGES



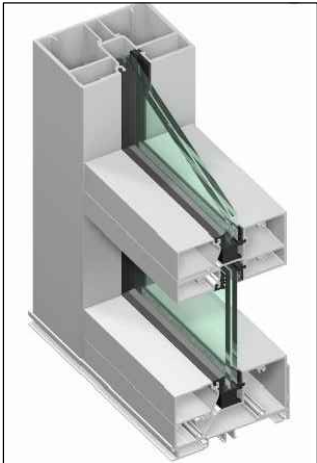
BLUE COLOR



CORRUGATED METAL ROOFING



LIGHT GRAY COLOR



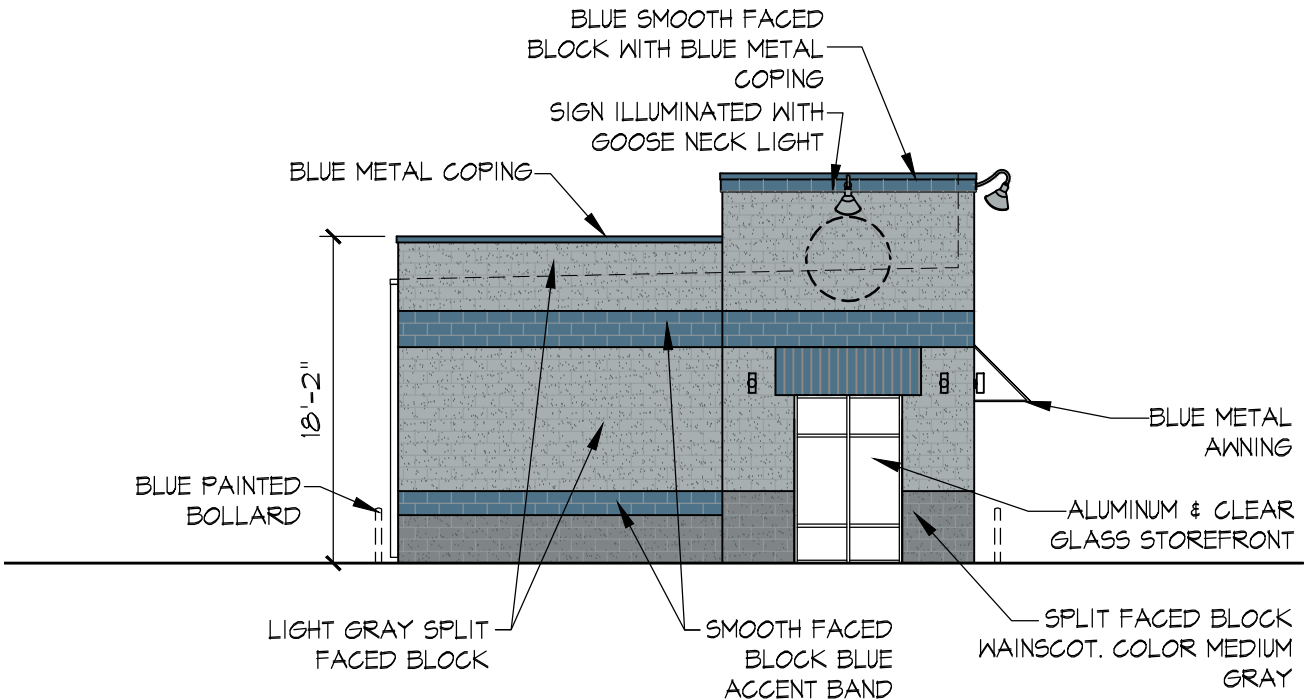
CLEAR ANODIZED ALUMINUM



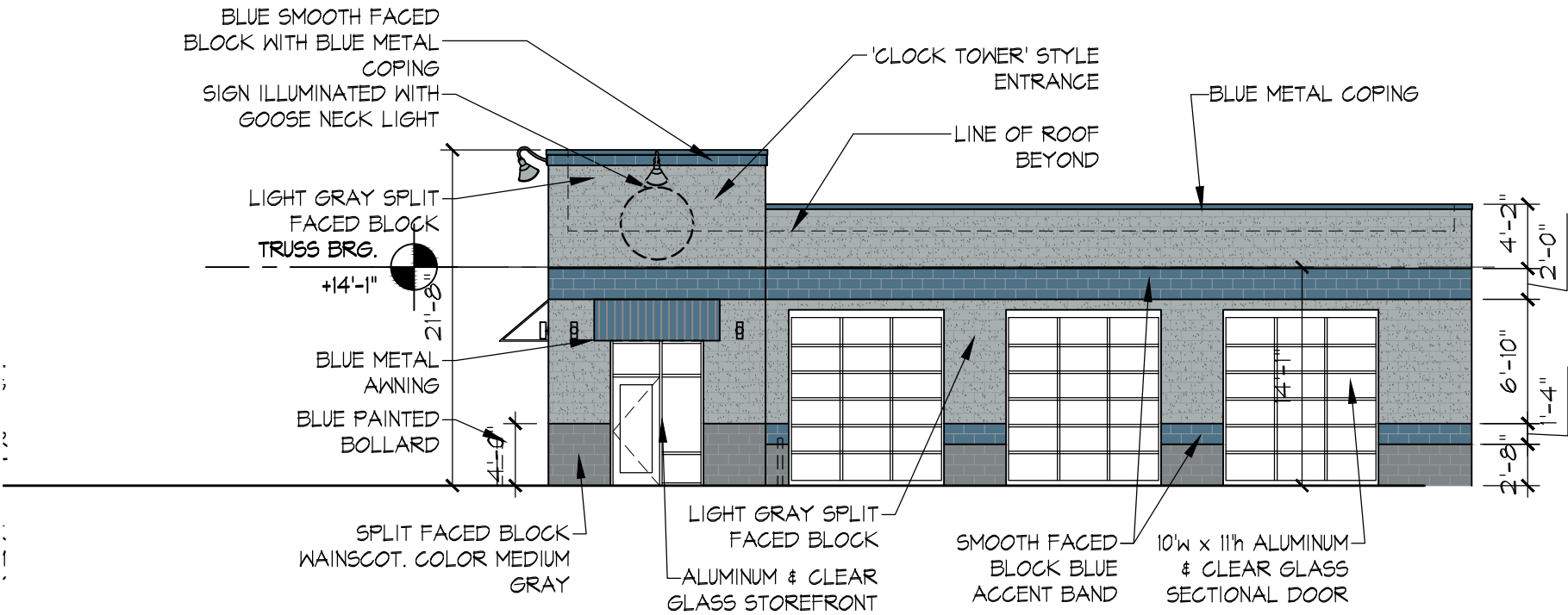
MEDIUM GRAY COLOR



SECTIONAL DOOR



2 LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"

oak
line

421 PENMAN STREET, SUITE 200
CHARLOTTE, NC 28203
704.373.1900
OAKLINESTUDIO.COM

STRICKLAND BROTHERS 10
MINUTE OIL CHANGE
COLOR ELEVATIONS
DES PLAINES, IL



DATE: 10-31-22

PROJECT #:

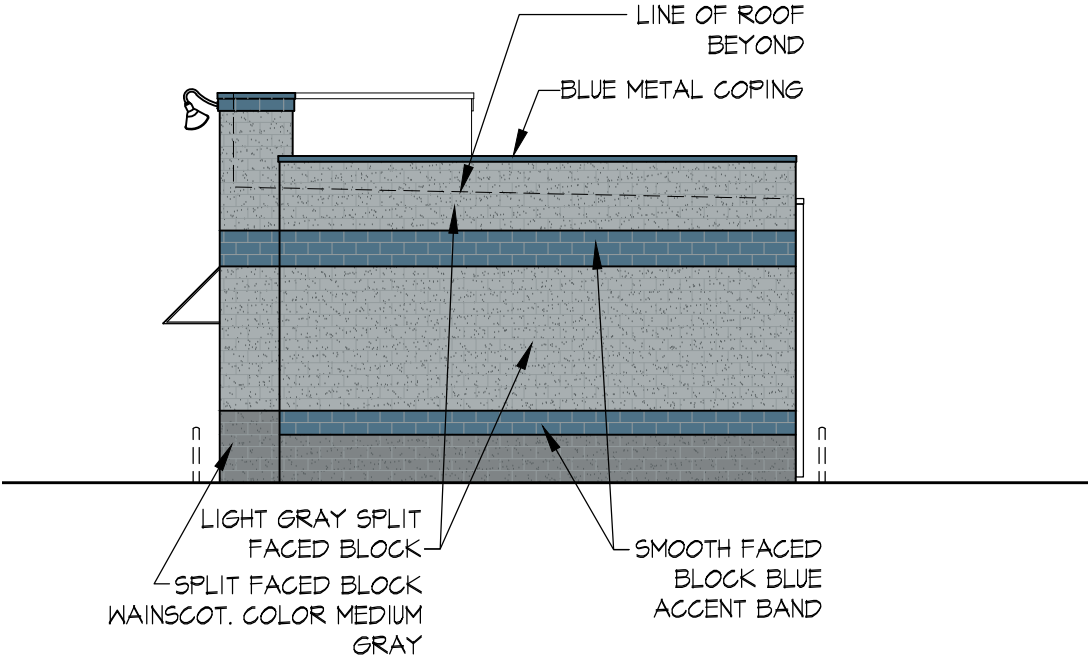
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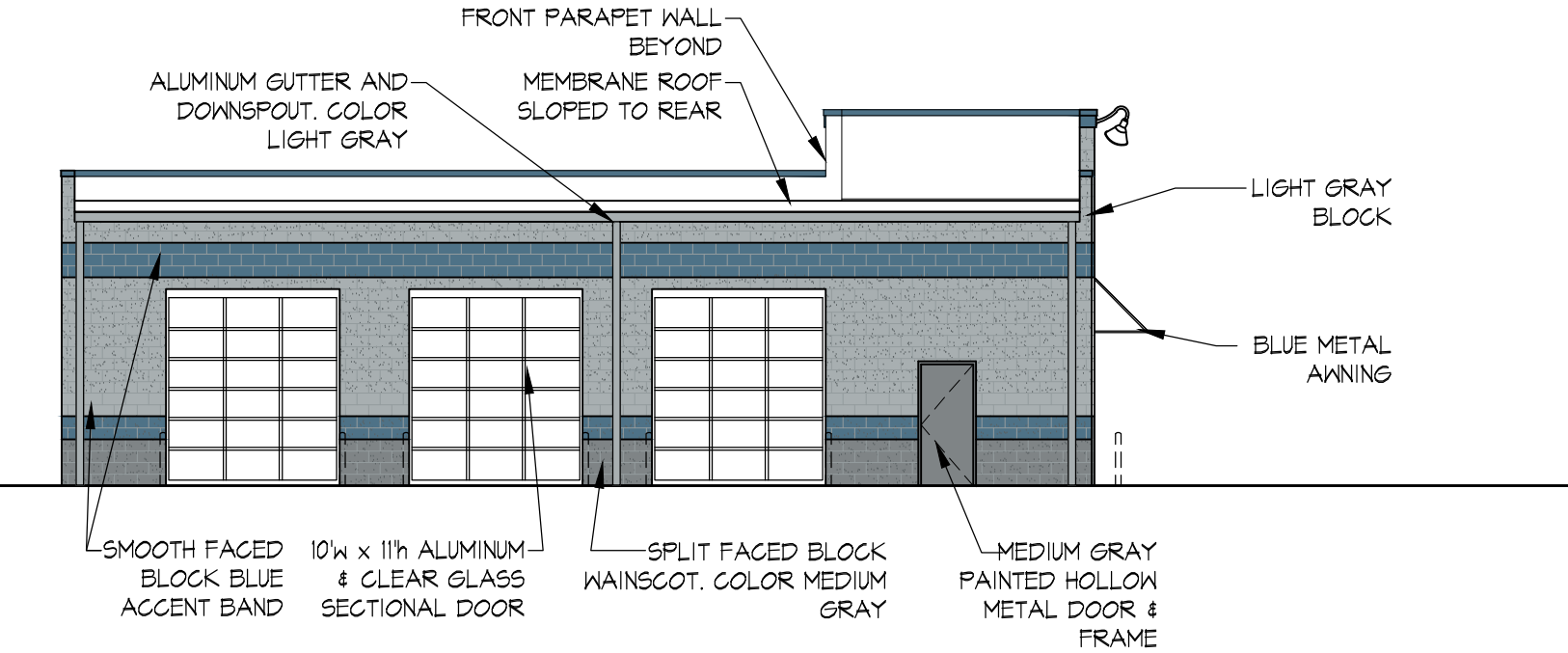
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Sheet

1



2 RIGHT SIDE ELEVATION
SCALE: 3/32" = 1'-0"



1 REAR ELEVATION
SCALE: 3/32" = 1'-0"



DATE: 10-31-22

PROJECT #:

DRAWN BY: VW

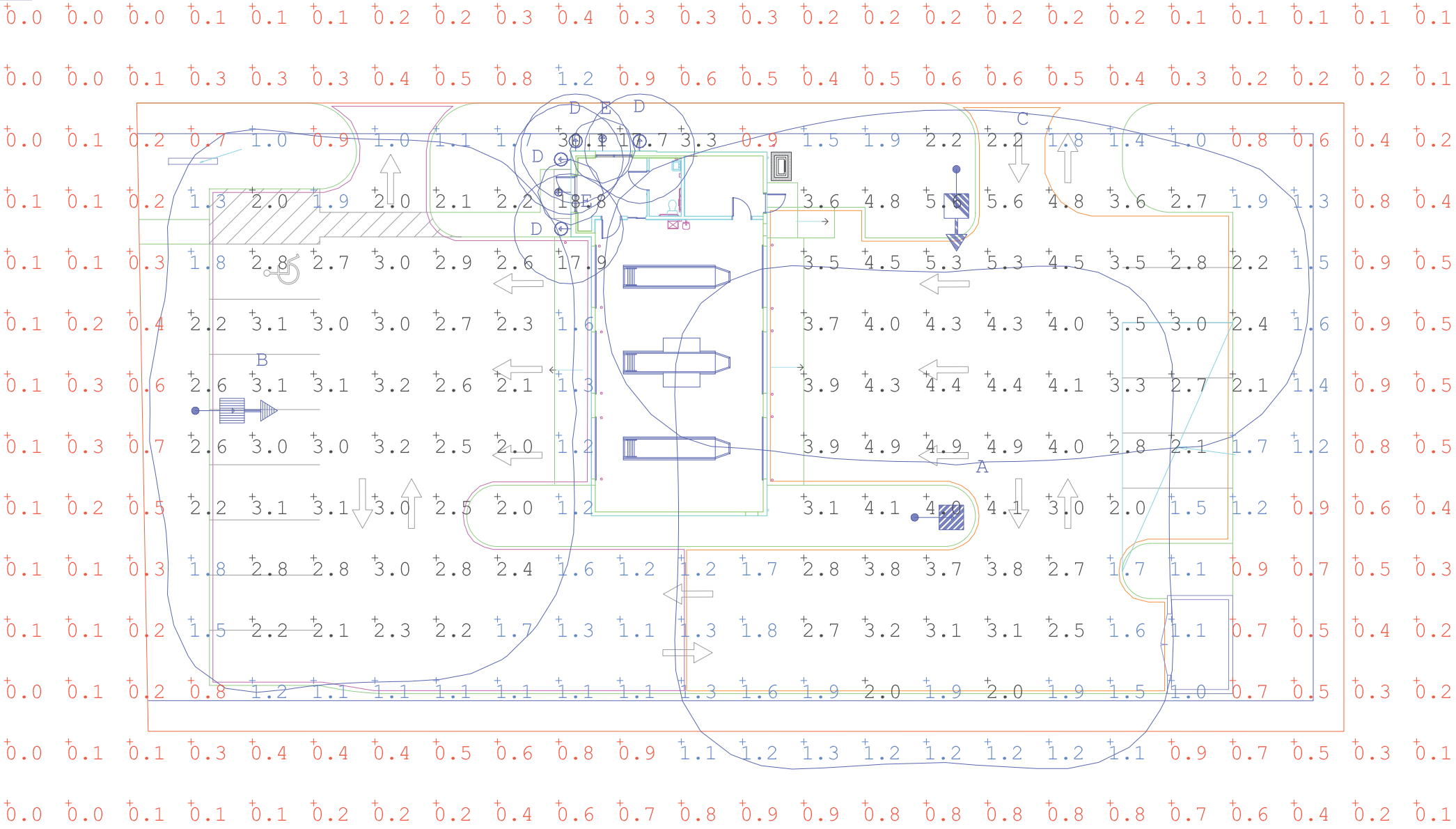
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Sheet

2

REVISIONS		
REV #	DATE	BY:
1	2/21/23	J.P.
2	3/21/23	J.P.
3	3/30/23	J.P.



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Calculation Summary								
	Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr
	FRONT	Fc	2.48	17.9	1.0	2.48	17.90	10
	REAR	Fc	3.30	5.6	1.5	2.20	3.73	

Luminaire Schedule							
WLS17215		STRICKLAND BROTHERS OIL CHANGE		DES PLAINES, IL		PM: KEN PLEASE EMAIL US FOR PRICING AT KBRONSTAD@WLSLIGHTING.COM	
Symbol	Qty	Label	Lum. Lumens	LLF	Description		Lum. Watts
	1	A	22900	0.980	WLS-A-L-B-22L-40K7-5Q-SLW 25' MOUNTING HEIGHT		132
	1	B	17000	0.980	WLS-A-L-B-22L-40K7-4M-BLSLF-SLW 25' MOUNTING HEIGHT		132
	1	C	17500	0.980	WLS-A-L-B-22L-40K7-3M-BLSLF-SLW 25' MOUNTING HEIGHT		132
	4	D	2327	0.950	WLS-CL6-940-D25L-UNQ-D72-SLW 10' MOUNTING HEIGHT		27.888
	2	E	1388	0.950	WLS-ADL-15L-40-GWT-SLW 21' MOUNTING HEIGHT		10.9

STRICKLAND BROTHERS OIL
CHANGE
DES PLAINES, IL



6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WLSLIGHTING.COM

WLS-17215

DATE -11/4/22

SCALE: 1"=10'

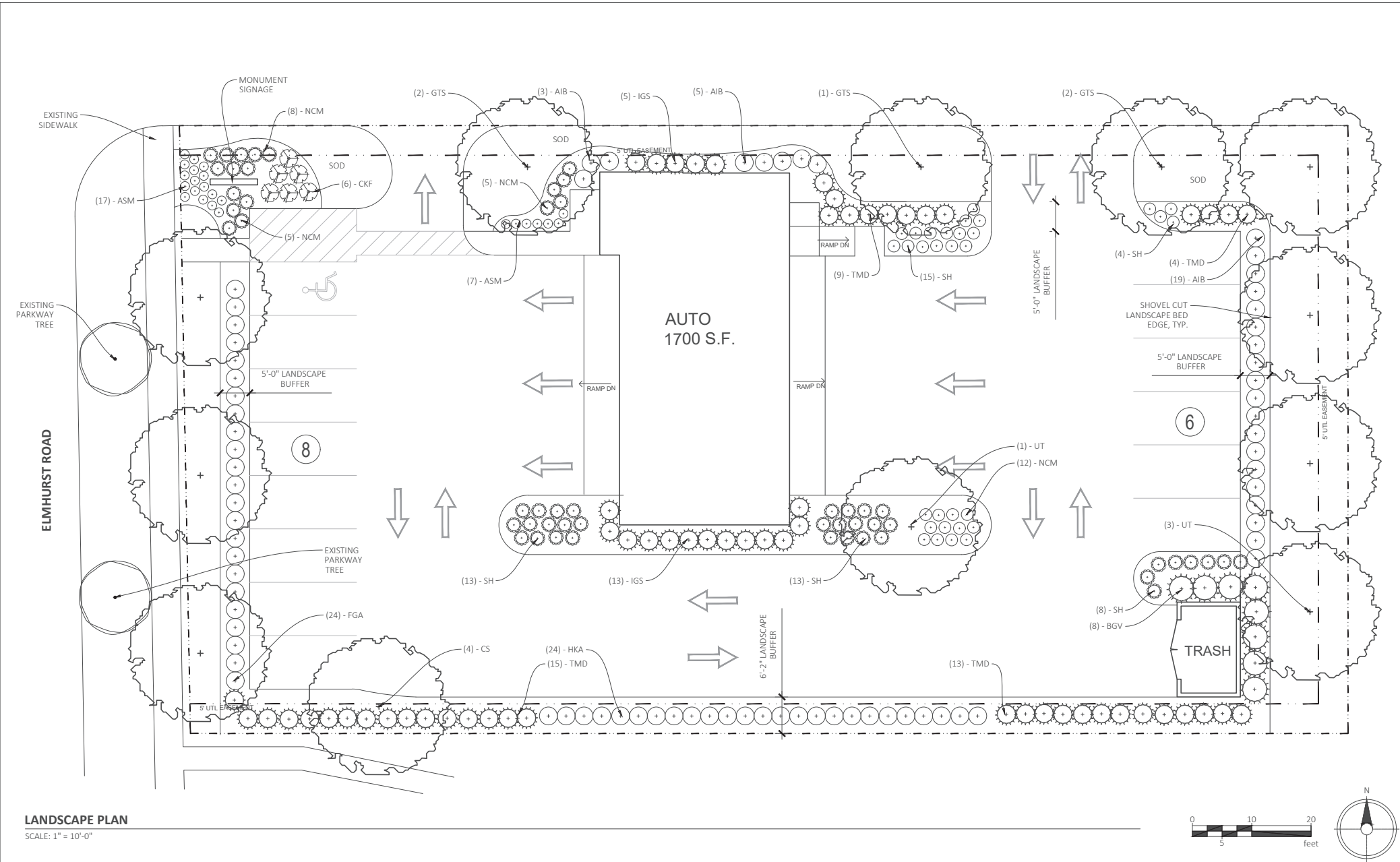
800-633-8711

PM:KEN

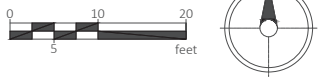
BY: J.P.

SHEET 1 OF 1

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LANDSCAPE PLAN
SCALE: 1" = 10'-0"



LANDSCAPE ORDINANCE REVIEW: DES PLAINES, ILLINOIS			
SPECIFIC ORDINANCE	CODE REQUIRES	CALCULATION	COMPLIANCE
12-10-8: PARKING LOT LANDSCAPING	INTERIOR PARKING LOT LANDSCAPING: NOT LESS THAN FIVE PERCENT OF THE INTERIOR OF PARKING LOT SHALL BE DEVOTED TO LANDSCAPING. LANDSCAPED AREAS ALONG THE PERIMETER OF THE PARKING LOT BEYOND THE CURB OF EDGE OF PAVEMENT SHALL NOT BE COUNTED TOWARD THE SATISFACTION OF THIS REQUIREMENT.	INTERIOR OF PARKING LOT = 10,380 SF * 5% = 519 SF REQUIRED	650 SF PROVIDED.
	PERIMETER PARKING LOT LANDSCAPING - SHADE TREES: ONE SHADE TREE FOR EVERY 40 OF PERIMETER LANDSCAPE AREA LENGTH. TREES MAY BE CLUSTERED.	TOTAL PERIMETER LANDSCAPE AREA LENGTH = 450 LF. / 40 = 11 TREES REQUIRED	11 TREES PROVIDED
	PERIMETER PARKING LOT LANDSCAPING - SHRUBS: ONE SHRUB, MEASURING A MINIMUM OF 18 INCHES AT PLANTING AND NOT TO EXCEED FOUR FEET AT MATURITY, FOR EVERY THREE FEET OF PERIMETER LANDSCAPE AREA LENGTH, CLUSTERED OR SPACED LINEARLY. THE LANDSCAPE TREATMENT SHALL RUN 75 PERCENT OF THE YARD WHEN ABUTTING A NON-RESIDENTIAL USE.	TOTAL PERIMETER LANDSCAPE AREA LENGTH = 450 LF. * 75% = 854 LF; 338 LF/3 = 112 SHRUBS REQUIRED	125 PERIMETER SHRUBS PROVIDED
12-10-10: FOUNDATION PLANTING	CORNER LOTS: ALL CORNER LOTS SHALL BE IMPROVED WITH A MINIMUM LANDSCAPE AREA AROUND 35% OF THE FOUNDATION OF THE PRINCIPLE AND ACCESSORY STRUCTURES WITH EMPHASIS ON STREET FACING ELEVATIONS AND SHALL PROJECT AT LEAST THREE (3) FEET FROM THE BUILDING.	N/A	FOUNDATION PLANTING HAS BEEN MAXIMIZED

PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
CS	4	CATALPA SPECIOSA	NORTHERN CATALPA	2.5" CAL.	PER PLAN
GTS	4	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL.	PER PLAN
UT	4	ULMUS 'MORTON GLOSSY'	TRIUMPH ELM	2.5" CAL.	PER PLAN
DECIDUOUS SHRUBS					
AIB	27	ARONIA MELANOCARPA 'MORTON'	IROQUOIS BEAUTY CHOKEBERRY	#3 CONT.	36" O.C.
FGA	24	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	#3 CONT.	36" O.C.
HKA	24	HYPERICUM KALMIANUM	KALM'S ST. JOHNSWORT	#3 CONT.	36" O.C.
EVERGREEN SHRUBS					
BGV	8	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	#3 CONT.	48" O.C.
IGS	18	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#3 CONT.	36" O.C.
TMD	41	TAXUS x MEDIA 'DENSIFORMIS'	DENSE YEW	#3 CONT.	36" O.C.
PERENNIALS & GRASSES					
ASM	24	ALLIUM 'MILLENNIUM'	MILLENNIUM ALLIUM	#1 CONT.	18" O.C.
CKF	6	CALAMOGROSTIS X 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#3 CONT.	36" O.C.
NCM	30	NEPETA 'CATS MEOW'	CAT'S MEOW NEPETA	#1 CONT.	24" O.C.
SH	53	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSPEED	#1 CONT.	24" O.C.

NOTES:
1. SEE SHEET L201 FOR LANDSCAPE NOTES & DETAILS.



PROJECT NAME:
REDEVELOPMENT SITE
827 ELMHURST ROAD
DES PLAINES, IL 60018

OWNER NAME:
GW PROPERTIES
2211 N. ELSTON AVENUE, UNIT 304
CHICAGO, IL 60614

CONSULTANTS:

PLANNED ENVIRONMENT ASSOCIATES
(219) 398-3833
www.plannedenv.com

SUBMITTAL & REVISIONS

1	11/07/22	INITIAL DESIGN
2	01/03/23	REVISED PLAN
3	01/04/23	SITE PLAN REVISION
4	02/16/23	SITE PLAN REVISION
5	03/16/23	SITE PLAN REVISIONS
6	03/27/23	SOUTH BUTTER TREE

STAMP:

TITLE:
LANDSCAPE PLAN

SHEET:
L101

DRAWN BY: JRR
CHECK BY: JJF
PROJECT #: 22-048

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PLANTING NOTES

1.

SEE SHEET L101 FOR LANDSCAPE ORDINANCE REVIEW DATA TABLE AND PLANT SCHEDULE.
2.

THE CONTRACTOR SHALL CONTACT 811 PRIOR TO WORK.
3.

IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE GRAPHIC SYMBOLS SHOWN ON THE PLAN SHALL DICTATE.
4.

PLANT MATERIALS:

4.1.

ALL PLANT MATERIALS SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK, MOST CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.

4.2.

PLANTS SHALL BE EQUAL TO OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST.

4.3.

PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES.

4.4.

TREES SHALL HAVE STRAIGHT TRUNK WITH LEADER INTACT, UNDAMAGED AND UNCUT. BRANCHING MUST BE WELL DEVELOPED.

4.5.

ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.

4.6.

NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT PRIOR TO BID IN WRITING.

4.7.

ALL PLANTS ARE SUBJECT TO INSPECTION AND APPROVAL. THE LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT TO SELECT AND TAG ALL PLANT MATERIAL AT THE NURSERY PRIOR TO PLANTING AND REJECT UNACCEPTABLE PLANT MATERIAL AT ANY TIME DURING THE PROGRESS OF THE PROJECT.

4.8.

CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
5.

IRRIGATION:

5.1.

CONTRACTOR SHALL PROVIDE BID ALTERNATE FOR IRRIGATION PER THE IRRIGATION PERFORMANCE SPECIFICATIONS. IF BID ALTERNATE OF IRRIGATION SYSTEM IS NOT SELECTED BY OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHMENT WATERING THROUGH TEMPORARY FACILITIES, WATERING BAGS, ETC., AS APPROVED BY OWNER FOR PLANT WARRANTY.
6.

TOPSOIL & PLANTING MIXTURES:

6.1.

ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS

6.2.

SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.

6.3.

TOPSOIL SHALL BE MATERIALS CONSISTING OF FERTILE, FRIABLE, FINE SANDY LOAM, UNIFORM IN COMPOSITION AND FREE OF SUBSOIL, STONES, LUMPS, CLODS OF HARD EARTH, PLANTS, PLANT ROOTS, STICKS, NOXIOUS WEEDS, SLAG, CINDERS, DEMOLITION DEBRIS OR OTHER EXTRANEIOUS MATTER OVER 1" IN LARGEST DIMENSION.

6.4.

EXISTING TOPSOIL SHALL BE PREPARED BY THOROUGHLY MIXING IN COMPOST AT THE RATE OF 1/3 VOLUME OF SOIL REPLACED.

6.4.

TOPSOIL SHALL BE TESTED AND AMENDED (AS SPECIFIED BY THE TESTING AGENCY) TO THE FOLLOWING:

6.4.1.

ADJUST SOIL TO A pH OF 6.0 TO 6.5.

6.4.2.

ORGANIC MATTER: 4% MIN, 10% MAX

6.4.3.

AVAILABLE PHOSPHORUS: 25 PPM, MIN

6.4.4.

EXCHANGEABLE POTASSIUM: 125 PPM, MIN

6.5.

THE FOLLOWING FERTILIZERS SHALL BE USED AS FOLLOWS, OR ALTERNATIVES SUBMITTED BY CONTRACTOR TO OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL:

6.5.1.

TREES & SHRUBS = 14-4-6 BRIQUETTES @ 17g

6.5.2.

LAWN = HIGH NITROGEN STARTER FERTILIZER

6.6.

LAWN SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 4" DEPTH OF TOPSOIL.

6.7.

PLANTING BEDS SHALL RECEIVE MINIMUM 6" DEPTH OF AMENDED TOPSOIL.

6.8.

NATIVE LANDSCAPE SEEDING AREAS SHALL RECEIVE A MINIMUM 18" DEPTH OF TOPSOIL.

7.

MULCH MATERIALS:

7.1.

ALL MULCH MATERIALS SHALL BE PROCESSED DOUBLE SHREDDED HARDWOOD BARK MULCH OF UNIFORM SIZE. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. SUBMIT SAMPLE TO ARCHITECT.

7.2.

MULCH SHALL BE 2-INCH THICK MINIMUM COVERAGE IN ALL AREAS OF TREE PITS OR PLANTING BEDS, UNLESS OTHERWISE NOTED.

7.3.

MULCH SHALL BE HELD 1" BELOW SURFACE ELEVATION OF DOWNHILL SIDE OF WALK, SLAB, CURB, LAWN, ETC.

8.

LANDSCAPE BED EDGING:

8.1.

ALL LANDSCAPE BED EDGING SHALL BE SHOVEL-CUT SPADE EDGE BETWEEN LAWN AREAS UNLESS OTHERWISE NOTED.

9.

STORAGE & INSTALLATION:

9.1.

CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

9.2.

EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. NO VEHICLES OR EQUIPMENT ARE ALLOWED WITHIN THE DRIP LINE OF TREES TO BE PROTECTED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.

9.3.

PRUNING AND REMOVAL OF BRANCHES ON EXISTING TREES SHALL BE DIRECTED IN THE FIELD BY OWNER OR LANDSCAPE ARCHITECT

9.4.

EQUIPMENT, PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE STORED OUTSIDE OF THE DRIPLINE OF TREES TO BE PROTECTED AND PLACED WHERE THEY WILL NOT CONFLICT W/ CONSTRUCTION OPERATIONS.

9.5.

NEW PLANTING AREAS ARE TO BE TREATED WITH HERBICIDE (APPROVED BY STATE CHEMIST) TO KILL ALL EXISTING GROUNDCOVER. THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUNDCOVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.

9.6.

WHERE PROPOSED PLANTINGS ARE INDICATED IN EXISTING PAVING AREAS, CONTRACTOR SHALL EXCAVATE A MINIMUM OF 2'-0" BELOW PAVING SURFACE.

9.7.

FINAL PLACEMENT OF PLANT MATERIALS, ETC., ARE SUBJECT TO APPROVAL BY OWNER AND LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOOD STAKE OR FLAG INDICATING VARIETY AND SIZE OF TREE. ALL GROUND COVER AND PLANTING BED LINES SHALL BE MARKED W/ HIGHLY VISIBLE PAINT LINES W/ OCCASIONAL WOOD STAKES FOR REFERENCE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. OWNER RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE.

9.8.

ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

9.9.

PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL COORDINATE A FINAL INSPECTION WALK-THROUGH WITH OWNER AND LANDSCAPE ARCHITECT FOR OWNER ACCEPTANCE. THE LANDSCAPE ARCHITECT WILL PROVIDE A PUNCHLIST OF ANY DEFICIENCIES AND PROVIDE TO OWNER AND CONTRACTOR FOR REVIEW AND REMEDIATION.

10.

MAINTENANCE:

10.1.

INCLUDE PRICING WITH THE BID FOR A 60-DAY MAINTENANCE PERIOD OF ALL LANDSCAPE PLANTINGS FOLLOWING COMPLETE INSTALLATION AND FINAL INSPECTION BY OWNER AND LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, MULCHING, MOWING, AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS.

11.

WARRANTY:

11.1.

ALL LANDSCAPE PLANTINGS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FOLLOWING 60-DAY MAINTENANCE PERIOD. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY (EXCEPT FOR DEFECTS RESULTING FROM ABUSE OR DAMAGE BY OTHERS, OR OTHER ACTS DETERMINED AS FORCE MAJEURE) BY OWNER AND LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR. THE REPLACEMENTS SHALL ALSO BE WARRANTED FOR 1 YEAR.

IRRIGATION NOTES:

1.

CONTRACTOR SHALL PROVIDE DESIGN/BUILD IRRIGATION SYSTEM PER THE IRRIGATION NOTES BELOW:

1.1.

DESIGN GUIDELINES: CONTRACTOR TO VERIFY PRESSURE AND AVAILABLE WATER SERVICE SIZE

1.2.

EMISSION (LAWNS): HUNTER I-40 SPRAY ROTARS (OR APPROVED EQUAL)

1.3.

D RIP (BEDS): HUNTER HDL-CV (OR APPROVED EQUAL)

1.4.

QUICK COUPLER: HUNTER QCV - 3RC

1.5.

CONTROLLER: HUNTER HCC (OR APPROVED EQUAL)

1.6.

SENSOR: HUNTER SOLAR-SYNC & HC FLOW METER (OR APPROVED EQUAL)

1.7.

PIPING: PVC OR APPROVED EQUAL

1.8.

INSECT REPELLENT: AUTOMATED PRO FEEDER SYSTEM WITH 5-GALLON STORAGE FOR NATURE SHIELD

2.

CONTRACTOR SHALL PROVIDE A QUALIFIED IRRIGATION DESIGNER OR IRRIGATION CONSULTANT TO DESIGN THE SYSTEM FOR EFFICIENT AND UNIFORM DISTRIBUTION OF WATER. "QUALIFIED" MEANS CERTIFIED BY ONE THE FOLLOWING AGENCIES BELOW:

2.1.

CERTIFIED IRRIGATION CONTRACTOR (CIC)

2.2.

CERTIFIED LANDSCAPE IRRIGATION AUDITOR (CLIA)

2.3.

CERTIFIED LANDSCAPE IRRIGATION MANAGER (CLIM)

2.4.

CERTIFIED IRRIGATION DESIGNER (CID)

2.5.

CERTIFIED WATER CONSERVATION MANAGER-LANDSCAPE (CWCM)

3.

SYSTEM DESIGN:

3.1.

THE SYSTEM SHALL BE COMPRISED OF EITHER:

3.1.1.

DRIP/MICRO-IRRIGATION COMPONENTS THAT ALLOW FOR HIGHER DISTRIBUTION UNIFORMITY AND LOWER EVAPORATION AND RUNOFF.

3.1.2.

THE DESIGN AND LAYOUT OF THE EMISSION DEVICES PROVIDES FOR ZERO OVERSPRAY ACROSS OR ONTO A STREET, PUBLIC DRIVEWAY OR SIDEWALK, PARKING AREA, BUILDING, FENCE OR ADJOINING PROPERTY. OVERSPRAY MAY OCCUR DURING THE OPERATION OF THE IRRIGATION SYSTEM DUE TO THE ACTUAL WIND CONDITION THAT DIFFER FROM THE DESIGN CRITERIA.

4.

SYSTEM CONTROLLER:

4.1.

THE SYSTEM SHOULD USE A CONTROLLER THAT HAS MULTI-PROGRAM CAPABILITY WITH AT LEAST FOUR START TIMES(FOR MULTIPLE REPEAT SOAK CYCLES) AND RUN TIME ADJUSTMENT IN ONE MINUTE INCREMENTS. THE CONTROLLER PROGRAMMING (SCHEDULING) SHOULD BE MANAGED TO RESPOND TO THE CHANGING NEED FOR WATER IN THE LANDSCAPE.

5.

DESIGN FEATURES:

5.1.

FOLLOW ALL ORDINANCES RELATING TO IRRIGATION SYSTEMS INCLUDING THE INSTALLATION OF BACKFLOW DEVICES.

5.2.

INSTALL A MASTER VALVE TO STOP UNSCHEDULED FLOW OF IRRIGATION WATER

5.3.

A DESIGN THAT RESULTS IN UNIFORM AND EFFICIENT COVERAGE. SPRINKLER HEAD SPACING SHOULD BE A MINIMUM OF "HEAD-TO-HEAD" (MINIMUM 50% OF DIAMETER) UNLESS THE COVERAGE IS DESIGNED FOR WIND DE-RATING. WIND DE-RATING SHOULD BE BASED ON AVERAGE NIGHTTIME WIND SPEED.

5.4.

A MINIMUM OF "HEAD-TO-HEAD" (MINIMUM OF 50% OF DIAMETER) UNLESS THE COVERAGE IS DESIGNED FOR WIND DE-RATING. WIND DE-RATING SHOULD BE BASED ON AVERAGE NIGHTTIME WIND SPEED. DESIGN TO AVOID OVERSPRAY ONTO HARDSCAPES, FENCES, BUILDINGS AND ADJOINING PROPERTY.

5.5.

HAVE SEPARATE STATIONS/ZONES (HYDROZONES) FOR AREAS WITH DISSIMILAR WATER OR SCHEDULING REQUIREMENTS

5.6.

PROVIDE SENSOR TO SUSPEND IRRIGATION DURING WET WEATHER CONDITIONS.

5.7.

PROVIDE FLOW METER FOR MONITORING FLOW CONDITIONS AND SAVING WATER.

5.8.

PROVIDE OWNER WITH WALKTHROUGH FOR SYSTEM OPERATIONS, PRIOR TO FINAL ACCEPTANCE. INCLUDE PROCEDURES FOR CONTROLLER PROGRAMMING, MAINTENANCE AND WINTERIZATION.

Diagram 1: TREE PLANTING. A cross-section view of a tree being planted. The tree has a trunk with a leader and branches. The root ball is shown with a depth of 12-23 inches and a width of 3 inches. The root ball is placed in a planting pit that is 3 times wider than the root ball. The pit is filled with planting mixture backfill. The tree is staked with steel stakes and flexible guying material. The trunk is wrapped with tree wrap. The crown of the root ball is flush with the finished grade. The tree is watered with a watering bag. The tree is planted in a planting pit that is 3 times wider than the root ball. The pit is filled with planting mixture backfill. The tree is staked with steel stakes and flexible guying material. The trunk is wrapped with tree wrap. The crown of the root ball is flush with the finished grade. The tree is watered with a watering bag.

1 TREE PLANTING
SCALE: 1/2" = 1'-0"

Diagram 2: SHRUB PLANTING. A cross-section view of a shrub being planted. The shrub is shown with a root ball and a trunk. The root ball is placed in a planting pit. The pit is filled with planting mixture. The shrub is watered with a watering bag. The shrub is planted in a planting pit. The pit is filled with planting mixture. The shrub is watered with a watering bag.

2 SHRUB PLANTING
SCALE: 1" = 1'-0"

Diagram 3: PERENNIAL PLANTING. A cross-section view of a perennial plant being planted. The plant is shown with a root ball and a trunk. The root ball is placed in a planting pit. The pit is filled with planting mixture. The plant is watered with a watering bag. The plant is planted in a planting pit. The pit is filled with planting mixture. The plant is watered with a watering bag.

3 PERENNIAL PLANTING
SCALE: 1" = 1'-0"

Diagram 4: PLANT SPACING. A plan view diagram showing the spacing of plants. The plants are represented by circles. The spacing between the plants is indicated by arrows and the letter 'P'. The plants are spaced in a grid pattern.

(P) = SPECIFIED PLANT SPACING IN PLANT SCHEDULE

4 PLANT SPACING
NOT TO SCALE

PROJECT NAME:

REDEVELOPMENT
SITE

827 ELMHURST ROAD
DES PLAINES, IL 60018

OWNER NAME:

GW PROPERTIES

2211 N. ELSTON AVENUE, UNIT 304
CHICAGO, IL 60614

CONSULTANTS:

Planned
Planned Environment Associates
(219) 398-3833
www.planned.com
P.O. BOX 2256
CHESTERTON, IN 46304

SUBMITTAL & REVISIONS					
1	11/07/22	INITIAL DESIGN			
2	01/03/23	REVISED PLAN			
3	01/04/23	SITE PLAN REVISION			
4	02/16/23	SITE PLAN REVISION			
5	03/16/23	SITE PLAN REVISIONS			
6	03/27/23	SOUTH BUFFER TREE			

STAMP:

TITLE:
PLATING DETAILS
& NOTES

SHEET:

L201

DRAWN BY: JRR

CHECK BY: JIF

PROJECT #: 22-048

Attachment 11

Page 22 of 28



827 ELMHURST ROAD
DES PLAINES, IL 60016

FIELD SURVEY REQUIRED
All dimensions are estimated
and subject to change upon
confirmation of field conditions.




DRAWING NO.
E044049 REV 1

BRAND APPROVAL	LANDLORD APPROVAL
<div>_____</div> <div>BRAND APPROVALDATE</div>	<div>_____</div> <div>LANDLORD APPROVALDATE</div>
THIS DRAWING SUPERCEDES ALL OTHER DOCUMENTS PROVIDED CONCERNING THE FABRICATION AND INSTALLATION OF THIS DESIGN. A SIGNATURE ANYWHERE ON THE DRAWING WILL BE TAKEN AS APPROVAL OF THE DESIGN AND SPECIFICATIONS AS NOTED.	

REVISIONS

DATE:	REVISION & DESCRIPTION	DESIGNER
11/21/22	1. UPDATED SITE/SUMMARY PAGE	MMS

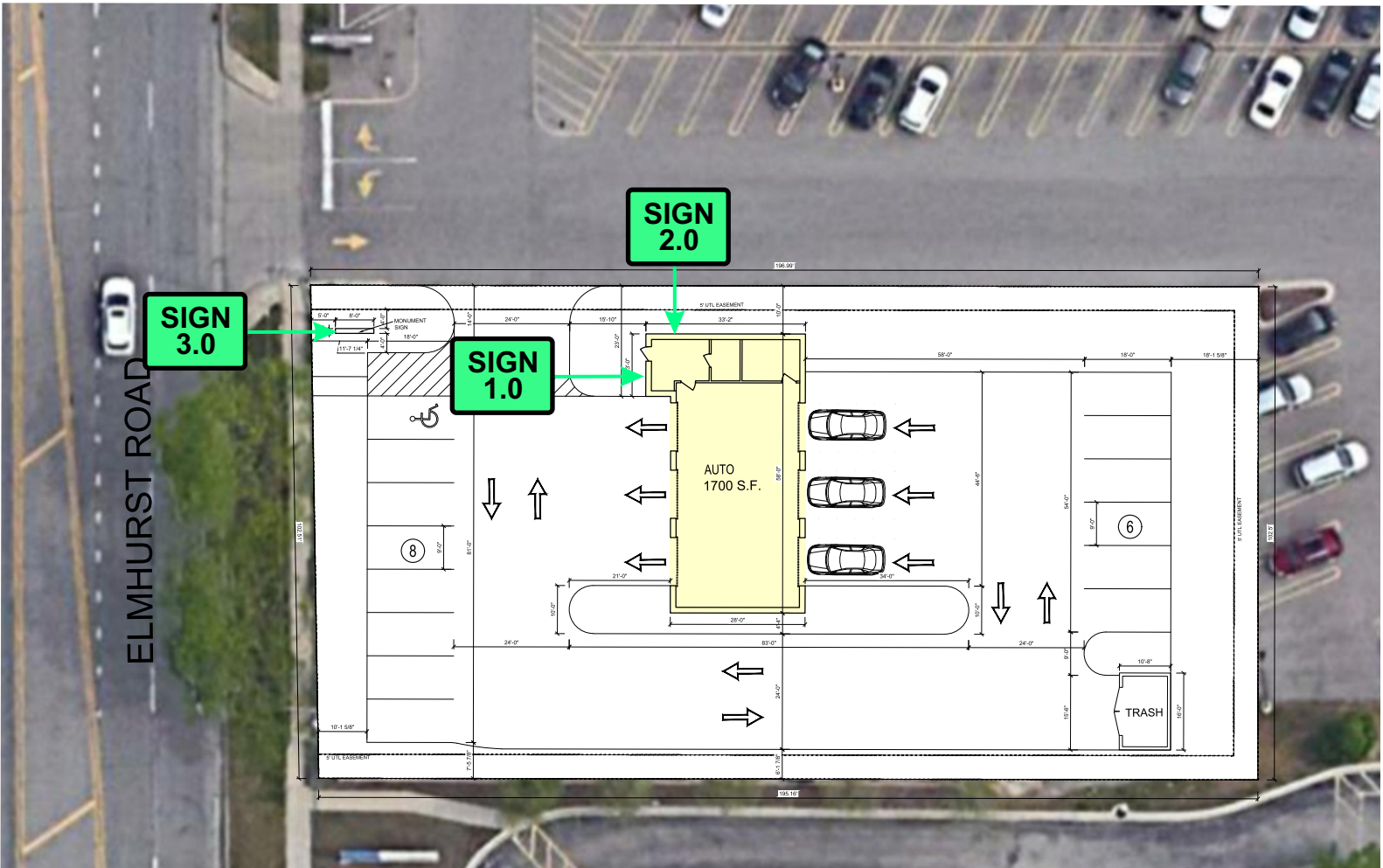
SUMMARY OF SIGNAGE

SIGN	GRAPHIC	DESCRIPTION	SQ FT
1.0		- FRONT ELEVATION - (1) ONE REQUIRED - 2" DEEP	30.16
2.0		- NORTH/SIDE ELEVATION - (1) ONE REQUIRED - 2" DEEP	30.16
3.0		- ILLUMINATED D/F MOUNUMENT - (1) ONE REQUIRED	32.00

CODE INFO

SITE MAP

NOT TO SCALE



STRICKLAND BROTHERS
827 ELMHURST RD.
DES PLAINES, IL 60016

DRAWING NO.
E044049
SUM
/SITE

DATE OF
LAST CHANGE:
11/21/22
REVISION NO.
1

ADDITIONAL INSTALL NOTES:

CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
H. ANDERSON
DESIGNER:
MMS

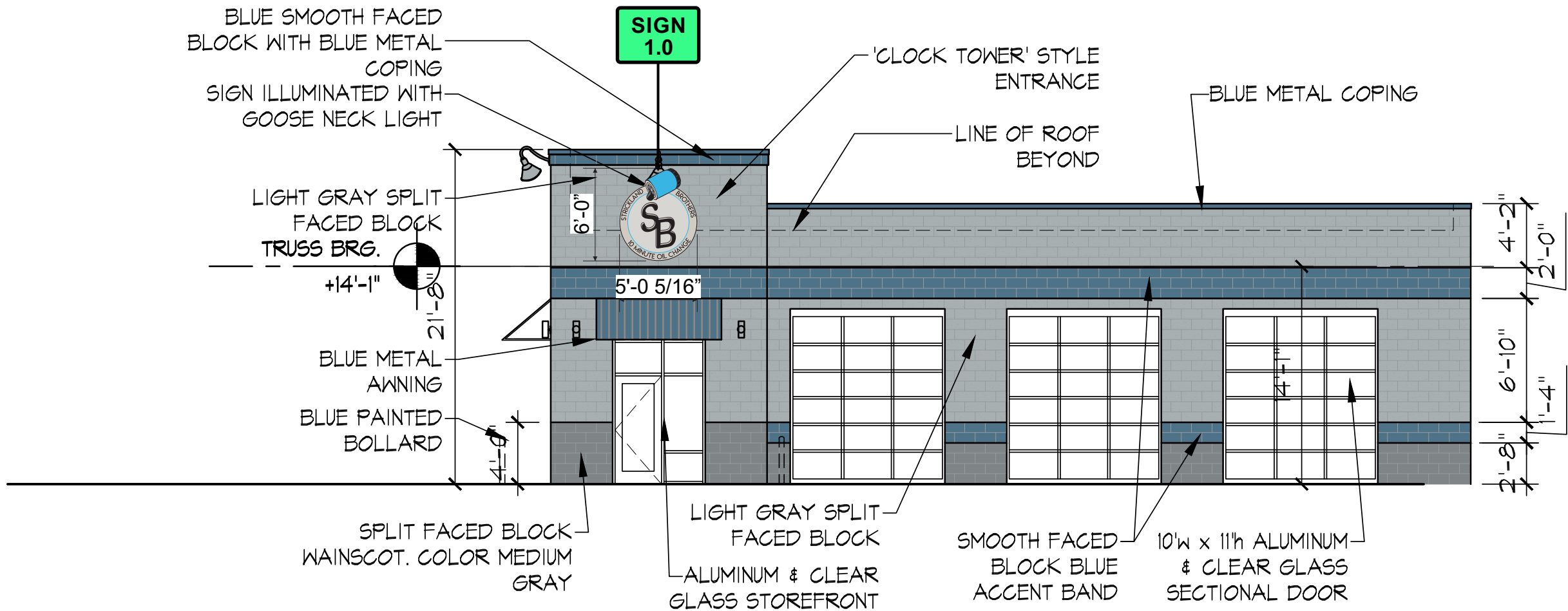
FILE LOC:
Company\CURRENT PROJECTS\
STRICKLAND - Franchise\Des Plaines, IL
111 Production Files\



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STOREFRONT ELEVATION - SIGN 1.0

SCALE: 1.0" = 1'



STRICKLAND BROTHERS
827 ELMHURST RD.
DES PLAINES, IL 60016

DRAWING NO.
E044049
ELEV

DATE OF
LAST CHANGE:
11/21/22
REVISION NO.
1

ADDITIONAL INSTALL NOTES:

CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
H. ANDERSON
DESIGNER:
MMS
FILE LOC:
Company\CURRENT PROJECTS\
STRICKLAND - Franchise\Des Plaines, IL
111 Production Files\

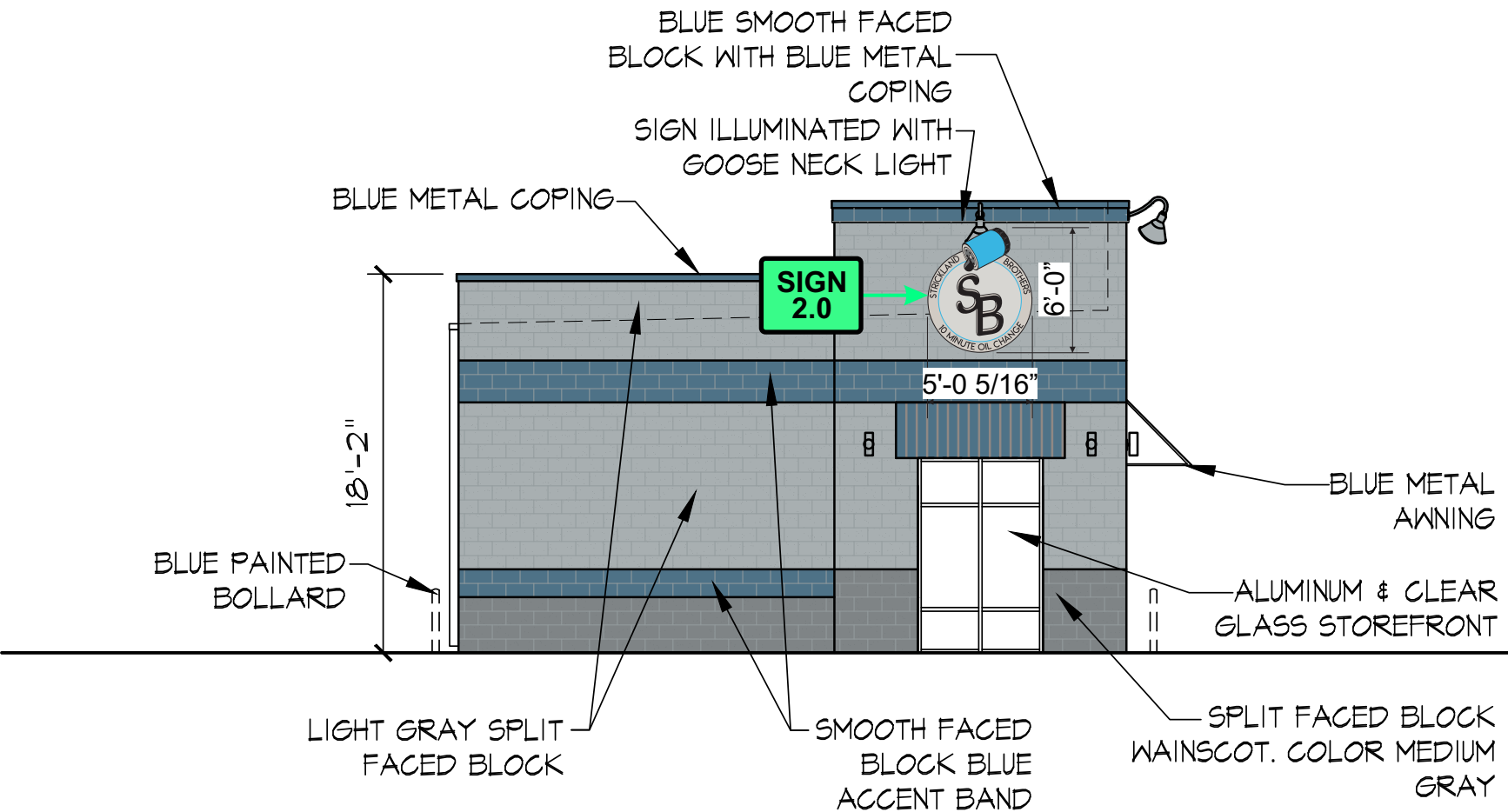
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SIDE ELEVATION - SIGN 2.0

SCALE: 1/8" = 1'



STRICKLAND BROTHERS
827 ELMHURST RD.
DES PLAINES, IL 60016

DRAWING NO.
E044049

ELEV

DATE OF
LAST CHANGE:
11/21/22

REVISION NO.
1

ADDITIONAL INSTALL NOTES:

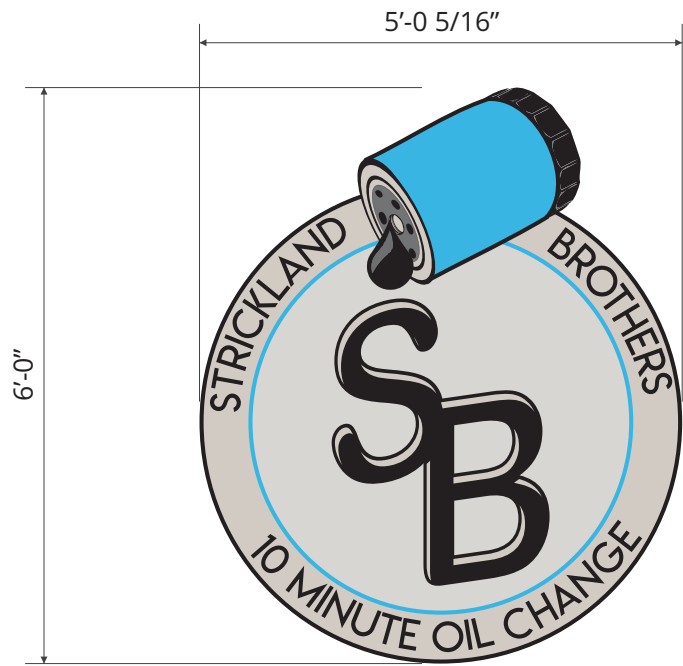
CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
H. ANDERSON
DESIGNER:
MMS

FILE LOC:
Company\CURRENT PROJECTS\
STRICKLAND - Franchise\Des Plaines, IL
111 Production Files\

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NON-ILLUMINATED FABRICATED CABINET

(QTY. 2) TWO REQUIRED FOR FRONT AND SIDE ELEVATIONS

SCALE 1/2" = 1'-0"

30.16 SQUARE FEET

SIGN DETAIL:

- 1 .090 ALUMINUM FACE, PAINTED SATIN WHITE
- 2 .063 ALUMINUM RETURNS, 2" DEEP, WELDED TO FACE, PAINTED SATIN WHITE
- 3 SELF TAPPING SCREWS, PAINTED SATIN WHITE
- 4 1" ALUMINUM WALL CLIP WITH WALL ANCHOR (MOUNTING DETAILS - TBD BY SURVEY)
- 5 FIRST SURFACE DIGITAL PRINT WITH UV OVER LAMINATE, APPLIED TO FACE

PMS 298 C
EXACT VINYL 3630-057 OLYMPIC BLUE

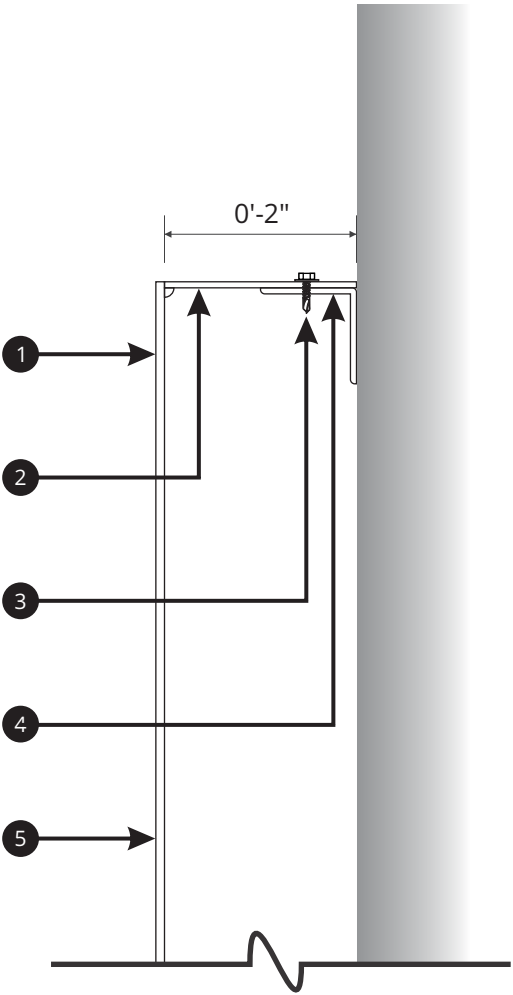
PMS 427 C
EXACT VINYL COLOR TBD

PMS 420 C
EXACT VINYL COLOR TBD

PMS COOL GRAY 10 C
EXACT VINYL COLOR TBD

SECTION DETAIL

SCALE: 1:2



STRICKLAND BROTHERS
827 ELMHURST RD.
DES PLAINES, IL 60016

DRAWING NO. E044049	DATE OF LAST CHANGE: 11/21/22
SIGN NO. 1.0/2.0	REVISION NO. 1

ADDITIONAL INSTALL NOTES:

CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
H. ANDERSON
DESIGNER:
MMS
FILE LOC:
Company\CURRENT PROJECTS\
STRICKLAND - Franchise\Des Plaines, IL
111 Production Files\



800.861.8006
ADVANCESIGNGROUP.COM



ILLUMINATED DOUBLE SIDED MONUMENT SIGN

(QTY. 1) ONE REQUIRED

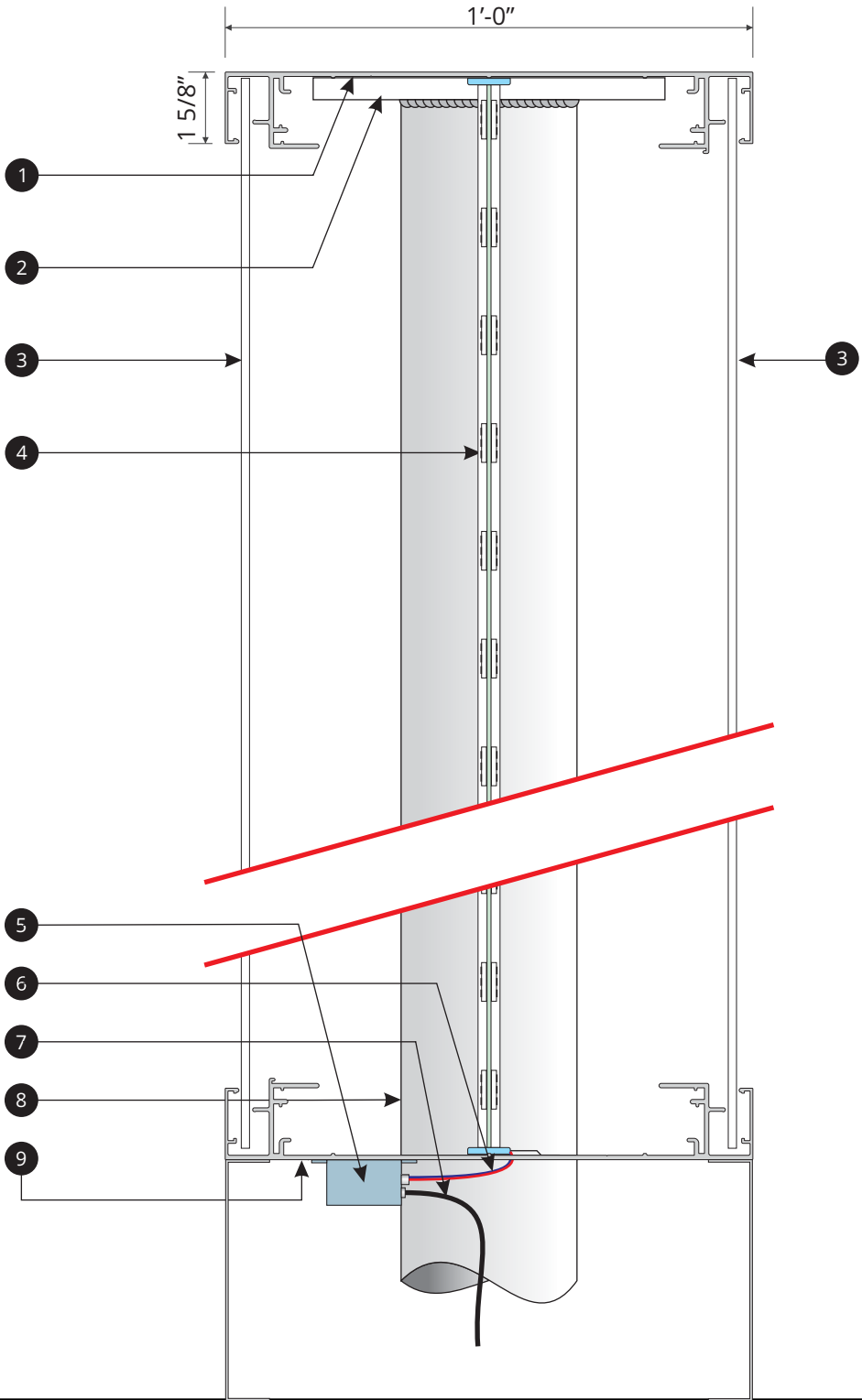
SCALE 1/2" = 1'-0"
32.00 SQUARE FEET

SIGN DETAIL:

- 1 ALUMINUM EXTRUSION CABINET: TOP/BOTTOM: #1924; SIDES: ##1929 BODY WITH #1944 RETAINERS
- 2 1/2" THICK STEEL MOUNTING PLATES
- 3 WHITE ACRYLIC FACES WITH DIGITALLY PRINTED FIRST SURFACE VINYL.
- 4 WHITE LED ILLUMINATION (QTY & PLACEMENT DETERMINED BY SIGN SIZE)
- 5 REMOTE 120V/277V POWER SUPPLIES MOUNTED INSIDE UL LISTED/RECOGNIZED BOXES
- 6 UL LISTED/RECOGNIZED 18 AWG/2PLTC WIRING AND FIXTURES GOING TO POWER SUPPLIES
- 7 SIGN TO HAVE AN 8'-0" WHIP
- 8 MOUNTING HARDWARE **TO BE DETERMINED**
- 9 WEEP HOLES
- 10 BASE PROVIDED BY OTHERS
- 11 1/2" ACRYLIC FCO LETTERS MOUNTED TO BASE WITH STUDS

SECTION DETAIL

SCALE: NTS



STRICKLAND BROTHERS
827 ELMHURST RD.
DES PLAINES, IL 60016

DRAWING NO.
E044049
SIGN NO.
3.0

DATE OF
LAST CHANGE:
03/28/23
REVISION NO.
3

ADDITIONAL INSTALL NOTES:

CONSULTANT:
ANDY WASSERSTROM
PROJECT MANAGER:
H. ANDERSON
DESIGNER:
MMS
FILE LOC:
Company\CURRENT PROJECTS\
STRICKLAND - Franchise\Des Plaines, IL
111 Production Files\

ASG
ADVANCE SIGN GROUP



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ADVANCESIGNGROUP.COM



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM


Date: April 7, 2023
To: Planning and Zoning Board (PZB)
From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Subject: Request to Continue 22-055-APPEAL: 1378 Margret Street

The subject of the appeal is a Zoning Administrator determination that a structure originally erected in 2022 at 1378 Margret Street is a trellis and subject to the rules of the Zoning Ordinance regarding trellises.

Based on a recommendation from the PZB regarding zoning text amendments, the City Council passed Ordinance Z-6-23 on April 4, 2023. The Ordinance amended restrictions regarding trellises (e.g. height, width, minimum separation). Although the new regulations are in effect, City staff must conduct further investigation regarding the subject property. Therefore, I recommend the Board grant this continuance to the next regular meeting: April 25, 2023.

Attachments

Attachment 1: Petitioner's Email Regarding Continuation of Hearing to April 25, 2023

From: [Adam Findlay](#)
To: [John Carlisle](#)
Cc: 
Subject: 1378 Margret Appellant; Request for Continuance
Date: Friday, April 7, 2023 4:07:24 PM
Attachments: [image001.png](#)
[image002.png](#)

John,

We ask that you please continue our appeal to the April 25, 2023 meeting date.

Adam J. Findlay, J.D.

DIRECT (847) 713-1331
OFFICE (847) 382-9195
FAX (847) 382-9125
EMAIL afindlay@kelleherholland.com
WEB www.kelleherholland.com

-

102 S. Wynstone Park Drive | North Barrington, IL 60010

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COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: April 6, 2023

To: Planning and Zoning Board (PZB)

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: John T. Carlisle, AICP, Director of Community and Economic Development JTC

Subject: Consideration of a Tentative Plat of Subdivision at 930, 946, and 970 North Avenue, Case #23-012-TSUB (3rd Ward)

Issue: The applicant is requesting a Tentative Plat of Subdivision pursuant to Section 13-2-2 of the Subdivision Regulations to re-initiate and complete consolidation of multiple lots into one at 930, 946, and 970 North Avenue (“subject property”).

Applicant: Blue Sky Residence, LLC (Representative: Dan R. Pontarelli, 1204 E. Central Road, Arlington Heights, IL 60005)

Owner: Old Second National Bank Land Trust No. 7923 via Chicago Title Land Trust Company (Beneficiary: Blue Sky Residence, LLC, 1204 E. Central Road, Arlington Heights, IL 60005)

Case Number: 23-012-TSUB

PINs: 09-17-103-031-0000; 041; -042; -044; -045; -048

Ward: #3, Alderman Sean Oskerka

Existing Zoning: R-3 Townhouse Residential District (*previously a mix of R-1 Single Family Residential and M-2 General Manufacturing Districts*)

Existing Land Use: Vacant (previously a manufacturing building and surface parking areas and a single-family lot)

Surrounding Zoning: North: M-2 General Manufacturing District
South: R-1 Single Family Residential District
East: M-2 General Manufacturing / R-1 Single Family Residential Districts
West: M-2 General Manufacturing / R-1 Single Family Residential Districts

Surrounding Land Use: North: Factory (Manufacturing) / ComEd (Public Utilities)

South: Single Family Dwellings (Residential)
 East: Multi-Tenant Industrial Building (Manufacturing) / Single Family Dwellings (Residential)
 West: Factory (Manufacturing) / Single Family Dwellings (Residential)

Street Classification: North Avenue is classified as a local road.

Comprehensive Plan: The Comprehensive Plan illustrates the site as multi-family residential.

Zoning/Property History: Based on City records, the subject property was originally multiple zoning lots spread across two different zoning districts: M-2 General Manufacturing for a manufacturing building and its parking area and R-1 Single Family Residential for the portion of land fronting on North Avenue. The subject property was owned by two different entities. Beginning in 2018, the current applicant pursued approvals for a 67-unit (one-bedroom units) senior living facility known as Blue Sky Residence. It was previously proposed in two steps. First, in 2018, a preliminary planned unit development (PUD); Tentative Plat of Subdivision to consolidate six lots of record and multiple zoning lots, into one; and a map amendment (rezoning) from the M-2 and R-1 zoning districts to the R-3 Townhouse Residential district. The proposal then received Final Plat and Final PUD approval from City Council in 2019, pursuant to Ordinance Z-30-19. At the time, the developer demolished the manufacturing building and cleared the subject properties but was unable to initiate building construction before the PUD approval expired. Further, the applicant did not record the Plat, deposit the required parkland dedication fee-in-lieu, or file any public improvement performance securities as may have been required. Section 13-2-10 of the Subdivision Regulations sets forth time limits on plat approvals, and the previous approval expired.

However, the rezoning of the subject properties to the R-3 district via Ordinance Z-30-18 is in effect for all of the subject property. Currently, the subject lots are vacant, and the applicant is intending to build a different multifamily residential project, pursuant to all requirements of the R-3 district and the Zoning Ordinance overall (i.e., height, use, density, minimum parking, etc.).

As stated above, the Tentative and Final Plat of Subdivision process was not completed, despite approvals in 2018 and 2019 respectively. The City approved real estate transfers in early 2019 for two sales of multiple zoning lots that were intended to be consolidated into one zoning lot that would comprise the site. Therefore, the applicant's entity/land trust took title to all of the land. However, the City expected when approving the transfers that the consolidation would be completed. Therefore, the applicant is completing the process at this time to ensure they can proceed to permitting for their new project.

Project Description:

Overview

The petitioner has requested a Tentative Plat of Subdivision to create one consolidated zoning lot and lot of record toward the construction of a new multi-family residential development in the R-3 district. "Dwelling, Multiple Family" is a permitted use in R-3 (Section 12-7-2, Table 1, of the Zoning Ordinance; P = Permitted Use).

Uses	R-1	R-2	R-3	R-4
Dwelling, multiple-family			P	P

The existing addresses and their respective PINs are listed in the table below. The proposed subdivision, titled 946 North Subdivision, will consist of one 3.55-acre lot with all existing lots combined as shown on the Tentative Plat.

Address	PIN(s)	Lot Area(s)
930 North Avenue	09-17-103-045-0000; 09-17-103-048-0000	1,331 SF (0.03 acres); 10,038 SF (0.23 acres)
946 North Avenue	09-17-103-031-0000; 09-17-103-041-0000; 09-17-103-044-0000	42,697 SF (0.98 acres); 7,460 SF (0.17 acres); 33,863 SF (0.78 acres)
970 North Avenue	09-17-103-042-0000	58,788 SF (1.35 acres)

The proposed 3.55-acre lot allows for a maximum of 55 dwelling units, based on the minimum lot area of 2,800 square feet per dwelling unit. An excerpt of Section 12-7-2, Table 2, of the Zoning Ordinance is provided below for interior lots in all residential districts.

Bulk Controls	R-1	R-2	R-3	R-4
Maximum height	2½ stories to 35 ft	2½ stories to 35 ft	45 ft	80 ft
Minimum lot area, interior lot	6,875 sq. ft.	2,800 sq. ft. per DU	2,800 sq. ft. per DU	10,000 sq. ft.
Minimum front yard	25 ft	25 ft	25 ft	12 ft
Minimum side yard	5 ft	5 ft	<i>Buildings 35 ft and under: 5 ft; Over 35 ft: 10 ft</i>	5 ft, plus 2 ft for every 10 ft over 40 ft
Minimum rear yard	25 ft. or 20% of lot depth, whichever is less	25 ft. or 20% of lot depth, whichever is less	<i>Buildings 35 ft and under: 25 ft or 20% of lot depth, whichever is less; Over 35 ft: 30 ft</i>	<i>Buildings 40 ft and under: 25 ft or 20% of lot depth, whichever is less; Over 40 ft: 25 ft, plus 2 ft for every 10 ft over 40 ft</i>

The PZB may ask the applicant to share how many units are proposed, how tall the proposed building will be, or any other project details; however, these are not required submittals for Tentative Plat review.

Building Lines and Easements

The 946 North Subdivision shows the following easements and building lines: (i) a new 25-foot front building setback line along North Avenue where the proposed subdivision abuts the street and behind single family dwellings where the proposed subdivision abuts residential properties; (ii) a 30-foot rear building setback line along the north of the proposed subdivision; (iii) a ten-foot side building setback line along both the west and east boundaries of the proposed subdivision; (iv) a ten-foot-wide water main easement throughout the proposed subdivision spanning from the west entrance to the east entrance and including 5-foot water easements spaced for fire hydrants; (v) a 35-foot ingress, egress, and public utility easement along the west property line to be terminated; (vi) a ten-foot-wide public utility easement along the eastern side of the subdivision to the street; (vii) a five-foot drainage and public utilities easement near the center of the proposed subdivision to be terminated; and (viii) a ten-foot-wide ComEd easement and Illinois Bell Telephone easement to be terminated.

Subdivision Process, Required Public Improvements

Although the petitioner's request is for a Tentative Plat only at this time, the Board and public may benefit from understanding the requirements of a Final Plat, which is the second step in the subdivision approval process. The steps for Final Plat are articulated in Sections 13-2-4 through 13-2-8 of the Subdivision Regulations. In summary, the Final Plat submittal requires engineering plans that must be approved by the City Engineer, in particular a grading and stormwater management plan. Ultimately a permit from the Metropolitan Water Reclamation District (MWRD) will be required for construction. Tentative Plat approval does not require submittal of engineering plans. Regardless, the Department of Public Works and Engineering has provided brief comments (attached) based on the submittal. The Engineering review is more detailed for plans at the Final Plat stage, as those are accompanied by civil drawings, which are not required at the Tentative Plat stage.

PZB Procedure: Under Section 13-2-3 of the Subdivision Regulations, the PZB has the authority to approve, approve subject to conditions, or deny the Tentative Plat. A Final Plat of Subdivision, to involve the review of more detailed engineering and public improvements, would be required at a later time. The Final Plat requires review and approval of both the PZB and the City Council.

Attachments:

- Attachment 1: Location and Zoning Map
- Attachment 2: Site and Context Photos
- Attachment 3: Boundary and Topographic Survey
- Attachment 4: Petitioner's Project Narrative
- Attachment 5: Engineering Comments
- Attachment 6: Public Utility "Will-Serve" Letters
- Attachment 7: Tentative Plat of Subdivision



0 200 400
ft

Print Date: 4/4/2023

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



930, 946, & 970 North Ave – Public Notice & 946 North Entrance



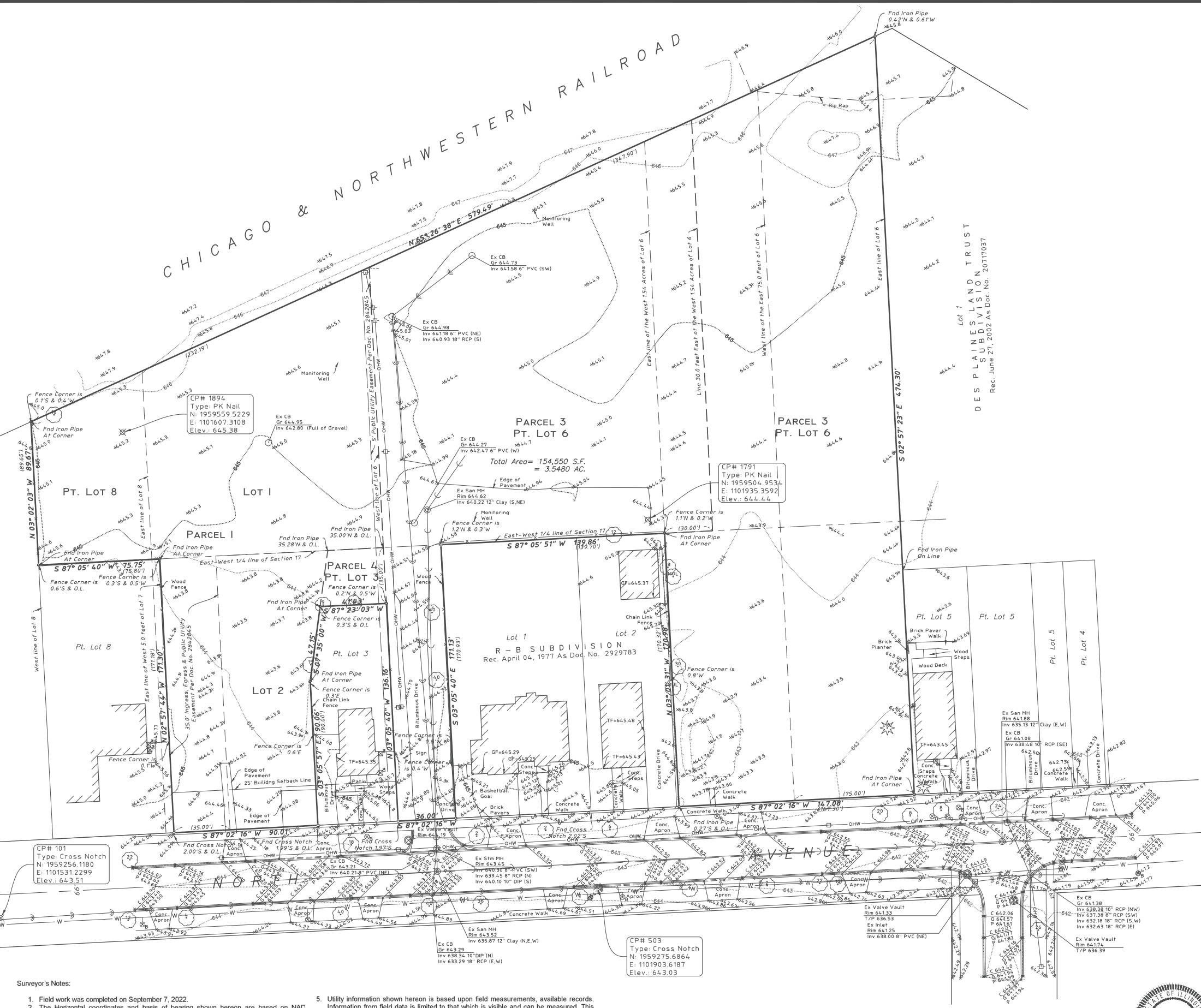
930, 946, & 970 North Ave – Looking North at 970 North Lot



930, 946, & 970 North Ave – Looking North at 930 North Lot



930, 946, & 970 North Ave – Close-up of 970 North Lot



LEGAL DESCRIPTION

PARCEL 1:
LOTS 1 AND 2 IN HANNS-WADE RESUBDIVISION OF LOT 7 AND 8, EXCEPT THAT PART OF THE WEST 5.0 FEET OF LOT 7 AND ALL THAT PART OF LOT 8 WHICH LIES SOUTH OF THE EAST AND WEST 1/4 SECTION LINE OF SAID SECTION LINE OF SAID SECTION 17 IN SUBDIVISION OF LOTS 1 AND 2 IN BLOCK 11 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF THE WEST 1/2 OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF FILED NOVEMBER 25, 1975 AS DOCUMENT 2842845, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THESE WEST 1.54 ACRES OF LOT 6 (EXCEPT THAT PART OF THEREOF LYING EAST OF A LINE 36 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF LOT 6 WHICH LIES EAST OF THE EAST LINE OF THE WEST 1.54 ACRES OF SAID LOT 6 AND WEST OF A LINE WHICH IS 30.0 FEET EAST OF AND PARALLEL TO SAID EAST LINE OF THE WEST 1.54 ACRES OF SAID LOT, AS MEASURED AT RIGHT ANGLES TO SAID EAST LINE OF THE WEST 1.54 ACRES AND NORTH OF THE EAST AND WEST 1/4 LINE OF SECTION 17 ALL IN THE SUBDIVISION OF LOTS 1 AND 2 IN BLOCK 11 IN DES PLAINES MANOR TRACT NO. 2 A SUBDIVISION OF PART OF THE WEST 1/2 OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 3:
THAT PART OF LOT 6 LYING EAST OF A LINE 75.0 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT AS MEASURED ALONG THE SOUTH LINE OF SAID LOT, ALSO LOT 6 (EXCEPT THE WEST 1.54 ACRES THEREOF AND EXCEPT THAT PART OF SAID LOT LYING EAST OF A LINE DRAWN 75.0 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT AS MEASURED ALONG THE SOUTH LINE OF SAID LOT AND EXCEPT THAT PART OF LOT 6 LYING EAST OF THE EAST LINE OF THE WEST 1.54 ACRES OF SAID LOT AND LYING WEST OF A LINE WHICH IS 30.0 FEET EAST OF AND PARALLEL TO SAID EAST LINE OF WEST 1.54 ACRES OF SAID LOT AS MEASURED AT RIGHT ANGLES TO SAID EAST LINE OF WEST 1.54 ACRES AND LYING NORTH OF THE EAST AND WEST 1/4 LINE OF SECTION 17) ALL IN THE SUBDIVISION OF LOTS 1 AND 2 IN BLOCK 11 IN DES PLAINES MANOR TRACT NO. 2, A SUBDIVISION OF PART OF THE WEST 1/2 OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 4:
THE NORTH 35 FEET OF LOT 2 IN HANNS-WADE RESUBDIVISION OF LOTS 7 AND 8, EXCEPT THAT PART OF THE WEST 5 FEET OF LOT 7 AND ALL THAT PART OF LOT 8 WHICH LIES SOUTH OF THE EAST AND WEST QUARTER SECTION LINE OF SAID LOT 17, IN THE SUBDIVISION OF LOTS 1, AND 2, IN BLOCK 11 IN DES PLAINES MANOR TRACT NO. 2, A SUBDIVISION OF PART OF THE WEST HALF OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID HANNS-WADE RESUBDIVISION REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON NOVEMBER 25, 1975 AS DOCUMENT NUMBER 2842845, IN COOK COUNTY, ILLINOIS.

Benchmark	
Site Benchmark	
CP # 101 (see survey)	
Description: Cross Notch	
Elevation: 643.51	NAVD 88 (Geoid 12A)
CP # 503 (see survey)	
Description: Cross Notch	
Elevation: 643.03	NAVD 88 (Geoid 12A)
CP # 1791 (see survey)	
Description: PK Nail	
Elevation: 644.44	NAVD 88 (Geoid 12A)
CP # 1894 (see survey)	
Description: PK Nail	
Elevation: 645.38	NAVD 88 (Geoid 12A)

LEGEND

	Manhole
	Catch Basin
	Inlet
	Flared End Section
	Storm Sewer
	Sanitary Sewer
	Water Main
	Fire Hydrant
	Valve Vault
	Valve Box
	B-Box
	Fence
	Sign
	Gas Valve
	Gas Meter
	Overhead Utility Line
	Electric Meter
	Guy Wire
	Utility Pole
	Air Conditioner
	Curb & Gutter
	Depressed Curb
	Curb Elevation and Gutter/Pavement Elevation
	Pavement Elevation
	Sidewalk Elevation
	Ground Elevation
	Contour Line
	Deciduous Tree
	Coniferous Tree

Surveyor's Notes:

- Field work was completed on September 7, 2022.
- The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2011) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
- The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
- A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
- Utility information shown hereon is based upon field measurements, available records. Information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E (1-800-892-0123).



State of Illinois)
County of Cook) SS:

This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Schamburg, Illinois, September 13, 2022

By: [Signature] Illinois Professional Land Surveyor No. 3695

HAEGER ENGINEERING
consulting engineers • land surveyors
100 Eco Site Parkway, Schaumburg, IL 60173 • 630-374-6600 Fax: 630-374-6606
Illinois Professional Design Firm License No. 184-0003152
www.haegerengineering.com

BOUNDARY & TOPOGRAPHIC SURVEY
946 NORTH AVENUE
DES PLAINES, ILLINOIS
COOK COUNTY

Project Manager: T S A
Drafted: A M B
Date: 9/12/2022
Project No. 21-264
Sheet 1

VIA Email

February 16, 2023

RE: 946 North
Des Plaines, Illinois
Tentative Plat of Subdivision
Haeger File No.: 21-264

Project Narrative

The subject property, an assemblage of six parcels located at 930, 946, and 970 North Avenue, is currently undeveloped and vacant. The property is zoned R-3 Townhouse Residential District and abuts a Chicago & Northwestern railroad right of way to the north; and R-1 Single Family and M-2 General Manufacturing zoning districts to both the east and west. The North Avenue frontage on the south is interrupted by several R-1 Single Family lots.

The applicant is seeking approval for a Tentative Plat of Subdivision to consolidate the six existing lots into one lot of record, and to vacate three existing easements (as delineated on the face of the Tentative Plat) to facilitate future development.

PINs:

09-17-103-031-0000
09-17-103-041-0000
09-17-103-042-0000
09-17-103-044-0000
09-17-103-045-0000
09-17-103-048-0000

From: [John La Berg](#)
To: [Jonathan Stytz](#)
Subject: 946 North Av.
Date: Monday, April 3, 2023 12:34:56 PM

PW/Engr has no objection to the tentative plat of the above. We will also require North Av. to be resurfaced across the frontage for the entire width of North Av.

THANK YOU,

JOHN LA BERG, P.E. CFM
CIVIL ENGINEER II
City of Des Plaines
1420 Miner Street, Des Plaines, IL 60016
P. 847.391.5385 W. desplaines.org





March 6, 2023

Dan Pontarelli
Blue Sky Residence LLC
1204 E. Central Rd
Arlington Heights, IL 60005

WILL SERVE LETTER

Dear Mr. Dan,

This letter is in response to your request for information on the availability of AT&T service at proposed 946 North Ave, Des Plaines proposed Development.

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed development at 946 North Ave, Des Plaines but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

Kolade Fajimi (Engineer)
Mgr Osp Plng & Eng Design
ATO, Construction & Engineering-MW

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com



March 6, 2023

Blue Sky Residence LLC
ATTN: Dan Pontarelli
1204 E. Central Rd
Arlington Heights, IL 60005

Re: A will-serve letter for a new development at 946 North Ave, Des Plaines, IL. (3-Story Building containing 51 units).

Dear Mr. Pontarelli:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Tom Jones at (847) 849-3727 with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,

A handwritten signature in black ink that reads "Robert L. Schuler Jr." in a cursive script.

Robert L. Schuler Jr.
Central Division Director of Construction
(224) 229-5863

3/2/2023

Dan Pontarelli
Blue Sky Residence LLC

Request for Electrical Service Letter – 946 North Ave, Des Plaines, IL

Dear Dan Pontarelli:

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 779-231-2782

Thanks,

Chris

Chris Topete
DCC | Field Representative
ComEd | An Exelon Company
779-231-2782



Date 3/2/2023

Attn: **Blue Sky Residence LLC**
ATTN: Dan Pontarelli
1204 E. Central Rd
Arlington Heights, IL 60005

Address: 946 North Ave, Des Plaines

RE: 3-Story Apt

Dear Dan,

This letter will serve as Nicor Gas' intention to provide service to the above, potential project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Please complete the attached New Service Agreement and submit the following to initiate the installation process; Plat of Subdivision, Over-all Site Utility Plan with gas meter locations marked (commercial buildings only), Gas loads and delivery pressure for each unit along with Contact information.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Zack Jarling at start up in order to coordinate the gas service/main installation timetable. I can be reached at 224-239-3341 or by email at zjarling@southernco.com

If you have any additional questions, please let me know

Sincerely,

Zack Jarling

New Business Construction Consultant
Customer Development, Nicor Gas

P.I.N. 09-17-103-031
09-17-103-041
09-17-103-042
09-17-103-044
09-17-103-045
09-17-103-048

TENTATIVE PLAT OF THE 946 NORTH SUBDIVISION

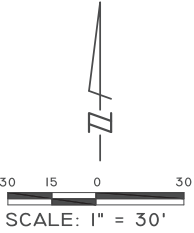
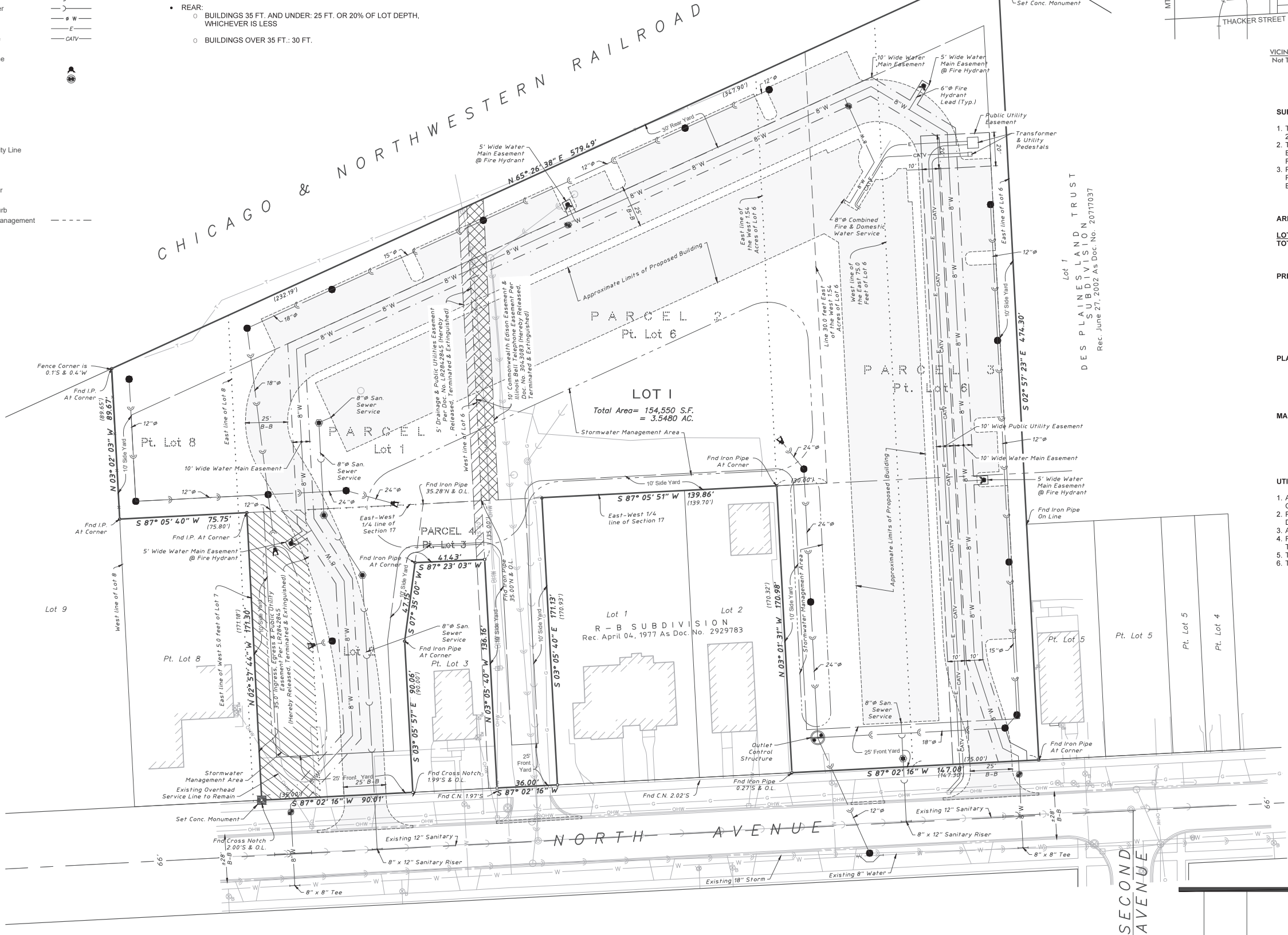
(TO CONSOLIDATE LOTS)

BEING A RESUBDIVISION IN PART OF THE WEST HALF OF SECTION 17, TOWNSHIP 41
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

REQUIRED BUILDING LINES PER R-3 ZONING DISTRICT:

- FRONT: 25-FT
- SIDE:
 - BUILDINGS 35 FT. AND UNDER: 5-FT.
 - BUILDINGS OVER 35 FT.: 10-FT.
- REAR:
 - BUILDINGS 35 FT. AND UNDER: 25 FT. OR 20% OF LOT DEPTH, WHICHEVER IS LESS
 - BUILDINGS OVER 35 FT.: 30 FT.

Existing Symbol	Description	Proposed Symbol
	Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Storm Sewer	
	Sanitary Sewer	
	Water Main	
	Electric Line	
	Cable TV Line	
	Gas Line	
	Telephone Line	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Fence	
	Sign	
	Gas Valve	
	Gas Meter	
	Overhead Utility Line	
	Electric Meter	
	Guy Wire	
	Utility Pole	
	Air Conditioner	
	Curb & Gutter	
	Depressed Curb	
	Stormwater Management Area	



SURVEYOR'S NOTES:

- THE COMPLETION DATE OF THE FIELD WORK FOR THIS SURVEY IS SEPTEMBER 7, 2022
- THE HORIZONTAL COORDINATES AND BASIS OF BEARING SHOWN HEREON ARE BASED ON NAD 83(2011) ILLINOIS EAST ZONE 1201 STATE PLANE COORDINATES AS REFERENCED FROM KARA COMPANY'S RTK NETWORK.
- PUBLIC UTILITY & DRAINAGE EASEMENTS TO BE PROVIDED FOR WITH THE FINAL PLAT OF SUBDIVISION PROCESS AFTER THE COMPLETION OF THE FINAL ENGINEERING PLANS.

AREA SUMMARY

LOT 1 154,550 S.F. 3.5480 AC.
TOTAL 154,550 S.F. 3.5480 AC.

PREPARED BY:

HAEGER ENGINEERING, LLC
CONSULTING ENGINEERS AND LAND SURVEYORS
100 E. STATE PARKWAY
SCHAUMBURG, IL 60173
TEL: (847)394-6600
FAX: (847)394-6608
PROJECT NO. 21-264

PLAT PREPARED FOR, SUBMITTED BY AND SEND NEW TAX BILL TO:

BLUE SKY RESIDENCE, LLC
1204 E. CENTRAL ROAD
ARLINGTON HEIGHTS, IL 60005

MAIL PLAT TO:

CITY OF DES PLAINES
DEPARTMENT OF COMMUNITY DEVELOPMENT
1420 MINER STREET, ROOM 301
DES PLAINES, IL 60016

UTILITY NOTES:

- ALL EXISTING UTILITIES LOCATED WITHIN THE PROPERTY SHALL BE ABANDONED OR REMOVED
- PRELIMINARY STORM SEWER SIZING SHOWN. STORM SEWER WILL BE DESIGNED DURING FINAL ENGINEERING & PLAT PHASE OF THE PROJECT.
- ALL PROPOSED UTILITIES SHALL BE BURIED
- ROOF DOWNSPOUTS SHALL SPLASH TO GRADE. ANY DOWNSPOUT DISCHARGING TO A LANDSCAPE AREA SHALL HAVE A CONCRETE SPLASH PAD
- THE PROPOSED BUILDING IS ALL ELECTRIC. NO GAS IS TO BE PROVIDED
- TELEPHONES WILL BE WIRELESS

EASEMENT RELEASE LEGEND

- 10' Commonwealth Edison Easement & Illinois Bell Telephone Easement Per Doc. No. 3043083
- 35.0' Ingress, Egress & Public Utility Easement Per Doc. No. LR 1842845
- 5' Drainage & Public Utilities Easement Per Doc. No. LR 1842845

LEGEND

- Set Concrete Monument
- Measured
- Record
- Deed

Originally Prepared: 3/2/2023

Project No. 21-264

HAEGER ENGINEERING
consulting engineers • land surveyors

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1 No. 04/03/2023 Add Building Setback Lines
Date Revision

MEMORANDUM

Date: April 6, 2023

To: Planning and Zoning Board (PZB)

From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*

Subject: Discussion of Workshops and Special Meetings

Issue: The PZB Rules of Procedure (Section 4.04) establishes that the Board may hold “workshop sessions as it determines to be necessary from time to time.”

Discussion: Staff has had preliminary discussions with a developer who is interested in having a public meeting to seek community input on potential projects for two separate sites. This public meeting would occur before the developer has due process rights under a formally filed petition and/or with the developer’s consent to employ this community meeting as the first step in the process, before formal public hearings. Senior City staff has discussed and believes the appropriate forum for this, given what may be proposed and the locations, is a meeting of the PZB. Further, hosting meetings can be interpreted to lie within the intent and purpose of the Board (Section 2-2-2 of the City Code), as the adopted PZB Rules of Procedure provide for “workshops.” Although the format is not prescribed, workshops are typically less formal and more flexible than a public hearing. Whoever presides over the workshop (i.e., Chair, Vice Chair) can outline the steps and set an agenda for what will occur. For example, all discussion and presentation *could* occur at the podium, similar to a regular meeting, or the developer could use easel boards and stations across the room to have multiple discussions about components of the projects. A key consideration is that ***no vote will be taken by the Board*** and also, neither the Board nor City are bound to the feedback provided. Nonetheless, staff believes a workshop will provide an optimal, upfront opportunity for community participation in the project and perhaps contribute to consensus-building and transparency from the early stages.

The Rules of Procedure in Section 4.03 also allow for Special Meetings, or a meeting that might occur at a time or place different than Regular Meetings (2nd and 4th Tuesday of the month, City Hall). While staff recommends City Hall Council Chambers be the place, we suggest a different date, or special meeting, for the workshop. This will distinguish it from other development applications on a regular agenda. Staff will aid the Board in organizing and publicizing the meeting pursuant to the Open Meetings Act, and, less formally to “get the word out” to achieve the desired public participation.

PZB Action: Staff seeks feedback on potential format and Board availability for dates and times for a workshop.

Attachments

Attachment 1: Excerpt from Adopted Rules of Procedure

Section 3.03 Members. The PZB shall have seven Members, or such other number as may be established in the City Code. The Members shall be appointed to, serve on, and removed from, the PZB in the manner established in the City Code.

Section 3.04 Officers. The PZB shall have a Chair, Vice Chair, and Secretary, all of whom shall be appointed as provided in the City Code. In the absence of the Chair and Vice Chair, the PZB shall elect a chair pro-tem to act as chair.

Section 3.05 Code of Ethics; Conflicts of Interest. The Members of the PZB shall be bound by the Code of Ethics set forth in Section 1-9-1. In addition, the Members of the PZB shall be bound by the Conflicts of Interest Provisions set forth in Article VIII below.

Article IV. MEETINGS

Section 4.01 Open Meetings Act. All meetings of the PZB shall be scheduled and held, and notice thereof shall be given, in the manner provided in the Open Meetings Act, 5 ILCS 120/1 *et seq.*

Section 4.02 Regular Meetings. PZB meetings shall be held on the second and fourth Tuesday of each month commencing at the hour of seven (7:00) P.M. in the City Council Chambers, and at such other times and places as may be called by the chair. The PZB shall establish a schedule of its meetings for each calendar year at the beginning of each calendar year in accordance with the requirements of the Open Meetings Act, 5 ILCS 120/2.03.

Section 4.03 Special Meetings. The PZB may conduct such special or emergency meetings as it determines may be necessary from time to time at the call of the Chair and in compliance with the Open Meetings Act, 5 ILCS 120/2.02.

Section 4.04 Workshops. The PZB may hold such workshop sessions as it determines may be necessary from time to time.

Section 4.05 Closed Meetings. The PZB may hold meetings or portions of meetings that are closed to the public, but only in compliance with the Open Meetings Act, 5 ILCS 120/2

Section 4.06 Quorum. No meeting of the PZB may be conducted without the presence of a quorum, which shall consist of a majority of the currently appointed PZB members

Section 4.07 Attendance.

- (a) A Member's unexcused absence without good cause shown from four PZB meetings in a six month period shall be grounds for the Chair to recommend to the Mayor that the Member be removed.
- (b) To help ensure the presence of a quorum at each meeting of the PZB, all Members of the PZB shall notify the Secretary, or his designee, if they are unable to attend any meeting of the PZB. Such notice shall be provided as far in advance as is practical under the circumstances.