

MEMORANDUM

Date: March 8, 2023

To: Planning and Zoning Board (PZB)

From: John T. Carlisle, AICP, Director of Community and Economic Development *JC*
Jonathan Stytz, AICP, Senior Planner *JS*

Cc: Tim Oakley, Director of Public Works and Engineering (PWE)
Jon Duddles, Assistant Director of PWE/City Engineer
Stew Weiss, Partner, Elrod Friedman, General Counsel

Subject: **Proposed Mixed-Use Residential, Commercial, and Parking Development at 622 Graceland Avenue and 1332-1368 Webford Avenue:**
Consideration of a Combined Tentative and Final Plat of Subdivision

Issue: The applicant is requesting a combined Tentative and Final Plat of Subdivision under the Subdivision Regulations to consolidate the three existing lots of record on the subject property into one, as required by Section 13-1-2 of the Subdivision Regulations.

After the PZB's Plat of Subdivision review, the applicant intends to seek the following approvals from the City Council: (i) an amount for a Fee in Lieu of Dedication of Park Lands, the requirement for which is established in Chapter 13-4 of the Subdivision Regulations; and (ii) a redevelopment agreement.

Owners: Wessell Holdings, LLC (622 Graceland, 1368 Webford) and City of Des Plaines (1332 Webford)

Applicant: *Formerly 622 Graceland Apartments, LLC, Now Mylo Residential Graceland Property, LLC; (Manager: Joe Taylor, Principal of Compasspoint Development)*

Case Number: 23-005-FPLAT

PINs: 09-17-306-036-0000; -038; -040

Ward: #3, Alderman Sean Oskerka

Existing Zoning: C-3 General Commercial District; rezoning to C-5 Central Business District was approved by Ordinance Z-23-22, but certain conditions must be met for the Ordinance to become effective (see Background)

Surrounding Zoning: North: Railroad tracks; then C-3 General Commercial District
South: C-3, General Commercial / R-1 Single-Family Residential Districts
East: C-5, Central Business District
West: C-3, General Commercial District

Surrounding Land Use: North: Union Pacific Railroad (Metra UP-Northwest Line); then a pharmacy
South: Commercial building (850 Graceland), United Methodist Church parking lot, single-family detached home in commercial district (1347 Webford), single-family detached homes in residential district (1333 and 1339 Webford)
East: Mixed-use residential and commercial (Bayview-Compasspoint project under construction at 1425 Ellinwood)
West: Small mixed-use building (1330 Webford), then multiple-family dwelling (1328 Webford)

Street Classification: Graceland Avenue is an arterial, and Webford Avenue is a local roadway.

Existing Land Use and History: The principal building at 622 Graceland is currently the headquarters of the Journal & Topics newspaper. According to the Des Plaines History Center, the building was constructed as a Post Office in 1940-1941, most likely under the Works Progress Administration (WPA). A smaller accessory building is also part of the Journal & Topics property. At 1332 Webford is a 38-space surface parking lot owned by the City, currently used for both time-limited (14 spaces) and permit-restricted (24 spaces) public parking.

Background: On August 1, 2022, the City Council approved a zoning map amendment for the subject property, which spans 43,500 square feet, from the C-3 General Commercial to C-5 Central Business District to accommodate the proposed development. The effectiveness of the approval, however, was contingent upon the developer finalizing acquisition of the City-owned 1332 Webford Avenue property, the authorized sale agreement for which (approved by Ordinance M-22-22) lists additional requirements:

- Approval of a Tentative and Final Plat of Subdivision to consolidate 622 Graceland and 1332-1368 Webford into one lot of record;
- Successful acquisition by the developer of 1330 Webford, which is directly west of the subject property and zoned C-3, to be redeveloped as a park use (privately owned but with a permanent and perpetual easement for public access);
- Approval of a redevelopment agreement, with plans as exhibits approved by the City Council; and
- Submission of a rezoning covenant binding the future owner/developer not to object to a future rezoning of the subject property back to C-3 if the project is not carried out.

Tentative and Final Plat of Subdivision

Request Summary:

Due to the PZB’s original denial of the Tentative Plat of Subdivision in 2022, the applicant has submitted a new combined Tentative and Final Plat to consolidate the three lots of record on the subject property into one. The table below identifies the characteristics and uses of the existing lots.

Address	PIN	Size	Use
622 Graceland	09-17-306-036-0000	0.52 acres	Journal & Topics
1332 Webford	09-17-306-040-0000	0.31 acres	City parking lot
1368 Webford	09-17-306-038-0000	0.17 acres	Journal & Topics

Just west of the subject property is 1330 Webford Avenue, which would serve as an open-to-the-public park. However, 1330 Webford is a different zoning lot from 622 Graceland and 1332-1368 Webford, and is a separate and individual lot of record. Therefore, 1330 Webford is not required under Section 13-1-2 to be included in the proposed subdivision. Nonetheless, because 1330 Webford is integral to the project and will be referenced in the redevelopment agreement, depictions, labels, and site planning for 1330 Webford are shown on the Plat and Final Engineering documents. An illustration and label are used to note a permanent and perpetual easement for public space that will be owned and maintained by the applicant. See the “Open Space and Recreation; Park Land Dedication or Fee-in-Lieu” section for more details.

Easements, Building and Setback Lines, Utility Correspondence

The attached Tentative and Final Plat of Subdivision shows the following easements and building lines: (i) a 50-foot-wide permanent and perpetual easement for public space on property at 1330 Webford (cross-hatched area); (ii) a 10-foot-wide public utilities and drainage easement on 1330 Webford Avenue (double cross-hatched area); (iii) a 20-foot building line extending across the proposed public park property at 1330 Webford; (iv) a 25-foot building line, to reflect the required side yard for the C-5 district, extending approximately 90 feet along Webford where the subject property is adjacent to residentially-zoned property; (v) a 5-foot building line, to reflect the required side yard for the C-5 district, extending approximately 200 feet along Webford where the subject property is adjacent to commercially-zoned property; (vi) a 7-foot public sidewalk easement extending along the south property line along Webford; (vii) an approximately 3-foot-wide public utilities and drainage easement on the northwestern corner of the proposed Lot 1; (viii) a 16.5-foot-wide storm water detention area (bubble-hatched area); and (ix) various public utilities and drainage easements throughout the proposed Lot 1 (shaded areas). Written correspondence from major private utility providers to the applicant is attached.

Public Improvements and Final Engineering, PWE and Fire Review

Under Section 13-3-1 of the Subdivision Regulations, the developer is required to widen the segment of Webford in front of the proposed development and install/replace existing appropriate streetscaping (for example, sidewalk, street lighting, etc.) to match the downtown aesthetic, which is already

present along the Graceland side of the site. Under the proposal, this style would be extended around the corner and onto the Webford sidewalk, with an emphasis for the area in front of the proposed restaurant/commercial space at the corner. Certain underground infrastructure, such as water mains and sewers, are required to be replaced and installed to the standards required by PWE. Specifically, the developer will be required to separate the existing combined storm and wastewater system for the entire 1300 block of Webford.

The developer has provided the City Engineer with an estimated cost of public improvements, an amount for which the City Engineer has approved in the attached memo. A performance security in the form of a letter of credit, with the City named as the beneficiary, will be required to secure the improvements. An attached memo serves as the City Engineer's approval (as noted) under Section 13-2-4. The Fire Department also reviewed the Plat and Final Engineering submittal and has no changes from its recommendation regarding the design of the project from its 2022 memo (see attached).

Open Space and Recreation; Park Land Dedication or Fee-in-Lieu
The applicant is proposing two open space/park areas to serve the public, one on the 622 Graceland and 1332-1368 Webford property and the other on the separate lot at 1330 Webford. On the first property is an approximately 3,000-square-foot southern green space area along the south building elevation in between the two parking garage entrances. On the 1330 Webford property is an approximately 9,000-square-foot park space with patio area seating and a play lawn. A barrier between the railroad and the play lawn is shown. In general, the plans for both open space/park areas show passive recreational programming instead of active programming such as playgrounds, ball fields and courts, or fitness equipment.

For residential developments at the proposed scale, Chapter 13-4 of the Subdivision Regulations requires providing public park land and/or paying a fee in lieu. The rationale is that residential developments increase demand for parks and recreation. As described above, the developer is proposing to provide two pieces of land for public-access park and open space. Further, private recreational areas within the building are intended to meet needs of the anticipated future residents and potentially lessen the demand for public park facilities generated by those residents. The developer's providing of these areas may make the project eligible for credits and reductions in their obligation. However, the approval of the amount of that obligation rests with City Council.

PZB Action and Conditions: Pursuant to Sections 13-2-3 and 13-2-7 of the Subdivision Regulations, the PZB should take two separate motions:

- Vote on the *approval or denial* of the Tentative Plat of Subdivision; and
- Vote on *approval, approval with conditions, or denial* of the Final Plat of Subdivision, to be forwarded to the City Council for final decision.

If the PZB votes to forward Final Plat *approval* to the City Council, staff recommends the following condition: That construction-level street lighting detail as required in the attached Engineering memo is provided and approved by the PWE Department prior to issuance of any building or right-of-way permits.

Attachments

Attachment 1: Location Map

Attachment 2: Site Photos

Attachment 3: ALTA Survey

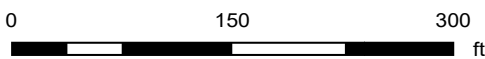
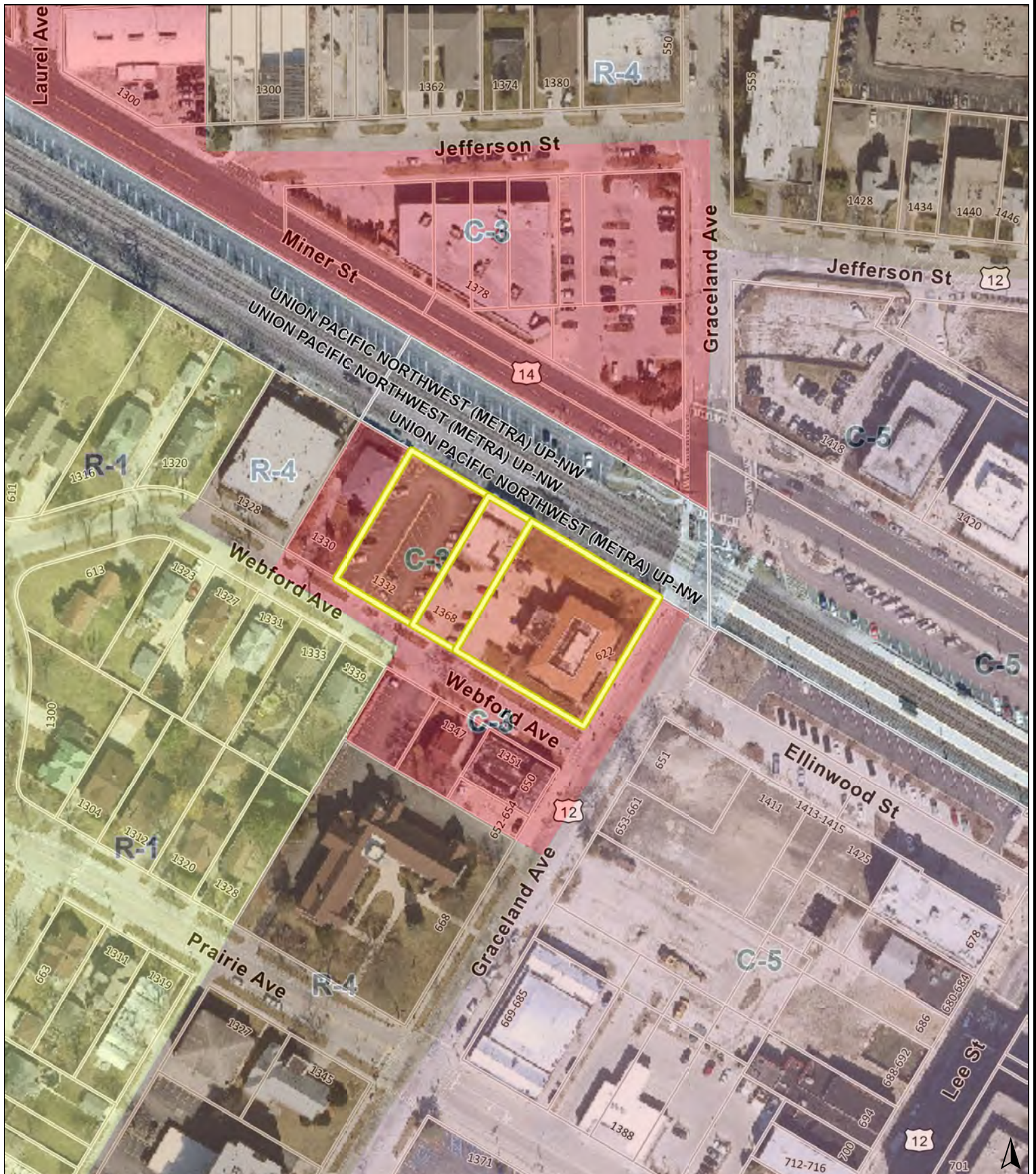
Attachment 4: Engineering Memo

Attachment 5: Fire Comments and 2022 Memo

Attachment 6: Utility Correspondence

Attachment 7: Tentative and Final Plat of Subdivision

Attachment 8: Final Engineering Drawings, including Drainage Report



Print Date: 4/6/2022

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



622 Graceland, 1332 & 1368 Webford – Public Notice facing NW



622 Graceland, 1332 & 1368 Webford – Facing NW at Front of Site



622 Graceland, 1332 & 1368 Webford – Public Notice facing North



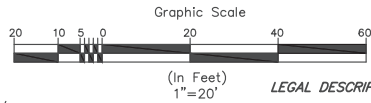
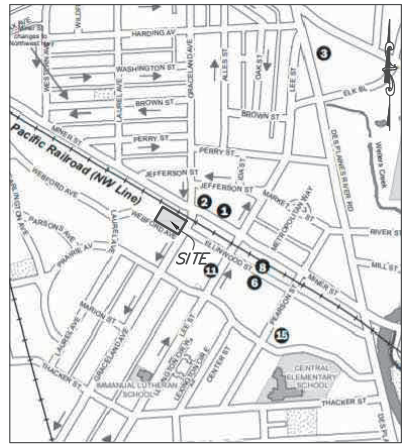
622 Graceland, 1332 & 1368 Webford – Looking NW at Rear of Site

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

BY **GENTILE AND ASSOCIATES, INC.**
PROFESSIONAL LAND SURVEYORS

550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
PHONE : (630) 916-2622

VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION:

PARCEL 1:

LOTS 35, 36 AND 37 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS.
PROPERTY COMMONLY KNOWN AS: 622 GRACELAND AVE., DES PLAINES, IL. 60016 CONTAINING: 22,509.41 SQ. FT., 0.52 AC. (MORE OR LESS)

PARCEL 2:

LOT 34 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS.
PROPERTY COMMONLY KNOWN AS: 1368 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 7,503.12 SQ. FT., 0.17 AC. (MORE OR LESS)

PARCEL 3:

THE SOUTHEASTERLY 40 FEET OF LOT 32 AND ALL OF LOT 33 IN BLOCK 1 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563, IN COOK COUNTY, ILLINOIS.

PROPERTY COMMONLY KNOWN AS: 1332 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 13,499.99 SQ. FT., 0.31 AC. (MORE OR LESS)

CONTAINING: TOTAL (ALL 3 PARCELS) 43,499.97 SQ. FT., 1.00 AC. (MORE OR LESS)

○ **STORM SEWERS**

- ① CATCH BASIN
RIM 638.65
6" VCP S INV 634.23
- ② CATCH BASIN
RIM 637.08
6" VCP N INV 632.46
6" VCP(+/-) S INV 632.46
10" RCP E INV 633.66
- ③ CATCH BASIN
RIM 637.21
10" RCP W INV 634.26
- ④ CATCH BASIN
RIM 637.28
4" CIP NE INV 635.98
6" CIP S INV 634.73
- ⑤ INLET
RIM 639.01
L" SW INV 635.51
- ⑥ STORM MANHOLE
RIM 640.10
TOP OF 8" (+/-) PIPE S 630.63
SW INV 631.20
SE INV 630.80
- ⑦ CATCH BASIN
RIM 638.58
12" RCP SE INV 636.53
- ⑧ CATCH BASIN
RIM 637.45
6" VCP NW INV 634.90
10" SE INV 633.00
6" PVC S INV 634.20
- ⑨ INLET
RIM 637.41
6" PVC N INV 635.01
- ⑩ CATCH BASIN
RIM 637.20
6" VCP NW INV 632.70
8" VCP S INV 632.80
- ⑪ INLET
RIM 637.04
FILLED WITH DEBRIS
- ⑫ CURB CATCH BASIN
RIM 636.40
TOP OF PIPE TO SOUTH 634.40
- ⑬ CURB CATCH BASIN
RIM 636.72
TOP OF 12" PIPE TO NORTH 634.16
NW INV 632.86
- ⑭ CURB CATCH BASIN
RIM 636.72
TOP OF 12" PIPE TO EAST 634.37
12" RCP S INV 633.47
- ⑮ CURB CATCH BASIN
RIM 636.74
TOP OF PIPE TO NORTH 634.69
(PVC INSIDE RCP)
- ⑯ STORM MANHOLE
RIM 638.82
N INV 632.22
S INV 632.22
E INV 632.27
W INV 632.42
ALL PIPES ARE +/- 8"

○ **SANITARY SEWERS**

- ① SANITARY MANHOLE
RIM 638.77
15" VCP E INV 632.47
10" VCP SE INV 633.12
15" VCP S INV 632.42
- ② SANITARY MANHOLE
RIM 637.57
15" VCP N INV 632.37
10" NE INV 632.67
15" SW INV 632.07
- ③ COMBINATION MANHOLE
RIM 637.83
N INV 631.39
(RECORDS SHOW A MANHOLE IN THE STREET NEAR NORTH END OF PROPERTY. NONE WAS FOUND AND NO INDICATION OF ONE WAS FOUND)
- ④ WATER VALVE VAULT
RIM 637.46
FULL OF SILT AT ELEV. 634.76
MOST LIKELY HAVING BEEN PART OF THE OLD MAIN CONNECTING TO VULT NO. 2, RECORDS SHOW NO VULT HERE WHERE FOUND IN FIELD
- ⑤ COMBINATION MANHOLE
RIM 638.61
24" N INV 630.61
24" S INV 630.71
- ⑥ COMBINATION MANHOLE
RIM 636.78
12" E INV 631.33
12" W INV 631.38
SE INV 631.60
- ⑦ COMBINATION MANHOLE
RIM 637.17
12" E INV 631.42
12" NW INV 632.87
12" W INV 631.57

③ **WATER MAINS**

- ① WATER VALVE VAULT (NEW)
RIM 639.28
TOP OF PIPE 632.28
PER RECORDS THE NEW MAIN GOING EAST IS 10" D.I.P. AND THE SOUTH IS 8" RECORD SHOWS NO MAIN HEADING NORTH, BUT IS VISIBLE IN FIELD. RECORDS SHOW IT CONNECTING TO OLD MAIN COMING FROM VULT NO. 2 BUT NOT VISIBLE IN FIELD
- ② WATER VALVE VAULT
RIM 638.95
TOP OF PIPE 633.45
RECORD SAY IT IS 8"
- ③ WATER VALVE VAULT
RIM 638.55
TOP OF PIPE 633.75
THIS IS A NEW MAIN ALSO RECORDS SHOW NO VULT HERE BUT FOUND IN FIELD
- ④ WATER VALVE VAULT
RIM 637.46
FULL OF SILT AT ELEV. 634.76
MOST LIKELY HAVING BEEN PART OF THE OLD MAIN CONNECTING TO VULT NO. 2, RECORDS SHOW NO VULT HERE WHERE FOUND IN FIELD

FLOOD ZONE INFORMATION:

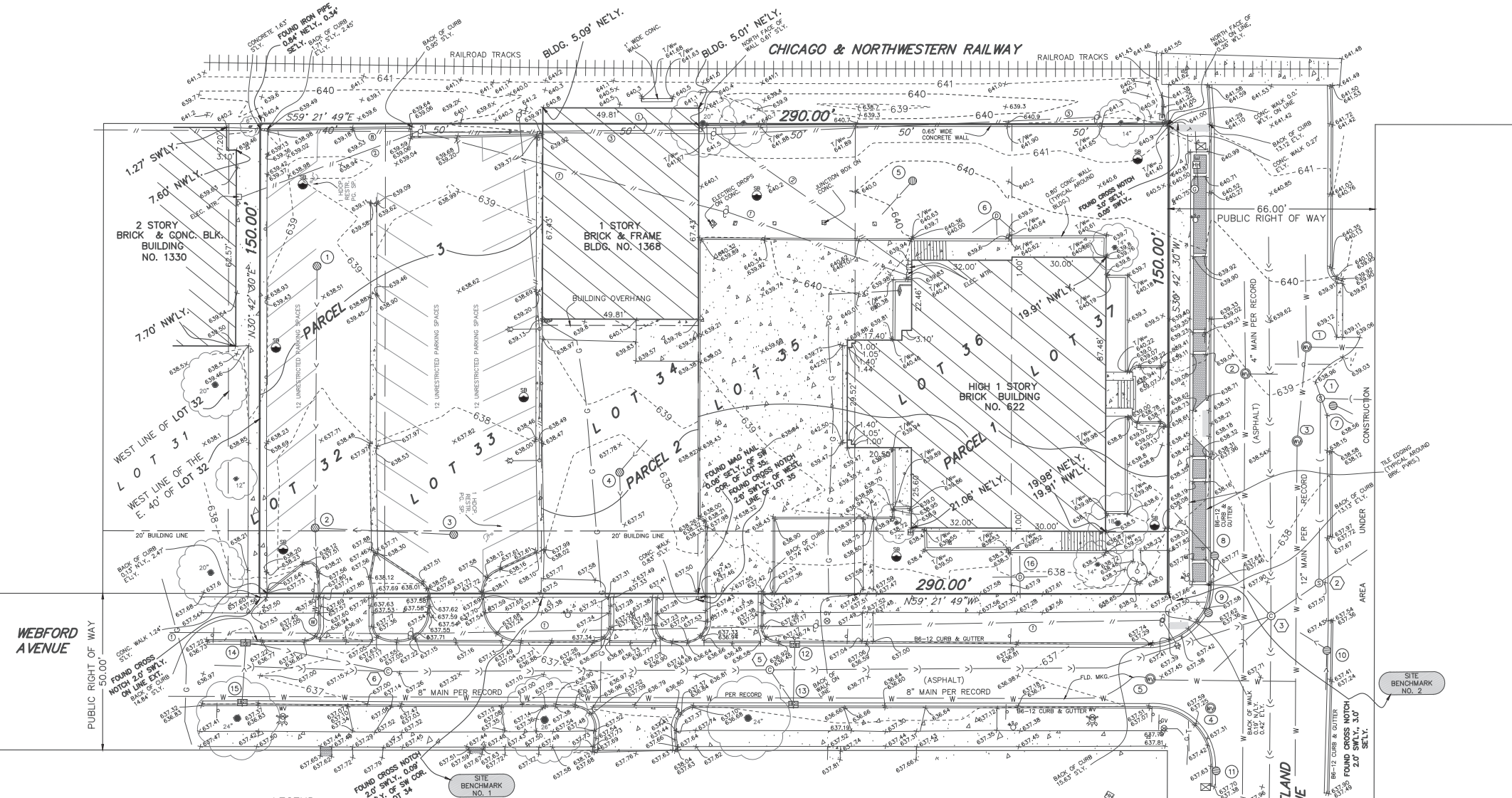
PER FEMA F.I.R.M. NO. 17031C0217J, DATED 08/19/2008, PROPERTY IS IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD.

EACH OF THE ADDITIONAL TABLE "A" ITEMS LISTED IN SURVEYOR'S CERTIFICATE (AS REQUESTED BY CLIENT) HAVE BEEN ADDRESSED. THE FOLLOWING ITEMS NO'S. HAVE NO NOTATION ON THIS PLAT AS THE REFERENCED CONDITIONS DO NOT EXIST ON, OR APPLY TO SUBJECT PROPERTY:

16, 17
STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

TO: COMPASSPOINT DEVELOPMENT, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY
CITY OF DES PLAINES, A MUNICIPAL CORPORATION OF THE STATE OF ILLINOIS
CHICAGO TITLE INSURANCE COMPANY
ATTORNEYS' TITLE GUARANTY FUND, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS
1, 2, 3, 4, 5, 7(a), 8, 9, 11, 14, 16, 17, 20 OF TABLE A THEREOF.
THE FIELD WORK WAS COMPLETED ON NOVEMBER 20, A.D. 2021
DATE OF PLAT: DECEMBER 10, A.D. 2021
BY: *Joseph F. Gentile*
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
MY LICENSE EXPIRES NOVEMBER 30, 2022
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870



LEGEND

○ GAS METER	⊕ WATER SERVICE SHUTOFF VALVE	⊕ CURB INLET/CATCH BASIN	⊗ OVERHEAD WIRES (# OF WIRES)
○ GAS VALVE	⊕ WATER VALVE VAULT	⊕ SANITARY SEWER MANHOLE	— STORM SEWER
○ UTILITY POLE	⊕ TRAFFIC SIGNAL CONTROL VAULT	⊕ COMBINATION SEWER MANHOLE	— SANITARY SEWER
○ UTILITY POLE WITH TRANSFORMER	⊕ RAILROAD GATE ARM	XXX.X GROUND ELEVATION	— UNDERGROUND ELECTRIC
○ "GUY" ANCHOR W/ WIRE	⊕ FLAGPOLE	XXX.XX PAVEMENT ELEVATION	— UNDERGROUND TELEPHONE
○ LIGHT POLE	⊕ ELECTRIC HANDHOLE	F/FLR = FINISHED FLOOR ELEVATION	— GAS MAIN
○ SIGN POST	⊕ WATER METER VAULT	T/FDN = TOP OF FOUNDATION ELEVATION	— WATER MAIN
○ FIRE HYDRANT	⊕ SOIL BORING	T/W = TOP OF WALL	— TRUNCATED DOME (HDCP. ACCESS)
○ WATER SHUTOFF VALVE WITH 8" CASING	⊕ CLOSED COVER DRAINAGE STRUCTURE	○ TREE WITH TRUNK DIAM. SIZE	
	○ OPEN COVER DRAINAGE STRUCTURE		

CONCRETE PAVEMENT BRICK PAVERS
ASPHALT PAVEMENT

NOTES:

BASIS OF BEARINGS:
ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

BENCHMARK:
CITY OF DES PLAINES BENCHMARK NO. 61. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF PRAIRIE & FIRST AVENUE, 75' EAST OF THE RAILROAD TRACKS AND 12' NORTH OF THE EDGE OF PAVEMENT OF PRAIRIE. ELEVATION 640.05 (NAVD 88 DATUM), MEASURED ELEVATION 640.12

SITE BENCHMARKS:

NO. 1
ELEVATION 637.45 (NAVD 88 DATUM)

NO. 2
CROSS NOTCH 2' SOUTH AND 3' EAST OF THE SOUTHEAST CORNER OF LOT 37
ELEVATION 637.57 (NAVD 88 DATUM)

TITLE POLICY PROVIDED FOR PARCEL 3 MAKES NOTE OF AN EXCEPTION TO COVERAGE THAT INCLUDES AN EASEMENT FOR SEVERAL UTILITIES PER DOC. NO. LR1429065. SURVEYOR WAS NOT PROVIDED DOCUMENT BY TITLE COMPANY AND WAS NOT ABLE TO OBTAIN DOCUMENT FROM COOK COUNTY RECORDER'S OFFICE. BEFORE EXCAVATION, BUILDING OR ANY DISTURBANCE WITHIN SUBJECT PROPERTY OBTAIN DOCUMENT FOR PARTICULARS AND LOCATION OF SAID EASEMENT.

BASE SCALE : 1 INCH = 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY : **RWG ENGINEERING, LLC**
DRAWN BY : VAF
CHECKED BY : JFG
SURVEYED BY : JG-RG

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.

ORDER NO. 21-22439 (REV1)

MEMORANDUM

Date: March 1, 2023

To: John Carlisle, Director of Community and Economic Development

From: John La Berg, P.E., Civil Engineer

Cc: Jon Duddles, P.E., Assistant Director of Public Works and Engineering

Subject: 622 Graceland Avenue Apartments

As requested, the Public Works and Engineering Department has reviewed the final development submittals for the upcoming Planning and Zoning Board meeting on the subject project. Engineering plans and profiles have been approved as noted by the Director of Public Works and Engineering in accordance with the standards for subdivision engineering plans on file in the office of the Public Works and Engineering Department (City Code 13-2-4) and have the following comments:

- There needs to be a streetlighting plan showing all underground conduit, controller, and electrical service connections. Street lighting details need to be their own plan sheets with a note added to use LED fixtures. Final street lighting design shall be completed at the time of building permit approval.
- The Engineer's Estimate of Cost should be updated to reflect additional lighting. We approve the EOPC as noted at \$708,568.13.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: March 1, 2023
To: Dave Schuman, Division Chief, Fire Prevention
John T. Carlisle, AICP, Director of Community & Economic Development
Pawel Matyja, Plan Coordinator
Samantha Redman, Associate Planner
From: Jonathan Stytz, AICP, Senior Planner
Subject: Request for Comments for 622 Graceland Avenue and 1332-1368 Webford Avenue - Combined Tentative and Final Plat of Subdivision

We have received an application requesting a combined Tentative and Final Plat of Subdivision in the C-3 General Commercial district at 622 Graceland Avenue and 1332-1368 Webford Avenue to consolidate the existing lots into one (Note: The map amendment from C-3 to C-5 approved last year is not effective until certain items are completed, one of which being the subdivision). This request is related to the proposed mixed-use development from last year including 131 private multi-family residential units and approximately 2,800 square feet of commercial public restaurant space. The Tentative Plat must be approved by the PZB prior to the consideration of the Final Plat by the City Council.

Please review the attached exhibits and provide a recommendation and comments, if any, to me via BlueBeam by Wednesday, March 8, 2023. Also, confirm to me via email if any updates are required to the attached building and fire prevention memos provided for this case last year.

- [x] Recommend approval of the requests
___ Recommend approval of the requests, subject to conditions and/or comments
___ Recommend disapproval of the requests

Comments: No updates to fire memo

Signature: [Handwritten Signature] Date: 3/1/23
PLEASE SEND COMMENTS BACK TO ME VIA BLUEBEAM

MEMORANDUM

Date: May 16, 2022

To: John Carlisle, Director of Community and Economic Development

From: Daniel Anderson, Fire Chief

Subject: Compass Point Project

The Fire Department has been involved in the Compass Point Development since their initial interest. Staff reviewed the initial concept plans from a public safety perspective including access to upper levels via aerial ladder trucks. Staff commented on the lack of any access to any of the west side of the building. Staff provided some alternate building options to the developer that would create an acceptable access point to the west side of the building.

The developer came back with the first proposed plan which incorporated fire department staff access concerns. The proposed plan allows access points to the east, west and south sides of the building. Each of the access points would be consistent with the similarly situated properties within the City.

After receiving feedback during planning and zoning meetings the developer has provided modified plans which has maintained sufficient access points for the project as requested and required by building codes. The Compass Point Development project discussion has raised some concern regarding the fire department being able to access the building with its ladder truck. This development is not unlike many similar projects already built in the city and pose no more of a risk than those already completed.

The Fire Department has a 100-foot aerial tower ladder truck (“tower ladder”) located at its headquarters station which is at 405 S. River Road. Each of our neighboring communities each have similar units with the next two closest units being in Park Ridge and Niles.

There was a question regarding how our tower ladder compares to those in service in the Chicago Fire Department. The Chicago Fire Department has approximately 60 aerial ladder trucks dispersed throughout their service area and are typically 95 to 105 feet in length. The Chicago Fire Department does have one aerial ladder truck that has a reach of approximately 135 feet.

The Fire Department does not have any specific concerns related to the project other than to maintain the standards of construction as well as required fire alarm and sprinkler/standpipe systems. The greatest concern for the fire department is during its construction up to the point where drywall has been completed. The wood frame construction is at its most vulnerable point during the framing when there is the greatest risk for fire spread should one begin.

Fire Department staff will continue to review any and all submissions regarding this project and make the appropriate recommendations to address any concerns that may be raised.

Date 1/23/2023

Attn: Joe Taylor, III

Address: 622 Graceland, Des Plaines

RE: 622 Graceland, Des Plaines

Dear Joe,

This letter will serve as Nicor Gas' intention to provide service to the above, potential project. Nicor Gas will install up to 200' of gas main per new customer (each meter) and 60' of service line per new customer (each meter) at no cost. If your project exceeds these footages, Nicor will determine the cost based on an economic evaluation of the project.

Please complete the attached New Service Agreement and submit the following to initiate the installation process; Plat of Subdivision, Over-all Site Utility Plan with gas meter locations marked (commercial buildings only), Gas loads and delivery pressure for each unit along with Contact information.

Nicor Gas requires curbs/pavement to be completed prior to gas main installation. Nicor Gas also requires sleeves to be installed at paved intersections within new subdivisions and on Commercial service installations. When applicable and to establish a defined/proper running line, easements will need to be appropriately staked. All permits (State, County, and Village) will require approval prior to gas main and/or service installation.

As the site contact for this project, please advise the general contractor to communicate with me, Zack Jarling at start up in order to coordinate the gas service/main installation timetable. I can be reached at 224-239-3341 or by email at zjarling@southernco.com

If you have any additional questions, please let me know

Sincerely,

Zack Jarling

New Business Construction Consultant
Customer Development, Nicor Gas



March 1, 2023

Joe Taylor, III
Compasspoint Development, LLC

WILL SERVE LETTER

Dear Mr. Joe,

This letter is in response to your request for information on the availability of AT&T service at proposed 622 Graceland Ave & 1330/1332 Webford Ave proposed Development.

This letter acknowledges that the above referenced project is in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to proposed development at 622 Graceland Ave & 1330/1332 Webford Ave but an acknowledgement that we have service in this area.

Please contact me at the phone number included in this letter if you have any questions.

Thank you for contacting AT&T.

Sincerely,

Kolade Fajimi (Engineer)
Mgr Osp Plng & Eng Design
ATO, Construction & Engineering-MW

AT&T
1000 Commerce Dr,
Oak Brook, IL 60523
M 847-226-7885 | kf129f@att.com



March 1, 2023

Mr. Joe Taylor, III
Compasspoint Development, LLC

Re: 622 Graceland Ave, Des Plaines with additional addresses 1330/1332 Webford Ave, Des Plaines.

Dear Mr. Taylor:

Regarding the above project, Comcast Cable Communications, Inc. is the local Broadband Provider for this area. Please call Tom Jones at (847) 849-3727 with any installation questions that you may have.

If you have any other questions, please feel free to give me a call.

Very truly yours,



Robert L. Schuller Jr.
Central Division Director of Construction
(224) 229-5863

3/1/2023

David Taylor
Compasspoint Development, LLC

Request for Electrical Service Letter – 622 Graceland Ave, Des Plaines, IL

Dear David Taylor:

This letter is in reply to your request regarding the project referenced above. ComEd will provide adequate power to your project site in accordance with the corresponding Rates and Riders filed by ComEd with the Illinois Commerce Commission. Please be advised that we will be able to begin engineering your project after our company receives all requested information from the appropriate parties involved.

If you have any questions, please contact me at 779-231-2782

Thanks,

Chris

Chris Topete
DCC | Field Representative
ComEd | An Exelon Company
779-231-2782



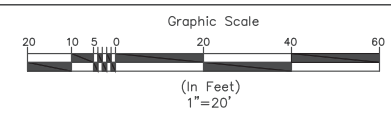
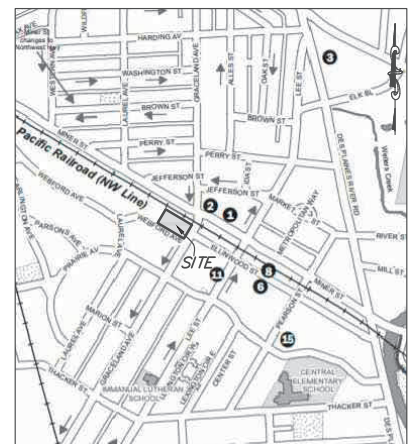
TENTATIVE AND FINAL PLAT OF SUBDIVISION GRACELAND/WEBFORD SUBDIVISION

TO CONSOLIDATE LOTS

BEING A SUBDIVISION IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

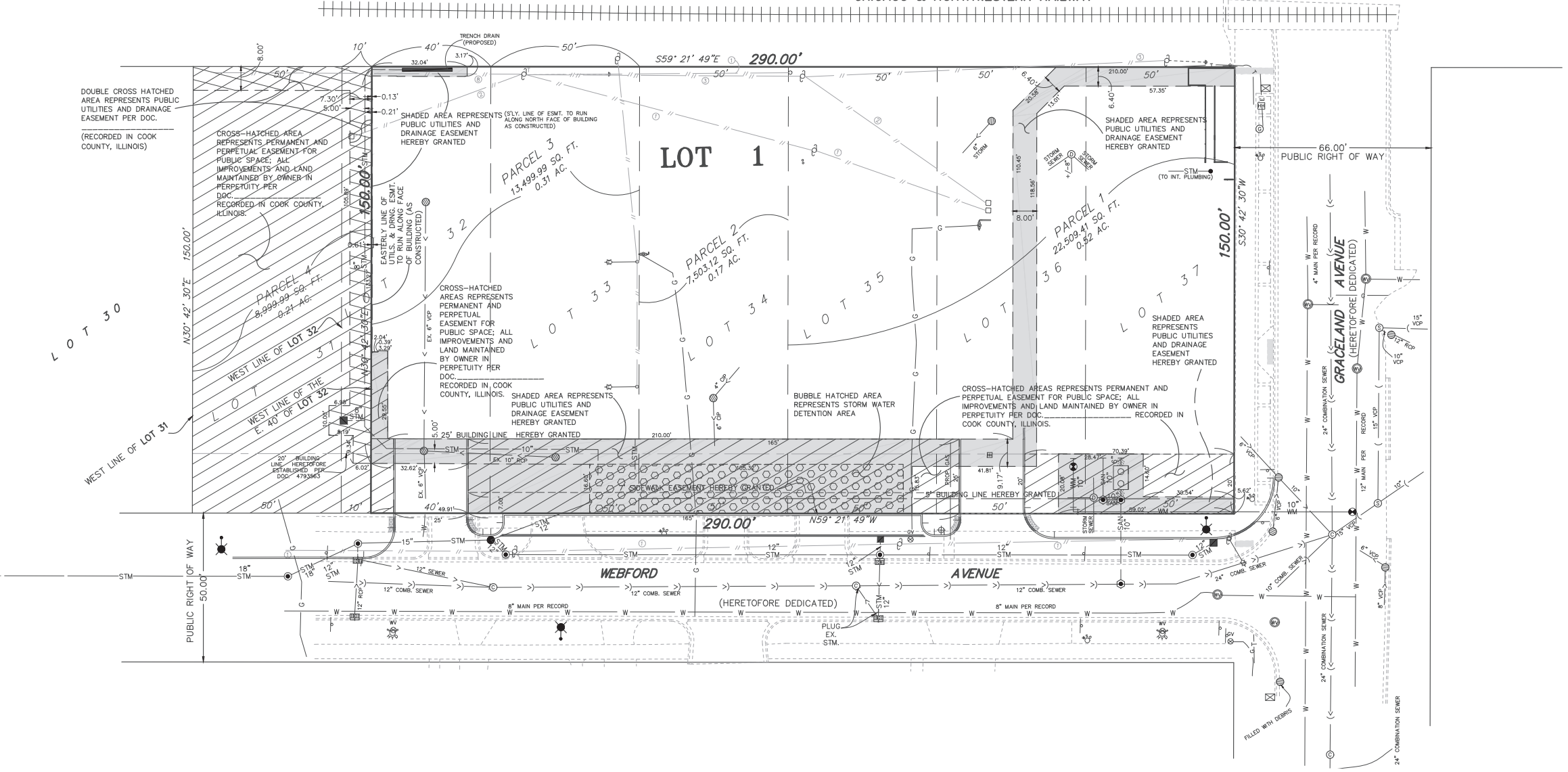
NOTE:
ALL OVERHEAD UTILITIES TO BE RELOCATED UNDERGROUND

VICINITY MAP
NOT TO SCALE



BASIS OF BEARINGS: TRUE NORTH
ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

CHICAGO & NORTHWESTERN RAILWAY



LEGAL DESCRIPTION:

PARCEL 1:
LOTS 35, 36 AND 37 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS. PROPERTY COMMONLY KNOWN AS: 622 GRACELAND AVE., DES PLAINES, IL. 60016 CONTAINING: 22,509.41 SQ. FT., 0.52 AC. (MORE OR LESS)

PARCEL 2:
LOT 34 IN BLOCK 1 IN DES PLAINES MANOR, TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT NO. 4793563, IN COOK COUNTY, ILLINOIS. PROPERTY COMMONLY KNOWN AS: 1368 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 7,503.12 SQ. FT., 0.17 AC. (MORE OR LESS)

PARCEL 3:
THE SOUTHEASTERLY 40 FEET OF LOT 32 AND ALL OF LOT 33 IN BLOCK 1 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563, IN COOK COUNTY, ILLINOIS. PROPERTY COMMONLY KNOWN AS: 1332 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 13,499.99 SQ. FT., 0.31 AC. (MORE OR LESS)

CONTAINING: TOTAL (ALL 3 PARCELS) 43,499.97 SQ. FT., 1.00 AC. (MORE OR LESS)

NOTE:
LEGAL DESCRIPTION AND PARTICULARS FOR PROPERTY SHOWN HEREON AS PARCEL 4 SHOWN FOR INFORMATIONAL PURPOSE ONLY - NOT A PART OF THIS SUBDIVISION

PARCEL 4:
LOT 31 AND LOT 32 (EXCEPT THE SOUTHEASTERLY 40 FEET THEREOF, IN BLOCK 1 IN DES PLAINES MANOR TRACT NO. 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563, IN COOK COUNTY, ILLINOIS.

PROPERTY COMMONLY KNOWN AS: 1330 WEBFORD AVE., DES PLAINES, IL. 60016 CONTAINING: 8,999.99 SQ. FT., 0.21 AC. (MORE OR LESS)
P.I.N. 09-17-306-039-0000

ZONING INFORMATION:

PROPERTY (PARCELS 1 THROUGH 3) IS ZONED C-5, CENTRAL BUSINESS DISTRICT

PROPERTY (PARCEL 4) IS ZONED C-3, GENERAL COMMERCIAL DISTRICT

FLOOD ZONE INFORMATION:

PER FEMA F.I.R.M. NO. 17031C0217J, DATED 08/19/2008, PROPERTY IS IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD.

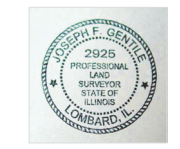
LEGEND

GENTILE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
PHONE: (630) 916-6262

PREPARED FOR: RWG ENGINEERING, LLC
DRAWN BY: VAF
ORDER NO.: 22439-23 (T/F)
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870

OWNER:
COMPASSPOINT DEVELOPMENT LLC
202 S. COOK ST.
SUITE 210
BARRINGTON, IL 60010
CONTACT: JOE TAYLOR III
773.706.4301

NO.	DATE	REVISION DESCRIPTION	BY
4	3/03/23	PER 3/02/23 CITY REVIEW DISCUSSION	VAF
3	2/23/23	ADD P.U. & D. AND PARK ESMTS; UTIL SIG. BLKS.	VAF
2	2/1/23	REMOVE PARCEL 4 FROM SUBD. INCLUSION	VAF
1	1/13/23	PER 12/20/22 QTY 1ST REVIEW COMMENTS	VAF



SURVEYOR CERTIFICATE

STATE OF ILLINOIS } S.S.
COUNTY OF DuPAGE }
THIS IS TO CERTIFY THAT I, JOSEPH GENTILE, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 2925, HAVE SURVEYED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY FOR THE PURPOSE OF CONSOLIDATING PARCELS (AS SHOWN HEREON) AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. CORNER MONUMENTS HAVE BEEN FOUND AS SHOWN HEREON IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF DES PLAINES CODE. I FURTHER CERTIFY THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN, THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 217 OF 832, COMMUNITY PANEL NO. 17031C0217J, EFFECTIVE 8/19/2008.

BASIS OF BEARINGS: ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE
ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
GIVEN UNDER MY HAND AND SEAL THIS 23TH DAY OF FEBRUARY, A.D. 2023
Joseph F. Gentile
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
MY LICENSE EXPIRES NOVEMBER 30, 2024

P.I.N.s 09-17-306-036-0000
09-17-306-038-0000
09-17-306-040-0000

TENTATIVE AND FINAL PLAT OF SUBDIVISION
GRACELAND/WEBFORD SUBDIVISION

TO CONSOLIDATE LOTS

OWNER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } s.s.

THIS IS TO CERTIFY THAT THE UNDERSIGNED ARE THE AUTHORIZED REPRESENTATIVES OF MYLO RESIDENTIAL GRACELAND PROPERTY LLC, WHICH IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN INDICATED, AND DO HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON.

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 20_____

BY: _____(NAME) ATTEST: _____(NAME)
_____(TITLE) _____(TITLE)

NOTARY'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } s.s.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY DO HEREBY CERTIFY THAT _____(NAME) AS _____(TITLE) AND _____(NAME) AS _____(TITLE)

OF MYLO GRACELAND RESIDENTIAL PROPERTY LLC, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AT HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D. 20_____

NOTARY PUBLIC
COMMISSION EXPIRES _____

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } s.s.

_____, which is the holder of a mortgage dated as of _____, 20____, and recorded in the Office of the _____

County Recorder, Illinois on _____, 20____ as Document No. _____ encumbering the property described on this Plat of Subdivision, hereby consents to the recording of this Plat of Subdivision and agrees that its lien shall be subject to the provisions of this Plat of Subdivision.

IN WITNESS WHEREOF, the undersigned has caused this Consent to be executed on _____, 20____

ATTEST: _____, a _____

By: _____ Its: _____

By: _____ Its: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } s.s.

The foregoing instrument was acknowledged before me on _____

20____, by _____, the _____, and _____, the _____ of _____, a _____, which

individuals are known to me to be the identical persons who signed the foregoing instrument as such officers of the corporation for and on behalf of said corporation, and that they executed the same as their free and voluntary act and deed, and as the free and voluntary act and deed of the corporation, for the uses and purposes therein mentioned.

Given under my hand and official seal this _____ day of _____, 20____.

NOTARY PUBLIC
COMMISSION EXPIRES _____

MAYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } s.s.

Approved by the Mayor and the City Council of the City of Des Plaines, Illinois on this _____ day of _____, A.D. 20_____

_____, Mayor ATTEST: _____, City Clerk

PLANNING AND ZONING BOARD CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } s.s.

Approved by the Planning and Zoning Board of the City of Des Plaines, Illinois on this _____ day of _____, A.D. 20_____.

_____, Chairman

DIRECTOR OF FINANCE CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } s.s.

I certify that there are no delinquent or current unpaid special assessments on the property shown on this plat.

Date: _____

_____, Director of Finance

DIRECTOR OF PUBLIC WORKS AND ENGINEERING CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF COOK } s.s.

Approved by the Director of Public Works & Engineering of the City of Des Plaines, Illinois on this _____ day of _____, A.D. 20_____.

_____, Director of Public Works and Engineering

DRAINAGE CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DuPAGE } s.s.

To the best of our knowledge and belief, the drainage of surface waters will not be changed by the construction of this subdivision or any part thereof, or, if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of this subdivision.

OWNER REGISTERED PROFESSIONAL ENGINEER

Name: _____ Name: _____

Date: _____ Firm: _____

Date: _____

EASEMENT FOR PUBLIC UTILITIES

A permanent and perpetual easement is hereby granted to the City of Des Plaines, Cook County, Illinois ("City"), its successors and assigns, to survey, construct, reconstruct, use, operate, maintain, test, inspect, repair, replace, alter, remove or abandon in place water, sanitary sewer and storm sewer mains together with related attachments, equipment and appurtenances thereto, in, upon, under, along and across the areas designated "Easement for Public Utilities" on this subdivision plat. The owners of the property subdivided on this plat or any part thereof hereby reserve the right to use the areas designated "Easement for Public Utilities" and the adjacent property in any manner that will not prevent or interfere with the exercise by the City of the rights hereby granted; provided, however, that the owners shall not in any manner disturb, damage, destroy, injure, obstruct or permit to be obstructed the "Easement for Public Utilities" at any time whatsoever without the express prior written consent of the City. After the installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

PUBLIC UTILITY EASEMENTS
EASEMENT APPROVED AND ACCEPTED

PUBLIC UTILITY EASEMENTS
EASEMENT APPROVED AND ACCEPTED

COMMONWEALTH EDISON COMPANY

BY: _____ DATE: _____

TITLE: _____

NICOR

BY: _____ DATE: _____

TITLE: _____

AT & T

BY: _____ DATE: _____

TITLE: _____

COMCAST

BY: _____ DATE: _____

TITLE: _____

Table with 5 columns: NO., DATE, REVISION DESCRIPTION, BY, OWNER. Includes GENTILE & ASSOCIATES, INC. logo and contact information.

THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

PLANS PREPARED FOR
COMPASSPOINT DEVELOPMENT, LLC
 2020 S. COOK STREET, SUITE 210
 BARRINGTON, ILLINOIS
 (630) 577-5203

FINAL ENGINEERING PLANS
 FOR

622 GRACELAND AVE. APARTMENTS
 DESPLAINES, ILLINOIS

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	○	●
INLET	□	■
PRECAST FLARED END SECTION	▷	◁
CONCRETE HEADWALL	⌋	⌋
VALVE VAULT	⊗	⊗
VALVE BOX	■	■
FIRE HYDRANT	⌋	⌋
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
CONSTRUCT WATER MAIN UNDER SEWER	—	—
GRANULAR TRENCH BACKFILL	—	—
STREET LIGHT	⊙	⊙
ELECTRICAL CABLE	—	—
2" CONDUIT ENCASEMENT	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	x(750.00)	x 750.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
SLOPE BANK	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, WIRE OR SILT	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

CONTACTS

CITY OF DESPLAINES
 Northern Illinois Gas (NICOR)
 Mr. David Surina
 1844 West Ferry Road, Naperville, IL 60563
 630-629-3500 (x335), dsurina@gasresources.com

AT&T (Formerly SBC or Illinois Bell Telephone Company)
 Ms. Sue Mansum
 2004 Dempster/Miner Street, Des Plaines, IL 60016
 847-759-5603, sm9231@att.com

Commonwealth Edison (Excelsior)
 Mr. Jack O'Brien
 3 Lincoln Centre, Oak Brook Terrace, IL 60181
 630-437-2463, john.obrien@comed.com

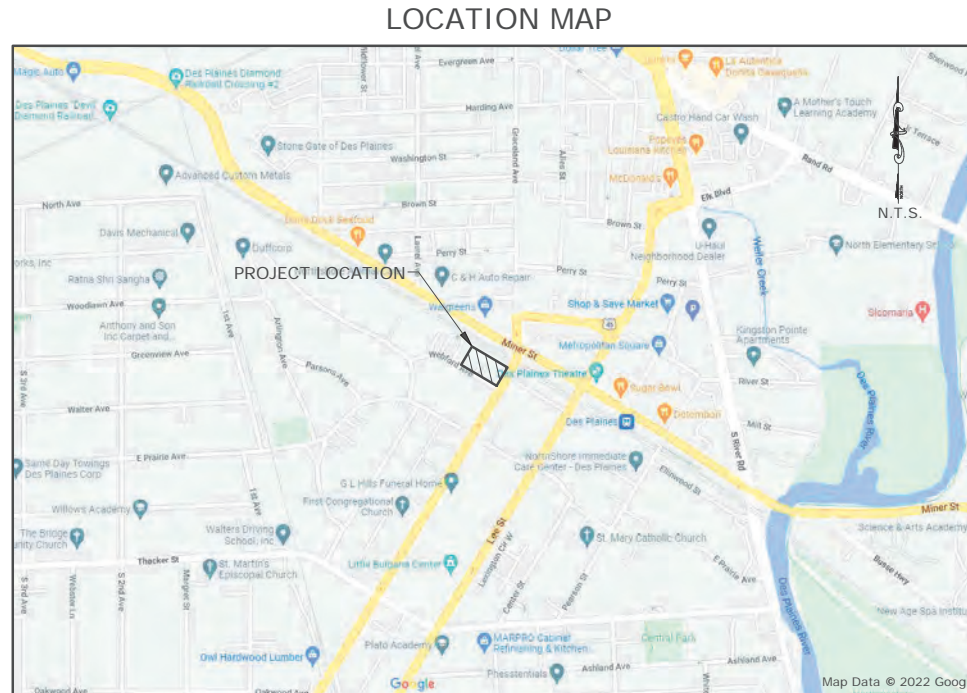
Wide Open West (WOW) (Cable Television)
 Mr. Brian Hurd
 1030 National Parkway, Schaumburg, IL 60173
 630-699-5227

Comcast (Cable Television)
 Mr. Frank Gautier, Right-of-way Engineer
 688 Industrial Drive, Elmhurst, IL
 630-600-6348, Frank.Gautier@cable.comcast.com

City of Des Plaines
 Community & Economic Development: 847-391-5380
 1420 Miner Street
 Des Plaines, IL 60016

Public Works Department: 847-391-5464
 1111 Joseph J Schwab Rd
 Des Plaines, IL 60016

JULIE
 Underground Utility Locations
 1-800-892-0123
 811



"TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS PROJECT. OR, THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS APPROVED FOR USE BY THE CITY, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS PROJECT."

Maureen R. Mulligan
 REGISTERED PROFESSIONAL ENGINEER
 EXPIRATION DATE: 11/30/23

GENERAL NOTES

- The contractor shall notify the following governmental agencies at least two working days prior to commencement of construction:
 - City of Des Plaines Public Works Department (847-391-5464)
 - MWRD Local Sewer System Sections Field Office (708-588-4055)
- The contractor shall notify all utility companies and arrange for their facilities to be located prior to work in any easement, right-of-way, or suspected utility location. Repair of any damage to existing facilities shall be the responsibility of the contractor. Utility locations shown herein are for graphic illustration only and are not to be relied upon.
- Prior to commencement of any offsite construction, the contractor shall secure written authorization that all offsite easements have been secured, and that permission has been granted to enter onto private property.
- Elevations shown herein reflect NAVD 1988 datum.
- The boundary and topographic survey data for this project is based on a field survey prepared by Gentile and Associates, Inc, dated September 19, 2022. The contractor shall verify existing conditions prior to commencing construction and shall immediately notify the engineer in writing of any differing conditions.
- RWG Engineering, LLC, its employees and agents are not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor, and any other entity performing work at the site. Neither the owner nor the engineer assumes any responsibility for job site safety or for the means, methods or sequences of construction.
- Except where modified by the contract documents, all work proposed herein shall be in accordance with the following specifications, which are hereby made a part hereof:
 - "Standard Specifications for Road and Bridge Construction in Illinois," as prepared by I.D.O.T. latest edition.
 - "Standard Specifications for Water and Sewer Main Construction in Illinois," latest edition.
 - "Illinois Recommended Standards for Sewage Works," as published by the I.E.P.A., latest edition.
 - The subdivision and development codes and standards of the City of Des Plaines, as published by the Municipality.
 - "Illinois Accessibility Code" as published by the State of Illinois Capital Development Board, effective October 23, 2018.
 - The National Electric Code.
 - "Illinois Urban Manual" as prepared by the U.S. Dept. of Agriculture latest edition.
- The City of Des Plaines Development Ordinance shall take precedence if a conflict in project specifications occurs. City details to supercede all others.
- City requires 48 hour notice for inspections.

INDEX OF SHEETS

- TITLE SHEET
- EXISTING CONDITIONS PLAN — EAST
- EXISTING CONDITIONS PLAN — WEST
- DEMOLITION PLAN — EAST
- DEMOLITION PLAN — WEST
- SITE GEOMETRIC AND PAVING PLAN — EAST
- SITE GEOMETRIC AND PAVING PLAN — WEST
- SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN — EAST
- SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN — WEST
- GRADING PLAN — EAST
- GRADING PLAN — WEST
- UTILITY PLAN — EAST
- UTILITY PLAN — WEST
- PROJECT NOTES AND SPECIFICATIONS
- CONSTRUCTION STANDARDS AND DETAILS
- CONSTRUCTION STANDARDS AND DETAILS
- CONSTRUCTION STANDARDS AND DETAILS
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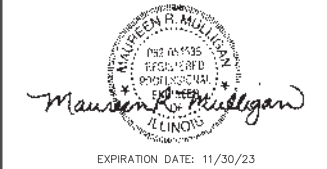
BENCHMARKS

BASIS OF BEARINGS:
 ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE

BENCHMARK:
 CITY OF DES PLAINES BENCHMARK NO. 61. MONUMENT SET IN CONCRETE AT THE NORTHEAST CORNER OF PRAIRIE & FIRST AVENUE, 75' EAST OF THE RAILROAD TRACKS AND 12' NORTH OF THE EDGE OF PAVEMENT OF PRAIRIE. ELEVATION 640.05 (NAVD 88 DATUM), MEASURED ELEVATION 640.12

SITE BENCHMARKS:
 NO. 1
 CROSS NOTCH 2' SOUTH OF THE SOUTHWEST CORNER OF LOT 34
 ELEVATION 637.45 (NAVD 88 DATUM)
 NO. 2
 CROSS NOTCH 2' SOUTH AND 3' EAST OF THE SOUTHEAST CORNER OF LOT 37
 ELEVATION 637.57 (NAVD 88 DATUM)

TITLE POLICY PROVIDED FOR PARCEL 3 MAKES NOTE OF AN EXCEPTION TO COVERAGE THAT INCLUDES AN EASEMENT FOR SEVERAL UTILITIES PER DOC. NO. LR1429065. SURVEYOR WAS NOT PROVIDED DOCUMENT BY TITLE COMPANY AND WAS NOT ABLE TO OBTAIN DOCUMENT FROM COOK COUNTY RECORDER'S OFFICE. BEFORE EXCAVATION, BUILDING OR ANY DISTURBANCE WITHIN SUBJECT PROPERTY OBTAIN DOCUMENT FOR PARTICULARS AND LOCATION OF SAID EASEMENT.



DATE	REVISIONS	DRAWN BY
01/17/23	CITY REVIEW #1 & ARCHITECT REVISIONS	TLM
02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

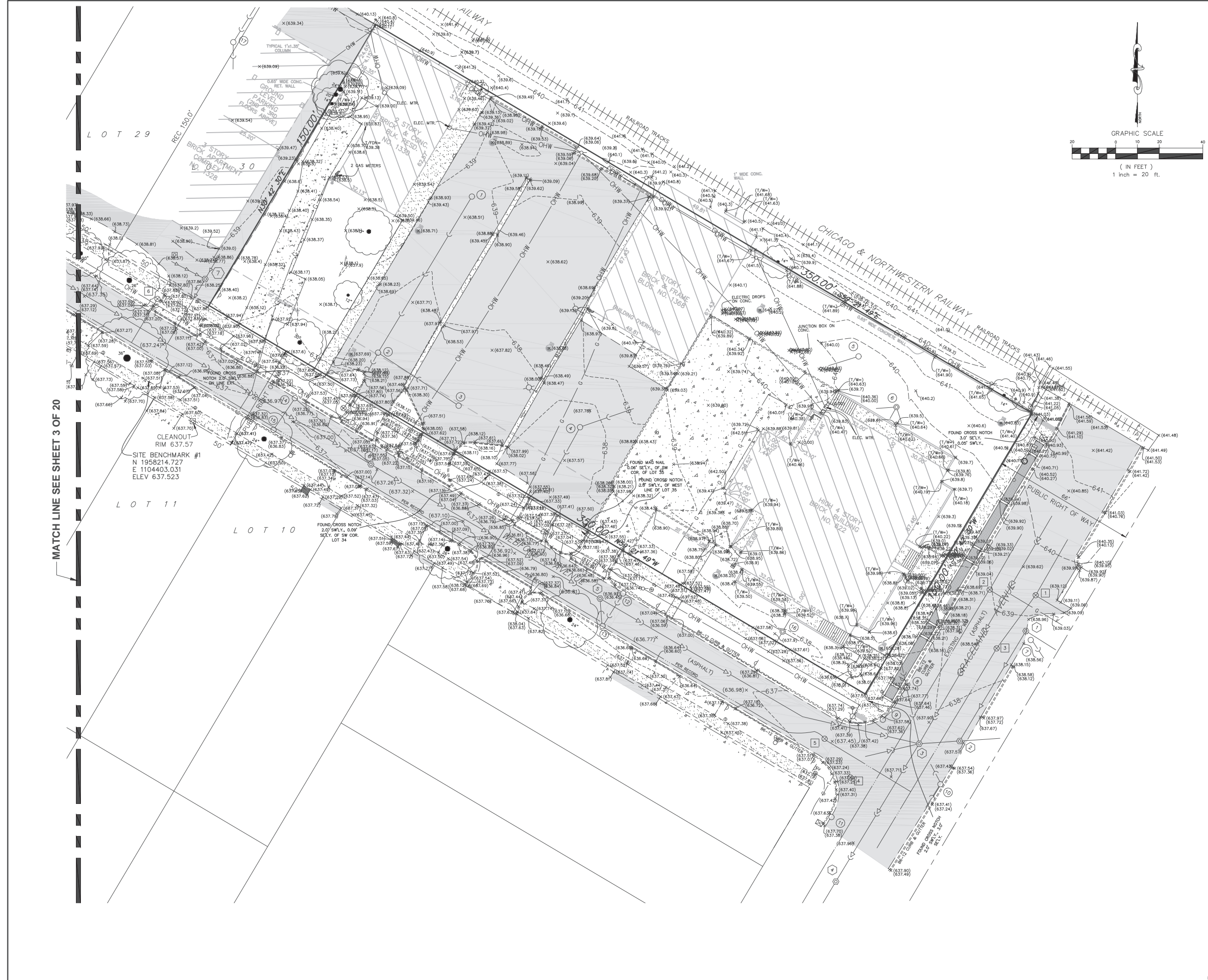
622 GRACELAND AVE. APARTMENTS
 DESPLAINES, ILLINOIS
 TITLE SHEET

975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

RWG Engineering, LLC
 Civil Engineering & Real Estate Consulting & Project Management

PROJECT NO. 63912021
 DATE 12/09/22
 SCALE NONE
 PROJ. MGR. MRM
 PROJ. ASSOC. MKR
 DRAWN BY TLM

SHEET
 1 OF 20



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

SURVEY NOTE
THE INFORMATION SHOWN HEREON IS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY GENTILE AND ASSOCIATES, INC. PLAT OF SURVEY DATED SEPTEMBER 19, 2022.

ABBREVIATIONS LEGEND
(IN ADDITION TO TITLE SHEET LEGEND)

- EX = EXISTING
- PR = PROPOSED
- BC = BACK OF CURB
- FC = FACE OF CURB
- EP = EDGE OF PAVEMENT
- PL = PROPERTY LINE
- FB = FACE OF BUILDING
- EC = EDGE OF CONCRETE
- RW = RETAINING WALL
- ROW = RIGHT OF WAY
- BC/BC = BACK OF CURB TO BACK OF CURB
- SW = SIDEWALK
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EXISTING UTILITY STRUCTURE SCHEDULE -- EAST	
SANITARY SEWER STRUCTURES	
<p>1 EX SAN M.H. RIM=638.77 INV=632.47 (15" VCP E) INV=633.12 (10" VCP SE) INV=632.42 (15" VCP S)</p>	<p>2 EX SAN M.H. RIM=637.57 INV=632.37 (15" VCP N) INV=632.67 (10" NE) INV=632.07 (15" SW)</p>
<p>3 EX SAN COMBINATION M.H. RIM=637.83 INV=631.39 (N) (RECORDS SHOW A M.H. IN THE STREET NEAR NORTH END OF PROPERTY, NONE WAS FOUND AND NO INDICATION OF ONE WAS FOUND)</p>	<p>4 EX SAN COMBINATION M.H. RIM=630.61 INV=630.61 (24" N) INV=630.71 (24" S)</p>
<p>5 EX SAN COMBINATION M.H. RIM=637.17 INV=632.33 (15" VCP NE) INV=632.35 (24" S) INV=632.34± (10" SE) INV=631.43 (24" W) (CONNECTING M.H. TO THE WEST SHOWS A 12" INVERT TO THE EAST, NO INFO. AS TO WHERE SIZE CHANGES AVAILABLE) INV=632.83 (10" NW)</p>	<p>6 EX SAN COMBINATION M.H. RIM=637.17 INV=631.42 (12" E) INV=631.38 (12" W) INV=631.60 (SE)</p>
<p>7 EX SAN M.H. RIM=638.29 INV=632.96 (8" VCP NE) INV=633.19 (8" VCP NW) INV=632.88 (8" VCP SW)</p>	<p>8 EX SAN M.H. RIM=637.29 INV=632.96 (8" VCP NE) INV=633.19 (8" VCP NW) INV=632.88 (8" VCP SW)</p>
STORM SEWER STRUCTURES	
<p>1 EX STM C.B. RIM=638.65 INV=634.23 (6" VCP S)</p>	<p>2 EX STM C.B. RIM=637.06 INV=632.46 (6" VCP N) INV=632.46 (6" VCP ±S) INV=633.66 (10" RCP E)</p>
<p>3 EX STM C.B. RIM=637.21 INV=634.26 (10" RCP W)</p>	<p>4 EX STM C.B. RIM=637.28 INV=635.98 (4" DIP NE) INV=634.73 (6" DIP S)</p>
<p>5 EX STM INLET RIM=639.01 INV=635.51 (L" SW)</p>	<p>6 EX STM M.H. RIM=640.10 TOP OF 8"± PIPE=630.63 (S) INV=631.20 (SW) INV=630.80 (SE)</p>
<p>7 EX STM C.B. RIM=638.58 INV=636.53 (12" RCP SE)</p>	<p>8 EX STM C.B. RIM=637.45 INV=634.90 (6" VCP NW) INV=633.00 (10" SE) INV=634.20 (6" PVC S)</p>
<p>9 EX STM INLET RIM=637.41 INV=635.01 (6" PVC N)</p>	<p>10 EX STM C.B. RIM=637.20 INV=632.70 (6" VCP NW) INV=632.80 (8" VCP S)</p>
<p>11 EX STM INLET RIM=637.04 FILLED WITH DEBRIS</p>	<p>12 EX STM CURB C.B. RIM=636.40 TOP OF PIPE TO SOUTH=634.40</p>
<p>13 EX STM CURB C.B. RIM=636.46 TOP OF PIPE TO NORTH=634.16 INV=632.86 (NW)</p>	<p>14 EX STM CURB C.B. RIM=636.72 TOP OF 12" PIPE TO EAST=634.37 INV=633.47 (12" S)</p>
<p>15 EX STM CURB C.B. RIM=636.74 TOP OF PIPE TO NORTH=634.69 (PVC INSIDE RCP)</p>	<p>16 EX STM M.H. RIM=638.82 INV=632.02 (N,S) INV=632.27 (E) INV=632.42 (W) ALL PIPES ARE ±8"</p>
<p>17 EX STM C.B. RIM=638.62 INV=635.67 (6" DIP N) INV=635.52 (6" DIP SE)</p>	
WATERMAIN STRUCTURES	
<p>1 EX VALVE VAULT (NEW) RIM=639.28 T/P=632.28 PER RECORDS THE NEW MAIN GOING EAST IS 10" D.I.P. AND THE SOUTH IS 8" - RECORD SHOWS NO MAIN HEADING NORTH, BUT IS VISIBLE IN FIELD. RECORDS SHOW IT CONNECTING TO OLD MAIN COMING FROM VAULT NO. 2 BUT NOT VISIBLE IN FIELD</p>	<p>2 EX VALVE VAULT RIM=638.95 T/P=633.45 RECORDS SAY IT IS 8"</p>
<p>4 EX VALVE VAULT RIM=637.46 FULL OF SILT AT ELEV.=634.76 MOST LIKELY HAVING BEEN PART OF THE OLD MAIN CONNECTING TO VAULT NO. 2. RECORDS SHOW NO VAULT HERE WHERE FOUND IN FIELD</p>	<p>5 EX VALVE VAULT RIM=637.42 T/P=628.12 RECORDS SAY THIS IS 8" AND GENERALLY AGREE WITH FIELD MARKINGS AND CONNECTION TO NEW MAIN IN THE EASTERLY SIDE OF THE RIGHT OF WAY</p>
<p>6 EX VALVE VAULT RIM=638.02 UNABLE TO OPEN</p>	

2 SANITARY STRUCTURE NUMBER
11 STORM STRUCTURE NUMBER
5 WATERMAIN STRUCTURE NUMBER

PROJECT NO. 63912021
DATE 12/09/22
SCALE 1"=20'
PROJ. MGR. MEM
PROJ. ASSOC. MGR
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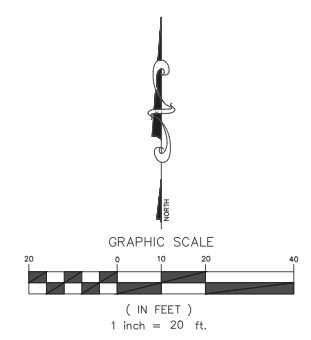
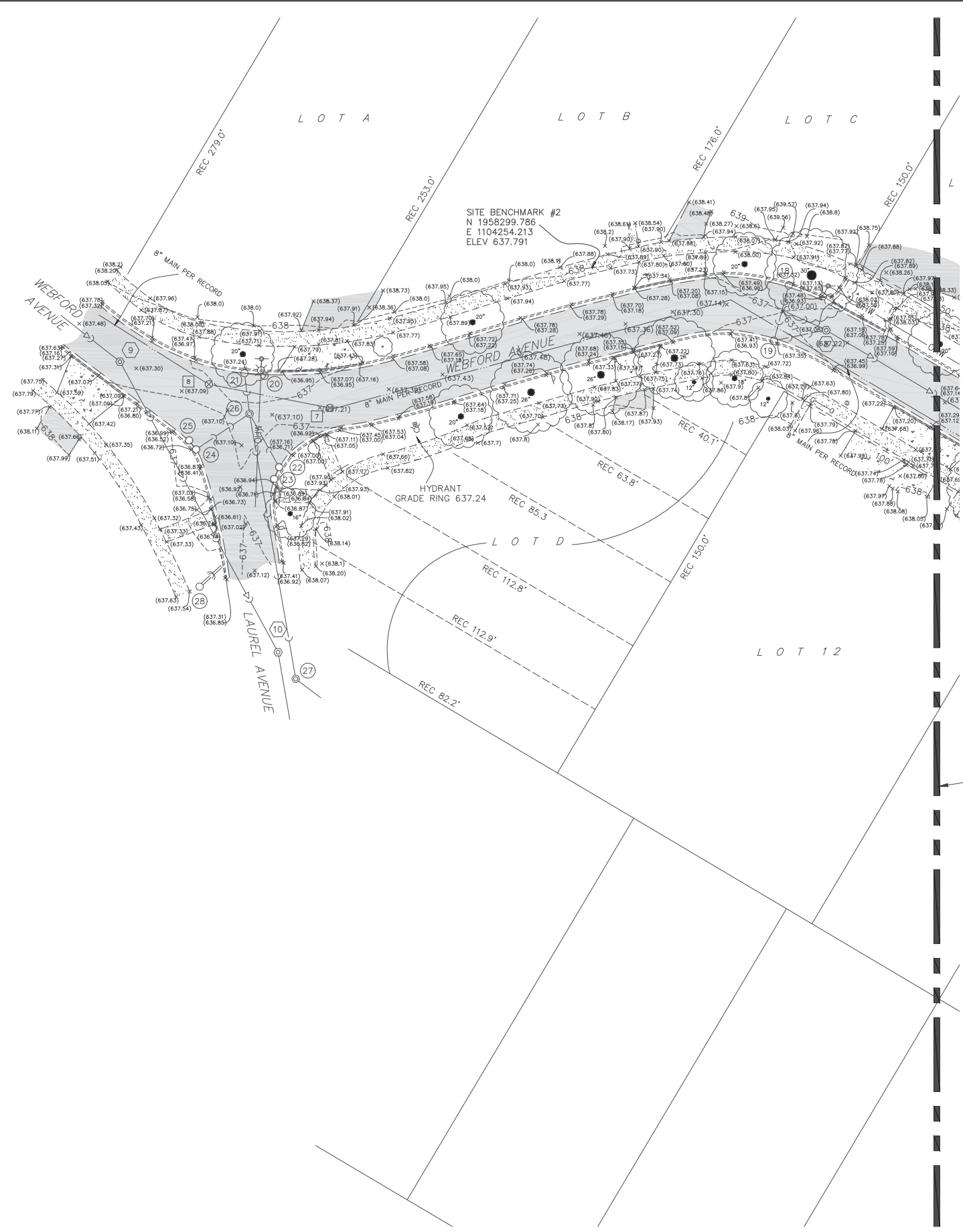
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2 OF 20

622 GRACELAND AVE. APARTMENTS
 DESPLAINES, ILLINOIS
 EXISTING CONDITIONS PLAN - EAST

975 E. 22nd St, Suite 400
 Winnetka, IL 60093
 WWW.RWG-ENGINEERING.COM

Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management





SURVEY NOTE
 THE INFORMATION SHOWN HEREON IS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY GENTILE AND ASSOCIATES, INC. PLAT OF SURVEY DATED SEPTEMBER 19, 2022.

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EXISTING UTILITY STRUCTURE SCHEDULE - WEST

SANITARY SEWER STRUCTURES

8 EX SAN COMBINATION M.H. RIM=637.20 INV=632.54 (5" DIP NW) INV=631.75 (12" RCP SE) INV=633.21 (12" RCP SW)	9 EX SAN COMBINATION M.H. RIM=637.25 INV=631.33 (24" RCP NW) INV=631.25 (24" RCP SE)
10 EX SAN COMBINATION M.H. RIM=637.39 INV=631.39 (24" RCP NW) INV=631.29 (24" RCP SE)	

STORM SEWER STRUCTURES

18 EX STM C.B. RIM=636.76 TOP OF 8" PVC SW 634.76 (N 12" RCP)	19 EX STM C.B. RIM=636.83 INV=633.73 (12" RCP NNE) TOP OF 8" PVC NE 634.63 (N 12" RCP)
20 EX STM C.B. RIM=636.66 INV=633.73 (12" RCP NW)	21 EX STM C.B. RIM=636.66 INV=633.56 (12" RCP E) INV=633.46 (12" RCP SE)
22 EX STM C.B. RIM=636.66 INV=631.26 (12" RCP NW) INV=633.59 (12" RCP SW)	23 EX STM C.B. RIM=636.72 INV=633.52 (12" RCP NE)
24 EX STM C.B. RIM=636.28 INV=631.68 (12" RCP NE) INV=633.48 (12" RCP NW)	25 EX STM C.B. RIM=636.30 INV=633.66 (12" RCP SE)
26 EX STORM M.H. RIM=637.06 INV=631.81 (12" DIP NW) INV=628.31 (12" RCP SW) INV=627.06 (27" RCP SSE) INV=628.86 (12" RCP SE)	27 EX STORM M.H. RIM=637.35 INV=627.35 (27" RCP NW) INV=627.28 (27" RCP SE)
28 EX STM C.B. (BEEHIVE COVER) FLOW LINE=637.36 INV=633.86 (10" DIP (N)E) INV=632.86 (10" DIP (S)E) (NO OTHER PIPES VISIBLE-LONG BARREL, HARD TO SEE)	

WATERMAIN STRUCTURES

6 EX VALVE VAULT RIM=638.02 UNABLE TO OPEN	7 EX VALVE VAULT RIM=637.24 TOP OF 8" PIPE=630.39 FULL OF WATER
8 EX VALVE VAULT RIM=637.11 TOP OF 8" PIPE=629.91	

- 2 SANITARY STRUCTURE NUMBER
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- 5 WATERMAIN STRUCTURE NUMBER

622 GRACELAND AVE. APARTMENTS
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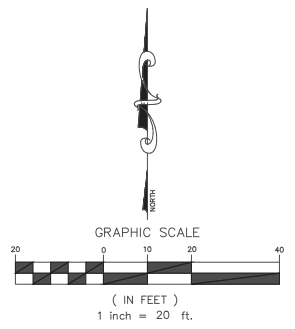
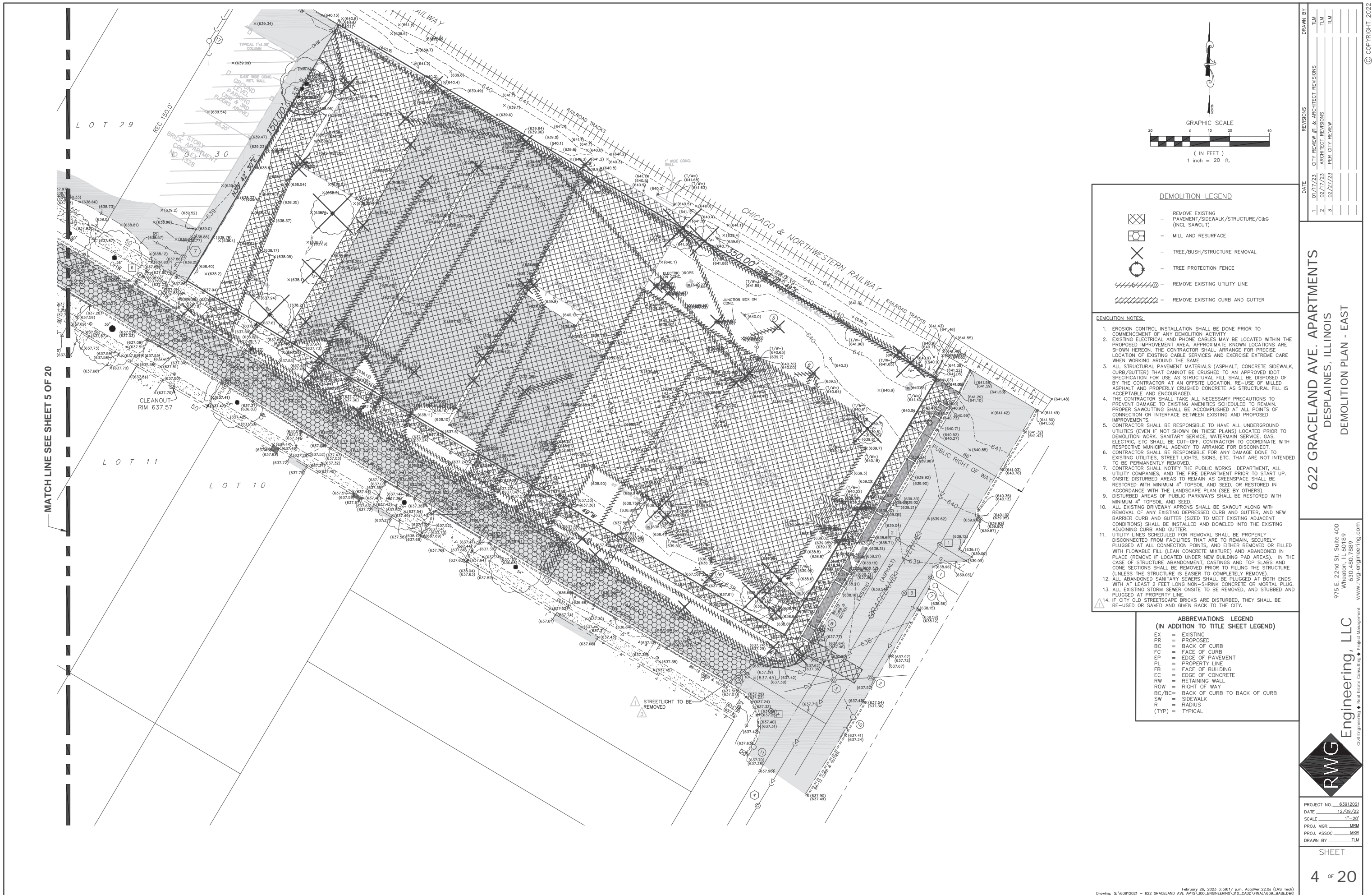


PROJECT NO. 63912021
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 SCALE 1"=20'
 PROJ. MGR. MEM
 PROJ. ASSOC. MKR
 DRAWN BY. TLM

SHEET
3 OF 20

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DEMOLITION LEGEND

	REMOVE EXISTING PAVEMENT/SIDEWALK/STRUCTURE/C&G (INCL. SAWCUT)
	MILL AND RESURFACE
	TREE/BUSH/STRUCTURE REMOVAL
	TREE PROTECTION FENCE
	REMOVE EXISTING UTILITY LINE
	REMOVE EXISTING CURB AND GUTTER

- DEMOLITION NOTES:**
- EROSION CONTROL INSTALLATION SHALL BE DONE PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
 - EXISTING ELECTRICAL AND PHONE CABLES MAY BE LOCATED WITHIN THE PROPOSED IMPROVEMENT AREA. APPROXIMATE KNOWN LOCATIONS ARE SHOWN HEREON. THE CONTRACTOR SHALL ARRANGE FOR PRECISE LOCATION OF EXISTING CABLE SERVICES AND EXERCISE EXTREME CARE WHEN WORKING AROUND THE SAME.
 - ALL STRUCTURAL PAVEMENT MATERIALS (ASPHALT, CONCRETE SIDEWALK, CURB/GUTTER) THAT CANNOT BE CRUSHED TO AN APPROVED IDOT SPECIFICATION FOR USE AS STRUCTURAL FILL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN OFFSITE LOCATION. RE-USE OF MILLED ASPHALT AND PROPERLY CRUSHED CONCRETE AS STRUCTURAL FILL IS ACCEPTABLE AND ENCOURAGED.
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 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES, STREET LIGHTS, SIGNS, ETC. THAT ARE NOT INTENDED TO BE PERMANENTLY REMOVED.
 - CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT, ALL UTILITY COMPANIES, AND THE FIRE DEPARTMENT PRIOR TO START UP.
 - ONSITE DISTURBED AREAS TO REMAIN AS GREENSPACE SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND SEED, OR RESTORED IN ACCORDANCE WITH THE LANDSCAPE PLAN (SEE BY OTHERS).
 - DISTURBED AREAS OF PUBLIC PARKWAYS SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND SEED.
 - ALL EXISTING DRIVEWAY APRONS SHALL BE SAWCUT ALONG WITH REMOVAL OF ANY EXISTING DEPRESSED CURB AND GUTTER, AND NEW BARRIER CURB AND GUTTER (SIZED TO MEET EXISTING ADJACENT CONDITIONS) SHALL BE INSTALLED AND DOWELED INTO THE EXISTING ADJOINING CURB AND GUTTER.
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 - IF CITY OLD STREETScape BRICKS ARE DISTURBED, THEY SHALL BE RE-USED OR SAVED AND GIVEN BACK TO THE CITY.

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(IN ADDITION TO TITLE SHEET LEGEND)**

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622 GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS
DEMOLITION PLAN - EAST

975 E. 22nd St., Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com



PROJECT NO. 63912021
 DATE 12/09/22
 SCALE 1"=20'
 PROJ. MGR. MRM
 PROJ. ASSOC. MCB
 DRAWN BY TLM

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4 of 20

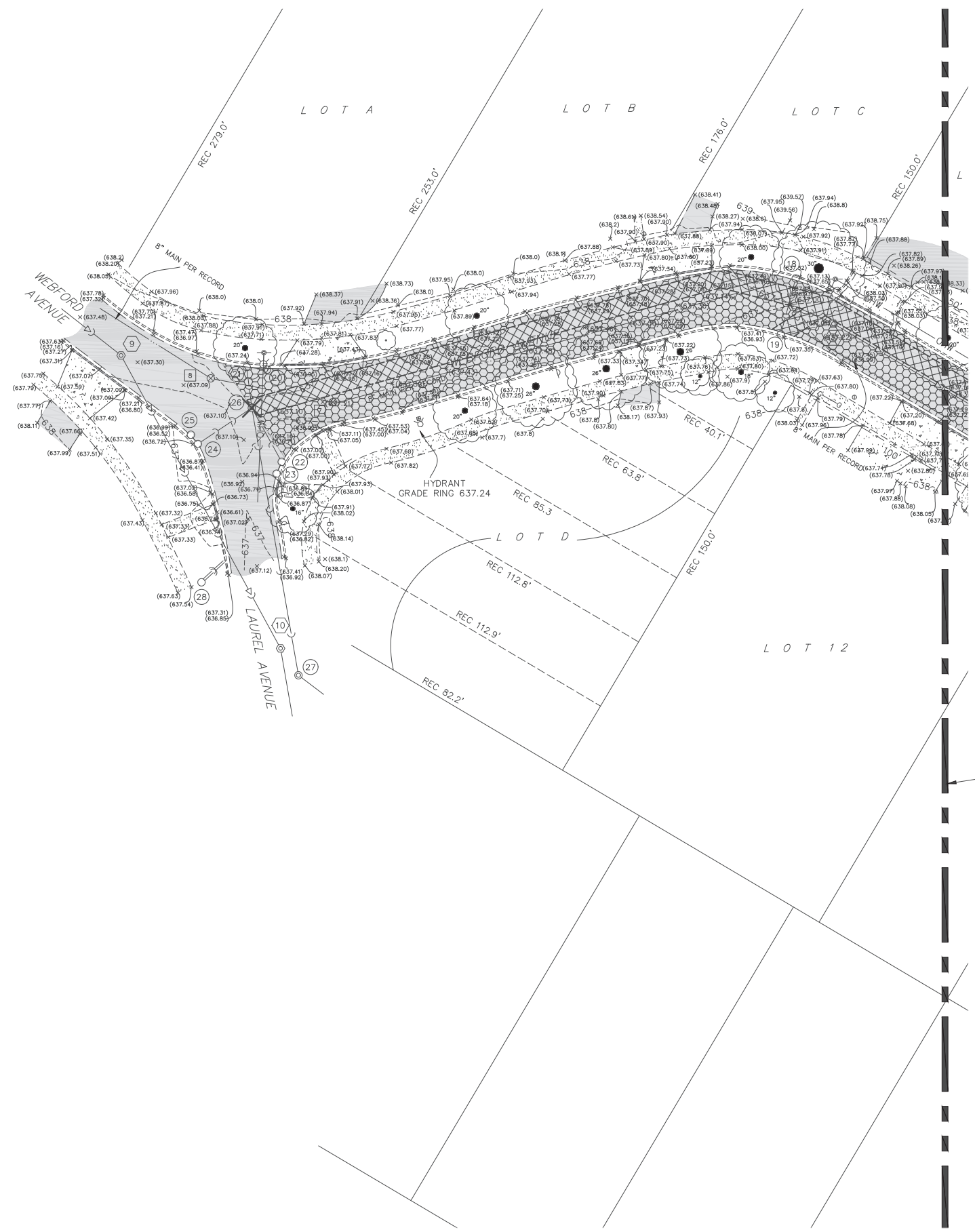
REVISIONS

DATE	CITY REVIEW #1 & ARCHITECT REVISIONS	TLM
01/17/23	1	TLM
02/17/23	2	TLM
02/27/23	3	TLM

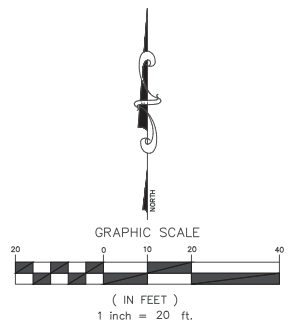
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DATE 02/27/23

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MATCH LINE SEE SHEET 4 OF 20



DEMOLITION LEGEND	
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02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

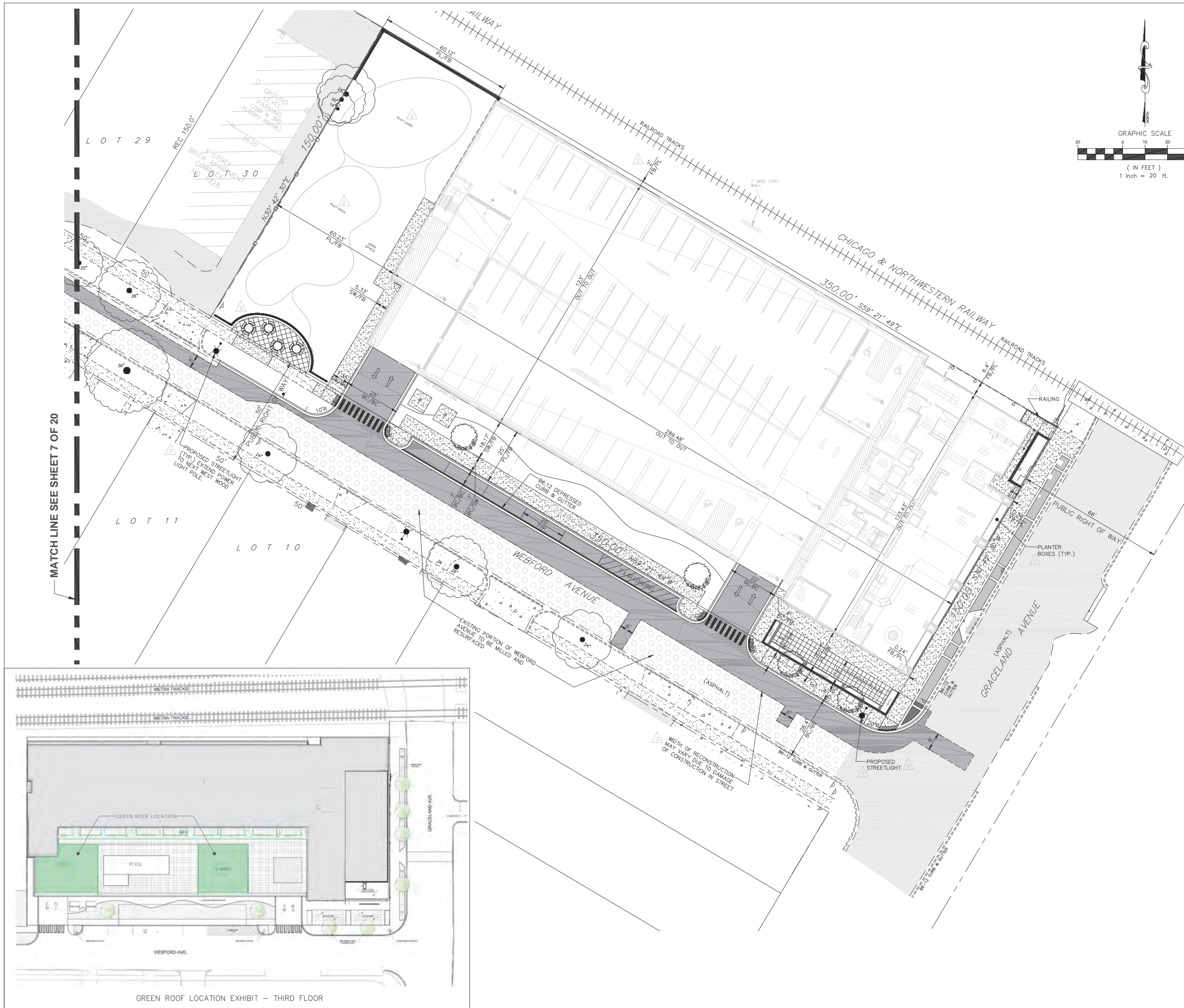
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PROJECT NO.	63912021
DATE	12/09/22
SCALE	1"=20'
PROJ. MGR.	MRM
PROJ. ASSOC.	MKB
DRAWN BY	TLM

SHEET
5 of 20



- SITE GEOMETRIC AND PAVING NOTES:**
- SIDEWALK RAMPS WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
 - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B6.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
 - UNLESS OTHERWISE NOTED, ALL CURB RADII ARE 4' TO BACK OF CURB.
 - ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR SITE) PLAT PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED SEPTEMBER 19, 2022.
 - BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
 - SPECIFICATIONS AND DETAILS.
 - THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 - ALL STRUCTURAL AND ARCHITECTURAL DESIGN DATA FOR THE MASONRY WALLED TRASH ENCLOSURES ARE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. REFER TO THE ARCHITECTURAL PLANS FOR ALL DETAILS PERTAINING TO SAME.
 - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PARKING STALL (EXCEPT FOR HC) MARKING COLOR IS WHITE. ALL ON-SITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH IDOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALLED WITH 3" SQUARE ALUMINUM POSTS WITH A BAKED ON ENAMEL FINISH. SET 1" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.
 - ALL STREETSCAPE BRICKS THAT ARE REMOVED & NOT RE-USED, SHALL BE RETURNED TO THE CITY.
 - PEDESTRIAN WARNING DEVICES SHALL BE PLACED AT BOTH ENTRANCES TO PARKING GARAGE.

SITE DATA:

TOTAL SITE SIZE	= 52,500 S.F. (1,205 AC)
EXISTING SITE CONDITIONS:	
EXISTING BUILDING/PAVT/SW	= 39,641 S.F.
EXISTING GREENSPACE	= 12,859 S.F.
EXISTING CONDITION IMPERVIOUS AREA	= 39,641 S.F.
PROPOSED SITE CONDITIONS:	
PROPOSED BUILDING/PAVT/SW	= 36,591 S.F.
PROPOSED GREENSPACE	= 12,579 S.F.
PROPOSED GREEN ROOF	= 3,330 S.F.
PROPOSED CONDITION IMPERVIOUS AREA	= 36,591 S.F.

VOLUME CONTROL STORAGE SUMMARY

VOLUME CONTROL STORAGE REQUIRED=	0.0700 AC-FT
VOLUME CONTROL STORAGE PROVIDED=	0.0783 AC-FT
STORM TECH SYSTEM=	2922.0 CF
WV TOTAL STORM TECH=	0.0671 AC-FT
GREEN ROOF 7" DEPTH: 0.25 VOID POROSITY	
GREEN ROOF =	3,330 SF = 485.6 CF (0.0112 AC-FT)
TOTAL VOLUME=	0.0783 AC-FT
SEASONAL HIGH GROUND WATER LEVEL= (±) 10' DEEP ON TSC SOIL BORINGS DATED DECEMBER 2021.	

SURFACE IMPROVEMENT LEGEND:

	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE
	NEW ASPHALT PAVEMENT *
	1.5" - HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
	BITUMINOUS TACK COAT (0.05 GAL/SY)
	3.5" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50
	BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY)
	10" AGGREGATE BASE COURSE CA-6, TYPE B
	* FOR PAVEMENT PATCHING CROSS SECTION, SEE CITY DETAILS
	ASPHALT MILLING & RESURFACING
	1.5" SURFACE COURSE MILL AND RESURFACE WITH HOT-MIX ASPHALT SURFACE COURSE, MIX "C", N50
	CONCRETE SIDEWALKS
	4" - PCC SIDEWALK (4,000 PSI)
	4" - AGGREGATE BASE COURSE TYPE B, CA-6
	PROPOSED B6.12 CONCRETE CURB AND GUTTER
	PROPOSED REVERSE PITCH B6.12 CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING DEPRESSED CURB AND GUTTER

ABBREVIATIONS LEGEND (IN ADDITION TO TITLE SHEET LEGEND)

EX	=	EXISTING
PR	=	PROPOSED
BC	=	BACK OF CURB
FC	=	FACE OF CURB
EP	=	EDGE OF PAVEMENT
PL	=	PROPERTY LINE
FB	=	FACE OF BUILDING
FW	=	FACE OF WALK (SIDEWALK)
ROW	=	RIGHT OF WAY
BC/BC	=	BACK OF CURB TO BACK OF CURB
SW	=	SIDEWALK
R	=	RADIUS
RW	=	RETAINING WALL
(TYP)	=	TYPICAL

DATE	REVISIONS	DRAWN BY
01/17/23	CITY REVIEW #1 & ARCHITECT REVISIONS	TLM
02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

622 GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS
SITE GEOMETRIC AND PAVING PLAN - EAST

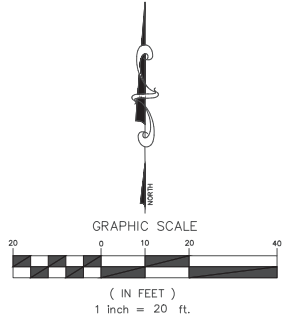
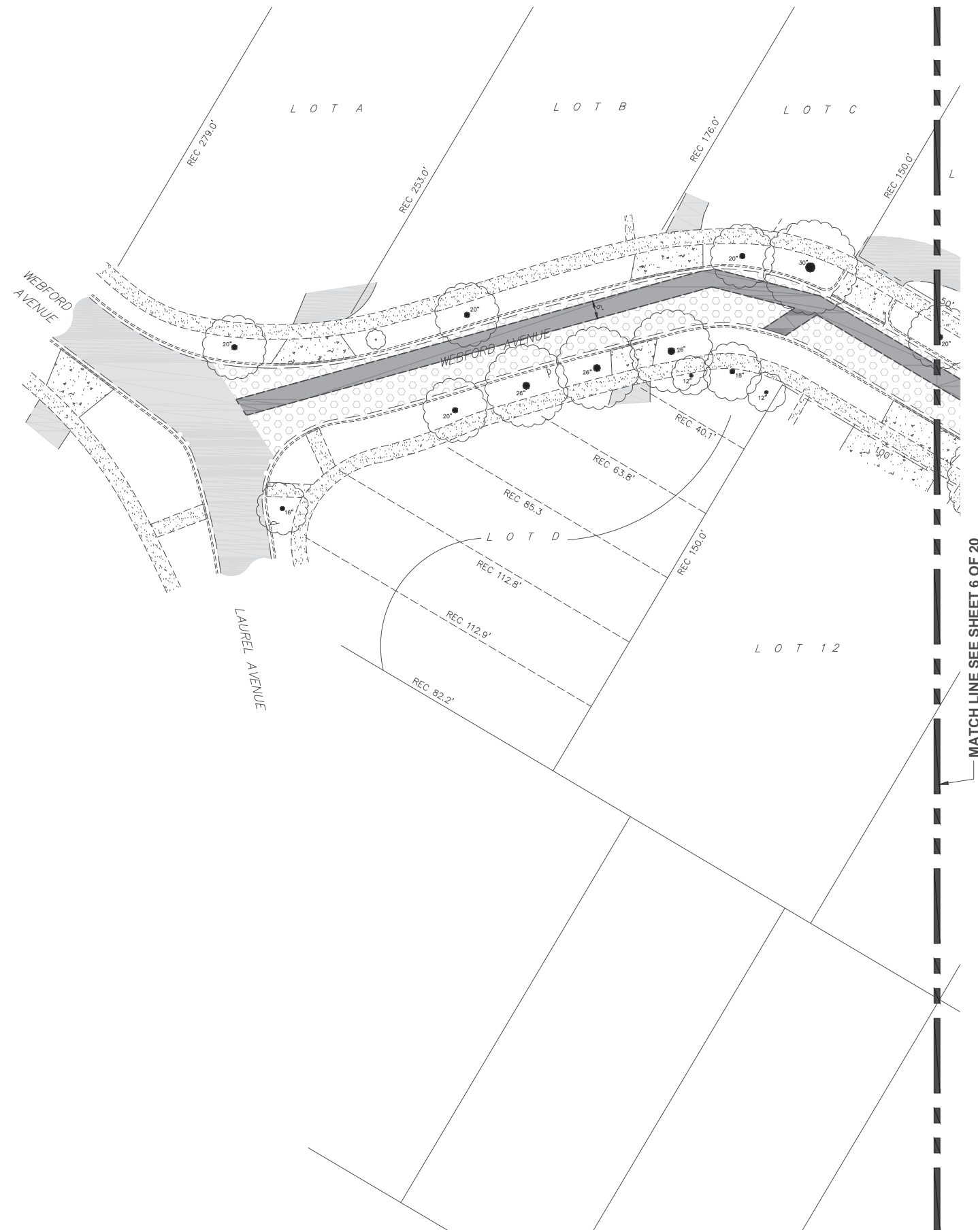
Engineering, LLC
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975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

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PROJECT NO. 63912021
 DATE 12/09/22
 SCALE 1"=20'
 PROJ. MGR. MRM
 PROJ. ASSOC. MKR
 DRAWN BY TLM

March 03, 2023 3:32:52 p.m. Add(1/22/23) (LMS Tech)
 Drawing: S:\63912021 - 622 GRACELAND AVE APPTS\300_ENGINEERING\310_CADD\FINAL\639_BASE_CITY.DWG



- SITE GEOMETRIC AND PAVING NOTES.**
1. SIDEWALK RAMP WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
 3. UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B6.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
 4. UNLESS OTHERWISE NOTED, ALL CURB RADII ARE 4' TO BACK OF CURB.
 5. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR SITE) PLAT PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED SEPTEMBER 19, 2022.
 6. BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 7. IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
 8. SPECIFICATIONS AND DETAILS.
 9. THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 10. UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PARKING STALL (EXCEPT FOR HC) MARKING COLOR IS WHITE. ALL ON-SITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH IDOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
 11. PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALLED WITH 3" SQUARE ALUMINUM POSTS WITH A BAKED ON ENAMEL FINISH. SET 1" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.

SURFACE IMPROVEMENT LEGEND:

	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE
	NEW ASPHALT PAVEMENT * 1.5" - HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 BITUMINOUS TACK COAT (0.05 GAL/SY) 3.5" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY) 10" AGGREGATE BASE COURSE CA-6, TYPE B * FOR PAVEMENT PATCHING CROSS SECTION, SEE CITY DETAILS
	ASPHALT MILLING & RESURFACING 1.5" - SURFACE COURSE MILL AND RESURFACE WITH HOT-MIX ASPHALT SURFACE COURSE, MIX "C", N50
	CONCRETE SIDEWALKS 4" - PCC SIDEWALK (4,000 PSI) 4" - AGGREGATE BASE COURSE TYPE B, CA-6
	PROPOSED B6.12 CONCRETE CURB AND GUTTER
	PROPOSED REVERSE PITCH B6.12 CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING DEPRESSED CURB AND GUTTER

**ABBREVIATIONS LEGEND
(IN ADDITION TO TITLE SHEET LEGEND)**

EX	EXISTING
PR	PROPOSED
BC	BACK OF CURB
FC	FACE OF CURB
EP	EDGE OF PAVEMENT
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FW	FACE OF WALK (SIDEWALK)
ROW	RIGHT OF WAY
BC/BC	BACK OF CURB TO BACK OF CURB
SW	SIDEWALK
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RW	RETAINING WALL
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**622 GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS
SITE GEOMETRIC AND PAVING PLAN - WEST**

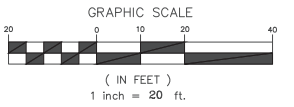
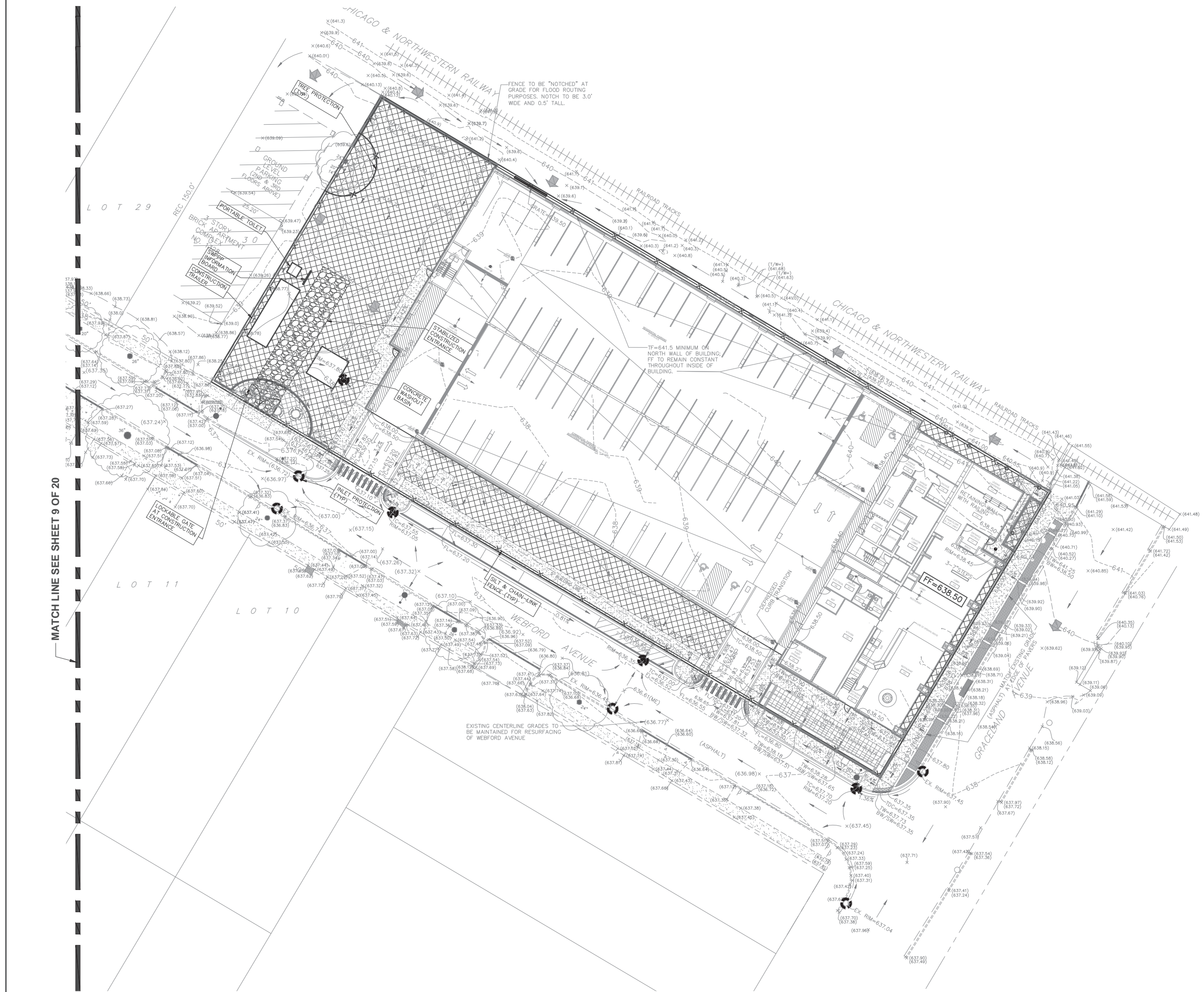
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DATE 12/09/22
SCALE 1"=20'
PROJ. MGR. MRM
PROJ. ASSOC. MKR
DRAWN BY TLM

SHEET
7 OF 20

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- SOIL EROSION AND SEDIMENT CONTROL NOTES:**
1. THE CONTRACTOR AND OWNER/DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS OF NPDES PERMIT 1410. A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ONSITE AND MAINTAINED CURRENT.
 2. VEGETATIVE AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH SPECIFICATIONS AS OUTLINED IN THE ILLINOIS URBAN MANUAL.
 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND FUNCTIONAL THROUGHOUT THE CONSTRUCTION PROJECT (MAINTENANCE AND/OR REPLACEMENT COSTS IS INCIDENTAL).
 4. PERIMETER SILT FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CLEARING, OR GRADING OPERATIONS.
 5. EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT COMPLIANCE WITH CONSTRUCTION SEQUENCE (SEE SCHEDULE).
 6. ALL STORM WATER RUNOFF SHALL BE DIVERTED INTO SEDIMENT BASINS AND/OR DRAINAGE DITCHES WHICH SHALL BE CONSTRUCTED AT THE ONSET OF GRADING OPERATIONS. ALL SITE RUNOFF SHALL BE ROUTED THROUGH SAID TRAPS AND SILTATION CONTROL DEVICES PRIOR TO DISCHARGE DOWNSTREAM/OFFSITE.
 7. DISTURBED AREAS SHALL BE STABILIZED VIA SEEDING WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE UNLESS THE DISTURBANCE WILL COMMENCE AGAIN WITHIN FOURTEEN (14) DAYS. THE TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 64 LB/AC.
 8. TOPSOIL STOCKPILES SHALL BE SEEDED WITHIN SEVEN (7) DAYS OF COMPLETION AND SURROUNDED WITH SILT FENCE FOR EROSION CONTROL.
 9. FILTER FABRIC OR INLET PROTECTION FILTER BASKETS SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE. FABRIC SHALL BE CUT LARGE ENOUGH TO PROVIDE A 2" SAG TO COLLECT SEDIMENT.
 10. ALL DEWATERING OPERATIONS SHALL BE DISCHARGED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DISCHARGE DIRECTLY INTO FIELD TILE OR STORM SEWER IS PROHIBITED.
 11. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING EQUIPMENT SPECIFICALLY DESIGNED FOR THAT PURPOSE.
 12. GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN OPERATING CONDITION THROUGHOUT CONSTRUCTION TO PREVENT SEDIMENT AND DEBRIS FROM BEING TRACKED ONTO PUBLIC ROADWAYS. SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED ON A DAILY BASIS.
 13. LOOSE MATERIAL DEPOSITED IN THE FLOW LINE OF ANY GUTTER OR DRAINAGE DITCH SHALL BE REMOVED ON A DAILY BASIS.
 14. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES OR GREATER (OR THE EQUIVALENT SNOWFALL). REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE IMMEDIATE.
 15. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

PLAN ABBREVIATION LEGEND (IN ADDITION TO TITLE SHEET)		EROSION CONTROL LEGEND	
P	= PAVEMENT	○	STORM DRAINAGE STRUCTURE
R	= RIM (OR RADIUS)	○	INLET PROTECTION
TC	= TOP OF CURB	○	TREE PROTECTION FENCE
SW	= WALK (OR TOP OF WALK)	○	SILT FENCE & CHAIN-LINK FENCE
FF	= FINISHED FLOOR	○	TEMPORARY SEEDING AND EROSION CONTROL BLANKET (LANDSCAPING/SOD TO FOLLOW)
FL	= FLOW LINE		
TW	= TOP OF WALL ELEV		
BW	= BOTTOM OF WALL (GRADE) ELEV		
TDC	= TOP OF DEPRESSED CURB		

NOTE:
SEE SHEET #9 FOR DETAILS

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2. 02/17/23	ARCHITECT REVISIONS	TLM
3. 02/27/23	PER CITY REVIEW	TLM

**622 GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN - EAST**

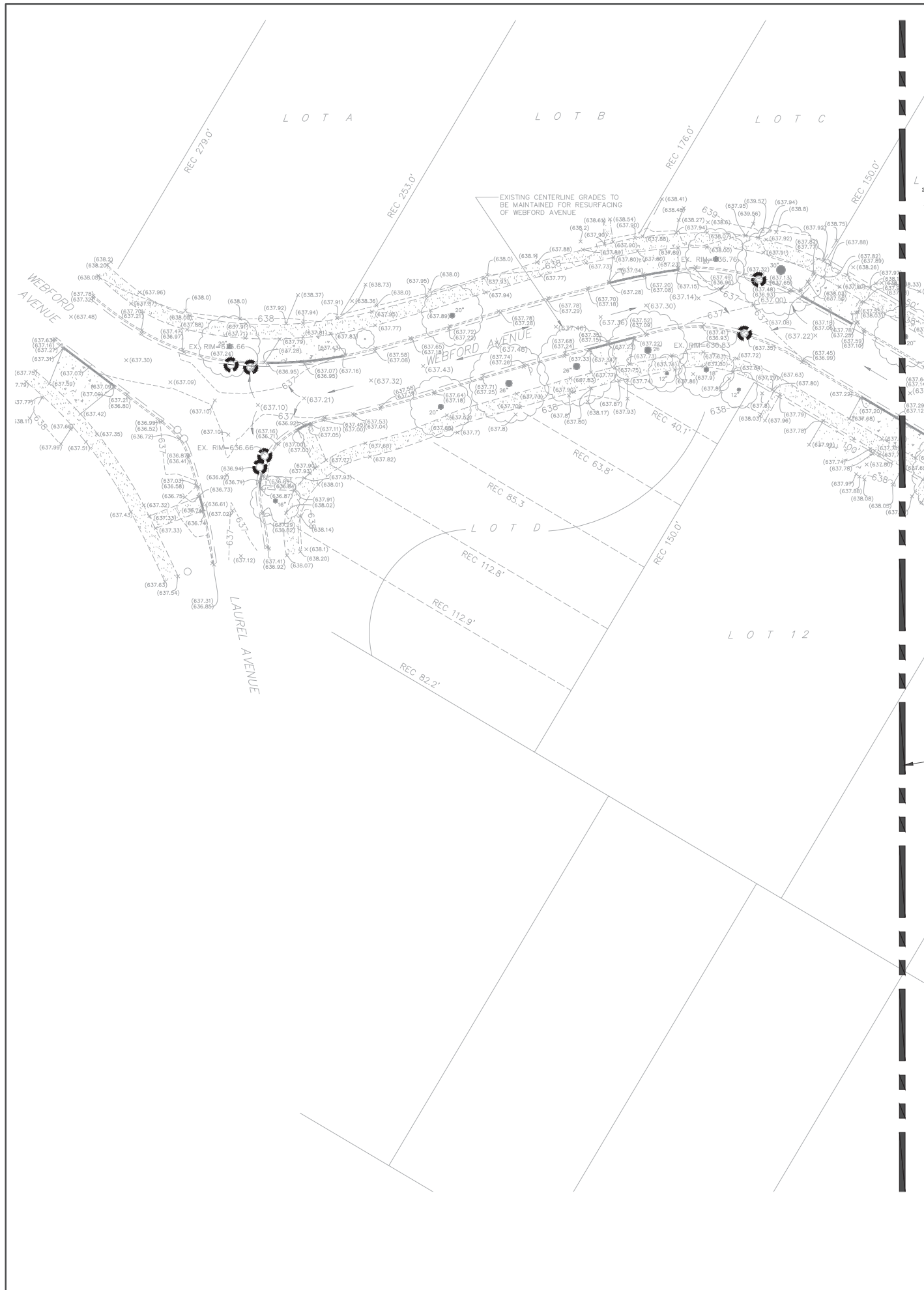
975 E. 22nd St., Suite 400
Whiteland, IL 62454
662-999-1199
www.rwg-engineering.com

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Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO.	63912021
DATE	12/09/22
SCALE	1"=20'
PROJ. MGR.	MEM
PROJ. ASSOC.	MKR
DRAWN BY	TLM

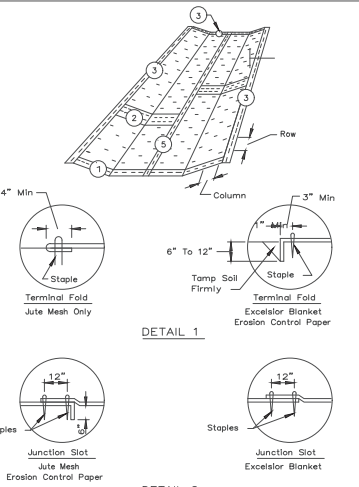
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8 OF 20

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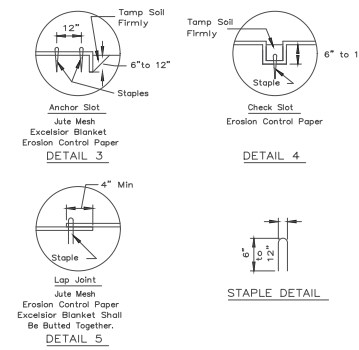
MATCH LINE SEE SHEET 8 OF 20

EROSION BLANKET PLAN



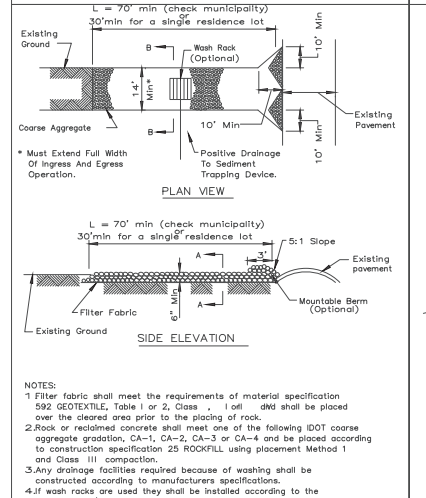
Project	Date	Approved
Design	Date	
Checked	Date	
Approved	Date	

EROSION BLANKET PLAN

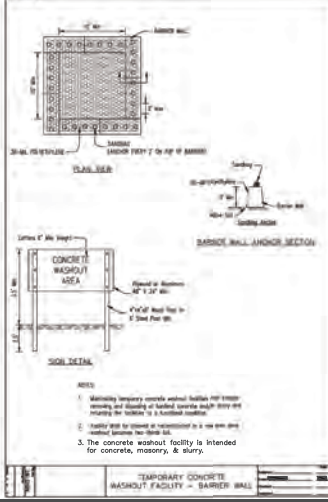


NOTES:
 1. On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
 2. Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 2' apart. Approximately 175 staples are required per 4' x 225' roll of material and 125 staples are required per 4' x 150' roll of material.
 3. Erosion control material shall be placed loosely over ground surface. Do not stretch.
 4. All term ends and transverse laps shall be stapled at approximately 12' intervals.

STABILIZED CONSTRUCTION ENTRANCE PLAN

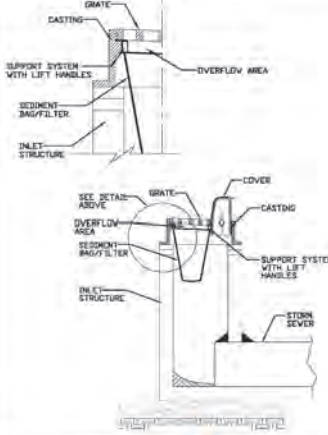


NOTES:
 1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class 1, 100 gsm shall be placed over the cleared area prior to the placing of rock.
 2. Rock or reclaimed concrete shall meet one of the following IDOT course aggregate gradations, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
 3. Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.



SPECIAL CONCRETE WASHOUT NOTE:
 CONCRETE WASHOUT SHALL BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHALL NOT BE ALLOWED TO ENTER STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ALL WASTE SHALL BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHALL BE DESIGNATED WITH PROPER SIGNAGE (SEE PLAN).

INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION



Project	Date	Approved
Design	Date	
Checked	Date	
Approved	Date	

SILT FENCE
 2"x2"x36" FENCE POSTS 10' O/C WITH WOVEN WIRE FENCE (1 1/2 GAGE MIN. MESH SPACING) OR 2" O/C WITHOUT WIRE FENCE.
 FILTER CLOTH (BURLAP, MESH 100K, STABILINA T140N OR APPROVED EQUIVA) TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES OR SECURED TO WOVEN WIRE FENCE (IF USED) WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 SILT FENCE SHALL BE INSTALLED AND INSPECTED BY HANOVER TOWN ENGINEERING DEPARTMENT PERSONNEL PRIOR TO ANY OTHER CONSTRUCTION.
 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
 TOPSOIL STOCKPILES SHALL HAVE DIVERSION DITCHES PLACED AROUND THEM WITH A SILT TRAP BUILT AT THE LOW POINT OF THE DITCHES.
 SILT FENCE TO BE PROVIDED AROUND ENTIRE PERIMETER OF ALL WETLAND AREAS PRIOR TO MASS EARTHWORK START.
 MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.

SOIL EROSION AND SEDIMENT CONTROL NOTES:
 1. THE CONTRACTOR AND OWNER/DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS OF NPDES PERMIT ILR10. A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ONSITE AND MAINTAINED CURRENT.
 2. VEGETATIVE AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH SPECIFICATIONS AS OUTLINED IN THE "ILLINOIS URBAN MANUAL."
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 6. ALL STORM WATER RUNOFF SHALL BE DIVERTED INTO SEDIMENT BASINS AND/OR DRAINAGE DITCHES WHICH SHALL BE CONSTRUCTED AT THE ONSET OF GRADING OPERATIONS. ALL SITE RUNOFF SHALL BE ROUTED THROUGH SAID TRAPS AND SILTATION CONTROL DEVICES PRIOR TO DISCHARGE DOWNSTREAM/OFFSITE.
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 9. ALL DEWATERING OPERATIONS SHALL BE DISCHARGED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DISCHARGE DIRECTLY INTO FIELD TILE OR STORM SEWER IS PROHIBITED.
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SOIL EROSION CONSTRUCTION SCHEDULE:
 1. INSTALL SEDIMENT CONTROL MEASURES
 2. SITE DEMOLITION WORK
 3. SITE CONSTRUCTION WORK
 4. INSTALL CANOPY UNDERDRAIN SYSTEM & OUTFALL SEWER PREPARE SUBGRADE FOR FLOOR SLAB & PAINT AREAS
 5. INSTALL BASE COURSE MATERIALS
 6. INSTALL NEW CURB, SIDEWALK, CONCRETE SLABS
 7. INSTALL NEW ASPHALT PAVEMENT & RE-STRIPE
 8. PERMANENT VEGETATIVE STABILIZATION OF DISTURBED GREENSPACE
 9. SPREAD TOPSOIL IN NEW ISLAND
 10. MALCH/SEED AS SPECIFIED
 11. CLEANUP PREPARATION
 12. REMOVE INLET BASKETS/BARRIER FILTERS

EROSION CONTROL LEGEND
 STORM DRAINAGE STRUCTURE
 INLET PROTECTION
 TREE PROTECTION FENCE
 SILT FENCE & CHAIN-LINK FENCE
 TEMPORARY SEEDING AND EROSION CONTROL BLANKET (LANDSCAPING/SOD TO FOLLOW)

PLAN ABBREVIATION LEGEND (IN ADDITION TO TITLE SHEET)
 P = PAVEMENT
 R = RIM (OR RADIUS)
 TC = TOP OF CURB
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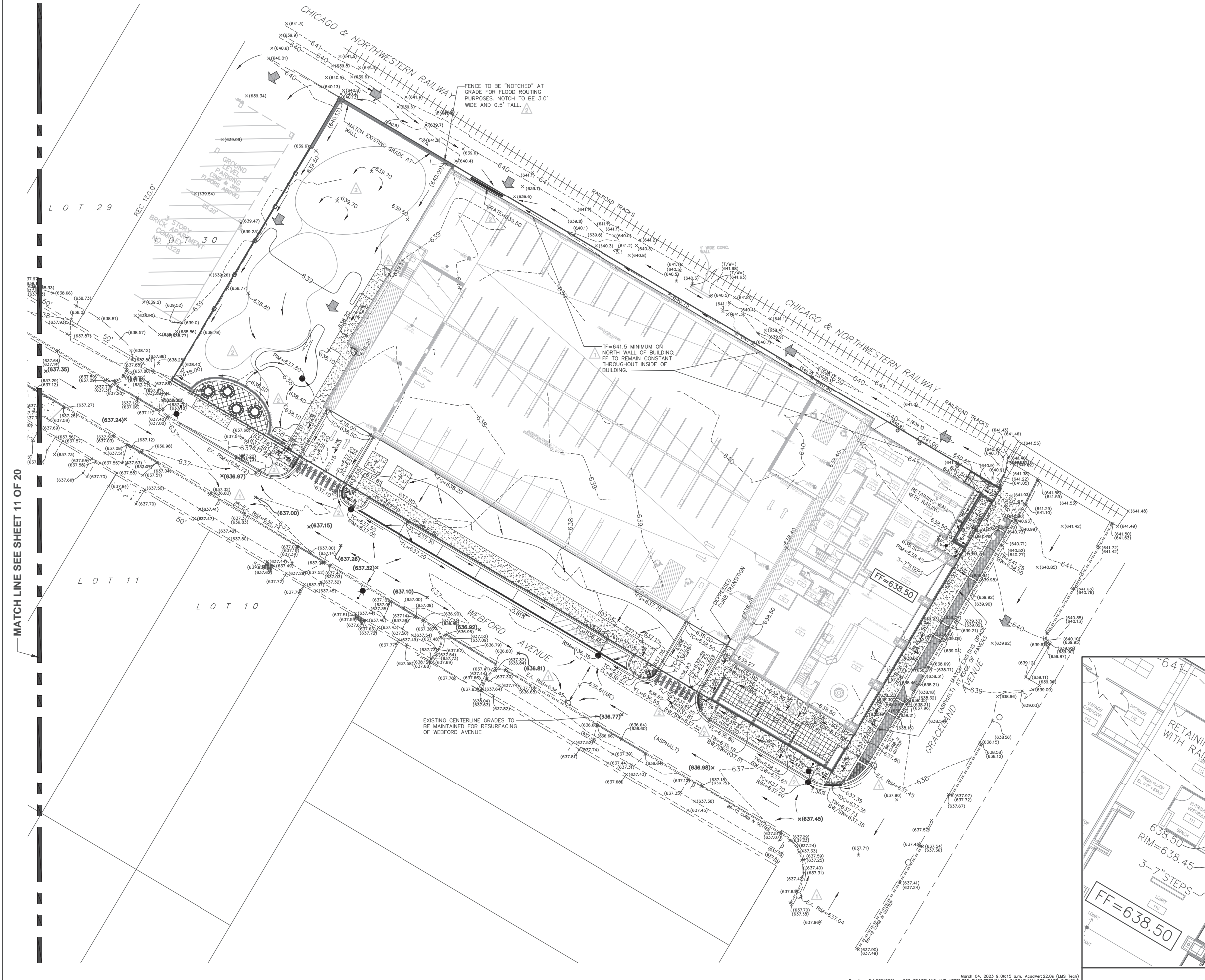
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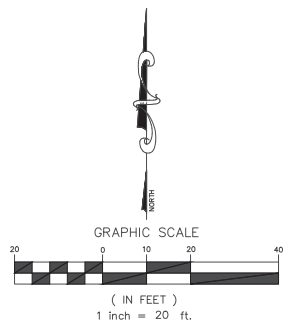
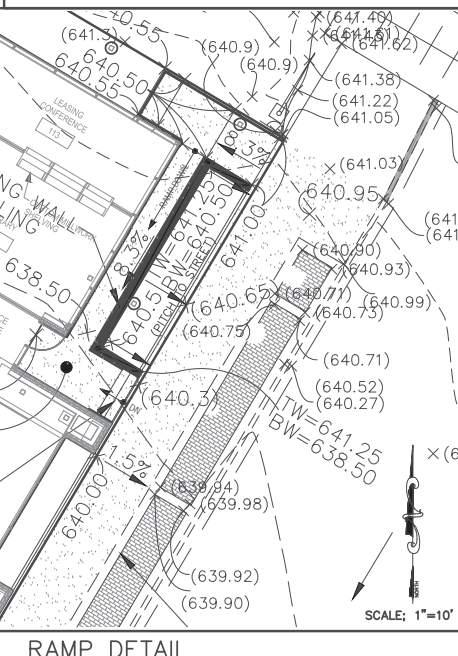
GRADING LEGEND

	EXISTING	PROPOSED
CONCRETE HEADWALL	○	◐
PRECAST FLARED END SECTION	○	◑
STORM DRAINAGE STRUCTURE	○	◒
RETAINING WALL	—	—
CONTOUR	—	—
5' CONTOUR	—	—
SPOT ELEVATION	x	x
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	→	→
SLOPE BANK	—	—
RR-3 ROCK RIP-RAP	—	—

- GRADING NOTES:**
1. PAVEMENT SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
 2. HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2.00%.
 3. UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER PROPERTY LINES.
 4. THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS (AND SWPPP DOCUMENTS IF APPLICABLE) FOR THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING OPERATIONS.
 5. UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED PAVEMENT SURFACE GRADE, TOP OF CURB GRADE, OR FINISHED GROUND ELEVATION AS APPLICABLE.
 6. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SWALE (AS APPLICABLE).
 7. WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH.
 8. SLOPES ACROSS OPEN SPACE AREAS SHALL NOT EXCEED 3:1
 9. PAVEMENT SLOPES SHALL NOT EXCEED 8%.
 10. ALL ROAD DRAINAGE ALONG WEBFORD AVE. TO BE DISCONNECTED FROM COMBINED SEWER & CONNECTED TO STORM SEWER.

PLAN ABBREVIATION LEGEND
(IN ADDITION TO TITLE SHEET)

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 3. PER CITY REVIEW

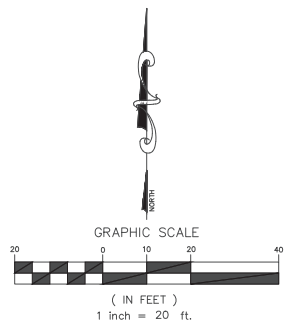
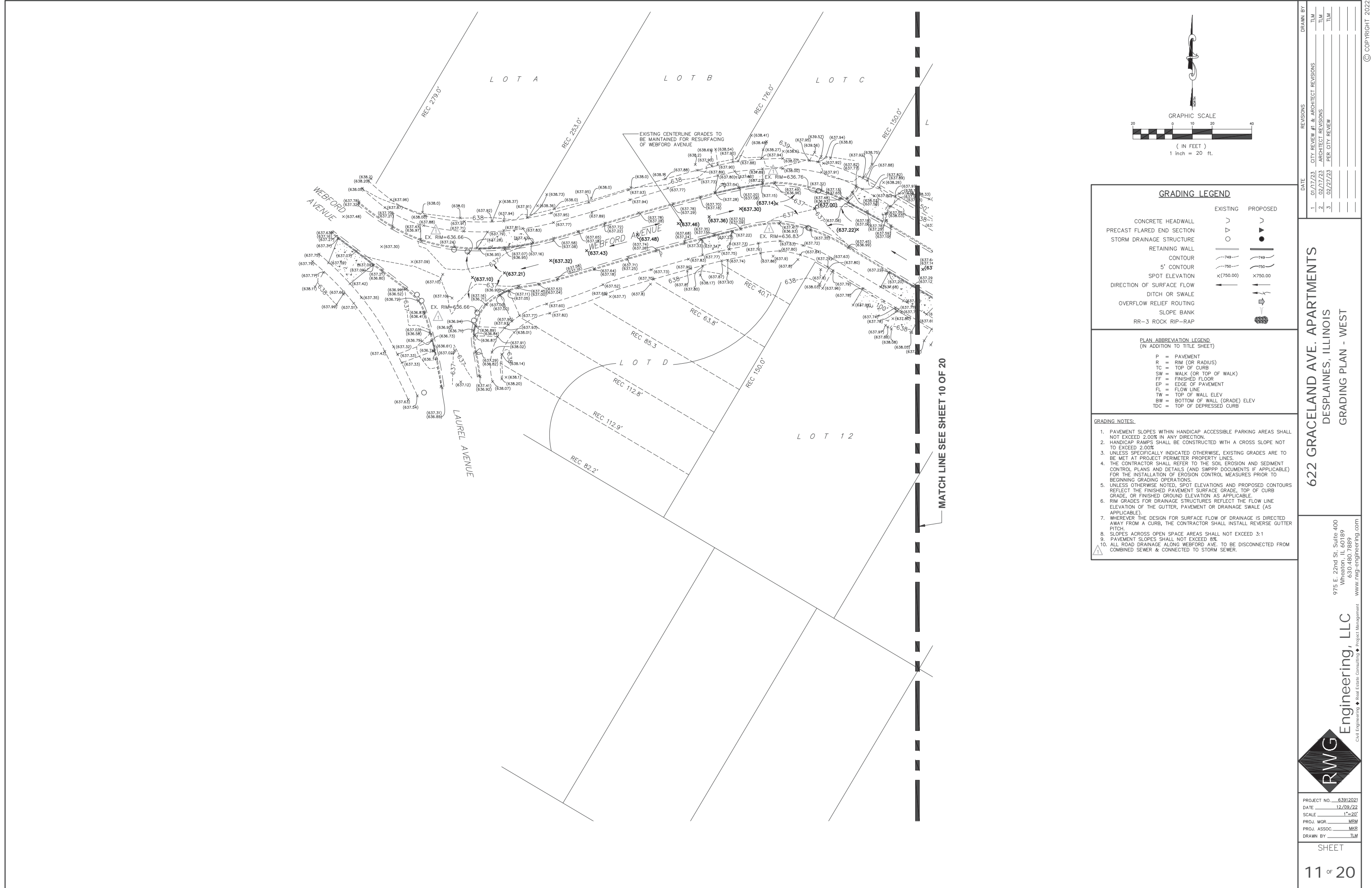
622 GRACELAND AVE. APARTMENTS
 DESPLAINES, ILLINOIS
 GRADING PLAN - EAST

975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO.: 63912021
 DATE: 12/29/22
 SCALE: 1"=20'
 PROJ. MOR.: MBM
 PROJ. ASSOC.: MBE
 DRAWN BY: TLM

SHEET 10 OF 20



GRADING LEGEND

	EXISTING	PROPOSED
CONCRETE HEADWALL	U	U
PRECAST FLARED END SECTION	▽	▽
STORM DRAINAGE STRUCTURE	○	●
RETAINING WALL	—	—
CONTOUR	~749	~749
5' CONTOUR	~750	~750
SPOT ELEVATION	x(750.00)	x(750.00)
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	→	→
SLOPE BANK	—	—
RR-3 ROCK RIP-RAP	—	—

PLAN ABBREVIATION LEGEND
(IN ADDITION TO TITLE SHEET)

P	=	PAVEMENT
R	=	RM (OR RADIUS)
TC	=	TOP OF CURB
SW	=	WALK (OR TOP OF WALK)
FF	=	FINISHED FLOOR
EP	=	EDGE OF PAVEMENT
FL	=	FLOW LINE
TW	=	TOP OF WALL ELEV
BW	=	BOTTOM OF WALL (GRADE) ELEV
TDC	=	TOP OF DEPRESSED CURB

- GRADING NOTES:**
- PAVEMENT SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
 - HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2.00%.
 - UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER PROPERTY LINES.
 - THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS (AND SWPPP DOCUMENTS IF APPLICABLE) FOR THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING OPERATIONS.
 - UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED PAVEMENT SURFACE GRADE, TOP OF CURB GRADE, OR FINISHED GROUND ELEVATION AS APPLICABLE.
 - RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SWALE (AS APPLICABLE).
 - WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH.
 - SLOPES ACROSS OPEN SPACE AREAS SHALL NOT EXCEED 3:1.
 - PAVEMENT SLOPES SHALL NOT EXCEED 8%.
 - ALL ROAD DRAINAGE ALONG WEBFORD AVE. TO BE DISCONNECTED FROM COMBINED SEWER & CONNECTED TO STORM SEWER.

DATE	REVISIONS	DRAWN BY
01/17/23	CITY REVIEW #1 & ARCHITECT REVISIONS	TLM
02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

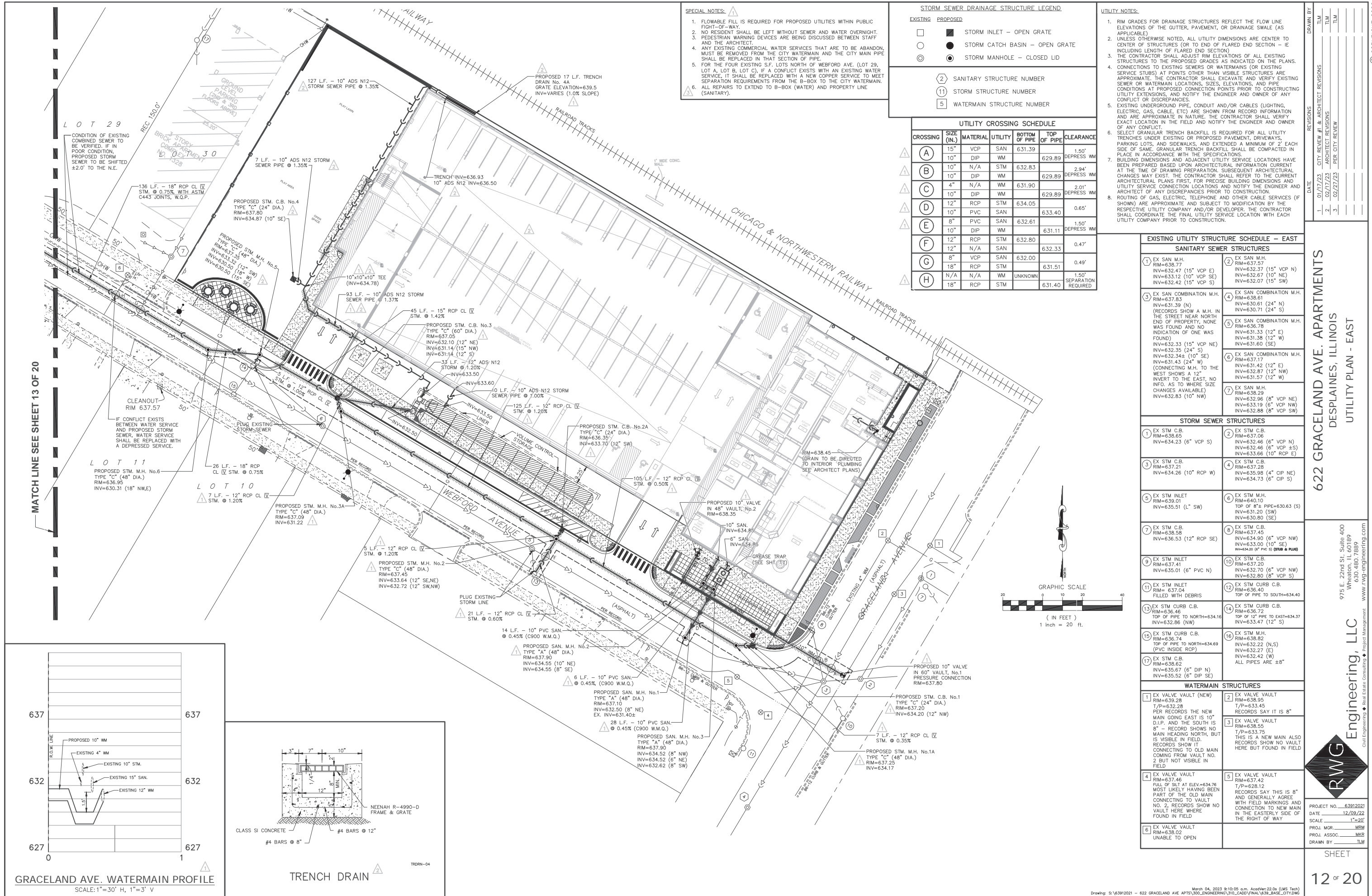
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SHEET
11 OF 20



- SPECIAL NOTES:**
1. FLOWABLE FILL IS REQUIRED FOR PROPOSED UTILITIES WITHIN PUBLIC RIGHT-OF-WAY.
 2. NO RESIDENT SHALL BE LEFT WITHOUT SEWER AND WATER OVERNIGHT.
 3. PEDESTRIAN WARNING DEVICES ARE BEING DISCUSSED BETWEEN STAFF AND THE ARCHITECT.
 4. ANY EXISTING COMMERCIAL WATER SERVICES THAT ARE TO BE ABANDONED, MUST BE REMOVED FROM THE CITY WATERMAIN AND THE CITY MAIN PIPE SHALL BE REPLACED IN THAT SECTION OF PIPE.
 5. FOR THE FOUR EXISTING S.F. LOTS NORTH OF WEBFORD AVE. (LOT 29, LOT A, LOT B, LOT C), IF A CONFLICT EXISTS WITH AN EXISTING WATER SERVICE, IT SHALL BE REPLACED WITH A NEW COPPER SERVICE TO MEET SEPARATION REQUIREMENTS FROM THE B-BOX TO THE CITY WATERMAIN.
 6. ALL REPAIRS TO EXTEND TO B-BOX (WATER) AND PROPERTY LINE (SANITARY).

STORM SEWER DRAINAGE STRUCTURE LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	◼	STORM INLET - OPEN GRATE
○	●	STORM CATCH BASIN - OPEN GRATE
○	●	STORM MANHOLE - CLOSED LID
②	②	SANITARY STRUCTURE NUMBER
⑪	⑪	STORM STRUCTURE NUMBER
⑤	⑤	WATERMAIN STRUCTURE NUMBER

UTILITY CROSSING SCHEDULE

CROSSING	SIZE (IN.)	MATERIAL	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
A	15"	VCP	SAN	631.39	629.89	1.50'
B	10"	DIP	WM	632.83	629.89	DEPRESS WM
C	4"	N/A	STM	631.90	629.89	2.01'
D	10"	DIP	WM	629.89	633.40	0.65'
E	8"	PVC	SAN	632.61	631.11	1.50'
F	10"	DIP	WM	632.80	632.33	0.47'
G	8"	VCP	SAN	632.00	631.51	0.49'
H	18"	RCP	STM	UNKNOWN	631.40	SEPARATION REQUIRED

- UTILITY NOTES:**
1. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT, OR DRAINAGE SWALE (AS APPLICABLE).
 2. UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - IE INCLUDING LENGTH OF FLARED END SECTION).
 3. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS. CONNECTIONS TO EXISTING SEWERS OR WATERMANS (OR EXISTING SERVICE STUBS) AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER OR WATERMAIN LOCATIONS, SIZES, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES.
 4. EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (LIGHTING, ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT.
 5. SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS, AND EXTENDED A MINIMUM OF 2' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
 6. BUILDING DIMENSIONS AND ADJACENT UTILITY SERVICE LOCATIONS HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE TIME OF DRAWING PREPARATION. SUBSEQUENT ARCHITECTURAL CHANGES EXIST. THE CONTRACTOR SHALL REFER TO THE CURRENT ARCHITECTURAL PLANS FIRST, FOR PRECISE BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTION LOCATIONS AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 7. ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.

EXISTING UTILITY STRUCTURE SCHEDULE - EAST

SANITARY SEWER STRUCTURES	
1 EX SAN M.H. RIM=638.77 INV=632.47 (15" VCP E) INV=633.12 (10" VCP SE) INV=632.42 (15" VCP S)	2 EX SAN M.H. RIM=637.57 INV=632.37 (15" VCP N) INV=632.67 (10" NE) INV=632.07 (15" SW)
3 EX SAN COMBINATION M.H. RIM=637.83 INV=631.39 (N) (RECORDS SHOW A M.H. IN THE STREET NEAR NORTH END OF PROPERTY, NONE WAS FOUND AND NO INDICATION OF ONE WAS FOUND) INV=632.33 (15" VCP NE) INV=632.35 (24" S) INV=632.34± (10" SE) INV=631.43 (43" W) (CONNECTING M.H. TO THE WEST SHOWS A 12" INVERT TO THE EAST, NO INFO. AS TO WHERE SIZE CHANGES AVAILABLE) INV=632.83 (10" NW)	4 EX SAN COMBINATION M.H. RIM=630.61 INV=630.71 (24" N) INV=630.71 (24" S)
5 EX SAN COMBINATION M.H. RIM=636.78 INV=631.33 (12" E) INV=631.38 (12" W) INV=631.60 (SE)	6 EX SAN COMBINATION M.H. RIM=637.17 INV=631.42 (12" E) INV=632.87 (12" NW) INV=631.57 (12" W)
7 EX SAN M.H. RIM=638.29 INV=632.96 (8" VCP NE) INV=633.19 (6" VCP NW) INV=632.88 (6" VCP SW)	
STORM SEWER STRUCTURES	
1 EX STM C.B. RIM=638.65 INV=634.23 (6" VCP S)	2 EX STM C.B. RIM=637.06 INV=632.46 (6" VCP N) INV=632.46 (6" VCP ±S) INV=633.66 (10" RCP E)
3 EX STM C.B. RIM=637.21 INV=634.26 (10" RCP W)	4 EX STM C.B. RIM=637.28 INV=635.98 (4" CIP NE) INV=634.73 (6" CIP S)
5 EX STM INLET RIM=639.01 INV=635.51 (1" SW)	6 EX STM M.H. RIM=640.10 TOP OF 8" PIPE=630.63 (S) INV=631.20 (SW) INV=630.80 (SE)
7 EX STM C.B. RIM=637.45 INV=636.53 (12" RCP SE)	8 EX STM C.B. RIM=637.20 INV=634.90 (6" VCP NW) INV=633.00 (10" SE) INV=634.20 (8" PVC S) (STUB & PLUG)
9 EX STM INLET RIM=637.41 INV=635.01 (6" PVC N)	10 EX STM C.B. RIM=637.20 INV=632.70 (6" VCP NW) INV=632.80 (8" VCP S)
11 EX STM INLET RIM=637.04 FILLED WITH DEBRIS	12 EX STM CURB C.B. RIM=636.40 TOP OF PIPE TO SOUTH=634.40
13 EX STM CURB C.B. RIM=636.46 TOP OF PIPE TO NORTH=634.16 INV=632.86 (NW)	14 EX STM CURB C.B. RIM=636.72 TOP OF PIPE TO EAST=634.37 INV=633.47 (12" S)
15 EX STM CURB C.B. RIM=636.74 TOP OF PIPE TO NORTH=634.69 (PVC INSIDE RCP)	16 EX STM M.H. RIM=638.82 INV=632.22 (N,S) INV=632.27 (E) INV=632.42 (W) ALL PIPES ARE ±8"
17 EX STM C.B. RIM=638.62 INV=635.67 (6" DIP N) INV=635.52 (6" DIP SE)	
WATERMAIN STRUCTURES	
1 EX VALVE VAULT (NEW) RIM=639.28 INV=638.95 T/P=632.28 PER RECORDS THE NEW MAIN GOING EAST IS 10" D.I.P. AND THE SOUTH IS 8" - RECORD SHOWS NO MAIN HEADING NORTH, BUT IS VISIBLE IN FIELD. RECORDS SHOW IT CONNECTING TO OLD MAIN COMING FROM VAULT NO. 2 BUT NOT VISIBLE IN FIELD	2 EX VALVE VAULT RIM=638.95 T/P=633.45 RECORDS SAY IT IS 8"
3 EX VALVE VAULT RIM=638.55 T/P=633.75 THIS IS A NEW MAIN ALSO RECORDS SHOW NO VAULT HERE BUT FOUND IN FIELD	
4 EX VALVE VAULT RIM=637.46 FULL OF SILT AT ELEV=634.76 MOST LIKELY HAVING BEEN PART OF THE OLD MAIN CONNECTING TO VAULT NO. 2. RECORDS SHOW NO VAULT HERE WHERE FOUND IN FIELD	5 EX VALVE VAULT RIM=637.42 T/P=628.12 RECORDS SAY THIS IS 8" AND GENERALLY AGREE WITH FIELD MARKINGS AND CONNECTION TO NEW MAIN IN THE EASTERLY SIDE OF THE RIGHT OF WAY
6 EX VALVE VAULT RIM=638.02 UNABLE TO OPEN	

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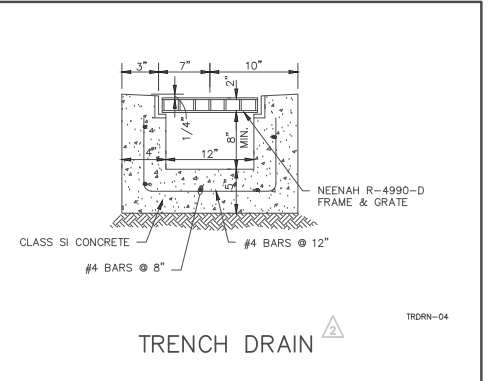
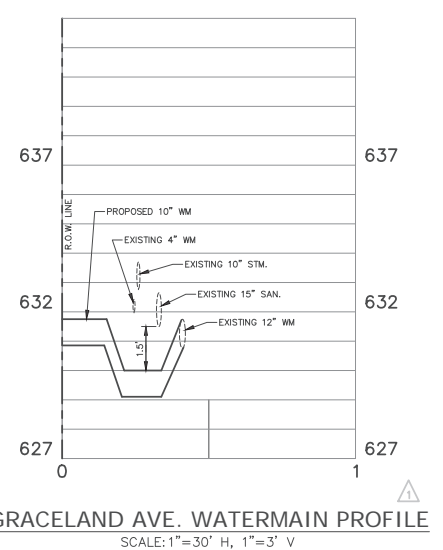


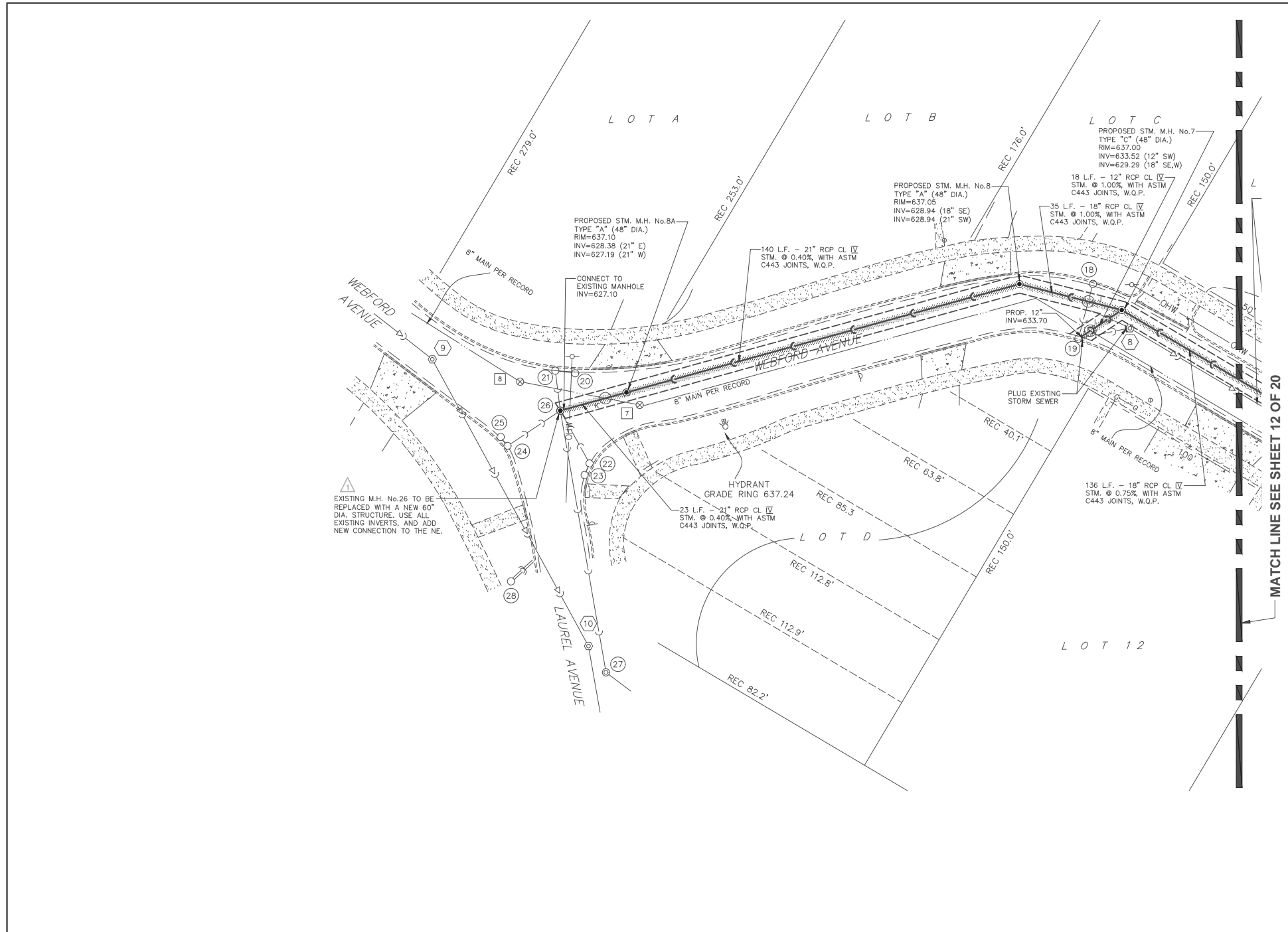
PROJECT NO. 63912021
DATE 12/08/23
SCALE 1"=20'
PROJ. MGR. MRM
PROJ. ASSOC. MKB
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SHEET

12 OF 20

MATCH LINE SEE SHEET 13 OF 20



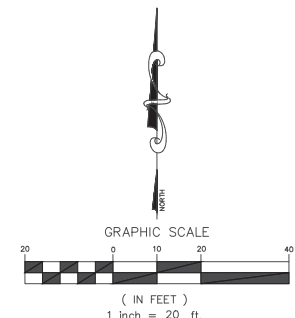


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MATCH LINE SEE SHEET 12 OF 20

STORM SEWER DRAINAGE STRUCTURE LEGEND

EXISTING	PROPOSED
□	■
○	●
⊙	⊗

(2) SANITARY STRUCTURE NUMBER
 (11) STORM STRUCTURE NUMBER
 (5) WATERMAIN STRUCTURE NUMBER

EXISTING UTILITY STRUCTURE SCHEDULE - WEST

SANITARY SEWER STRUCTURES	
(8) EX SAN COMBINATION M.H. RIM=637.20 INV=632.54 (8" DIP NW) INV=631.75 (12" RCP SE) INV=633.21 (12" RCP SW)	(9) EX SAN COMBINATION M.H. RIM=637.25 INV=631.33 (24" RCP NW) INV=631.25 (24" RCP SE)
(10) EX SAN COMBINATION M.H. RIM=637.39 INV=631.39 (24" RCP NW) INV=631.29 (24" RCP SE)	

STORM SEWER STRUCTURES

(18) EX STM C.B. RIM=636.76 TOP OF 8" PVC SW 634.76 (IN 12" RCP)	(19) EX STM C.B. RIM=636.83 INV=633.73 (12" RCP NNE) TOP OF 8" PVC SW 634.83 (IN 12" RCP) PROP. 12" INV=633.70
(20) EX STM C.B. RIM=636.66 INV=633.73 (12" RCP NW)	(21) EX STM C.B. RIM=636.66 INV=633.56 (12" RCP E) INV=633.46 (12" RCP SE)
(22) EX STM C.B. RIM=636.66 INV=631.26 (12" RCP NW) INV=633.59 (12" RCP SW)	(23) EX STM C.B. RIM=636.72 INV=633.52 (12" RCP NE)
(24) EX STM C.B. RIM=636.28 INV=631.68 (12" RCP NE) INV=633.48 (12" RCP NW)	(25) EX STM C.B. RIM=636.30 INV=633.66 (12" RCP SE)

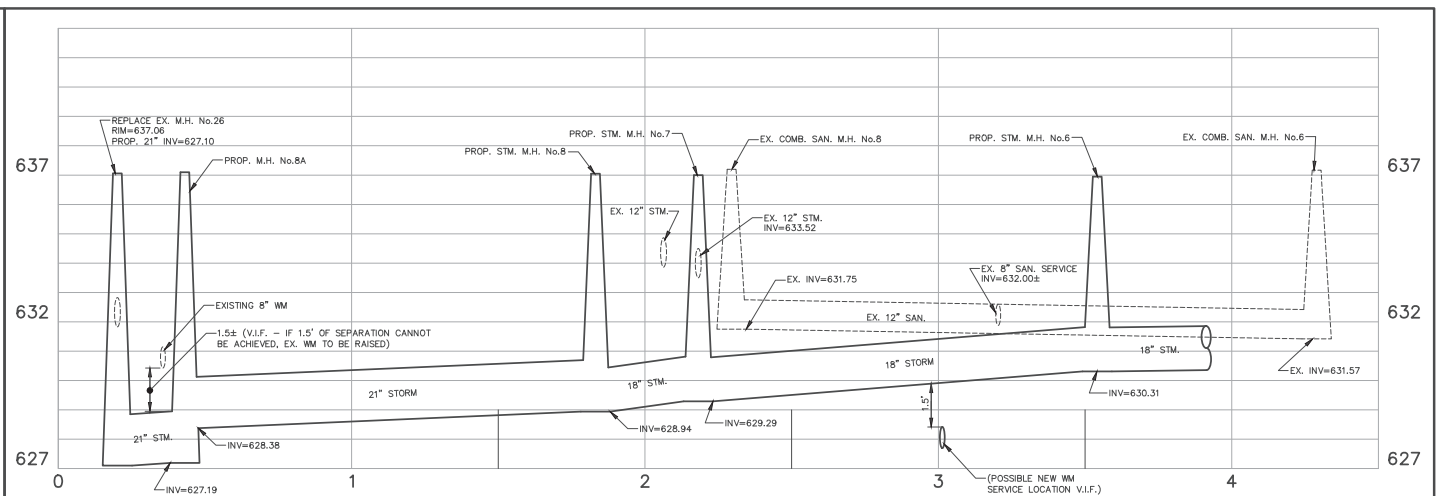
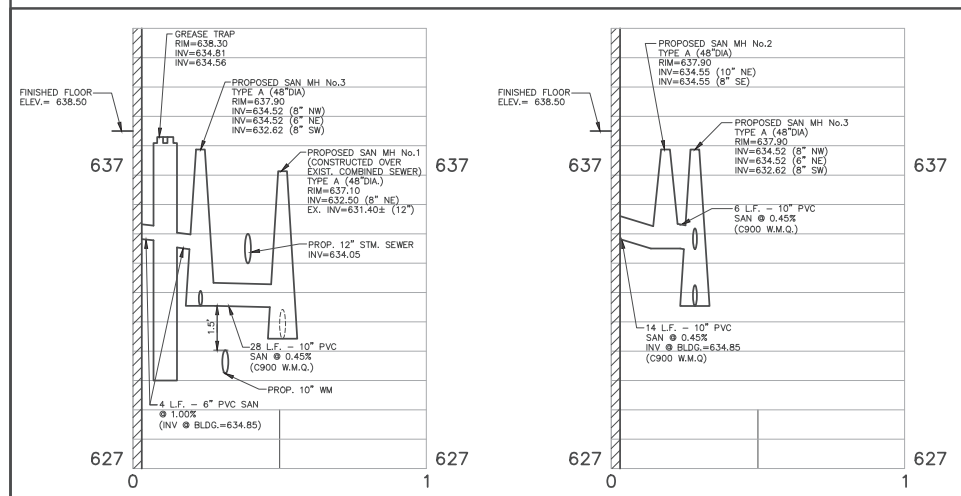
WATERMAIN STRUCTURES

(6) EX VALVE VAULT RIM=638.02 UNABLE TO OPEN	(7) EX VALVE VAULT RIM=637.24 TOP OF 8" PIPE=630.39 FULL OF WATER
(8) EX VALVE VAULT RIM=637.11 TOP OF 8" PIPE=629.91	

(2) SANITARY STRUCTURE NUMBER
 (11) STORM STRUCTURE NUMBER
 (5) WATERMAIN STRUCTURE NUMBER

UTILITY CROSSING SCHEDULE

CROSSING	SIZE (IN.)	MATERIAL	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
(I)	12"	RCP	STM	633.65		
(J)	12"	RCP	STM	633.76		
(K)	18"	RCP	STM	629.17		4.59'
	8"	DIP	WM		631.50	2.15'
	8"	N/A	WM	+630.41		+1.50'
	21"	RCP	STM	628.91		



DRAWN BY: TLM
 REVISIONS: CITY REVIEW #1 & ARCHITECT REVISIONS
 DATE: 01/17/23
 CITY REVIEW #2
 ARCHITECT REVISIONS
 DATE: 02/17/23
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13 OF 20

<p>RWG ENGINEERING, LLC PROJECT SPECIFICATIONS</p> <p>GENERAL CONDITIONS</p> <p>CONTRACT DOCUMENTS The Standard Specifications listed on the title sheet, these Improvement Plans, the Special Provisions, General Conditions, and Subsequent Details are all part of the Contract Documents. Incidental items or accessories necessary to complete the work may not be specifically noted, but are to be considered a part of the contract.</p> <p>USE OF IMPROVEMENT PLANS No Improvement Plans shall be used for construction unless specifically marked "For Construction" Prior to commencement of construction, the contractor shall verify all dimensions and conditions affecting their work with the actual conditions of the job site. If there are discrepancies from what is shown on the construction plans, the contractor shall immediately report same to the engineer before doing any work, otherwise the contractor assumes full responsibility. In the event of disagreement between the contractor and the engineer, the contractor shall, and/or special details, the contractor shall secure written instructions from the engineer prior to proceeding with any part of the work or otherwise. Failure to follow such instructions, the contractor shall be held responsible for any damage to streets or roadways and associated structures, and shall make repairs as necessary to the satisfaction of the engineer and applicable governmental agency.</p> <p>WORKMANSHIP GUARANTEE All work performed under this contract shall be guaranteed against all defects in material and workmanship of whatever nature by the contractor and his surety for a period of one year from the date of final acceptance of the work by the applicable governmental agency and the owner.</p> <p>FINAL PAYMENT Prior to acceptance by the owner and final payment, all work shall be inspected and approved by the owner or his representative. Final payment will be made after all of the contractors' work has been approved and accepted, and in accordance with the contract documents.</p> <p>HIGHWAY/ROADWAY CONSTRUCTION PERMITS The contractor shall be responsible for obtaining all required permits for construction along or across existing streets or highways, including the use and access to existing streets. The contractor shall make arrangements for proper lighting, signing, and other required protection of all roadways before construction begins. The contractor shall be responsible for any damage to streets or roadways and associated structures, and shall make repairs as necessary to the satisfaction of the engineer and applicable governmental agency.</p> <p>EXISTING UTILITIES Locations for existing utilities with public right-of-way are shown on the plans according to available records. The contractor shall be responsible for determining the exact location in the field of such utility lines and their protection. If existing utilities are not shown on the plans, the contractor shall be responsible for their location or elevation with new construction, the contractor shall notify the engineer immediately so that the conflict may be resolved.</p> <p>PROJECT IMPROVEMENTS AND QUANTITIES The contractor shall review the construction documents and determine all required improvements and verify all quantities as may be provided by the engineer or owner for bidding purposes, and report any discrepancies to the engineer. The contract price shall be considered a lump sum for the completed project unless there is a plan revision or written change to the scope of work.</p> <p>INCIDENTAL CONSTRUCTION Whenever the performance of work is indicated on the plans and no item is included in the contract for payment, the work shall be considered incidental to the contract and no additional compensation will be provided.</p> <p>MAINTENANCE OF SITE DRAINAGE During construction operations any loose material that is deposited in the flow line of gutters, drainage structures, ditches, etc. and obstructs the natural drainage flow line shall be removed at the close of each working day by the contractor. The contractor shall be responsible for maintaining the drainage system in good working order. Drainage may be achieved by ditching, pumping, or any other acceptable method. Failure to provide positive drainage may result in the contractor being held responsible for any damage to streets or roadways and associated structures and flow lines shall be free from dirt and debris. This work shall be considered incidental to the contract.</p> <p>TRAFFIC CONTROL The contractor is responsible for the installation and maintenance of adequate signage, traffic control, and warning devices to inform and protect the public during all phases of construction. All barricades and warning signs shall be provided in accordance with the IDOT Standard Specifications. Adequate lighting shall be maintained from dusk to dawn at all locations where construction operations warrant, or as designated by the engineer or applicable governmental agency. Traffic control items shall be in accordance with the IDOT Manual on Uniform Traffic Control Devices.</p> <p>PAVEMENT REMOVAL/REPLACEMENT Existing permanent type pavements or other permanent improvements which abut or otherwise interfere with proposed improvements and must be removed shall be saw cut full depth prior to removal. Items so removed shall be replaced with similar construction materials to original construction or better. Payment for saw cutting shall be included in the removal cost and replacement will be paid under the respective item in the contract, unless otherwise indicated. Existing permanent, sidewalk, curb, etc. shall be disposed of by the contractor at his own expense on an off-site dump site.</p> <p>TREE PROTECTION Existing trees not scheduled for removal shall be protected from damage. Trimming and sealing shall be in accordance with IDOT Standard Specifications.</p> <p>EXISTING SIGNAGE & MAIL BOXES Existing signage and mail boxes that interfere with construction shall be removed, stored, and replaced/rebuilt by the contractor in accordance with the IDOT Standard Specifications. Damage to these items shall be repaired/replaced by the contractor at his expense. Temporary mailbox facilities shall be provided as an incidental cost.</p> <p>EXISTING FIELD TILE Field tile encountered during construction shall be connected to proposed storm sewer or extended to outlet into a proposed drainage way. If this is not possible, then repair with new pipe of same size and material (or better) and restored in acceptable operating condition at the original grade. Records of location and elevation shall be made by the contractor and furnished to the engineer upon project completion.</p> <p>CONSTRUCTION DEBRIS CLEAN-UP The contractor is responsible for removal and disposal of all excess material and debris resulting from his construction operations at no expense to the owner.</p> <p>CONSTRUCTION RECORDS The contractor shall keep a set of approved construction plans on the jobsite, and shall maintain a legible record on soil plans of all field encounters, modifications, alterations to alignment/installation of proposed improvements, etc. Upon completion of the construction work, said records/documents shall be provided to the engineer. Final payments shall not come due until this information is provided to the engineer.</p> <p>MACHINE GUIDANCE These plans are not suitable for machine guidance purposes. Should these plans be used to prepare files for machine guidance, the engineer shall be in responsible charge of digital terrain model (DTM) creation and the project surveyor shall be in responsible charge of site characterization. This work is an additional service requiring negotiated compensation to the engineer and surveyor.</p> <p>SAFETY & CONSTRUCTION EXECUTION The contractor shall conform to the rules and regulations of OSHA and appropriate authorities regarding job site safety provisions. The engineer and owner are not responsible for the construction means, methods, techniques, or safety on the plans, or for any safety precautions used by the contractor. The contractor shall select proper material and firmly compacted in accordance with the construction standard details.</p> <p>ACCESS - TRENCH MATERIAL The contractor shall spread excavated trench material adjacent to the trenches in an orderly fashion so as not to create a hazard or obstruction, and to maintain the site in a workable condition.</p> <p>DISSIPIMAR MATERIALS/PIPE CONNECTIONS Band-saw or other flexible pipe couplings shall be used when connecting sewer pipes of dissimilar materials. When connecting to an existing sewer main by means other than an existing eye, tee, or an existing structure, one of the following methods shall be used: • Circular cutting of sewer main with proper tools ("Sheer-Tap" machine or similar) and installation of hub-eye • Remove entire section of pipe (breaking only the top of one bell) and replace with precast eye or tee • Using a pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using a non-shear mission coupling to hold assembly firm in place</p> <p>UTILITY STRUCTURE - SELECT BACKFILL Backfill select backfill consisting of bedding and backfill is required around utility structures, the cost for same shall be merged into the unit price cost.</p> <p>STRUCILINE CASTINGS Frames and end fittings for sanitary, water main and storm sewer structures shall be as indicated on the plans, and the cost of same shall be integrated into the respective structure cost.</p> <p>ADJUSTING RINGS All structures shall incorporate a minimum of three (3) inches and a maximum of eight (8) inches of adjusting rings (two (2) rings maximum).</p> <p>STRUCTURE ADJUSTMENT All structures for utility structures (including B-Boxes) shall be adjusted to meet final finished grade upon completion of finished grading and final inspection (cost incidental). The contractor shall insure that roadway, curb, and sidewalk structures (frames and gutters) are as finished grade.</p> <p>HORIZONTAL AND VERTICAL SEPARATION OF WATER AND SEWER MAIN Horizontal and vertical separation between water and sewer mains shall be maintained in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois and said specifications standard drawings 18, 19, 20, 21, 22, 23, 24, and 24.</p> <p>FLOOR DRAINS AND FOOTING DRAINS All floor drains and floor drain pump pumps shall discharge into the sanitary sewer. All downspouts, footing drains and subsurface stormwater shall discharge into the storm sewer or onto the ground - not into the sanitary sewer.</p> <p>CONSTRUCTION RECORDS The contractor shall maintain a legible record on a set of construction plans information concerning all manholes, eyes and services, valve boxes, curb boxes, etc. such that they can be field located in a manner acceptable to the applicable governmental agency.</p> <p>IV UNDERGROUND UTILITIES - SANITARY SEWER</p> <p>SANITARY SEWER PIPE Sanitary sewers and services (or combined sewers in combined sewer areas) shall be constructed of one or more of the following materials as specified on the plans: • PVC, gravity sewer pipe conforming to ASTM D-3034 for pipe diameters of 4 inch to 15 inch, or conforming to ASTM D-3084 for pipe diameters of 18 inch to 48 inch, with minimum DFR of 26, and with Elastomeric gasket and joints conforming to ASTM F-477. Sanitary services shall conform to ASTM D-3080 and D-2751 with solvent cement welded joints conforming to ASTM F-477. • Concrete pipe, rigid pipe, class 50, conforming to AWWA C-110 (ANSI A21.10) with push-on joints conforming to AWWA C-511 (ANSI A21.11)</p> <p>SANITARY SEWER BEDDING Sanitary sewers shall be installed on compacted granular crushed stone bedding, 1/4 inch to 3/4 inch in size (IDOT gradation CA-1 or CA-13), with a minimum thickness of one fourth of the outside pipe diameter, but not less than 4 inches nor more than 8 inches. Bedding shall extend to one foot over the top of pipe for all sanitary sewer and services. Cost for bedding shall be merged into final footage cost for the respective sewer pipe.</p> <p>SANITARY SEWER MANHOLES Manholes shall be 4 foot diameter precast reinforced concrete structures with eccentric covers. Cone openings shall be cast in place to maintain flow structure sections and adjusting rings shall be securely sealed to each other using resilient, flexible, non-hardening, preformed bituminous mastic (Bm-Nbk or approved equal). All joints shall be sealed such that no surface or ground water can enter the structure. All structures shall be equipped with appropriate steps, frame and lid, and if indicated shall include an internal or external concrete seal (see construction standard details).</p> <p>TESTING Sewer (Sewer) sewers including manholes and service lines shall be subjected to either an infiltration test or air test (and deflection test for flexible pipe) by the contractor. Allowable infiltration shall not exceed 600 gallons per inch diameter of pipe per mile per day. Vacuum testing of manholes shall be in accordance with ASTM C-120. Testing procedures shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois. The contractor shall coordinate the testing with all applicable governmental agencies.</p> <p>TELEVISION Main line sanitary sewer shall be televised prior to acceptance and a DVD shall be provided to applicable governmental agencies. Corrective work required shall be done immediately. Cost for televising shall be merged into the unit price for the sewer pipe.</p> <p>V. UNDERGROUND UTILITIES - WATER MAIN</p> <p>WATER MAIN PIPE Water main pipe shall be cement-lined ductile iron pipe class 52 conforming to AWWA C-151 (ANSI A21.51) Rubber gasket joints shall conform to AWWA C-151 (ANSI A21.51). Push-on pipe joints shall conform to AWWA C-151 (ANSI A21.51) Rubber gaskets by JLS. Use of an approved ductile iron pipe with a minimum thickness of one fourth of the outside pipe diameter, but not less than 4 inches nor more than 8 inches. Bedding shall extend to one foot over the top of pipe for all sanitary sewer and services. Cost for bedding shall be merged into final footage cost for the respective sewer pipe.</p> <p>WATER MAIN FITTINGS Water main fittings (bends, elbows, tees, increasers, reducers, etc.) may not be specifically referenced on the plans and quantities, if not, they shall be considered incidental and included in the final footage cost for the water main.</p>	<p>DEPTH OF COVER - MAIN AND SERVICES Depth of cover from finished grade to top of water main or water service pipe shall be five and a half (5.5) feet.</p> <p>THRUST BLOCKING Thrust blocking shall be installed with water mains at all bends, tees, elbows, etc. (see construction standard details). Thrust blocking or fittings may be substituted or omitted as permitted by the applicable governmental agency. Cost of either to be merged into final footage cost for the water main.</p> <p>WATER MAIN BEDDING Water main shall be installed on compacted granular crushed stone bedding, 1/4 inch to 3/4 inch in size (IDOT gradation CA-6), a minimum of 4 inches below the bottom of the pipe and extending upward to the springline (i.e. the pipe diameter). Cost for bedding shall be merged into final footage cost for the water main.</p> <p>WATER VALVES Unless specifically noted otherwise, gate valves in accordance with the applicable governmental standard shall be used wherever valves are called for. Valves shall be non-blow bronze mounted, purchase resilient seat valves per AWA C-509. Valves shall be rated for 300 psi test pressure and 200 psi working pressure.</p> <p>VALVE VAULTS Valve vaults shall be used at all valve locations. Vaults shall be precast reinforced concrete structures, diameter as noted on the plans. Vaults shall include appropriate frames and lids (see construction standard details).</p> <p>EXPOSED JOINTS Where indicated on the plan, pressure tap operations shall be done while maintaining system pressure in the existing main. The existing main shall be cleaned prior to installation of the tapping sleeve. Tapping valve shall conform to AWWA C-200. Vault, supports, frame, and lid shall conform to the construction standard details.</p> <p>FIRE HYDRANTS Hydrants shall be of the manufacture and equipped with auxiliary valves and valve boxes in accordance with the applicable governmental agency's standard. Hydrants shall be 2 1/2 inch hose nozzle connections and one 1 1/2 inch pumper port. hose threads shall be the standard of the applicable governmental agency. Hydrants shall open left (counter-clockwise). Hydrants shall generally be located three (3) feet clear of the back of curb.</p> <p>TESTING AND INSPECTION Water mains shall be subject to a pressure test by the contractor. Hydrostatic pressure test and leakage test shall be based on 150 psi for 2 hours. Chlorination for disinfection shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois. The contractor shall be responsible for the cost of testing and inspection. In the event that pressure testing of existing mains fails, and such failures are attributable to pre-existing conditions, the contractor shall be responsible for the cost of testing and inspection to additional payment to correct the deficiencies in the existing system.</p> <p>VI. UNDERGROUND UTILITIES - STORM SEWER</p> <p>STORM SEWER PIPE Storm sewers and services shall be constructed of one or more of the following materials as specified on the plans: • Reinforced concrete pipe of the class as indicated on the plans, conforming to ASTM C-76 with joints on pipe to incorporate flexible gaskets conforming to ASTM C-361 in lieu of mastic. • Reinforced ductile iron pipe class 52, conforming to AWWA C-151 (ANSI A21.51) with push-on joints conforming to ASTM F-477 (for pipe diameters of 18 inch to 48 inch). All pipe shall be SDR 35 or stronger, with bedding conforming to ASTM D-3212.</p> <p>STORM SEWER BEDDING Storm sewers shall be installed on compacted granular crushed stone bedding, 1/4 inch to 3/4 inch in size (IDOT gradation CA-6), a minimum of one fourth of the outside pipe diameter, but not less than 4 inches nor more than 8 inches. Bedding shall extend upward to the springline of the pipe for concrete and ductile iron pipe, and one foot over the top of the pipe for PVC pipe. Cost for bedding shall be merged into final footage cost for the respective sewer pipe.</p> <p>INLETS, CATCH BASINS, AND MANHOLES All structures shall be pre-cast reinforced concrete (see construction standard details). Structure sections shall be cast in place and shall be reinforced with #4 rebar. All structures shall be sealed with bituminous mastic connections shall be filled and securely sealed with non-sink hydraulic cement mortar. Frames and gutters shall be as indicated on the plans and shall be securely grouted with non-sink hydraulic cement mortar.</p> <p>SPECIAL STRUCTURES If called for on the plans, special structures (headwalls, boxes, etc.) shall be in accordance with the construction standard details.</p>
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DESCRIPTION	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
A. REFERENCED SPECIFICATIONS		
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING: • STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION • WATER AND SEWER MAIN CONSTRUCTION, BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION • THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT GUIDANCE AND TECHNICAL ASSISTANCE MANUAL • IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.		
B. NOTIFICATIONS		
1. THE MANHOLE SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-488-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO MANHOLESEWER@MWRD.ORG)		
2. THE VILLAGE OF ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL CONTACT THE VILLAGE OF ENGINEERING DEPARTMENT AT MANHOLESEWER@MWRD.ORG		
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL 312.411.4111 AT 8:00-9:00 A.M.		
C. GENERAL NOTES		
1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8). CONVERSION FACTOR IS _____ FEET.		
2. MAHO, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.		
3. THE CONTRACTOR'S SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MAHO, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK OR THE FAILURE THEREOF.		
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MAHO AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MAHO, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONTRACTOR DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS.		
5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.		
6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.		
7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MAHO, AND OWNER.		
8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.		
9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.		
10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN ON RECORD ASSETS OR RECORDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, BIRCHES, TEES OR BUSH SHALL BE TESTED TO BE FREE HYDRANT.		
D. SANITARY SEWERS		
1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.		
2. A WATER-TIGHT FLUSH SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE FLUSH SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MAHO AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.		
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF JOINTS FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL OF THE MUNICIPALITY AND/OR MAHO.		
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).		
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.		
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.		
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:		
E. SANITARY SEWER MANHOLES		
1. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
2. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF JOINTS FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL OF THE MUNICIPALITY AND/OR MAHO.		
4. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.		
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.		
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:		
F. SANITARY SEWER MANHOLES		
1. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
2. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF JOINTS FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL OF THE MUNICIPALITY AND/OR MAHO.		
4. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.		
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.		
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:		
G. SANITARY SEWER MANHOLES		
1. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
2. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF JOINTS FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL OF THE MUNICIPALITY AND/OR MAHO.		
4. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 36 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.		
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.		
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.		
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:		

DESCRIPTION	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
E. EROSION AND SEDIMENT CONTROL		
1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.		
2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGICAL DISTURBANCE OF THE SITE.		
3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.		
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.		
5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: • TWICE PER SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR EQUIVALENT PRECIPITATION.		
6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. • EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. • EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.		
7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT POINTS WHERE TRAFFIC WHEELS WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCOPING OR TRUCK CLEANING AS ACCUMULATORS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.		
8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY OR SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.		
9. PORTLAND WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND PORTLAND BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.		
10. THROUGHPUT OPERATIONS SHALL BE CONDUCTED AS NECESSARY TO AVOID ALL REWORKING HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.		
11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.		
12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED FROM EROSION AND SEDIMENTATION. ALL FLOOD PROTECTION AREAS SHALL BE STABILIZED WITHIN SEVEN (7) DAYS.		
13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.		
14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERMIETTED SEDIMENT CONTROLS. SOIL STOCKPILES SHALL BE COVERED WITH A NON-ERODIBLE FILTER FABRIC OR EXISTING VEGETATED SLOPE.		
15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MEASURES.		
16. STRUCTURES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.		
17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR DEVELOPMENT. DRAIN TILES CAPABLE OF CONVEYING TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.		
18. IF DRAINAGING OPERATIONS ARE USED, ADDITIONAL PREVENTION AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DRAINAGING SYSTEMS SHALL BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE CONSTRUCTION SITE.		
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND DICATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPLICATIONS. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL BE THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. TRENCH DEWATERING SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DRAINAGE SYSTEMS SHALL BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE CONSTRUCTION SITE.		
20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.		
21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED FOR WATER AND SEWER MAIN CONSTRUCTION AND ANY PERIOD OF CONSTRUCTION STOPPAGE UNTIL PERMANENT STABILIZATION IS ACHIEVED.		
22. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED WITHIN SEVEN (7) DAYS AFTER PERMANENT SITE STABILIZATION IS ACHIEVED.		
23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR OTHER AGENCIES.		

<p>DEPTH OF COVER - MAIN AND SERVICES Depth of cover from finished grade to top of water main or water service pipe shall be five and a half (5.5) feet.</p> <p>THRUST BLOCKING Thrust blocking shall be installed with water mains at all bends, tees, elbows, etc. (see construction standard details). Thrust blocking or fittings may be substituted or omitted as permitted by the applicable governmental agency. Cost of either to be merged into final footage cost for the water main.</p> <p>WATER MAIN BEDDING Water main shall be installed on compacted granular crushed stone bedding, 1/4 inch to 3/4 inch in size (IDOT gradation CA-6), a minimum of 4 inches below the bottom of the pipe and extending upward to the springline (i.e. the pipe diameter). Cost for bedding shall be merged into final footage cost for the water main.</p> <p>WATER VALVES Unless specifically noted otherwise, gate valves in accordance with the applicable governmental standard shall be used wherever valves are called for. Valves shall be non-blow bronze mounted, purchase resilient seat valves per AWA C-509. Valves shall be rated for 300 psi test pressure and 200 psi working pressure.</p> <p>VALVE VAULTS Valve vaults shall be used at all valve locations. Vaults shall be precast reinforced concrete structures, diameter as noted on the plans. Vaults shall include appropriate frames and lids (see construction standard details).</p> <p>EXPOSED JOINTS Where indicated on the plan, pressure tap operations shall be done while maintaining system pressure in the existing main. The existing main shall be cleaned prior to installation of the tapping sleeve. Tapping valve shall conform to AWWA C-200. Vault, supports, frame, and lid shall conform to the construction standard details.</p> <p>FIRE HYDRANTS Hydrants shall be of the manufacture and equipped with auxiliary valves and valve boxes in accordance with the applicable governmental agency's standard. Hydrants shall be 2 1/2 inch hose nozzle connections and one 1 1/2 inch pumper port. hose threads shall be the standard of the applicable governmental agency. Hydrants shall open left (counter-clockwise). Hydrants shall generally be located three (3) feet clear of the back of curb.</p> <p>TESTING AND INSPECTION Water mains shall be subject to a pressure test by the contractor. Hydrostatic pressure test and leakage test shall be based on 150 psi for 2 hours. Chlorination for disinfection shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois. The contractor shall be responsible for the cost of testing and inspection. In the event that pressure testing of existing mains fails, and such failures are attributable to pre-existing conditions, the contractor shall be responsible for the cost of testing and inspection to additional payment to correct the deficiencies in the existing system.</p> <p>VI. UNDERGROUND UTILITIES - STORM SEWER</p> <p>STORM SEWER PIPE Storm sewers and services shall be constructed of one or more of the following materials as specified on the plans: • Reinforced concrete pipe of the class as indicated on the plans, conforming to ASTM C-76 with joints on pipe to incorporate flexible gaskets conforming to ASTM C-361 in lieu of mastic. • Reinforced ductile iron pipe class 52, conforming to AWWA C-151 (ANSI A21.51) with push-on joints conforming to ASTM F-477 (for pipe diameters of 18 inch to 48 inch). All pipe shall be SDR 35 or stronger, with bedding conforming to ASTM D-3212.</p> <p>STORM SEWER BEDDING Storm sewers shall be installed on compacted granular crushed stone bedding, 1/4 inch to 3/4 inch in size (IDOT gradation CA-6), a minimum of one fourth of the outside pipe diameter, but not less than 4 inches nor more than 8 inches. Bedding shall extend upward to the springline of the pipe for concrete and ductile iron pipe, and one foot over the top of the pipe for PVC pipe. Cost for bedding shall be merged into final footage cost for the respective sewer pipe.</p> <p>INLETS, CATCH BASINS, AND MANHOLES All structures shall be pre-cast reinforced concrete (see construction standard details). Structure sections shall be cast in place and shall be reinforced with #4 rebar. All structures shall be sealed with bituminous mastic connections shall be filled and securely sealed with non-sink hydraulic cement mortar. Frames and gutters shall be as indicated on the plans and shall be securely grouted with non-sink hydraulic cement mortar.</p> <p>SPECIAL STRUCTURES If called for on the plans, special structures (headwalls, boxes, etc.) shall be in accordance with the construction standard details.</p>	<p>DATE 1. 01/17/23 2. 02/17/23 3. 02/27/23</p> <p>REVISIONS 1. CITY REVIEW # & ARCHITECT REVISIONS 2. ARCHITECT REVISIONS 3. PER CITY REVIEW</p> <p>DRAWN BY TLM</p> <p>TLM</p> <p>TLM</p>
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**622 GRACELAND AVE. APARTMENTS
DESPLAINES, ILLINOIS**

PROJECT NOTES AND SPECIFICATIONS

Engineering, LLC

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Wheaton, IL 60189
630-480-7859
www.rwg-engineering.com

PROJECT NO. 63912021
DATE 12/09/22
SCALE NONE
PROJ. MGR. MRM
PROJ. ASSOC. TLM
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SHEET

14 OF 20

TECHNICAL GUIDANCE MANUAL

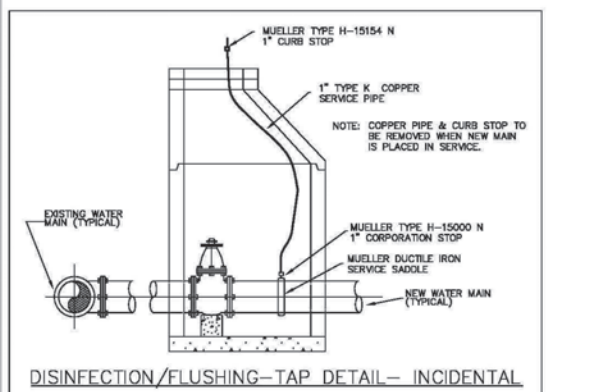
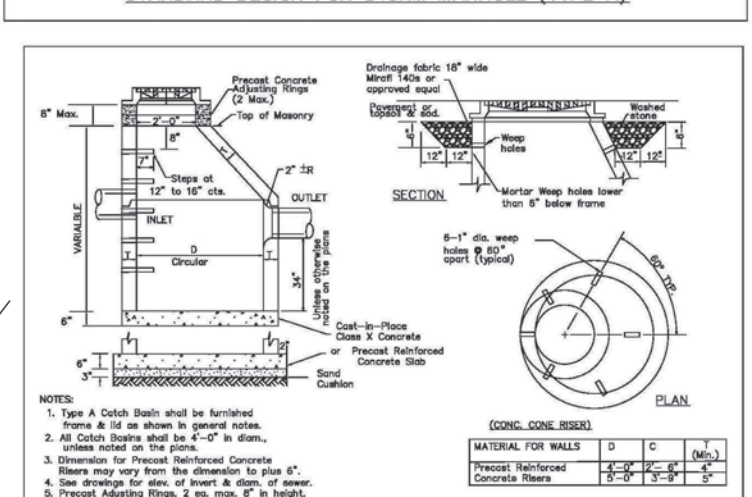
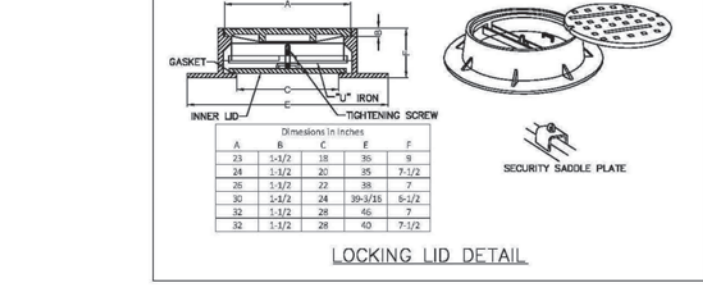
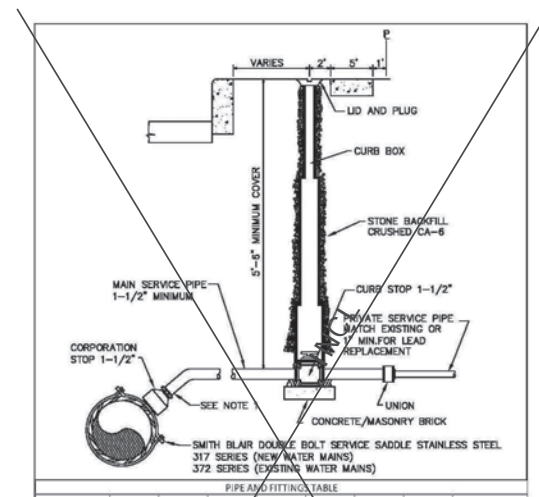
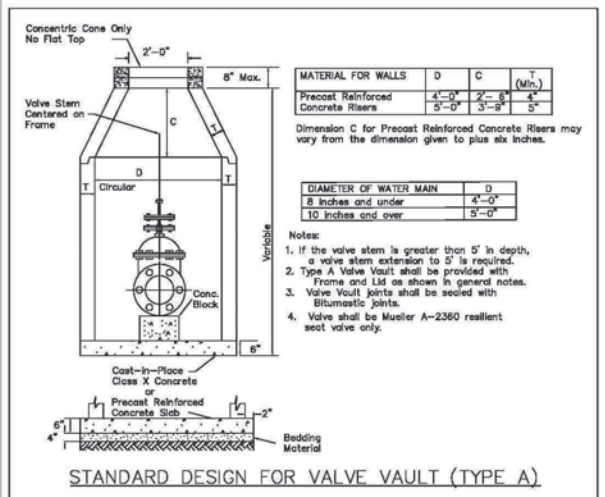
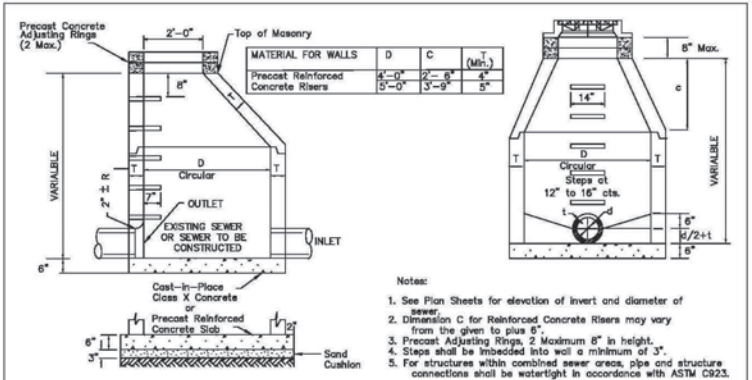
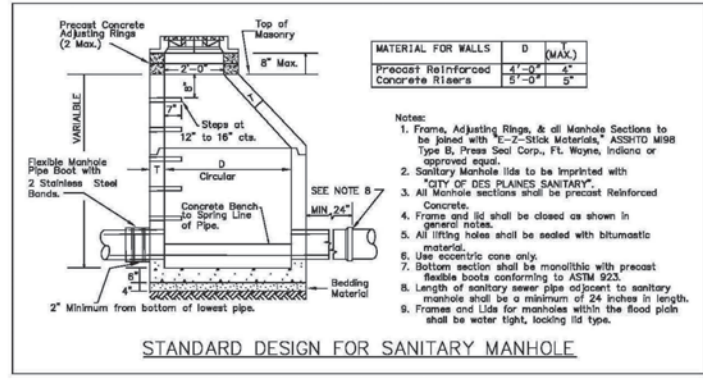
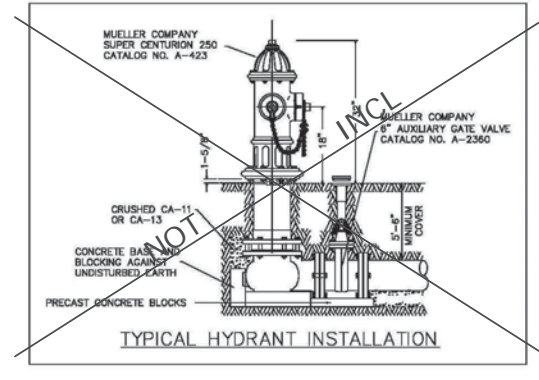
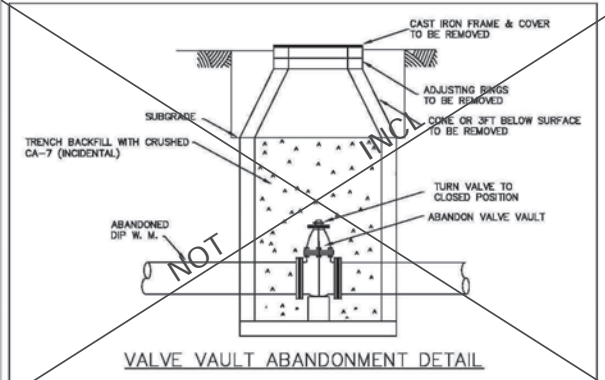
MWRD GENERAL NOTES

10/13/2022

STD. DWG. NO.18

PAGE NO. 19

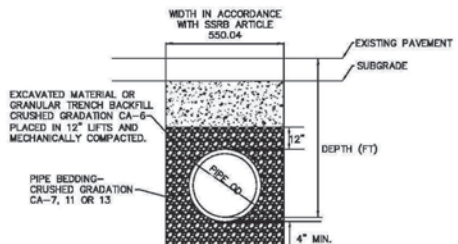
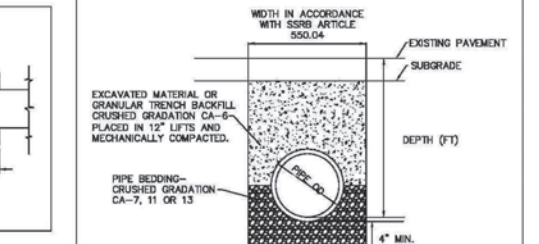
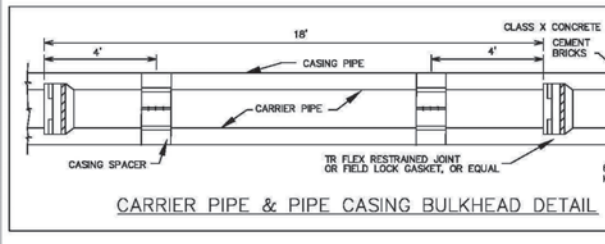
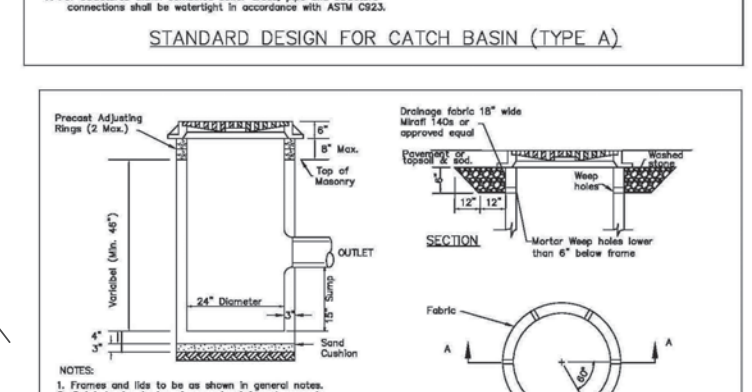
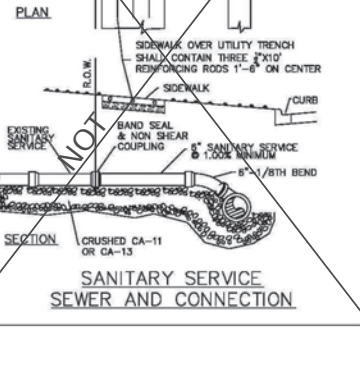
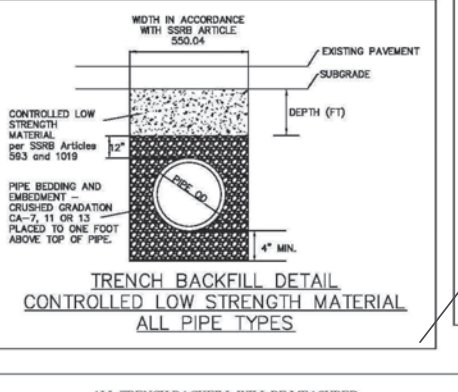
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PIPE AND FITTING TABLE

MAIN SERVICE LINE 1-1/2"	CORP STOP 45° BEND (STD)	SS CTS INSERT	UNION	CURB BOX/ADAPTER SERVICE LINE 1"
HDPE CTS SDR 9	MUELLER H2500BN N/A	MUELLER H25150N	MUELLER H250139	MUELLER H10302
	FORD LAD3-66S	MUELLER H25154N	MUELLER H250139	MUELLER H05980
HDPE CTS SDR 9	H15000N	N/A	H15450N	PLUG N/A
	FORD LAD3-66S	MUELLER H25154N	MUELLER H250139	MUELLER H05980
TYPE K COPPER	H15000N	N/A	H15450N	PLUG 2" X 3"
	FORD LAD3-66S	MUELLER H25154N	MUELLER H250139	MUELLER H05980
TYPE K COPPER	H15000N	N/A	H15450N	PLUG 2" X 3"

NOTES:
 1. CONTRACTOR IS ALLOWED TO USE A 45° BEND AT THE CORPORATION STOP (INCIDENTAL).
 2. WHERE A LEAD OR GALVANIZED STEEL SERVICE LINE IS TO BE REPLACED, 1" MINIMUM PIPING SHALL BE USED.
 3. WHERE THE EXISTING PRIVATE SERVICE LINE IS COPPER, THE CONNECTION SHALL BE MADE AT THE RIGHT OF WAY WITH APPROPRIATE SIZE COUPLINGS TO MATCH THE EXISTING LINE SIZE.
 4. MUELLER CURB BOX H10304 WITH 89981 LID AND PLUG MAY BE USED WITH MUELLER H15154N CURB STOP (NO ADAPTER), UPON APPROVAL OF THE ENGINEER.



REV. NO.	DATE	DESCRIPTION

REV. NO.	DATE	DESCRIPTION

REV. NO.	DATE	DESCRIPTION

CITY OF DES PLAINES
 PUBLIC WORKS AND ENGINEERING DEPARTMENT
 1420 MINER STREET
 DES PLAINES, IL 60016
 PHONE-847-391-5390 FAX-847-391-5619
 WWW.DESPLAINES.ORG

DETAIL SHEET

DESIGNED BY BLS/AJD	SCALE HORIZ: N/A
CHECKED BY AJD	VERT: N/A
APPROVED BY TPO	SHEET NO. 1 OF 2
DATE 2/22/2022	

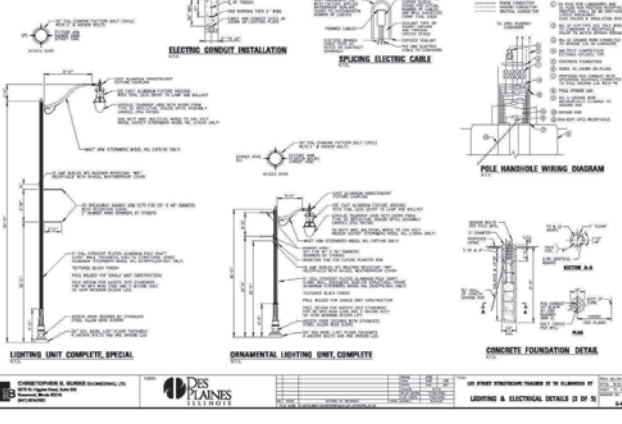
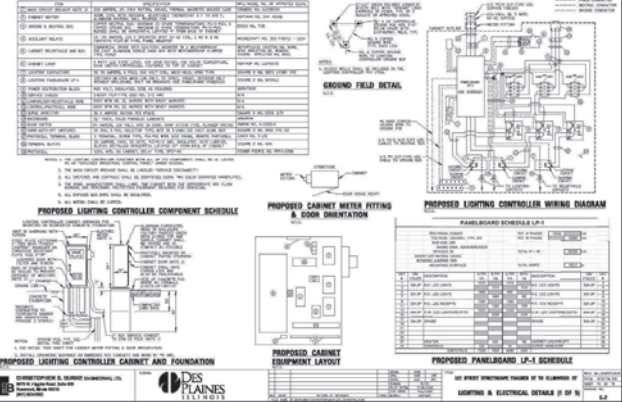
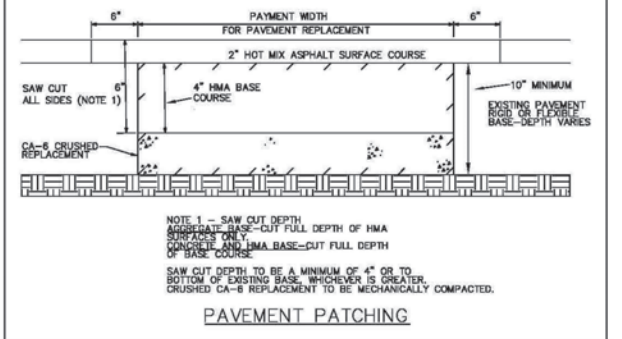
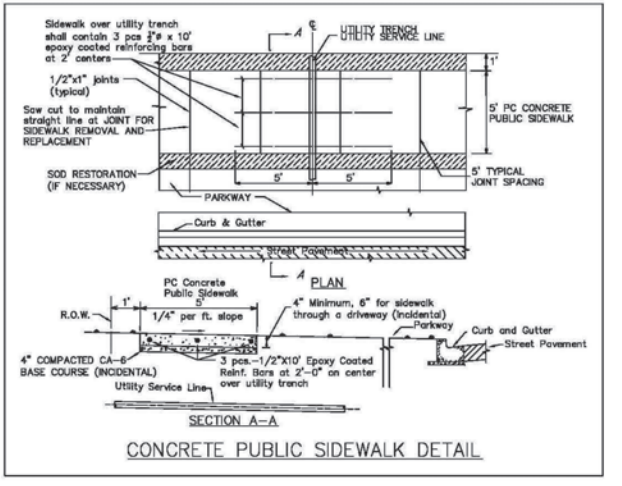
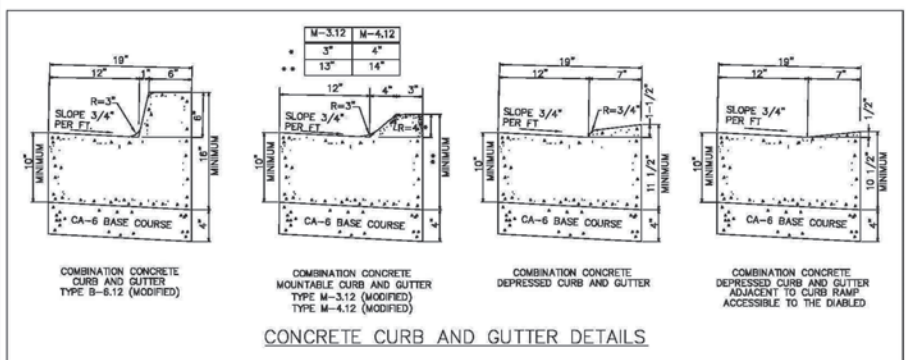
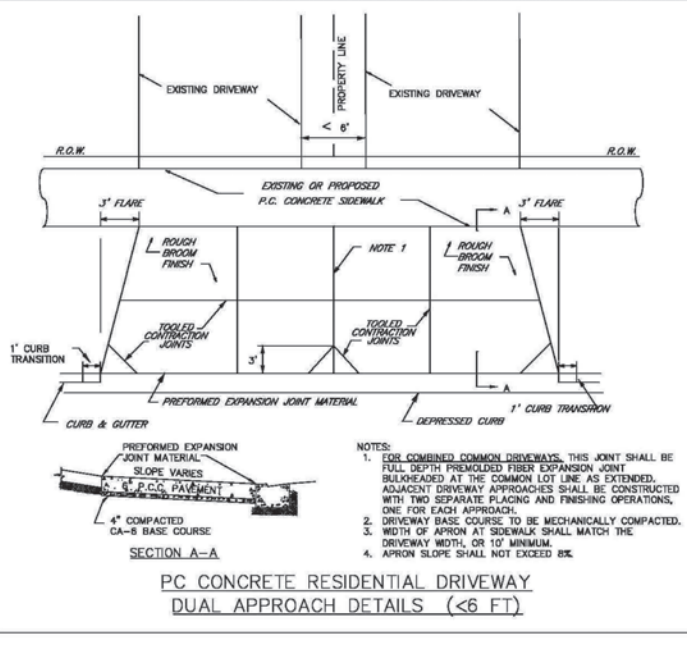
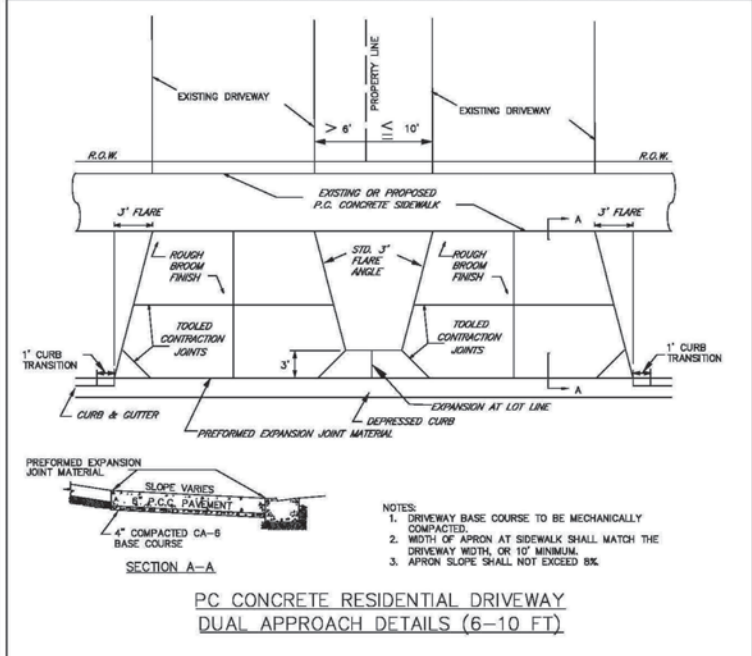
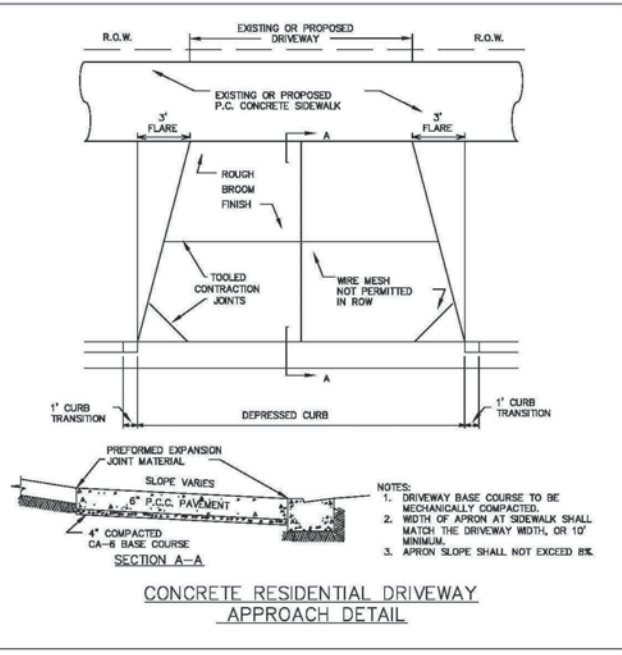
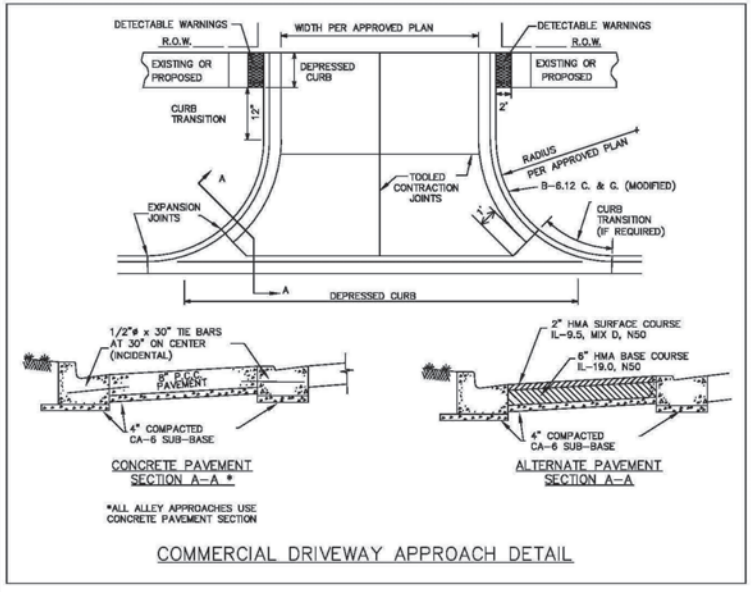
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01/17/23	CITY REVIEW AT & ARCHITECT REVISIONS	TLM
02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

622 GRACELAND AVE. APARTMENTS
 DESPLAINES, ILLINOIS
 CONSTRUCTION DETAILS AND STANDARDS

975 E. 22nd St. Suite 400
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 630.480.7899
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RWG Engineering, LLC
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PROJECT NO. 63912021	DATE 12/09/22
SCALE NONE	PROJ. MGR. MMB
PROJ. ASSOC. MMB	DRAWN BY TLM
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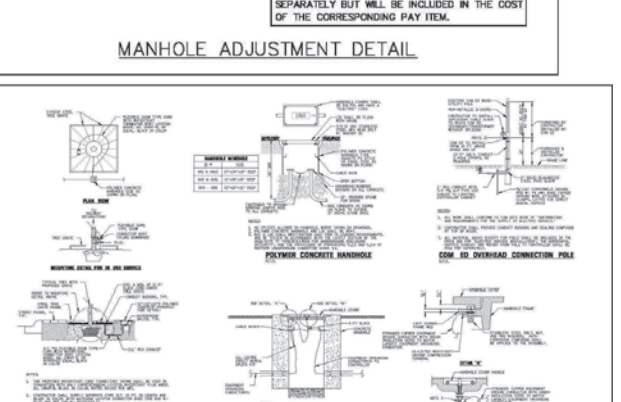
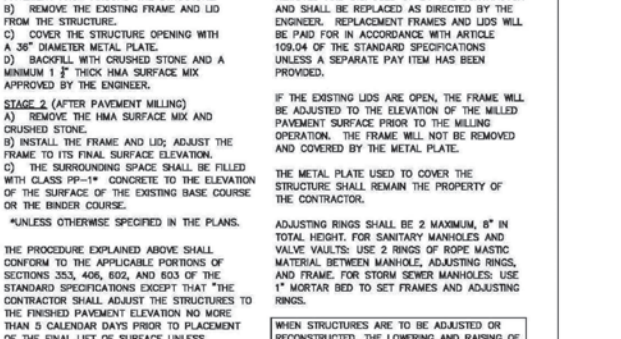
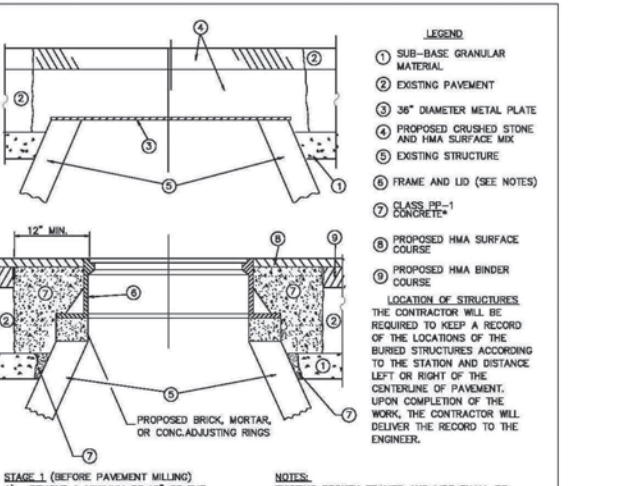
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CITY OF DES PLAINES
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DES PLAINES, IL 60016
PHONE-847-391-5390 FAX 847-391-5619
WWW.DESPLAINES.ORG

DETAIL SHEET

DESIGNED BY: BLS/AJD
CHECKED BY: AJD
APPROVED BY: TPO
DATE: 2/22/2022

SCALE: HORIZ: N/A
VERT: N/A
SHEET NO.: 2 OF 2



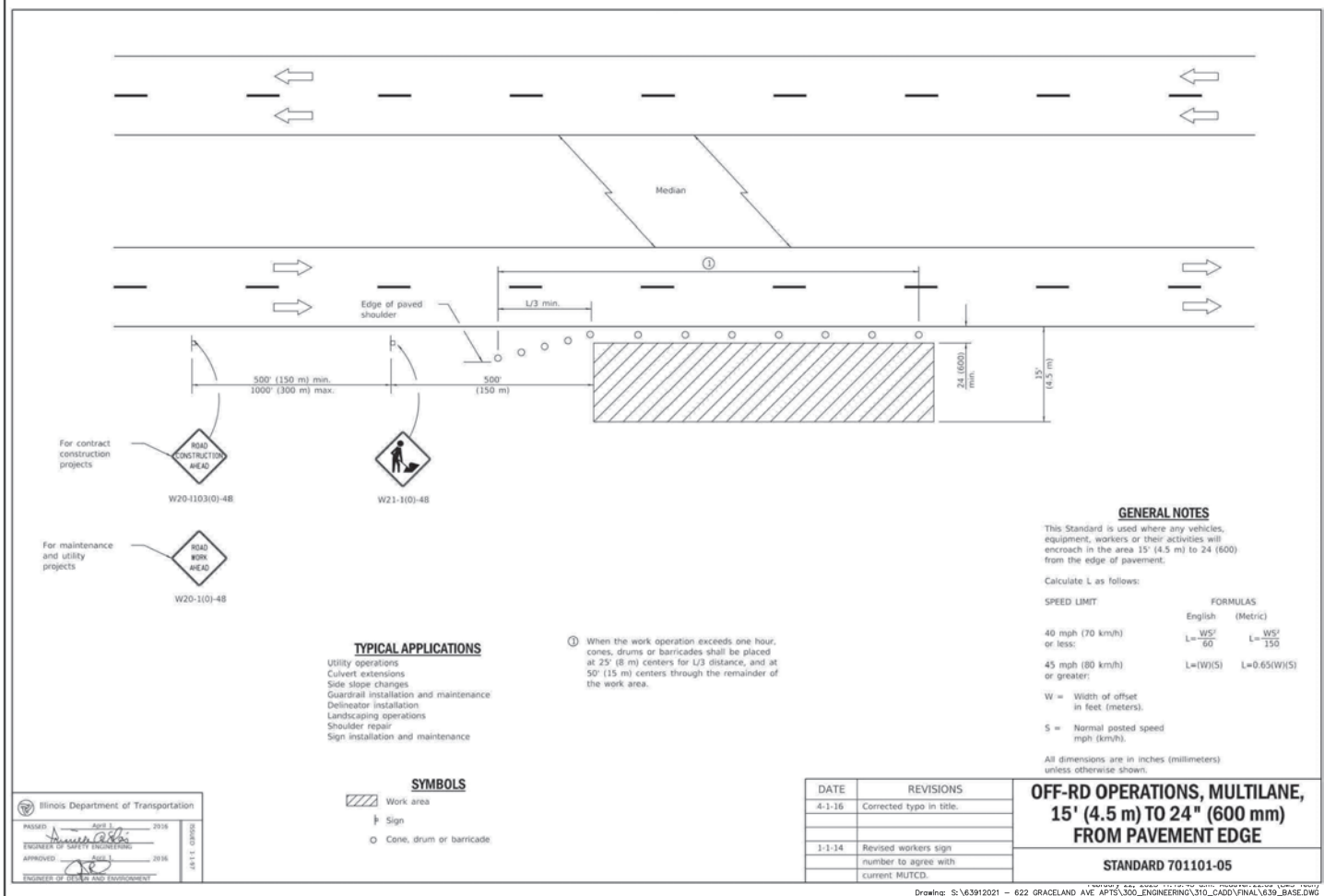
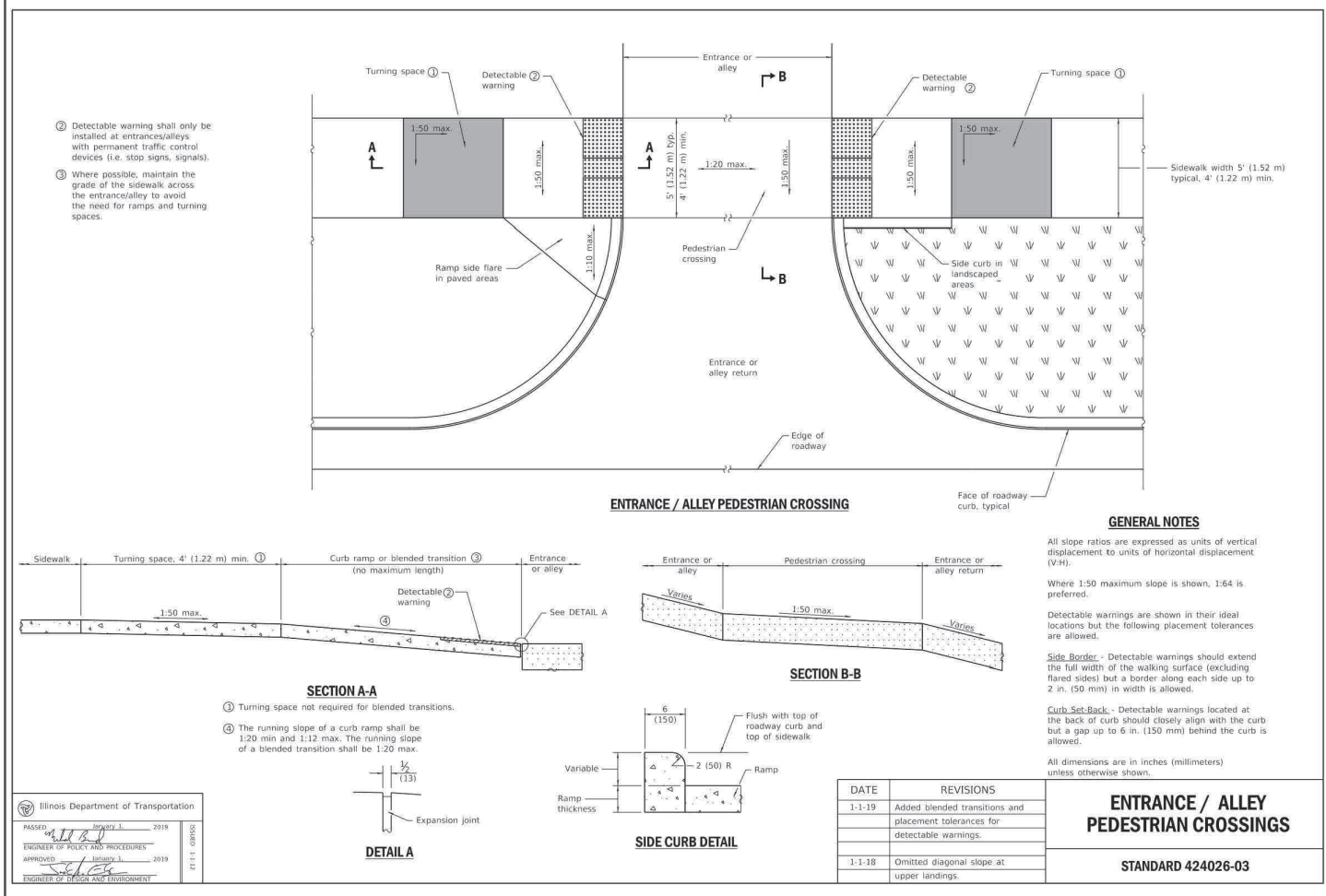
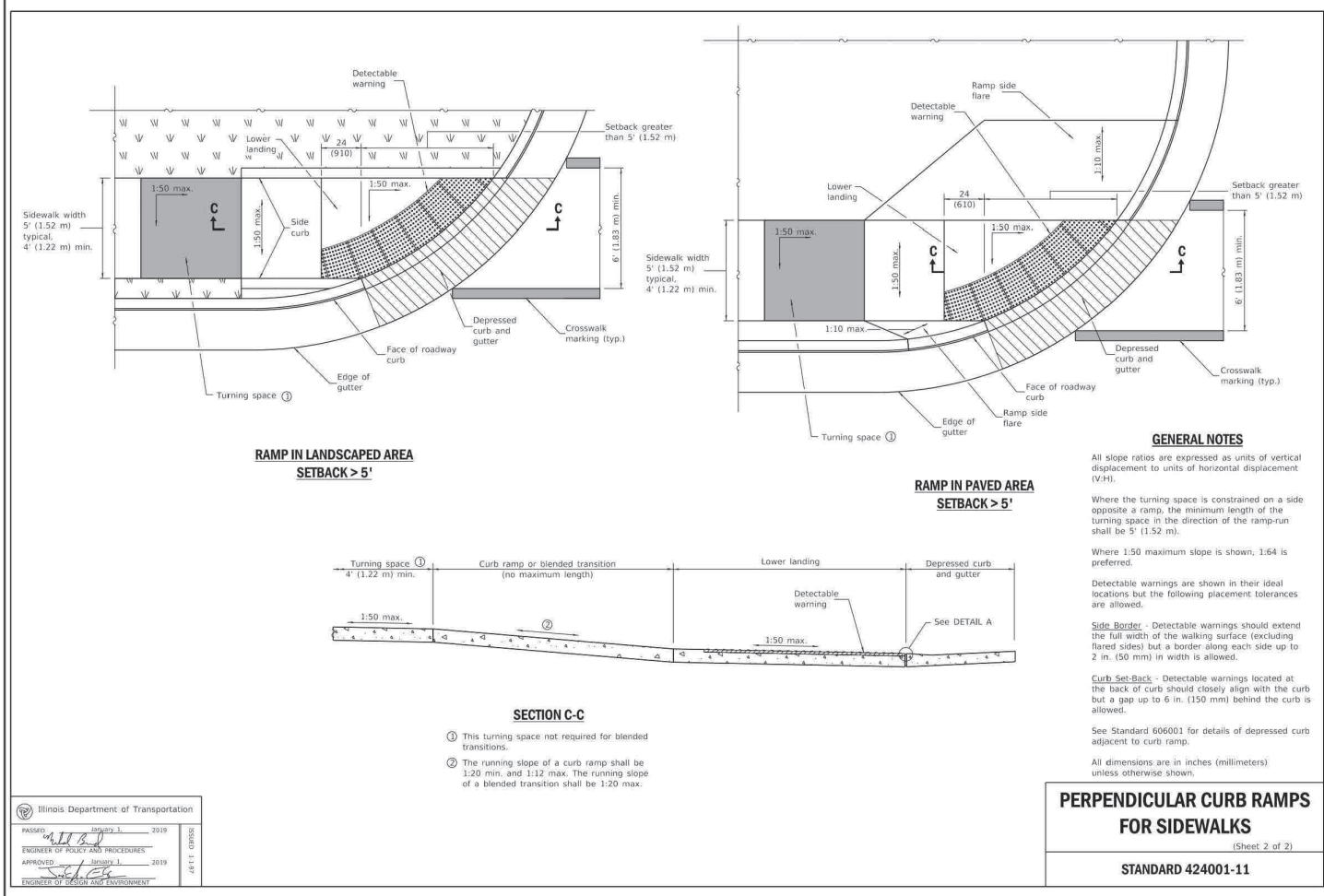
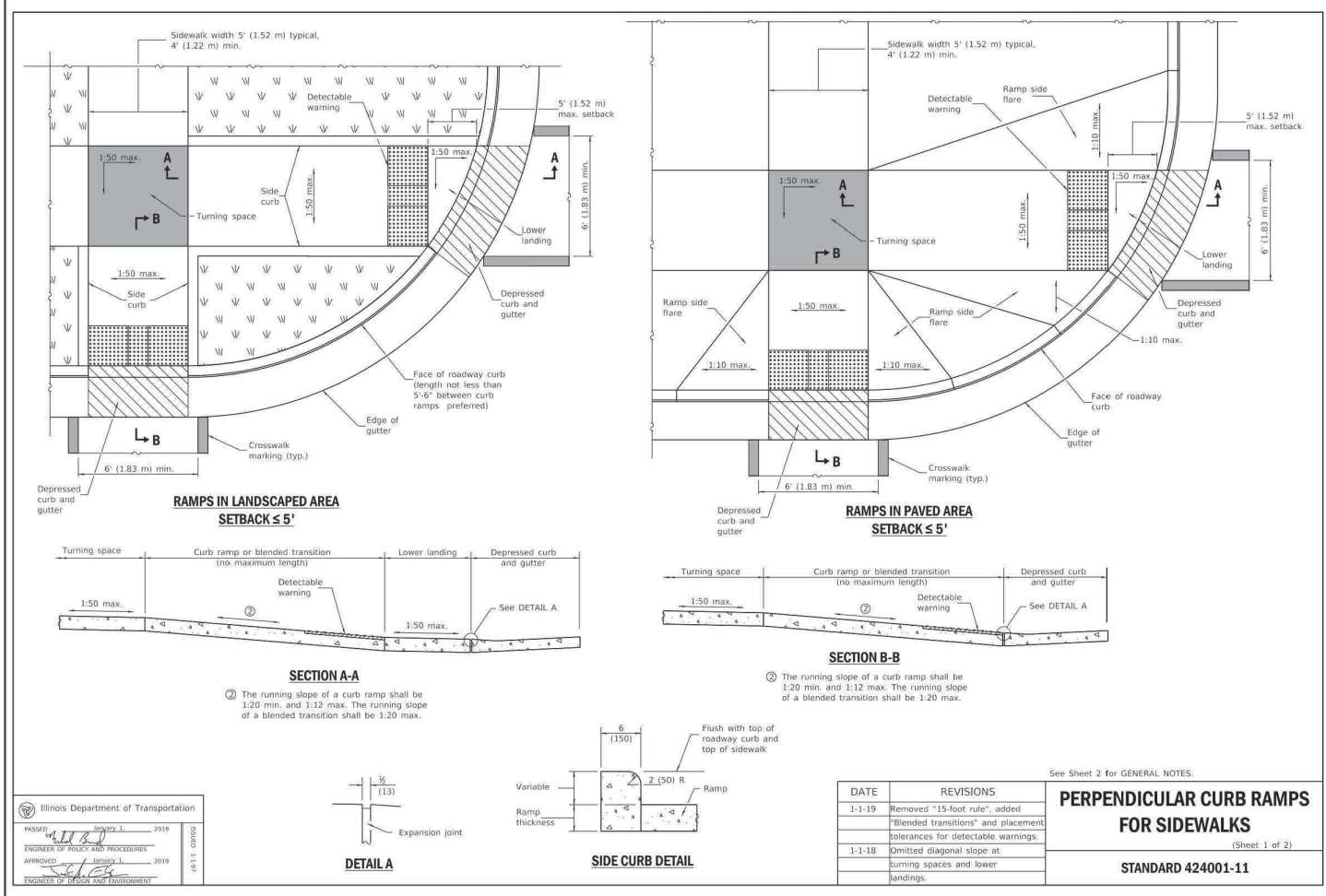
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02/17/23	ARCHITECT REVISIONS	TLM
02/27/23	PER CITY REVIEW	TLM

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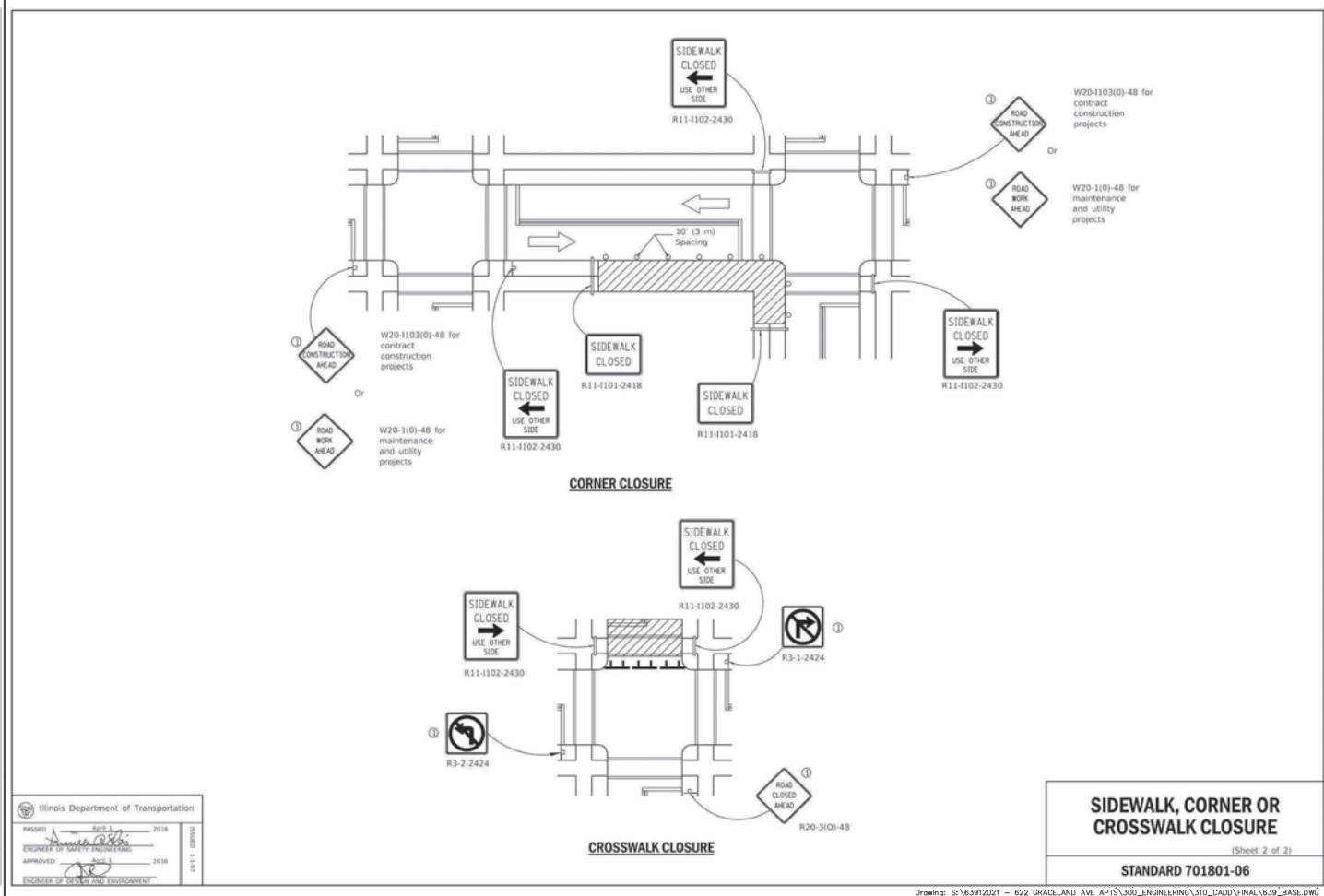
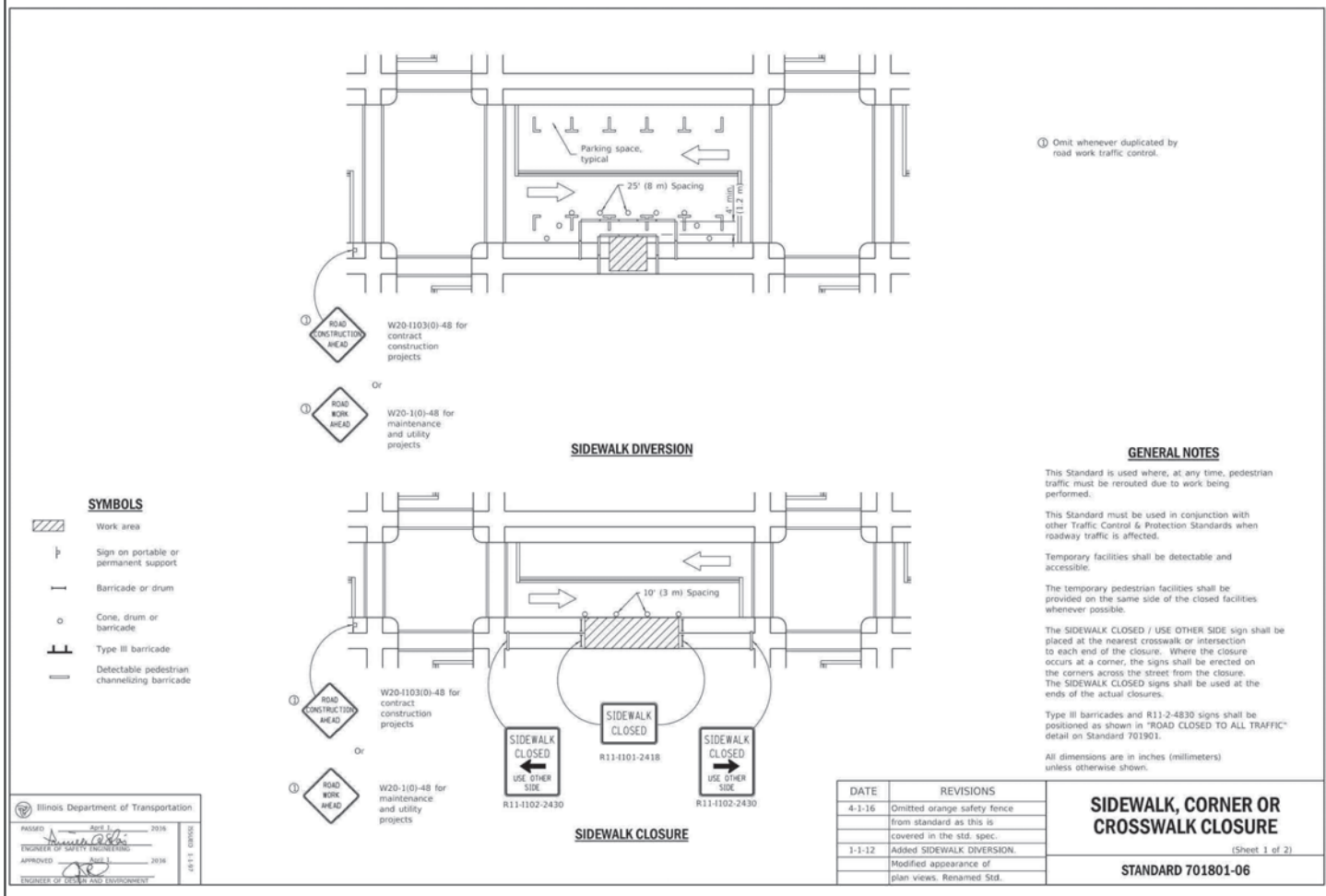
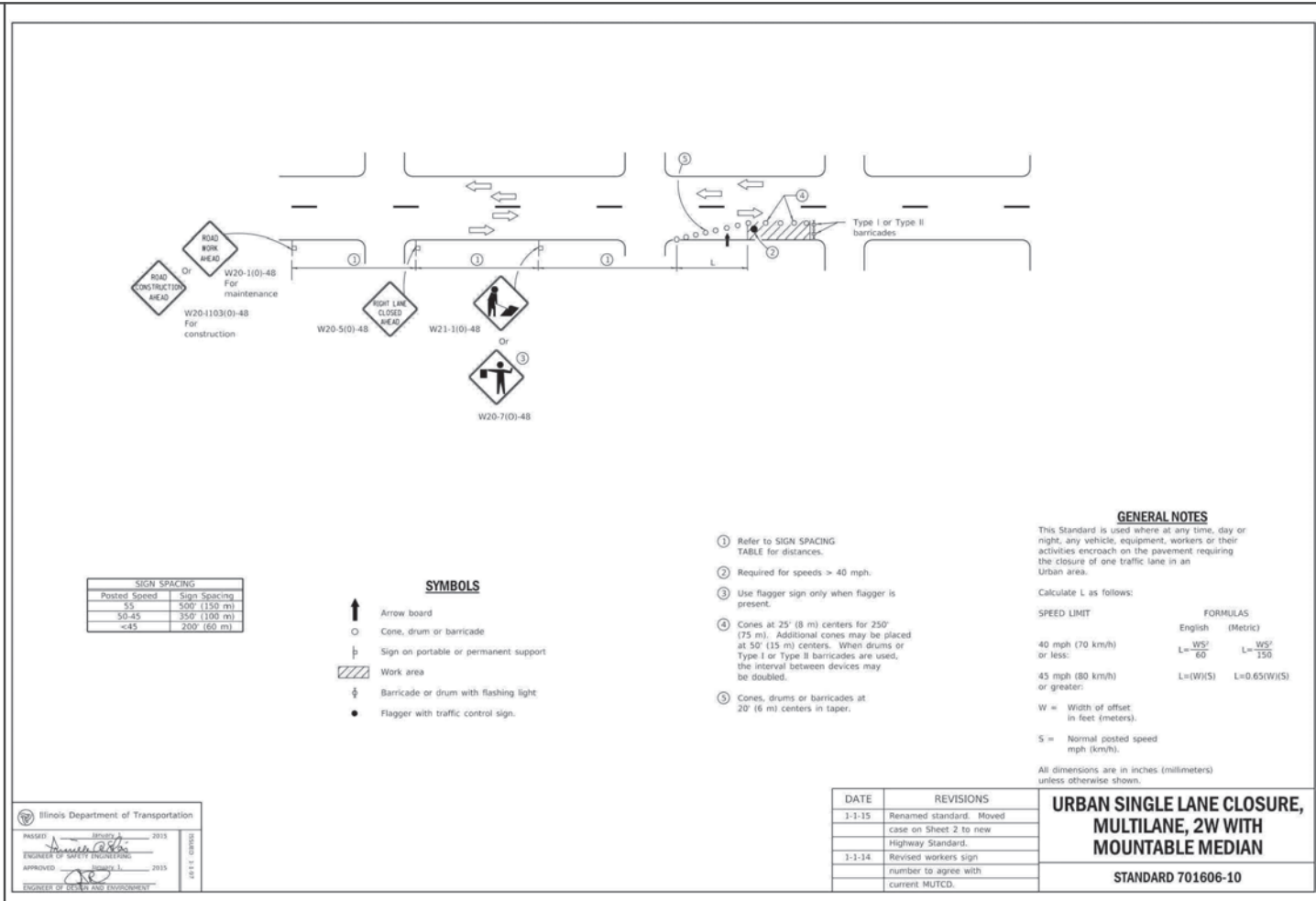
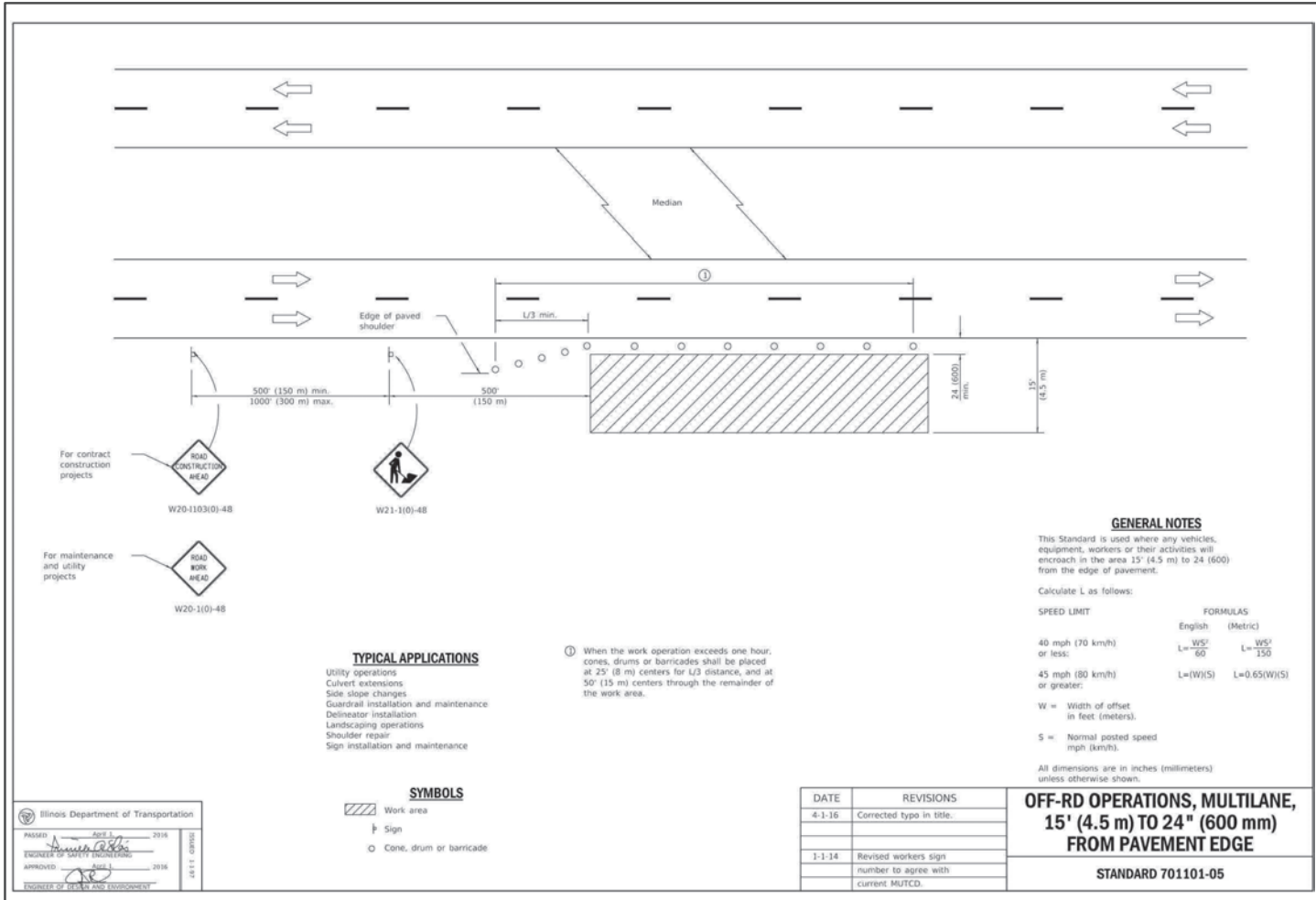
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02/27/23	PER CITY REVIEW	TLM

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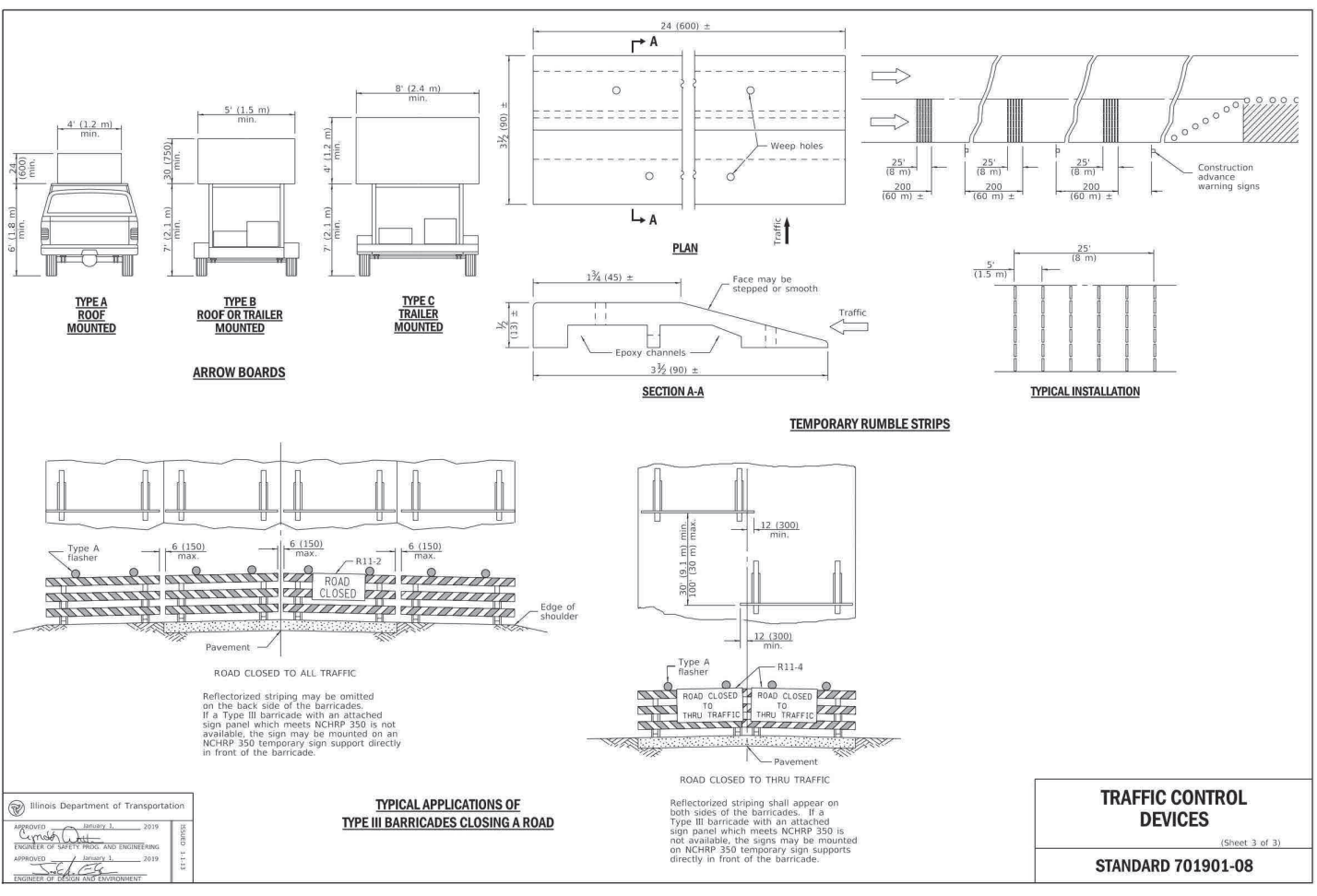
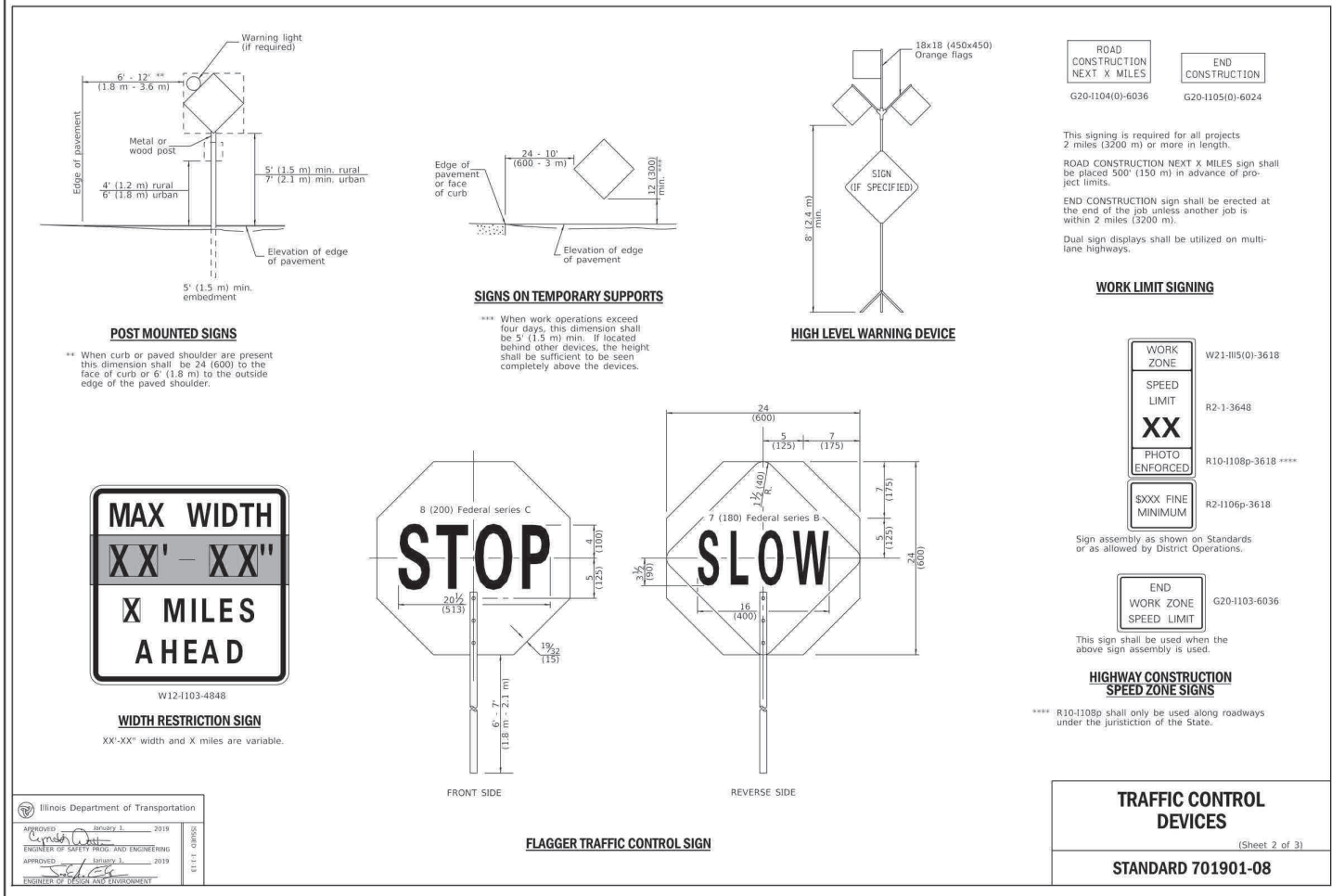
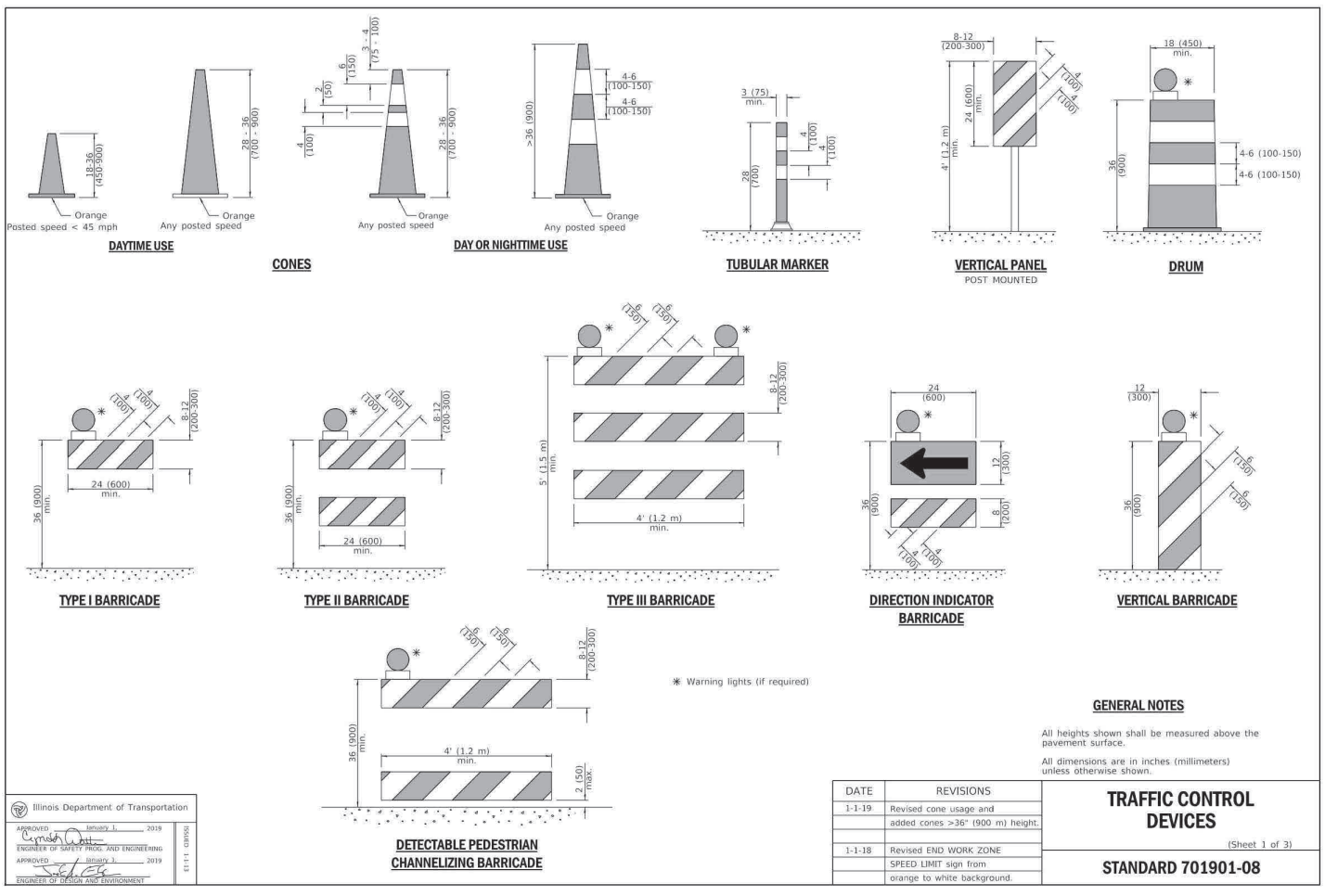
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DATE 01/17/23
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1 CITY REVIEW #1 & ARCHITECT REVISIONS
2 ARCHITECT REVISIONS
3 PER CITY REVIEW

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STORM DRAINAGE ANALYSIS
FOR
GRACELAND APARTMENTS
DES PLAINS, IL

PREPARED FOR:

COMPASSPOINT DEVELOPMENT, LLC
2020 SOUTH COOK STREET, SUITE 210
BARRINGTON, IL
(630) 577-5203

PREPARED BY:



Engineering, LLC

975 E. 22nd Street, Suite 400, Wheaton, IL 60189 630.480.7889

JOB#639-301
December 9, 2022
Revised January 17, 2023
Revised February 27, 2023

PROJECT & SITE DESCRIPTION

FINAL ENGINEERING PLANS

Graceland Apartments

DesPlaines, Cook County, IL

Project Overview:

The final engineering plans for Graceland Apartments include the development of a 1.205 acre site into apartments, restaurant space, and a park area. It is located at the northwest corner of Graceland Avenue and Webford Avenue.

It encompasses two lots combined together: Lot 1 of the new Subdivision Plat, and the “park area” (Parcel 4) to the west. Both lots are being designed together and considered new development by MWRD. Therefore, the entire 1.205 acre proposed site has volume control storage provided per MWRD requirements.

This project also includes the design of a new separate storm sewer along Webford Avenue. Stormwater from Webford Avenue will now **not** enter the existing combined sewer in Webford. Webford Avenue, along with the 1.205 acres of this project, will drain to the new storm sewer flowing west to the separate existing storm sewer in Laurel Avenue.

The proposed development is serviced by city water and a combined sanitary sewer. The sanitary connection is made on Webford Avenue. The watermain connection is made on Graceland Avenue.

A Soil Erosion and Sedimentation Control Plan is included with this phase of work and reflects perimeter silt fence and storm drainage protection. Erosion control measures are to be installed prior to commencement of demolition work and routinely augmented as work progresses.

Original Existing Site Drainage Conditions:

The 1.205 acre property drains in the same manor both in the existing site conditions and in the proposed site conditions. The site drains from north to south. All existing storm sewer onsite flows in that same direction. All existing storm sewer shall be removed onsite and stubbed and plugged at the property line.

Existing grades are matched on all four sides of the property lines. No previous stormwater storage, volume control or detention, was previously provided.

Proposed Site Drainage Conditions:

As stated above, the 1.205 acre proposed development drains in a similar manor as the existing conditions. Storm water is collected on the roof of the complex and drains through a 10” pipe on the south side of the building. An underground StormTech system is introduced to collect this drainage and provide volume control storage per MWRD requirements and also to reduce the rate of runoff from the site.

The ”park area” also has volume control storage and drains into the StormTech system through a 10” ADS pipe. This pipe also carries a minimal amount of offsite flow that previously cut through the existing site.

The 100 year storm flow was calculated for this offsite flow and it was routed through the trench drain, in the pipe, and out the structure rim in the park to drain south to Webford Avenue. This is where it currently flood routes to.

For the sizing of the new storm sewer on Webford Avenue, a conservative assumption was made for a runoff coefficient of the single family lots draining to the street. We used a runoff coefficient of 0.80 for the storm sewer design and we estimated the drainage areas to include over half of the existing single family lots adjacent to Webford Avenue. The new storm sewer was designed below the existing combined sewer to avoid any existing sanitary service connections.

As far as any flood protection areas (wetlands, floodplains, and riparian environments) within 100 feet of this proposed development, that does not exist in our opinion. See FIRMette Map attached.

(See attached calculations for all back up information.)

STORM SEWER WORKSHEET

Designer: **MRM**
Description: **Graceland**

FREQUENCY: 100 YR. ROUGH. COEFF. 0.013 RUNOFF COEFF. 0.80 (Conservative assumption) BULLETIN 75 RAINFALL

MH-MH	ADDED		TOTAL		C X A	TIME		I IN/HR	Q CFS	PIPE DIA IN	PIPE SLOPE %	VEL FPS	L FT	CAP CFS	UPPER MH		LOWER MH	
	"C" AC	AREA AC	"C" AC	AREA AC		FLOW MIN	T/C MIN								RIM	INV	RIM	INV
1-1A	0.80	0.04	0.80	0.040	0.03	0	10	6.48	0.21	12.00	0.35	2.68	7	2.11	637.20	634.20	637.25	634.18
1A-2	0.80	0.00	0.80	0.040	0.03	0	10	6.48	0.21	12.00	0.50	3.21	105	2.52	637.25	634.18	637.45	633.65
ex13-2	0.80	0.42	0.80	0.460	0.37	0	10	6.48	2.38	12.00	0.60	3.51	21	2.76	636.46	632.86	637.45	632.73
2A-2	0.80	0.24	0.80	0.240	0.19	0	10	6.48	1.24	12.00	1.20	4.97	5	3.90	636.35	633.70	637.45	633.64
2-3A	0.80	0.00	0.80	0.740	0.59	0	10	6.48	3.84	12.00	1.20	4.97	125	3.90	637.45	632.73	637.09	631.23
3A-3	0.80	0.00	0.80	0.740	0.59	0	10	6.48	3.84	12.00	1.20	4.97	7	3.90	637.09	631.23	637.05	631.15
apt-3	0.80	1.20	0.80	1.200	0.96	0	30	3.82	3.67	12.00	1.20	4.97	33	3.90	637.00	632.50	637.05	632.10
3-5	0.80	0.03	0.80	1.970	1.58	0	30	3.82	6.02	15.00	1.42	6.27	45	7.70	637.05	631.15	637.35	630.51
ex15-ex14	0.80	0.36	0.80	0.360	0.29	0	10	6.48	1.87	15.00	2.46	8.26	13	10.13	636.74	633.69	636.72	633.37
ex14-5	0.80	0.28	0.80	0.640	0.51	0	10	6.48	3.32	12.00	1.00	4.54	5	3.56	636.72	633.37	637.35	633.32
5-6	0.80	0.00	0.80	2.610	2.09	0	30	3.82	7.98	18.00	0.75	5.15	26	9.10	637.35	630.51	636.95	630.32
6-7	0.80	0.000	0.80	2.610	2.09	0	30	3.82	7.98	18.00	0.75	5.15	136	9.10	636.95	630.32	637.00	629.30
ex18-ex19	0.80	0.430	0.80	0.430	0.34	0	10	6.48	2.23	12.00	0.20	2.03	18	1.59	636.76	633.76	636.83	633.72
ex19-7	0.80	0.23	0.80	0.660	0.53	0	10	6.48	3.42	12.00	1.00	4.54	18	3.56	636.83	633.70	637.00	633.52
7-8	0.80	0.00	0.80	3.270	2.62	0	30	3.82	9.99	18.00	1.00	5.94	35	10.50	637.00	629.30	637.05	628.95
8-8A	0.80	0.00	0.80	3.270	2.62	0	30	3.82	9.99	21.00	0.40	4.17	140	10.02	637.05	628.95	637.10	628.39
8A-ex26	0.80	0.00	0.80	3.270	2.62	0	30	3.82	9.99	21.00	0.40	4.17	23	10.02	637.10	627.19	637.36	627.10
4A-tee	4A-4								2.53	10.00	1.35	4.67	127	2.55	638.50	636.50	638.00	634.79

North Flood Route: $0.45 \times 10.8 \times 0.52 = 2.53$ cfs

WEIR FLOW CALCULATIONS

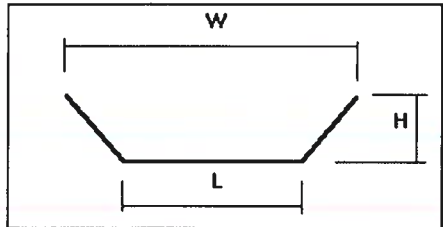
Designer:	MRM
Description:	100 YEAR

BASED ON THE FOLLOWING EQUATION:

$$Q = \left[K \times 2/3 \times L \times (2g)^{0.5} \times H^{1.5} \right] + \frac{1}{2} \left[K \times 8/15 \times (2g)^{0.5} \times S_1 \times H^{2.5} \right] + \frac{1}{2} \left[K \times 8/15 \times (2g)^{0.5} \times S_2 \times H^{2.5} \right]$$

WHERE:

- Q = DISCHARGE IN CFS
- K = WEIR COEFFICIENT
- L = LENGTH IN FEET
- g = 32.2 FT/SEC
- H = HEAD IN FEET
- S1 = LEFT SIDE SLOPE
- S2 = RIGHT SIDE SLOPE



WEIR DATA: OVERFLOW UNDER FENCE

- | | | |
|--------------------------------|------|------|
| 1. LENGTH, L | 3.00 | FEET |
| 2. WEIR COEFFICIENT, K (K<1.0) | 0.50 | |
| 3. LEFT SIDE SLOPE, S (H:V) | 0 | : 1 |
| 4. RIGHT SIDE SLOPE, S (H:V) | 0 | : 1 |

	HEAD (FEET)	DISCHARGE (CFS)
<hr style="border-top: 1px dashed black;"/>		
	0.20	0.72
	0.30	1.32
	0.40	2.03
	0.50	2.84
	0.60	3.73
	0.70	4.70
	0.80	5.74
	0.90	6.85
	1.00	8.03
	1.10	9.26
	1.20	10.55
Q(100) = C x I(100) x A	1.30	11.89
A = 0.52 ac.	1.40	13.29
I(100) = tc = 10 min.	1.50	14.74
I(100) = 10.80		
C = 0.45		
Q(100) = (0.45) x (10.80) x (0.52)		
Q(100) = 2.53 cfs		
Weir = 2.84 cfs		

National Flood Hazard Layer FIRMette



87°53'42"W 42°2'44"N



0 250 500 1,000 1,500 2,000 1:6,000 Feet

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE)
Zone A, V, A99
 - With BFE or Depth
Zone AE AO AH, VE, AR
Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile
Zone X
 - Future Conditions 1% Annual Chance Flood Hazard
Zone X
- OTHER AREAS OF FLOOD HAZARD**
- Area with Reduced Flood Risk due to Levee. See Notes.
Zone X
 - Area with Flood Risk due to Levee
Zone D

- OTHER AREAS**
- Area of Minimal Flood Hazard
Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard
Zone X
- GENERAL STRUCTURES**
- Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

- OTHER FEATURES**
- Cross Sections with 1% Annual Chance
 - Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

- MAP PANELS**
- Digital Data Available
 - No Digital Data Available
 - Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

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