



Planning and Zoning Board Agenda November 22, 2022 Room 102 – 7:00 P.M.

Chair Announcement: The public hearing for 1683 Elk Boulevard, Case Number 22-048-CU, has been rescheduled for the Tuesday, December 13, 2022 Planning and Zoning Board Meeting at 7 p.m. in Room 102 of City Hall, 1420 Miner Street, Des Plaines, Illinois. The case is not on the agenda this evening. Any attendees that are present for this case can comment during public comment for matters that are not on the agenda.

Call to Order and Roll Call

Approval of Minutes: October 25, 2022

Public Comment: For matters that are not on the agenda

Pending Applications:

1. Address: 1700 Higgins Road

Case Number: 22-049-FPLAT-V-PUD-A

The petitioner is requesting an amendment to a previously approved Planned Unit Development, which includes exceptions to maximum building height in the C-3 District, minimum curb setback, and perimeter parking lot landscaping requirements for a proposed hotel and its parking area; Major Variation(s) from the minimum off-street parking requirements for a hotel and office; an Amended Final Plat of Subdivision under the Subdivision Regulations; and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-33-310-0004-0000 and 09-33-309-0007-0000

Petitioner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Owner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

2. Address: Citywide

Case Number: 22-050-TA

The petitioner is requesting text amendments to the Zoning Ordinance related to privately or publicly owned parks, public open space and/or recreational facilities, related off-street parking requirements, and any other amendments or relief as may be necessary.

PIN: Citywide

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Owner: N/A

Next Agenda: Next regular meeting on December 13, 2022.

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

Case 22-040-CU 780 Lee Street
Case 22-044-CU 2064 S. River Road
Case 22-046-TA-MAP-FPUD-FPLAT 2500 Devon & 2980-3000 River

Conditional Use
Conditional Use
Text Amendment, MAP
Amendment, Final Planned
Unit Development, Final Plat
of Subdivision



**DES PLAINES PLANNING AND ZONING BOARD MEETING
October 25, 2022
DRAFT MINUTES**

The Des Plaines Planning and Zoning Board held its regularly scheduled meeting on Tuesday, October 25, 2022, at 7:00 p.m. in Room 102 of the Des Plaines Civic Center.

Chair Szabo called the meeting to order at 7:02 p.m. and roll call was established.

PRESENT: Szabo, Catalano, Fowler, Hofherr, Saletnik,

ABSENT: Veremis, Weaver

ALSO PRESENT: John Carlisle, Director of Community & Economic Development
Jonathan Stytz, AICP, Senior Planner
Samantha Redman, Associate Planner
Margie Mosele, CED Executive Assistant

A quorum was present.

APPROVAL OF MINUTES

A motion was made by Board Member Hofherr, seconded by Board Member Saletnik to approve the meeting minutes of September 27, 2022.

AYES: Hofherr, Saletnik, Catalano, Fowler, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

PUBLIC COMMENT ON NON-AGENDA ITEM

There was no public comment.

Case 22-040-CU	780 Lee Street	Conditional Use
Case 22-044-CU	2064 S. River Road	Conditional Use
Case 22-046-TA-MAP-FPUD-FPLAT	2500 Devon & 2980-3000 River	Text Amendment, MAP Amendment, Final Planned Unit Development, Final Plat of Subdivision

Pending Applications

1. Address: 780 Lee Street **Case Number:** 22-040-CU

The petitioner is requesting a conditional use from Section 12-11-5.G of the Zoning Ordinance, to allow an EMB sign on a property in the C-5 Central Business District at 780 Lee Street.

Address: 780 Lee Street

Petitioner: Dr Victor Grandinetti, 780 Lee Street, Des Plaines, IL 60016

Owner: Lee St 780 LLC, 780 Lee Street, Des Plaines, IL 60016

Case Number: 22-040-CU

PIN: 09-17-425-026-0000

Ward: #2, Alderman Colt Moylan

Existing Zoning: C-5, Central Business District

Existing Land Use: Office Building

Surrounding Zoning: North: C-5, Central Business District
South: C-5, Central Business District
East: R-4, Central Core Residential District
West: C-5, Central Business / R-4, Central Core Residential Districts

Surrounding Land Use: North: Office Building (Commercial)
South: Office Building (Commercial)
East: Townhouses (Residential)
West: Apartments (Residential) / Funeral Home (Commercial)

Street Classification: Lee Street is classified as an Other Principal Arterial road.

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Comprehensive Plan: The Comprehensive Plan illustrates the property as Higher Density Urban Mix with Residential.

Zoning/Property History: Based on City records, the subject property has been utilized as a multi-tenant office building.

Project Description: The petitioner, Dr Victor Grandinetti, is requesting a conditional use to allow for an EMB sign on a property in the C-5 Central Business District at 780 Lee Street. This property contains a two-story, 6,643-square-foot brick building set back roughly 11 feet from Lee Street with a surface parking lot as shown in the attached ALTA/NSPS Land Title Survey. The subject property is accessed by two one-way drive aisles off Lee Street and an alley located directly west of the subject property. There is currently a wall sign on the building's east elevation facing Lee Street. However, no freestanding signs exist on the subject property at this time.

The petitioner is requesting a new pole sign with an EMB component to be positioned in the south landscape area located directly east of the building and facing south as noted on the attached Site Plan. Please see the attached Project Narrative for additional information. The proposed EMB pole sign contains an approximate 18.31-square-foot circular portion, 26 inches tall by 63 inches wide static rectangular portion, and 69.3 inches tall by 63 inches wide EMB portion as shown in the attached Sign Plan. The Zoning Ordinance allows for pole and monument signs to include one EMB sign component so long as this component does not exceed 50 percent of the total sign area. As the EMB component yields 30.32 square feet and the total proposed sign area is 68.16 square feet, this code requirement is met. The petitioner is also proposing to install a 3-foot-wide landscape bed around the base of the new pole sign as required by the zoning ordinance and illustrated in the attached Landscape Plan. However, pursuant to Section 12-11-5.G of the Zoning Ordinance, any proposed EMB sign must obtain a conditional use permit. The EMB component of the proposed pole sign requires the petitioner to request the conditional use.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the Zoning Ordinance. The PZB may use the staff comments below or the attached petitioner responses as its findings, or the Board may adopt its own:

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1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed pole sign includes an EMB component, which is only permitted in the C-5 Central Business district through a conditional use permit as specified in Section 12-11-5.G of the Zoning Ordinance.

2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: There is not an objective in the Des Plaines Comprehensive Plan related to the EMB signs in the C-5 district or the City as a whole. While the Comprehensive Plan looks to increase wayfinding signage in the Downtown area for pedestrian and bike trails, the proposal would not fall into this category.

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The proposed EMB pole sign would not match the character of general vicinity as freestanding signs are few and far in between in this area. While there are a couple of examples of freestanding signs in this area—a static pole sign for Old National Bank at 749 Lee Street and static monument sign at the United Methodist Church at 668 Graceland Avenue—they are smaller in size and do not contain an EMB component. It is staff’s opinion that the design elements of the proposed sign—large overall height, large size, positioning, and EMB component—are not necessarily harmonious or appropriate for the existing character of the area. In addition, the proposed positioning of the sign would block a portion of the building’s east (front) elevation which arguably could detract from the appearance of the subject property itself. While the eleven-foot-wide landscape area can conceivably accommodate the proposed 63-inch-wide sign and proposed five-and-a-half-foot sign setback, it would require the sign to be less than a foot away from the building.

On the other hand, the Zoning Ordinance requires that all EMBs have automatic dimming via either “...light sensing devices or a scheduled dimming timer which automatically dims the intensity of the light emitted by the sign during ambient low light and nighttime (dusk to dawn) conditions. The signs shall not exceed 500 nits of intensity as measured at the sign surface during nighttime and low light conditions and 5,000 nits during daytime hours.” Automatic dimming in compliance with the Ordinance would contribute to harmonious operation, although ultimately decision-makers should decide through the conditional use if the dimming is sufficient.

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4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: By definition, signs are intended to attract the attention of passersby to advertise, inform, or direct them to something. Naturally, signs can result in or create hazardous or disturbing effects to surrounding properties based on their design and position. While only facing one direction and positioned five and a half feet off the east property line, the proposed EMB pole sign would be in close proximity to motorists, pedestrians, and individuals working or living in this area presenting the potential for negative side effects for the mixture of commercial and residential uses that comprise this portion of Lee Street. An example is the townhouse development located directly across the street from the subject property where residents could experience glare, light pollution, or other effects from the proposed EMB pole sign—although automatic dimming could mitigate this effect. The Zoning Ordinance does restrict the brightness and display of EMB signs. However, it is conceivable that the proposed EMB pole sign could be hazardous or disturbing to existing neighboring uses. The petitioner proposes to have the EMB sign turned off between 11 pm and 6 am to help address potential concerns.

5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The subject property is an interior lot with direct access to essential public facilities and services. Staff has no concerns that this will change with the addition of the proposed EMB pole sign.

6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The proposed EMB pole sign is not expected to create a burden on public facilities or be a detriment to the economic well-being of the community. However, it would not improve the economic well-being of the City as it is directly benefitting a single property.

7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: While the proposed EMB pole sign would not create traffic, smoke fumes, or odors, it could create glare that could impact surrounding properties. The light and glare generated by the proposed sign may be minimal but could still create adverse effects on surrounding properties.

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8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The proposed EMB pole sign will not create an interference with the northbound only traffic on Lee Street as its position will not impact the existing curb-cuts on Lee Street. The proposed sign would also not block the view of any curb cuts.

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The subject property is already developed so the proposed EMB pole sign would not result in the loss or damage of natural, scenic, or historic features. However, it would reduce a portion of the existing landscape area and block a portion of the east (front) elevation of the building from view.

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The petitioner has acknowledged that the proposed EMB pole sign will be designed to meet all applicable requirements as stated in the Zoning Ordinance.

PZB Procedure and Recommended Conditions: Under Section 12-3-4.D.3 (Procedure for Review and Decision for Conditional use) of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use at 780 Lee Street. The City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and findings of fact, as specified in Section 12-3-4.E (Standards for Conditional Uses) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions:

1. That all appropriate building permit documents and details are submitted as necessary for the proposed pole sign. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building codes.
2. The pole sign is designed, positioned, and utilized to meet all applicable City of Des Plaines codes.

Attachments:

- Attachment 1: Location/Zoning Map
- Attachment 2: ALTA/NSPS Land Title Survey
- Attachment 3: Photos of Existing Conditions
- Attachment 4: Site and Context Photos
- Attachment 5: Project Narrative

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Attachment 6: Petitioner’s Responses to Standards for Conditional Uses
Attachment 7: Site Plan
Attachment 8: Sign Plan

Chair Szabo swore in Victor Grandinetti, petitioner for 780 Lee Street and Ken Richmond, 443 W. US Highway 6, Valparaiso from Attractive Sign & Awning. Mr. Richmond explained the logo and ID sign and the electronic message board. Mr. Richmond explained the scope of the project along with calculations for square footage.

Member Fowler asked if there would be any border around the sign, mentioning that the sign did not appear to match the building appearance. Mr. Richmond stated the sign will help identify the business on the second floor. He added that the sign is unique and goes well with the building.

Member Fowler asked if the sign would be lit all night and if the City has regulations for timing since there are townhouses across the street.

Member Hofherr suggested since there are residential properties across the street that the sign shuts off at 10 pm instead of 11 pm.

Jonathan Stytz, Senior Planner explained that the sign has an automatic light dimming feature, which is required by code, but there is no requirement for the sign to be completely turned off.

Petitioner Grandinetti stated that he would turn the sign completely off at 10 p.m.

Chair Szabo asked what types of messages will be displayed on the sign. The petitioner said the electronic message board is stationary and not scrolling. The sign would be used to help announce the doctors in the practice, with specials that are being offered and remind of the second-floor location of the office.

Jonathan Stytz reviewed the staff report. Mr. Stytz explained that this property is located in the C-5 business district. This is a conditional use and needs to come before the board for a recommendation prior to going to City Council for approval. Mr. Stytz explained the PowerPoint including site plans showing the sign location, the city code regulations and requirements including a 3-foot landscape bed. The petitioner is required to comply with the requirements 24/7. He also noted the recommended conditions of approval for the request.

A motion was made by Board Member Catalano, seconded by Board Member Hofherr to recommend approval of a conditional use to allow an EMB sign on a property in the C-5 Central Business District at 780 Lee Street with the conditions in the staff report.

AYES: Catalano, Hofherr, Saletnik, Szabo
NAYES: Fowler
ABSTAIN: None

*****MOTION CARRIES****

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2. Address: 2064 S. River Road **Case Number:** 22-0044-CU

The petitioner is requesting a conditional use permit to operate a Commercially Zoned Assembly Use to be located in the C-3, General Commercial, zoning district.

PIN: 09-28-302-024-0000 & 09-28-302-025-0000

Petitioner: Binu Simon, Social Club of Chicago, 2064 S. River Rd., Des Plaines, IL, 60018

Owner: Social Club of Chicago, 2064 S. River Rd., Des Plaines, IL 60018

Case Number: #22-044-CUP

Ward Number: #6, Alderman Malcolm Chester

Existing Zoning: C-3, General Commercial

Surrounding Zoning:
 North: R-1, Single Family
 South: R-1, Single Family
 East: R-1, Single Family
 West: R-1, Single Family

Surrounding Land Uses:
 North: Open Space (detention basin)
 South: Single Family Residences
 East: Forest Preserve
 West: Single Family Residences

Street Classification: River Road is classified as an arterial street.

Comprehensive Plan : Commercial is the recommended use of the property

Property/Zoning History: The subject property was constructed in 1955 according to the Cook County Assessor’s Office and has operated as a commercial space throughout the known history of the building. The property is technically three parcels; a portion of the property, previously Esser Court, was vacated in 2004 and consolidated with PIN 09-28-302-025-0000 (Refer to Plat of Survey). This site is located within the hundred-year floodplain, requiring adherence to Federal Emergency Management Agency (FEMA) regulations for any construction in this location.

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The site is zoned C-3, allowing for a variety of permitted business uses. In 2019, a conditional use permit was approved (Ord. Z-7-19) to allow for a commercially zoned assembly use, specifically the Social Club of Chicago. Included in this approval were several conditions, including the requirement to expand the parking lot within two years to include fifteen (15) additional parking spaces (for a proposed total of 30 spaces) and a restriction limiting the uses in the building to specific activities related to the Social Club of Chicago.

Project Description:

The petitioner and property owner, Binu Simon of the Social Club of Chicago, is proposing a conditional use to allow a commercially zoned assembly use at 2064 South River Road. The property is one zoning lot but consists of three parcels and contains a two-story, 2,355-square foot building and a surface parking lot with 15 off-street parking spaces.

The previously approved conditional use permit allowed for the use of the entire building/property for an assembly use—and, in fact, necessitated that “Any expansion for any other proposed use or Activities shall require the Owner or Applicant to obtain an amendment to the Conditional Use Permit.” The petitioner has stated rental of space on the first floor is necessary to financially support the Social Club of Chicago organization. The intent of this new proposed conditional use permit is to clarify what uses are permitted at this property and expand the allowable uses to include office space on the first floor. Note the site is currently unable to operate as the previously approved conditional use because the parking lot was not expanded in the time frame specified in the conditions of approval.

Proposed Uses

The proposed floor plan of the building includes meeting areas and offices for the assembly use on the second floor and a proposed area for two tenants unassociated with the Social Club of Chicago on the first floor. (Refer to attached floor plan). The club activities are unchanged from the previous Conditional Use Permit, including monthly meetings to go over upcoming charitable events; to discuss official club business; and to play cards, board games, and other recreational games.

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A prospective tenant for half of the first floor is Level Motors. The company describes itself as an online motor vehicle sales company that sells used cars directly from owners to dealerships; however, this property will not be directly

used to sell or display vehicles but will be used as an office space. Most vehicles are picked up directly from the seller and taken to a dealership; however, some vehicles will be dropped off and taken to the dealership by an employee within 24 hours. According to the petitioner, no tow trucks or car carrier trailers will be used to transport vehicles in and out of this location. Due to the lack of motor vehicle display/sales on site, this use is classified as an office use and on its own would not require a conditional use permit, pursuant to Section 12-7-3. However, to co-occupy the property with a commercially zoned assembly, conditional use approval is required.

The petitioner and the proposed tenant do not have any plans to alter the interior or exterior of the building. The table below provides hours and proposed uses for the building. A second tenant for the first floor would be determined at a later date, and whether the use is possible – permitted use, conditional use, or not allowed at all – in the C-3 zoning district would be determined at that time. All uses would have their own off-street parking requirements, and the parking lot on site would need to suffice for the sum of all the required numbers, unless a variation were approved.

Social Club of Chicago	
Assembly Use	<p>Proposed Hours of Operation:</p> <ul style="list-style-type: none"> - Meetings: 6 p.m. to 9 p.m. once a month - Office Use: 6 p.m. to 9 p.m. occasional weekdays and weekends <p>Types of Activities: Club meetings and office use</p> <p>Maximum number of people:</p>

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	<ul style="list-style-type: none"> - Assembly use: 15-20 people* (participants are able to attend meetings either virtually or in person) - Office use: 2-3 members <p>Parking: Parking demand anticipated to be a maximum of 20 spaces for club attendees.</p>
<p>*Note: Previous CUP stated 30 people were anticipated to attend events; however, the petitioner states membership has been reduced due to the pandemic and no more than 20 attendees are anticipated. The virtual meeting option is also a new addition.</p>	
<p>Level Motors (Proposed Tenant in 1/2 of First Floor)</p>	
Office Use	<p>Proposed Hours of Operation: 8 a.m. - 5 pm M-F, 9 a.m. - 2 p.m. Saturday</p> <p>Types of Activities: Office use</p> <p>Employees: 5, varying days in the office/work from home.</p> <p>Parking: Parking demand will be 3-4 spaces for employees, meeting the zoning requirements for office spaces of this size. Occasional parking of vehicles (less than 24 hours) on site, awaiting pickup and delivery to other locations.</p>
<p>Vacant Office Area (1/2 of First Floor)</p>	
Office use or other uses allowed by C-3 Zoning	<p>Proposed Hours of Operation: To be determined (TBD)</p> <p>Types of Activities: TBD, likely office use</p> <p>Employees: TBD</p> <p>Parking: Parking demand will meet zoning code requirements, to be confirmed by the property owner and the Community and Economic Development department prior to approval of business license.</p>

Off-Street Parking

Pursuant to Section 12-9-7, commercially zoned assembly uses for membership organizations are required to provide one space for every 200 square feet of gross activity area. The proposed office use for Level Motors would require one space for every 250 square

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feet gross floor area. The definition of “floor area” in Section 12-13-3 allows certain spaces such as restrooms, mechanical rooms, hallways, and up to 10 percent of storage areas to be excluded. The table below reflects the floor area of the building.

Use	Floor Area	Required parking
Assembly uses community centers, banquet halls and membership organizations	1,365 square feet	6.85 spaces*
Office	1,095 square feet	4.38 spaces*
	Total	12 spaces
*Spaces rounded up to next whole number		

A total of 12 spaces are for this use with one (1) accessible space, per code requirements. During the previous conditional use process in 2019, 30 spaces were required to meet the anticipated parking demand. The justification for this additional parking was based off a parking study completed for the previous location of the Social Club of Chicago at 9660 Golf Road (Refer to Parking Study). The study indicated the club generated greater demand than code requirements, with up to twenty-two spaces occupied by club attendees.

However, since the COVID-19 pandemic, the petitioner states in the project narrative that in-person membership has been drastically reduced, with 15-20 members attending in person and other members attending virtually. However, the PZB and City Council may wish to ask the petitioner to clarify if there is virtual participation for *all* activities or if business meetings are different than truly social functions in the format of participation. Hours of operation are not anticipated to overlap for the assembly use and the office uses. Level Motors intends to operate M-F from 8 a.m. to 5 p.m. and Saturday 9 a.m. to 2 p.m. The Social Club of Chicago

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will meet monthly from 5 p.m. to 9 p.m. and any other activities occur after business hours for the office spaces. With the anticipated five (5) employees during business hours for Level Motors and the maximum anticipated attendance of 20 people for the Social Club of Chicago, parking demand should be satisfied with this location, provided the parking lot is expanded.

The parking lot is proposed to be expanded and includes 30 total spaces, including two accessible spaces (Refer to Parking Lot Expansion Plans). A condition of approval for the previous conditional use was to expand the parking lot to provide fifteen (15) additional spaces within two years of the approval of Ord. Z-7-19, which set a deadline of May 20, 2021. The petitioner did not expand the parking lot by this deadline. However, they have submitted a building permit for construction of the parking lot. Due to the location of the property in the floodplain, additional engineering requirements and approvals have been necessary to meet local and federal regulations. Final issuance of city building permits for the parking area is dependent on the approval of plans by the Metropolitan Water Reclamation District; the petitioner is currently awaiting this approval.

The parking lot will be required to meet specific standards since this property abuts a residential zoning district. Any lighting included with the parking lot may not exceed 0.1 foot-candles, pursuant to Section 12-12-10 and lighting fixtures are required to be shaded to avoid casting direct light to any abutting residential districts pursuant to Section 12-7-3.F.5.b. Landscaping is to be provided along and within the new parking lot perimeter to meet Section 12-10-8.

Standards for Conditional Use

The following is a discussion of standards for zoning amendments from Section 12-3-4(E) of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided below and in the petitioner’s response to standards. The PZB may use this rationale toward its recommendation, or the Board may make up its own.

- 1. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:**

Comment: Commercially zoned assembly use requires a conditional use permit in the C-3 Zoning District.

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PZB Additions or Modifications (if necessary):

2. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The 2019 Comprehensive Plan illustrates this area to be used for commercial activities. This request, compared with the previously approved conditional use permit in 2019, better supports the use of this area for commercial uses by proposing additional office/other commercial uses permitted in C-3 zoning districts at this property.

PZB Additions or Modifications (if necessary):

3. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: Refer to petitioner’s response to standards. The parking lot is proposed to be expanded to accommodate parking demand for all uses, but otherwise the site will remain unchanged. Of note is the presence of this location in a floodplain, which presents limitations in terms of construction due to FEMA regulations.

PZB Additions or Modifications (if necessary):

4. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The petitioner met with neighbors during the first conditional use permit process and addressed concerns about insufficient parking on site and agreed to a condition of approval to expand the parking lot. This parking lot expansion has not occurred, but permits are currently awaiting MWRD and city approval in order to begin construction. The proposed use would not be hazardous or disturbing to the existing neighboring uses. Landscaping, as required in Section 12-10-8, will be required to be provided along the perimeter of the new parking lot and any lighting must follow requirements of Section 12-12-10 and Section 12-7-3.F.5.b.

PZB Additions or Modifications (if necessary):

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- 5. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:**

Comment: The existing building has been adequately served by essential public facilities and services. Staff has no concerns that the proposed use will not be adequately served with essential public facilities and services.

PZB Additions or Modifications (if necessary):

- 6. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:**

Comment: The proposed use would neither create a burden on public facilities, nor would it be a detriment to the economic well-being of the community. The proposed use may improve the economic well-being of the community by providing additional economic development and employment opportunities to residents by including additional office spaces for businesses in a commercial district.

PZB Additions or Modifications (if necessary):

- 7. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:**

Comment: If the condition is met to expand the parking lot, all uses will meet the parking demands of this request. Traffic will be limited to employees and the occasional drop off of a customer's vehicle during business hours for the proposed Level Motors tenant. Traffic for the Social Club of Chicago will occur after business hours. No larger truck traffic will be generated by any uses. All proposed activities would take place inside the building reducing any noise, smoke fumes, light, glare, odors, or other concerns.

PZB Additions or Modifications (if necessary):

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8. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: Vehicular access will continue to be provided through one access point on River Road. The attached Traffic Study conducted by KLOA in 2019 indicated the traffic for the assembly use will be dispersed throughout the week and most of the traffic generated will occur during non-rush hours. As discussed in the parking section of this report, the club anticipates a reduced parking demand due to the flexibility of providing virtual meetings in addition to in-person meetings. The proposed office uses will be during business hours, with five estimated employees and the proposed Level Motors business does not have a retail/public-facing component to their business. Therefore, the proposed use is not likely to interfere with traffic and the surrounding road network.

PZB Additions or Modifications (if necessary):

9. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The subject property is within an existing building and thus would not result in the loss or damage of natural, scenic, or historic features. No new development is proposed for this site with the exception of the parking lot expansion on an existing turf area of the property. The engineering and proposed development plans of this parking area are subject to approval by the Metropolitan Water Reclamation District (MWRD) and must follow all FEMA regulations for properties inside floodplains.

PZB Additions or Modifications (if necessary):

10. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposed uses comply with all applicable requirements as stated in the Zoning Ordinance.

PZB Additions or Modifications (if necessary):

PZB Procedure and Recommended Conditions: Pursuant to Sections 12-3-4(E) and 12-3-7(E) of the Zoning Ordinance, the PZB may vote to *recommend* approval, approval with modifications, or disapproval of the conditional use. The City Council has final authority over both requests.

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However, should the PZB recommend approval of the conditional use, staff suggest the following conditions for the conditional use request.

Conditions from the previously approved Ordinance Z-7-19 are included in the conditions below, with modifications, as well as several conditions added related to the proposed Level Motors use. Additions are **bold, double underline**. Deletions are ~~struck through~~.

Conditions of Approval:

1. The **second story of the Subject Property** shall only be used as a Commercially Zoned Assembly Use for the following activities:
 - a. Community services.
 - b. Recreational activities and social activities that comply with all applicable codes.
 - c. Charitable events; and
 - d. Office uses directly related to the Chicago Social Club (collectively, "*Activities*").
2. **The first story of the Subject Property shall only be used for uses approved for C-3 Zoning Districts and any new uses must not exceed the collective parking requirement of all uses.**
3. Any expansion for any other proposed use or Activities shall require the Owner or Applicant to obtain an amendment to the Conditional Use Permit.
4. The Subject Property shall only be used for the Activities during the following times:
 - a. 6 pm to 9 pm **for assembly uses;**
 - b. 8 am to 5 pm for hours of the office use; and
 - c. Any other hours of operation that are approved by the Director of Community and Economic Development.
5. The Petitioner must add a minimum of 15 parking spaces to the Property to accommodate peak parking demand periods **before a certificate of occupancy or business registration would be issued for either the social club or office use.**
6. All non-accessory uses (trailers or other stored items) on the Subject Property must be removed within 90 days of the approval date of this Ordinance.
7. The Activities and the Subject Property must comply at all times with the maximum occupancy load prescribed by the Fire Protection Department.
8. All food service preparation for any participant in the Activities must come from a commercial grade kitchen.
9. **No motor vehicles in the process of being sold may be located on the subject site in excess of twenty-four hours. No towing vehicles or car carriers may be parked on site or used to complete regular business practices of Level Motors.**

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: Project Narrative and Responses to Standards

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Attachment 4: Previous Ordinance Z-7-19 for Conditional Use

Attachment 5: Parking Demand Study

Attachment 6: Plat of Survey/Site Plan

Attachment 7: Floor Plan

Attachment 8: Parking Lot Expansion Plans

Chair Szabo swore in Binu Simon and C. Simon, petitioners, and Jimmy Vachachira, Attorney, for 2064 S River Road. Mr. Vachachira explained that the Chicago Social Club is a non-profit organization which raises money off-site through Blood and Food Drives along with other fundraising. The club would like to use the second floor for meetings once a month from about 6-9 pm. The meeting would be attended by around 15-20 people and there is a virtual option as well. The first floor would be rented to a business focused on online motor vehicle sales. There will be not vehicles on the property for sale associated with this business. There are currently 15 parking spaces which will be increased to 30. They hired a civil engineer and have been working with the City of Des Plaines on their parking lot permit; revisions to MWRD were submitted recently.

Samantha Redman, Associate Planner, reviewed the staff report. Ms. Redman explained that in 2019, a conditional use for a commercially zoned assembly use, the Chicago Social Club, at 2064 S. River Road was recommended for approval by the PZB and City Council approved under ordinance Z-7-19. The current case is to amend this conditional use. In the previous conditions, the parking lot needed to be expanded and striped which has not occurred yet. Staff recommends adding several conditions, including all of the conditions from the previous ordinance with a few additions. The petitioner will still need to expand the parking lot by 15 spaces to provide a minimum of 30 spaces. The assembly use is proposed for the second floor with proposed hours of operation of 6-9 pm. Also, the office space on the first floor will be a company which uses an online portal for car sales, with condition #9 added to prevent the site from becoming a typical car sales company. There will not be cars for sale onsite, and no car carriers will be onsite. Staff recommends the nine conditions of approval.

Chair Szabo asked staff who would monitor to make sure the conditions are met for the 9th condition so it doesn't become a parking lot: the Police Department or Community Development. Samantha Redman said the City Code Enforcement Department would do the monitoring and the neighbors have also been closely monitoring this site. Member Hofherr asked about the estimated tax revenue of the online vehicle sales; staff stated this would be taxed like a typical business but did not have additional information.

Chair Szabo asked the petitioner if they are ok with the fourth condition regarding hours of operation for the once-a-month meeting. The petitioner said their intention is to be finished with the meetings by 9 pm but it would be better to have it increased to 10 pm.

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Member Fowler read a text she was sent from another member, originally from a neighbor. She asked the petitioner about trucks parked in the lot, starting at early hours, and rocks in the parking lot.

The petitioner stated that they had a tenant that has since left that put stickers on trucks. Trucks would come into the parking lot to get stickers and then leave. However, the tenant is no longer operating in this building. The rocks were brought in because they were going to start on the parking lot, but COVID and permitting slowed that down.

Chair Szabo stated the motion should include changing the hours of operations for the assembly use to 6-10 pm on weekends including Friday and Member Saletnik included in the motion to remove “Level Motors” from condition #9 and say “any auto-sales-related entity”.

A motion was made by Board Member Saletnik, seconded by Board Member Catalano to recommend approval of a conditional use permit to operate a Commercially Zoned Assembly Use to be located in the C-3, General Commercial, zoning district with modifications to condition #4 A. to increase the time to 6-10 pm on weekends including Friday and modifications to condition #9 to apply to any “auto-sales-related entity” instead of “Level Motors.”

AYES:	Saletnik, Catalano, Fowler, Hofherr, Szabo
NAYES:	None
ABSTAIN:	None

*****MOTION CARRIES UNANIMOUSLY ****

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3. Address: 2500 Devon and 2980-3000 S River Road **Case Number:** 22-046-TA-MAP-FPUD- FLAT

The petitioner is requesting the following text amendments to the Zoning Ordinance: (i) modify Section 12-11-5.H to allow the installation of new electronic message board billboards pursuant to all existing billboard regulations; (ii) modify Section 12-11-6.B to allow a single billboard in the C-6 Casino District separate from the city-wide billboard limit; (iii) modify Section 12-11-6.B to allow a three-sided billboard only in the C-6 Casino District pursuant to specific regulations; and (iv) modify Section 12-11-6.B to exempt static and electronic message board billboards from the total sign area restriction for properties under five acres in size.

The petitioner is also requesting the following items: (i) a map amendment under Section 12-3-7 to rezone the property at 2500 Devon Avenue from C-2 Limited Office Commercial district to C-6 Casino district; (ii) a Major Change to a Conditional Use for a Final PUD under Section 12-3-5 of the Zoning Ordinance to make various site improvements regarding parking and access drives on 2500 Devon Avenue, landscaping, pedestrian access, and billboard sign location; (iii) a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to consolidate four lots of record into two lots of record; and (iv) the approval of any other variations, waivers, and zoning relief as may be necessary.

Petitioner: Michael Tobin, Midwest Gaming and Entertainment, LLC, 900 N. Michigan Avenue, Suite 1600, Chicago, IL 60611

Owners: (i) Tim Drehkoff, Midwest Gaming and Entertainment, LLC, 900 N. Michigan Avenue, Suite 1600, Chicago, IL 60611; (ii) Tim Drehkoff, Devon Parcel, LLC, 400 Continental Boulevard, El Segundo, CA 90245; (iii) Josef Bobek, LD Acquisition Company 7, LLC, 400 Continental Boulevard, El Segundo, CA 90245

Case Number: 22-046-TA-MAP-FPUD-FPLAT

PINs: 09-34-300-043-0000; -044; -047; -048

Ward: #6, Alderman Malcolm Chester

Existing Zoning: C-6, Casino District (2980-3000 S. River Road) / C-2, Limited Office Commercial District (2500 Devon Avenue)

Existing Land Uses: Casino, Office Buildings, and Parking Garage and Surface Parking

Surrounding Zoning: North: C-2, Limited Office Commercial District
South: Commercial (Rosemont)
East: Cook County Forest Preserve (Unincorporated Cook

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County)

West: C-7, High Density Campus District

Surrounding Land Use:

North: Hotel

South: Office Space and Rosemont Village Hall

East: Open Space/Park

West: O’Hare Lakes Business Park

Street Classification:

Devon Avenue and River Road are classified as arterial roads.

Comprehensive Plan:

The Comprehensive Plan illustrates the subject properties as commercial.

Zoning/Property History:

Based on City records, 3000 S. River Road has been utilized for a casino building with surface and covered parking areas, and the properties at 2980 S. River Road and 2500 Devon Avenue have each been utilized for separate office buildings with surface parking for casino personnel. The 2980 and 3000 S. River properties are currently part of the Casino PUD, which was first amended to add the 2980 property and expand the existing parking garage (approved December 2, 2019, through Ordinance Z-33-19) and then to expand the existing casino building (approved March 15, 2021 through Ordinance Z-31-21) to accommodate necessary floor area and parking for the expansion. There is also an existing Localized Alternative Sign Regulation (LASR) awarded to the casino campus pursuant to Ordinance Z-33-19, which was amended to add 20 new static signs, replace 15 existing static signs, add eight new LED signs, and replace one existing LED sign (last approved November 1, 2021, through Ordinance Z-54-21).

There are two parcels assigned to the address 2500 Devon. The larger of the two is for the existing office building and parking lot, which are proposed through this petition to be formally brought into the C-6 District and the casino campus. The smaller parcel contains an existing billboard sign structure with two static panels. The billboard was permitted in 1998 and is legally nonconforming.

Project Overview:

All the requests are intended to work in concert to accomplish the following key actions:

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- Remove the existing billboard at 2500 Devon Avenue and build and install a new billboard on a newly created lot approximately 127 feet to the south. While the change would not result in a net increase in the number of billboards, the new billboard is proposed to have three panels instead of two.
- Formally bring the office building at 2500 Devon into the casino campus. The building is already owned by an entity controlled by the casino and used to support casino operations.
- Modify the parking lot design in the southwest corner of the casino campus, surrounding the 2500 Devon office building. The location of access points and drive aisles will change, notably with the removal of an existing curb cut to Devon. The proposal does not result in any net change of the number of parking spaces but does create a more cohesive parking area.

Text Amendments

Request Summary:

The existing two-sided static billboard located northwest of the office building at 2500 Devon Avenue is proposed to be removed, and a new three-sided billboard would be erected directly in between the office building and the west drive aisle off Devon Avenue (south of the existing billboard location), as shown in the attached Billboard Existing and Proposed Aerial. The proposed billboard and new location will be located on its own parcel and lot as discussed in further detail in the Final Plat of Subdivision request summary. The proposed three-sided billboard will have up to two, 1,200-square-foot digital faces (one facing north and the other facing south) and one, 600-square-foot static face directed to the east as illustrated in the attached Billboard Structural Plans. The proposed billboard does require multiple text amendments to approve its installation on the subject property, which are discussed further in the Text Amendments request summary.

Several text amendments to various sections of the Zoning Ordinance related to billboard signage are necessary. Currently, billboard signs are permitted only in certain districts within a certain proximity to the I-90 and I-294 toll roads and are limited in number to 12¹ citywide. As of 2005, Ordinance Z-24-05

¹ A 13th citywide billboard permit was made possible by Ordinance Z-52-21 (Dec. 6, 2021), to be constructed as depicted in Ordinance Z-53-21. The 13th billboard permit is part of the Mannheim-Pratt subdivision and is affiliated with a commercial development at the southeast corner of that intersection. However, the zoning text

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allocated the final billboard permit for the city, preventing new billboard permits from being approved. The existing billboard structure located on the subject properties is not one of the billboards with a citywide permit—its existence predates the current billboard-permit framework—and is therefore non-conforming pursuant to Section 12-11-10 of the Zoning Ordinance. The petitioner intends to remove this existing billboard in its entirety and construct a new billboard in a different location than the existing. However, to do so, text amendments are required, which are described in more detail below and found in the attached Proposed Text Amendments.

Allowing Billboards in C-6 District

The Zoning Ordinance currently permits billboards in the C-1, C-2, C-3, M-1, M-2, and I-1 districts but does not have an allowance for billboards in the C-6 district. As such, the petitioner is proposing to amend the table in Section 12-11-6.B under Billboards to add the C-6 district as one which can allow a billboard sign. As noted above, all citywide billboard permits have been issued for the city as a whole. Consequently, for purposes of this project, the petitioner is also looking to amend the table in Section 12-11-6.B under Billboards to add a special allowance for the C-6 district for one billboard sign—pursuant to Section 12-11-3.C.3—separate from the existing allowance of billboards for the rest of the city.

Allowing New Billboards with EMB Panels

The above amendments would create the necessary allowance to permit the construction of a static billboard sign in the C-6 district for the proposed Lot 2. However, the petitioner is requesting a new billboard sign with electronic message board (EMB) panels as an initial installation. While Section 12-11-5.H of the Zoning Ordinance allows for the conversion of an existing static billboard to an electronic message board (EMB) billboard, there is currently no allowance for a new billboard with EMB panels². As such, the petitioner is requesting to

amendments have not yet been made effective but are expected to be made effective in the near future.

² This allowance was created by Ordinance Z-52-21, but the ordinance is not yet effective as of the writing of this report.

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modify Section 12-11-5.H to allow a new EMB billboard pursuant to standards and regulations for billboards generally and the EMB billboard standards in Section 12-11-6.B under Billboards.

Allowing a Three-Sided Billboard

The Zoning Ordinance currently allows no more than a double-faced billboard sign with each face not exceeding 1,200 square feet and the total sign area not exceeding 2,400 square feet. However, the petitioner is proposing a three-sided billboard as part of this project. As a result, the petitioner is proposing to amend the table in Section 12-11-6.B under Billboards to allow a three-sided billboard only in the C-6 District provided that two of the three faces cannot exceed 1,200 square feet in area, the third face cannot exceed 600 square feet in area, and the total billboard sign area cannot exceed 3,000 square feet.

Exempting Billboards from Sign Area Restrictions Due to Lot Size

There is a current 600-square-foot total sign area restriction for parcels that are less than five acres in size that directly conflicts with the new billboard on the proposed Lot 2. Since the proposed Lot 2 will be less than five acres in size, the petitioner is also looking to amend footnote 2 of the table in Section 12-11-6.B to exempt static or EMB billboards from this restriction³.

Map Amendment (2500 Devon)

Request Summary:

The subject properties at 2980-3000 S. River Road are zoned C-6 Casino. However, the subject property at 2500 Devon Avenue, containing the second stand-alone office building, is currently zoned C-2 Limited Office Commercial. As a result, the petitioner is requesting a map amendment for this property from the C-2 to C-6 district so that it will be consistent with the rest of the casino properties. The proposed map amendment requires the existing Parcel 3 office building (to be consolidated with the proposed Lot

³ This allowance was created by Ordinance Z-52-21, but the ordinance is not yet effective as of the writing of this report.

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780 Lee Street

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Case 22-044-CU

2064 S. River Road

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1) to be in conformance with the bulk regulations of the C-6 Casino district.

The table below compares the bulk regulations between the C-2 Limited Office Commercial and C-6 Casino districts. As this is a corner lot, the Zoning Ordinance designates the shortest property line abutting a street—Devon Avenue—as the front yard, the north property line as the rear yard, and the east and west property lines as the side yards. Aside from the differing rear yard setback and height requirements, the C-2 and C-6 bulk requirements are similar. However, there is a special consideration for developments in the C-6 Casino district as identified in Section 12-7-3.L of the Zoning Ordinance:

“In the C-6 Casino District, more than 1 structure may be allowed per lot, thus, setbacks shall be maintained for each lot, and not to individual structures....”

As a result, the required setbacks identified in the bulk regulation table for the C-6 district apply to all collective structures that makeup the development on a single lot as a whole—not as a required setback from individual structures. That said, the existing development on the proposed Lot 1—casino building, office buildings, and parking garages—all meet the required bulk regulations for the C-6 district as excerpted in the table and will not be altered by this request.

Bulk Regulations for C-2 Limited Commercial and C-6 Casino Districts

Yard	C-2	C-6
Front Yard (South)	Min.: 5 Feet	Min. 5 Feet
Rear Yard (North)	Min.: 5 Feet	<i>Not applicable*</i>
Side Yards (East & West)	Min: 5 Feet	Min.: 5 Feet
Building Height	Max: 45 Feet	Max: 160 Feet

**No minimum required rear yard setback is required in the C-6 district.*

Major Change to Final PUD

Request Summary:

Overview

The casino campus contains a roughly 224,363-square-foot casino building, a four-story parking garage, and a two-story office

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building with a surface parking lot. With all lots combined, the property encompasses 20.78 acres in land area. The applicant is requesting a Major Change to the Planned Unit Development to make various site improvements regarding parking and access drives on 2500 Devon Avenue, landscaping, pedestrian access, and billboard sign location as detailed below. A complete list of the proposed PUD amendments is found in the attached Project Narrative.

Parking and Access Improvements

As part of this request and with the removal of the existing billboard, the current separate parking area for the office building at 2500 Devon Avenue will be reconfigured so that it is open and cohesive to the rest of the southwestern casino surface parking area. In addition, the existing south drive aisle providing access from Devon Avenue to the current office building parking lot will be removed and replaced with new parking spaces and new turf/curb work in the parkway. Both of the proposed changes are intended to increase available parking and allow for better connectivity and access throughout the subject properties. The proposal also includes improvements for pedestrian access to the office building at 2500 Devon Avenue. The improvements consist of modifications to the existing landing and stairs accessing the south elevation of the building from the public walkway along Devon Avenue and the addition of a separate paved walkway area to provide direct ADA accessibility from the accessible spaces in the southwestern corner of the reconfigured parking area and the building.

Landscape Improvements

The proposal seeks to make some adjustments and improvements to the existing landscape areas throughout the entire site including all three subject properties. The proposed improvements are focused around the parking lot redesign at the southwestern portion of the site, along River Road, and the main casino entrance off

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River Road but also include improvements interspersed throughout the subject properties as illustrated in the attached Landscape Plan.

Final Plat of Subdivision

Request Summary: *Overview*

The existing casino property consists of four separate parcels as shown on the attached Plat of Survey and described below:

- Parcel 1 includes the Casino building and surface and covered parking areas on 3000 S. River Road and the office building and surface parking area on 2980 S. River Road.
- Parcel 2 includes the open space situated in between the office building at 2500 Devon Avenue and the west access drive aisle off Devon Avenue.
- Parcel 3 includes the office building and surface parking lot at 2500 Devon Avenue; and
- Parcel 4 includes the existing billboard and surface parking area portion.

The petitioner proposes to consolidate the existing four parcels into two lots of record as part of the Final Plat of Subdivision for the Des Plaines Casino Second Amended Resubdivision. Parcels 1, 2, and 3 will be consolidated into a proposed Lot 1 and the new billboard will be located on a proposed Lot 2, which will be positioned on a portion of the existing Lot 3 of the Des Plaines Casino Resubdivision as illustrated on the attached Final Plat of Subdivision and in the following table. The Final Engineering Plans were approved by the Engineering department on October 12, 2022.

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780 Lee Street

Conditional Use

Case 22-044-CU

2064 S. River Road

Conditional Use

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Lot #	Acreage	Areas Included
1	20.78	Casino building (existing Parcel 1) Surface/covered parking areas (existing Parcel 1) 2980 S. River Road office building (existing Parcel 1), Existing Parcel 2 2500 Devon Avenue office building (existing Parcel 3)
2	0.05	New billboard (existing Parcel 4)
Total	20.83 acres	

The new billboard is provided on a separate lot and will be owned by a separate entity (not the casino) but will retain 2500 Devon Avenue as its property address. The casino-owned parcels are proposed to be consolidated in an effort to provide more flexibility on future site projects and each property will retain its current property address.

Easements and Building Lines

The Final Plat shows the following existing easements and building lines: (i) a five-foot building setback line around the entire property boundary; (ii) a 15-foot Public Utility Easement along the south and east property boundaries; (iii) a 25-foot public utility easement along the west property boundary; (iv) various public utility easement and municipal watermain easements through site; (v) various municipal easements for storm sewer throughout site; (vi) a 10-foot water main easement at the northwest corner of the site; (vii) a 25-foot roadway ingress and egress easement along the west property boundary; (viii) a 33-foot Northern Illinois Gas Co. easement; (ix) a 38-foot City of Des Plaines easement; (x) a 38-foot utility roadway easement along the west property boundary; (xi) a public utility easement along the west property boundary; (xii) an aerial easement at the southwest corner of the site; (xiii) a roadway easement and separate access easement at the southwest

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corner of the site; and (xiv) a traffic signal easement at the southwest corner of the site.

As part of the resubdivision, the existing five-foot building setback line surrounding the current office building at 2500 Devon Avenue will be abrogated. However, the other existing easements are proposed to remain.

Subdivision Variations

The proposed Lot 2, which will contain the new billboard, is a new lot and is subject to the Subdivision Regulations. Pursuant to Section 13-2-5.R, all new lots must be a minimum of 125-feet in depth. Since the proposed Lot 2 is 62 feet deep, it does not meet the minimum depth requirements resulting in a need for a subdivision variation as part of this request. Further, pursuant to Section 13-2-5.V, all lots must front on a public street. The proposed lot borders a private drive, but not a public street, thus requiring a subdivision variation.

Standards for Text Amendments

The following is a discussion of standards for zoning amendments from Section 12-3-7.E of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided. The Board may use the comments as written as its rationale, modify, or adopt its own.

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council.

Comments: There is no specific goal, objective, or policy in the Comprehensive Plan related to billboard signage. However, the proposed amendments would provide appropriate billboard advertising for development located along a toll road in the C-6 district and result in the removal of an existing non-conforming billboard.

PZB Additions or Modifications (if necessary):

2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development.

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Comments: The C-6 Casino district in which the project area is located in is unique compared with all other zoning districts in Des Plaines due its uses and sole concentration in the southeastern portion of the city. As such, additional considerations for advertising may be assessed for this property similar to the convention and shopping center located in Rosemont directly south of the subject properties. As this area is already built up with larger-scale developments and increased advertising allowances, the proposed amendments would generally be compatible with current conditions and character of existing development.

PZB Additions or Modifications (if necessary):

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available.

Comments: The amendments should not have an effect on public facilities and services. The proposed amendments solely focus on special allowances for new billboard signs in the C-6 district to replace an existing non-conforming billboard sign.

PZB Additions or Modifications (if necessary):

4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and

Comments: As the new billboard would be replacing an existing billboard, there is no concern that the proposed amendments would result in an adverse effect on surrounding property values. Instead, it can be argued that the existing casino use on the subject properties has improved the value of properties in its general vicinity. The proposed amendments seek to create unique sign regulations for a unique use which are inherently associated with a casino operation to allow the reasonable use of property without inhibiting the enjoyment of property by adjacent owners and users.

PZB Additions or Modifications (if necessary):

5. Whether the proposed amendment reflects responsible standards for development and growth.

Comments: The amendments are focused on a specific property with a unique development in Des Plaines and are tailored to include responsible standards for development and growth. While the new billboard is not a true one-to-one replacement of the existing billboard on site, the construction of the proposed billboard, as made possible by approval of the proposed

Case 22-040-CU	780 Lee Street	Conditional Use
Case 22-044-CU	2064 S. River Road	Conditional Use
Case 22-046-TA-MAP-FPUD-FPLAT	2500 Devon & 2980-3000 River	Text Amendment, MAP Amendment, Final Planned Unit Development, Final Plat of Subdivision

amendments, does not result in an incompatible development trend, but rather provides the appropriate allowances for billboard signs in the C-6 district with customized regulations for its unique uses.

PZB Additions or Modifications (if necessary):

Standards for Map Amendments

The following is a discussion of standards for zoning amendments from Section 12-3-7.E of the Zoning Ordinance. The Board should review the petitioner’s responses. The Board may use the petitioner’s responses as written as its rationale, modify, or adopt its own.

- 1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council.**

PZB Additions or Modifications (if necessary):

- 2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development.**

PZB Additions or Modifications (if necessary):

- 3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available.**

PZB Additions or Modifications (if necessary):

- 4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and**

PZB Additions or Modifications (if necessary):

- 5. Whether the proposed amendment reflects responsible standards for development and growth.**

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PZB Additions or Modifications (if necessary):

PUD Findings of Fact

The proposed development is reviewed below in terms of the Findings of Fact contained in Section 12-3-5 of the Zoning Ordinance. The Board should review the petitioner’s responses. In review of the standards, the Board may use the petitioner’s responses as written as its recommended findings, modify the responses to use as findings, or adopt its own.\

- 1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3.5-1 and is a stated Conditional Use in the subject zoning district:**

PZB Additions or Modifications (if necessary):

- 2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:**

PZB Additions or Modifications (if necessary):

- 3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:**

PZB Additions or Modifications (if necessary):

- 4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:**

PZB Additions or Modifications (if necessary):

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5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

PZB Additions or Modifications (if necessary):

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

PZB Additions or Modifications (if necessary):

7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

PZB Additions or Modifications (if necessary):

PZB Findings for Subdivision Variation

Pursuant to Section 13-2-6 of the Subdivision Regulations, the PZB may recommend subdivision variations (distinct from zoning variations) when, in its opinion, undue hardship may result from strict compliance. In recommending any variation, the PZB should prescribe only conditions that it deems necessary to or desirable for the public interest. In making its findings, as listed below, the PZB shall consider the nature of the proposed subdivision and the existing use of land in the vicinity, the number of persons to reside or work in the proposed subdivision, and the probable effect of the proposed subdivision upon traffic conditions in the vicinity. Staff has the following comments, which the PZB may adopt or create its own.

1. That there are special circumstances or conditions affecting said property such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

Comment: The property's close proximity with the tollway and insufficient room for the addition of a public street to the proposed lot makes the variation requests logical. On development sites such as this, billboard land is reasonably expected to exist under separate ownership from the rest of the development, and the land required for a billboard is substantially less than land (i.e. lot area) required for most structures. It will be impractical and unnecessary to extend a public street to the lot for the new billboard (Lot 2).

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2. That the variance is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

Comment: The petitioner's proposed subdivision aims to reorganize the casino campus in an effort to improve circulation, pedestrian access, and casino operations. Granting the proposed subdivision variations will allow these improvements to be implemented on the site.

3. That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the territory in which said property is situated.

Comment: The proposed subdivision's intended site improvements address existing site constraints and access point deficiencies which can have positive public-welfare implications for the surrounding area. The approval of the requested subdivision variations allows these improvements to be recognized.

Recommendation and Conditions: Given the variety of requests associated with this application, the PZB should take separate motions:

- A motion pursuant to Section 12-3-7.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the proposed text amendments;
- A motion pursuant to Section 12-3-7.E. of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the proposed map amendment for 2500 Devon Avenue;
- A motion pursuant to Section 12-3-5.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the requests for a Major Change to Conditional Use for a Final PUD;
- A motion pursuant to Section 13-2-2 of the Subdivision Regulations, to approve, approve with conditions, or deny the Tentative Plat of Subdivision; and
- A motion pursuant to Section 13-2-7 of the Subdivision Regulations to *recommend* to the City Council approval of a Final Plat of Subdivision with lot variations for depth and frontage.

On the requests, staff recommends approval be subject to the following conditions:

1. The existing billboard structure at 2500 Devon shall be removed in its entirety through a demolition permit prior to the submittal of a billboard permit and construction of the new billboard structure.
2. All governing documents for the proposed development including covenants, conditions, and restrictions, or operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of the Final Plat of PUD or Final Plat of Subdivision.

Case 22-040-CU	780 Lee Street	Conditional Use
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Attachments

Attachment 1: Location Map

Attachment 2: Site and Context Photos

Attachment 3: Plat of Survey

Attachment 4: Project Narrative

Attachment 5: Petitioner's Responses to Standards

Attachment 6: Final Planned Unit Development (PUD) (including Site Plan)

Attachment 7: Final Plat of Subdivision

Attachment 8: Public Works and Engineering Memo

Attachment 9: Select Final Engineering Plans⁴

Attachment 10: Proposed Text Amendments

Attachment 11: Select Sign Plans⁵

Attachment 12: Landscape Plans

Chair Szabo swore in Todd Schaffer from Haeger Engineering who is a substitute for the petitioner, Rivers Casino. Mr. Schaffer explained that this is one case with four components. In 2019 the City approved a similar request for a northern expansion. The exterior is complete, and they are still working on the interior and consolidating the main property to include the 2980 River Road building, which is utilized for administrative offices.

After that action took place, the casino acquired a building at 2500 Devon and used it as an office. Rivers Casino is looking to increase the customer experience by incorporating a few changes: (i) incorporation of the 2500 Devon parking lot into the casino property; (ii) closing the existing access to Devon Avenue and increase the connector to the parking lots to look like one parking lot; and (iii) removal of an existing billboard and construction of a new billboard to the south of the old billboard, which will give the casino a blank canvas to land plan. Also, the relocation gives the billboard the opportunity to upgrade to LED and becoming a three-sided display.

The petitioner would need four zoning actions to take place: (i) proposed resubdivision to consolidate four existing parcels to 2 lots of record, one for the billboard and the other for the casino, parking areas, and office buildings. One PIN would be for the consolidated Casino property and one PIN for the billboard.

The billboard will conform to the city code of 99 feet in height and a standard V design which will be the LED sides. The third side of the billboard would allow the petitioner to enclose the billboard and utilize the space for additional advertising.

The first request is to change the zoning of the office building property at 2500 Devon Avenue from C-2 to C-6 so that all casino properties are the same zoning designation.

The second request is for text amendments to Section 12-11 of the code to: (i) allow billboards in the C-6 district; (ii) allow a three-sided billboard only for the C-6 district; and (iii) allow a

⁴ Summary excerpt pages. Full submittal available upon request to City staff.

⁵ Summary excerpt pages. Full submittal available upon request to City staff.

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new billboard to be LED. They would like to upgrade to LED, upgrade to a three-sided sign and add new structure support. They would use the billboard to advertise the casino.

The third request is for the subdivision of the casino and the structural part of the billboard. They would like to make the casino properties a single lot of record except for the billboard which would be its own separate C-6 Commercial lot.

The final request is for a PUD amendment. There are engineering and landscape plans included. The proposed Planned Unit Development amendments are focused around site improvements for the southern portion of the subject property.

Chair Szabo asked staff if there was just a side and not a sign on the third side of the billboard, would the sign be allowed.

John Carlisle discussed the definition of a sign and stated if the third panel was blank then would it be considered a panel.

The petitioner stated that if they were not able to utilize the third side for a sign it would be open because of the billboard cost.

Jonathan Stytz gave the staff report which includes the information and explanation of the Text Amendments, Map Amendment, Final PUD, Final Plat of Subdivision, and approval of variations. Jonathan explained that the casino is the only C-6 zoned property in Des Plaines.

Overall, there are five separate motions that will be need to be considered tonight. Four of the five the PZB has the ability to recommend. The fifth motion – the tentative plat of subdivision – the PZB can approve, approve with conditions, or deny. If the PZB chooses to amend any of the text amendment language, it was requested that the change in language be included in the motion.

- 1. A motion was made by Board Member Saletnik, seconded by Board Member Hofherr to recommend approval of text amendments to the Zoning Ordinance: (i) modify Section 12-11-5.H to allow the installation of new electronic message board billboards pursuant to all existing billboard regulations; (ii) modify Section 12-11-6.B to allow a single billboard in the C-6 Casino District separate from the city-wide billboard limit; (iii) modify Section 12-11-6.B to allow a three-sided billboard only in the C-6 Casino District pursuant to specific regulations; and (iv) modify Section 12-11-6.B to exempt static and electronic message board billboards from the total sign area restriction for properties under five acres in size with the conditions presented.**

AYES: Saletnik, Hofherr, Catalano, Fowler, Szabo
 NAYES: None
 ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

Case 22-040-CU	780 Lee Street	Conditional Use
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- 2. A motion was made by Board Member Saletnik, seconded by Board Member Hofherr to recommend approval of the map amendment under Section 12-3-7 to rezone the property at 2500 Devon Avenue from C-2 Limited Office Commercial district to C-6 Casino district with the conditions presented.**

AYES: Saletnik, Hofherr, Catalano, Fowler ,Szabo,
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

- 3. A motion was made by Board Member Saletnik, seconded by Board Member Hofherr to recommend approval of the Major Change to a Conditional Use for a Final PUD under Section 12-3-5 of the Zoning Ordinance to make various site improvements regarding parking and access drives on 2500 Devon Avenue, landscaping, pedestrian access, and billboard sign location with the conditions presented.**

AYES: Saletnik, Hofherr, Catalano, Fowler ,Szabo,
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

- 4. A motion was made by Board Member Saletnik, seconded by Board Member Hofherr to approve the Tentative Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to consolidate four lots of record into two lots of record with the conditions presented.**

AYES: Saletnik, Hofherr, Catalano, Fowler, Szabo,
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

- 5. A motion was made by Board Member Saletnik, seconded by Board Member Hofherr to recommend approval of a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to consolidate four lots of record into two lots of record with the conditions presented.**

AYES: Saletnik, Hofherr, Catalano, Fowler, Szabo,
NAYES: None
ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

Case 22-040-CU	780 Lee Street	Conditional Use
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ADJOURNMENT

The next scheduled Planning & Zoning Board meeting is Tuesday November 22, 2022.
The November 8, 2022 PZB will be cancelled.

Chairman Szabo adjourned the meeting by voice vote at 8:30 p.m.

Sincerely,

Margie Mosele, Executive Assistant/Recording Secretary

cc: City Officials, Aldermen, Planning & Zoning Board, Petitioners

DRAFT

MEMORANDUM

Date: November 18, 2022

To: Planning and Zoning Board (PZB)

From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*
Jonathan Stytz, AICP, Senior Planner *JS*

Subject: **1700 Higgins Road – Existing Office with Proposed Hotel and Surface Parking**
Consideration of a Major Change to a Final Planned Unit Development (PUD), an Amended Final Plat of Subdivision with Subdivision Variations, and Major Variations

Issue: The petitioner is requesting: (i) a Major Change to a Conditional Use for a Final PUD under Section 12-3-5 of the Zoning Ordinance to allow for the construction of a hotel to the east of the existing office building but without the parking garage that was approved in 2021; (ii) a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to subdivide the site into four lots of record and request of subdivision variations for lot depth and frontage; (iii) Major Variations to the reduce the required parking for the existing office building and for the proposed hotel; and (iv) the approval of any other variations, waivers, and relief as may be necessary.

Petitioner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Owner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Case Number: 22-049-FPLAT-V-PUD-A

PINs: 09-33-309-007-0000 and 09-33-310-004-0000

Ward: #6, Alderman Malcolm Chester

Existing Zoning: C-3, General Commercial District

Existing Land Uses: Office Building, Two Billboards, and Surface Parking

Surrounding Zoning: North: Tollway; then R-1, Single Family Residential District
South: Commercial (Rosemont)
East: Recreation (Rosemont)
West: Creek; then C-3, General Commercial District

Surrounding Land Use: North: Tollway; then Single-Family Residences
South: Fitness Center (Rosemont) and Apartments (Rosemont)
East: Open Space/Park (Rosemont)
West: Creek; then Vacant Parcel

Street Classification: Higgins Road is classified as a minor arterial.

Comprehensive Plan: The Comprehensive Plan illustrates the subject properties as commercial.

History and Background: Based on City records, 1700 W. Higgins Road has been utilized for an office building with surface parking areas since 1986. The subject property and 1738 W. Higgins Road, which is a separate lot generally west of Willow Creek, were the subject of a PUD originally approved August 19, 2019 through Ordinance Z-21-19. This approval contemplated: (i) substantial renovations of the existing office building; (ii) construction of a new 6,000-square-foot out lot restaurant building; (iii) construction of an 88-space parking lot at 1738 W. Higgins; and (iv) installation of significant infrastructure upgrades to all parcels including the addition of both above-ground and below-ground stormwater detention facilities and new box culvert bridge over Willow Creek connecting the proposed parking lot to the subject property.

Since December 2018, the existing office building has undergone major renovations as identified in the Project Narrative. However, the property owner along with any potential real estate partners expressed in 2021 the intent to construct a hotel instead of the 6,000-square-foot restaurant previously approved by Ordinance Z-21-19. The 1738 W. Higgins property was dropped from the project, requiring the Plat of Subdivision and PUD boundaries to be updated.

Consequently, the approvals were amended in 2021 to incorporate the following: (i) the construction of an approximately 64,760-square-foot hotel on the southeast corner of the lot; (ii) the construction of a new 207-space off-street parking garage on the northwest corner of the lot; and (iii) significant infrastructure upgrades to all properties including the addition of stormwater detention facilities to accommodate run-off (approved September 20, 2021 through Ordinance Z-44-21). The approval included the following bulk exceptions: (i) building height for the hotel (approximately 59 feet, where the maximum is 45 feet), (ii) location of parking lot curb in the hotel parking area within 3.5 feet of the lot line, and (iii) width of parking lot perimeter landscaping in the hotel parking area at less than the minimum required 5 feet.

However, the petitioner and hotel developer NexGen Hotel Management approached the City in 2022 to propose the hotel in substantially the same form, scale, and location as approved in 2021 but *without the previously approved parking garage west of the office*. Pursuant to Section 12-3-5.G.1, the reduction in proposed parking across the PUD necessitates approval of a “major change.” Nonetheless, on September 20, 2022, a request to extend the approval of the amended conditional use for PUD under Ordinance Z-44-21 was granted by the Zoning Administrator, pursuant to Section 12-3-4.H.

Because the previously approved parking garage would not fit on private property, the garage necessitated a vacation of a portion of City right-of-way, approximately 18,195 square feet of the former Webster Avenue. The City approved this vacation via Ordinance Z-45-21, also on September 20, 2021. However, without the parking garage, the vacation is no longer necessary. Nonetheless, the 2021 approval of the Final Plat of Subdivision included this vacation area in its geometry, which means an amended Final Plat of Subdivision pursuant to Section 13-2-9 of the Subdivision Regulations is necessary for the newly proposed project and site arrangement.

Finally, there are also two existing two-sided billboards on the subject property, one on the northwest corner of the site and the other on the northeast portion of the site. Both billboards were permitted between 2005 and 2006 and are both currently in operation on the site. The subdivision places each on their own small lots, which do not front on a public street or meet the minimum lot area of the Subdivision Regulations, which do not contemplate billboard lots.

Project Overview:

All of the requests are intended to work in concert to achieve the following:

- Obtain major variation relief for the number of required off-street parking spaces **for both the existing office building and the proposed hotel.**
- Resubdivide the existing lots to provide individual lots for the existing office building, each of the two existing billboards, and the proposed hotel, with subdivision variations for the billboard lots.
- Modify the existing parking lot area in the southeast corner of the subject property to make room for a new hotel building and its parking area.

Major Change to Final PUD

Request Summary:

Overview

The petitioner, Mariner Higgins Centre, LLC, is requesting a Major Change to the PUD allow for the construction of a 107-room, five-story hotel (Home2 Suites by Hilton brand, which specializes in extended stay) without the construction of a 207-space parking garage that was a part of the Final PUD approved September 20, 2021. The brand and hotel concept, as well as the number of rooms, are unchanged from the approval in 2021.

The Final PUD plan has been revised to show the proposed hotel positioned in the southeast corner of the property substantially in the same location as in the 2021 approval. However, the existing surface parking area on the northwest portion of the property, where the parking garage had been proposed, is now retained (the garage was going to be built over a portion of this area). The property owner now proposes:

- Construction of an approximately 64,760-square-foot hotel on the southeast corner of the lot;
- Separate parking area and access for the new hotel; and
- Stormwater detention facilities for the hotel parcel (Lot 2) to accommodate run-off.

Site Access

The subject property is currently accessed by one, signalized entrance off Higgins Road and single drive aisle to the building, surface/covered parking areas, and billboard signs. The proposed lot configuration will reallocate the parking area east of the drive aisle for the new hotel and hotel surface parking area but will not alter the existing drive aisle. The new hotel parcel (Lot 2) will be accessible via a single entranceway, which is aligned with the existing entranceway to the front of the office building. The service drive for the hotel parcel does not provide access to all sides of the proposed hotel building and does not meet width standards for fire truck access due to space constraints. However, the proposal does include a fire hydrant located on the east side of the building, which has been approved by the Fire Prevention Bureau. The location of the fire department connection will be determined by the Division Chief of the Fire Prevention Bureau.

Parking Areas and Requirements

The off-street parking requirements of Sections 12-9-7 and 12-9-8 of the Zoning Ordinance are based on the types of uses proposed. The existing office building is one use, and the proposed hotel is a separate use. Each use has a specific requirement for off-street parking:

- Office use requires one off-street parking space for every 250 square feet of gross floor area, as defined in Section 12-13-3 and excluding floor area devoted primarily to storage areas (up to 10% of the total combined floor area), food preparation areas, bathrooms, mechanical rooms, hallways, stairwells, and elevators.
- Hotel use requires one off-street parking space for every guest room plus one space for every 200 square feet of area devoted to offices.

The proposed hotel building (Lot 2) consists of 107 rooms and approximately 587 square feet of office space area, requiring a total of 110 spaces. The proposal for the hotel parcel includes 63 spaces, or potentially 61-62 after designation of any loading spaces (see the following page for discussion), which means the minimum requirement is not met and requires variation. Similarly, for the existing office building (Lot 1), after subtracting the excluded floor areas, the requirement is 541 spaces. The subject property was built under different parking regulations and contains 392 spaces, which does not conform with the current parking requirements.

In the 2021 approval, the petitioner proposed a 207-space parking garage to decrease the parking space deficiency, but nonetheless a major variation for the office building from 541 to 338 was necessary. However, the new proposal—with the hotel and no parking garage—increases the existing parking space deficiency, reducing the total parking count to 310 spaces for the entire site, or 308-309 after loading designation. The new proposal requires greater variation than what was granted in 2021. With 61-63 spaces allocated for the hotel on Lot 2, the office building on Lot 1 will have a balance of 247-249 parking spaces, as compared with 338 in the concept with the parking garage. More details are discussed in the Major Variation request summary.

A KLOA Traffic and Parking Impact Study was completed for the subject property to assess the anticipated effect of the existing office building and proposed hotel on the surrounding infrastructure. While the current proposal yields a net loss of approximately 80 parking spaces, the study concluded that the existing signalized intersection and proposed parking supply were sufficient to accommodate the peak parking needs for both uses. The City's Public Works/Engineering Department has reviewed and concurs with the findings of the KLOA study noting that the peak parking demands for the office building (mornings) and the hotel (evenings) will be different based on the time of day. Their comments can be found in the attached Public Works and Engineering memo. CED staff adds that it is reasonable and common after the COVID-19 pandemic for an office building's tenants to allow employees to work remotely at least part time. This would have the effect of reducing parking demand.

The PZB should review the Project Narrative and parking study, and members may ask the petitioner's team to explain in the public hearing their observations of this trend at this existing office. Further, the Pace 223 route, which provides seven days per week service, stops directly in front of the property, providing a clear public transportation alternative to driving and parking. Nonetheless, the PZB may wish to inquire whether the hotel would do either of the following, which could decrease parking need among guests:

- Operate a regular shuttle service to and from the O'Hare terminals as well as, for example, the Rosemont Transit Center (CTA Blue Line Rosemont station and bus terminal); and/or
- Charge for parking on a daily or per-stay basis, for all or some rooms.

Section 12-9-9 of the Zoning Ordinance requires that for any new commercial building, loading shall be provided, with 50,000 square feet of gross floor area as the basis for the number of loading spaces. The petitioner's submittal does not designate or label a loading space. Further, the Section establishes that the standard size of a loading space is 35 feet long by 15 feet wide. Section 12-9-9.A. does state, however, that the dimensions for a loading space may be "...otherwise specified..." The PZB should invite the petitioner in the public hearing to explain the hotel's anticipated loading operations, in particular size of expected vehicles and frequency of deliveries. The Board may specify that standard-width (9 feet) and length (18 feet) parking space(s) would suffice as required loading space(s), provided they are signed and marked as such.

Hotel Landscaping Improvements

The proposal seeks to add landscaping throughout the new proposed Lot 2 designated for the new hotel including foundation and parking lot landscaping areas as illustrated on the attached Landscape Plans. It is important to note that Ordinance Z-44-21 approved a PUD exception to allow a reduction in the required five-foot-wide perimeter parking lot landscape area behind the south and east parking space rows due to space constraints. However, even with the exception, the proposal is adding a row of perimeter parking lot landscaping in these areas as well as additional landscaping at the corners of the parking areas and throughout the entire site.

Final Plat of Subdivision

Request Summary:

Overview

The existing property consists of two parcels totaling 5.74 acres, containing a six-story office building with 139,000 square feet of leasable office space and a 392 parking lot, including 358 surface spaces, 28 indoor spaces, and six handicap accessible parking spaces, as shown on the attached Plat of Survey. The petitioner proposes to resubdivide the existing parcels into four lots—without the addition of a vacation-of-right-of-way area as approved in 2021. Final Engineering Plans have been approved by the Department of Public Works and Engineering, as expressed in the attached memo. The latest site illustration is shown on the Final Plat of Subdivision and described below:

- Parcel 1 includes the existing office building and existing surface parking areas with the exception of the parking area portion located east of the entrance drive off Higgins Road;
- Parcel 2 includes the proposed hotel and separate new surface parking area located east of the entrance drive off Higgins Road;
- Parcel 3 includes the existing northeastern billboard sign; and
- Parcel 4 includes the existing northwestern billboard sign.

There is an individual lot proposed for each of the two existing billboard signs, which are owned by a separate entity, but these lots would also have 1700 W. Higgins Road as their property address.

Easements

The Final Plat shows the following existing easements: (i) a 34-foot-by-92.29-foot stormwater detention area; (ii) a 51-foot-by-76.9-foot stormwater detention area; (iii) a 10-foot storm sewer easement at the southwestern portion of the property; (iv) a 14-foot public utility easement throughout the south portion of the property; and (v) a 10-foot public utilities easement throughout the north portion of the property.

Subdivision Variations

The proposed Lots 3 and 4, which will contain the billboard signs, are new lots and are subject to the Subdivision Regulations. Pursuant to Section 13-2-5.R, all new lots must be a minimum of 125 feet in depth. Since the proposed Lots 3 and 4 are only 10 feet deep, they do not meet the minimum depth requirements resulting in a need for subdivision variation for each as part of this request. Further, pursuant to Section 13-2-5.V, all lots must front on a public street. The proposed lots border a private parking area, but not a public street, thus each requiring a subdivision variation.

Major Variations

Request Summary:

The petitioner has submitted variation requests for required off-street parking due to the unique size and shape of the development. As noted above, the subject property contains 392 parking spaces, which will be reduced to 308-310 spaces (net loss of 82-84 spaces) with the construction of the hotel and no

proposed parking garage. The petitioner has allocated 61-63 spaces for the proposed hotel building on Lot 2 leaving a total of 247-249 spaces for the office building on Lot 1. Since a total of 110 spaces are required for the hotel and 541 spaces for the office building, the petitioner has requested two major variations, which are summarized in the table below.

Regulation	Required	Proposed
Parking – Office Building (Lot 1)	541 spaces	<i>247-249 spaces*</i>
Parking – Hotel (Lot 2)	110 spaces	<i>61-63 spaces*</i>

**Indicates a required major variation request*

PUD Findings of Fact: The proposed development is reviewed below in terms of the Findings of Fact contained in Section 12-3-5 of the Zoning Ordinance. The Board should review the petitioner’s responses for each and staff’s comment regarding Standard No. 6. In review of the standards, the Board may use the petitioner’s responses as written as its recommended findings, modify the responses to use as findings, or adopt its own.

- 1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3.5-1 and is a stated Conditional Use in the subject zoning district:**

PZB Additions or Modifications (if necessary): _____
 _____.

- 2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:**

PZB Additions or Modifications (if necessary): _____
 _____.

- 3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:**

PZB Additions or Modifications (if necessary): _____
 _____.

- 4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:**

PZB Additions or Modifications (if necessary): _____
 _____.

5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood: . .

PZB Additions or Modifications (if necessary): _____

_____.

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

Comment: The proposed hotel offers notable direct economic and revenue benefits to Des Plaines. The City will collect a total 11-percent-per-night room tax, 7 percent under the normal Hotel-Motel Operator’s Occupation Tax (Title 15, Chapter 4 of City Code) and an additional 4 percent under the O’Hare Corridor Privilege Tax Area (Title 15, Chapter 5 of the City Code). Further, if the hotel charges for parking to manage its supply, the City could collect \$1 per day per the O’Hare Corridor Privilege Parking Tax. The formerly proposed parking garage is a substantial expense to construct—particularly in the current economy with inflation and lingering supply chain disruptions for materials such as concrete—and, if determined to be needed, would inflate the cost of the project and threaten its viability.

PZB Additions or Modifications (if necessary): _____

_____.

7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

PZB Additions or Modifications (if necessary): _____

_____.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the Zoning Ordinance. The Board should review the staff and petitioner responses. In review of the standards, the Board may use the provided responses as written as its recommended findings, modify the responses to use as findings, or adopt its own.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:

Comment: The existing office building was developed in 1986 prior to the establishment of modern zoning regulations for parking and does not meet modern standards. The proposed hotel will yield a loss of parking spaces increasing the non-conforming parking count. However, the attached KLOA Traffic and Parking Impact Study concludes that the existing signalized intersection at Higgins Road and the proposed number of spaces is adequate in accommodating the projected peak parking demand for both land uses. Finally, the cost of construction for the parking garage has leapt considerably since the 2021 planning of the project, making the project not economically viable if the parking garage is required.

PZB Additions or Modifications (if necessary): _____

_____.

2. **Unique Physical Condition:** The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:

Comment: The existing access and location of the subject property creates a unique physical condition that limits the available development of this site and prevents full compliance with current zoning standards. The site is landlocked by the I-90 Tollway to the north, the Rosemont Park District to the east, Willow Creek to the west, and Higgins Road to the south, which serves as the site's only access point. While there was an opportunity to construct a bridge across Willow Creek to add parking on the 1738 W. Higgins Road property, this is no longer available, limiting the site development to its current boundaries.

PZB Additions or Modifications (if necessary): _____

3. **Not Self-Created:** The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:

Comment: The physical conditions described above are of no fault to the petitioner as the existing property consists of these characteristics prior to the development proposal for the new hotel. As previously mentioned, the office building was built before the establishment of modern zoning regulations creating several non-conformities. Staff is not aware of any action of the current or previous owner which created the conditions described above.

PZB Additions or Modifications (if necessary): _____

4. **Denied Substantial Rights:** The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:

Comment: Carrying out the strict letter of this code could deprive the existing property owner of substantial rights enjoyed by other owners of similarly zoned lots by limiting the redevelopment of the property with uses enjoyed by similar developments in the area. The PUD located west of the subject property and south of the I-90 Tollway includes a mixed-use development with a hotel/Class A Restaurant, Fuel Center/Class B restaurant, and car wash contains multiple structures and parking areas similar to the design for the proposed development.

PZB Additions or Modifications (if necessary): _____

5. **Not Merely Special Privilege:** The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:

Comment: The granting of the variations for parking would not provide any special privilege of the property owner or petitioner as similar developments in the C-3 zoning district have the opportunity for this request for development proposals permitted in the C-3 district. The variations would allow for the redevelopment of the existing site and the increase in mixed use developments in Des Plaines.

PZB Additions or Modifications (if necessary): _____
_____.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:

Comment: The proposed hotel development would be harmonious with the surrounding multi-use developments to the west of the subject property. The mixed-use development proposal supports the goals and objectives of the Comprehensive Plan, which strives to incorporate multiple uses on single lots.

PZB Additions or Modifications (if necessary): _____
_____.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: Aside from building structured or vertical parking, which has become essentially impractical in light of recently inflated costs of construction (e.g. concrete and other materials), there are no other reasonable ways to avoid the aforementioned hardship, as the property is land-locked and cannot be expanded to meet minimum standards for commercial development intended for a C-3 zoned property.

PZB Additions or Modifications (if necessary): _____
_____.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: This would be the minimum amount of relief necessary to alleviate the aforementioned hardships and allow the petitioner to redevelop the subject property with a multi-use development.

PZB Additions or Modifications (if necessary): _____
_____.

PZB Findings for Subdivision Variation

Pursuant to Section 13-2-6 of the Subdivision Regulations, the PZB may recommend subdivision variations (distinct from zoning variations) when, in its opinion, undue hardship may result from strict compliance. In recommending any variation, the PZB should prescribe only conditions that it deems necessary to or desirable for the public interest. In making its findings, as listed below, the PZB shall consider the nature of the proposed subdivision and the existing use of land in the vicinity, the number of persons to reside or work in the proposed

subdivision, and the probable effect of the proposed subdivision upon traffic conditions in the vicinity. Staff has the following comments, which the PZB may adopt, modify, or create its own.

1. That there are special circumstances or conditions affecting said property such that the strict application of the provisions of this title would deprive the applicant of reasonable use of his land.

Comment: The property’s close proximity with the tollway and insufficient room for the addition of a public street to the proposed lot makes the variation requests logical. On development sites such as this, billboard land is reasonably expected to exist under separate ownership from the rest of the development, and the land required for a billboard is substantially less than land (i.e., lot area) required for most structures. It will be impractical and unnecessary to extend a public street to the lots for the existing billboards (Lots 3 and 4). Additionally, the petitioner is unable to meet the required lot depth requirements for the two new billboard lots given that the billboards are located in close proximity to the existing office building and that the reallocation of ownership involved with the expansion of each billboard lot to the minimum standards could cause more parking concerns.

PZB Additions or Modifications (if necessary): _____
_____.

2. That the variance is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

Comment: The petitioner’s proposed subdivision aims to reorganize the office campus in an effort to create separate parking and access areas for both land uses. Granting the proposed subdivision variations will allow these improvements to be implemented on the site.

PZB Additions or Modifications (if necessary): _____
_____.

3. That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the territory in which said property is situated.

Comment: The proposed subdivision’s intended site improvements address existing site constraints and access point deficiencies which can have positive public-welfare implications for the surrounding area. The approval of the requested subdivision variations allows these improvements to be recognized.

PZB Additions or Modifications (if necessary): _____
_____.

Recommendation and Conditions: The PZB should take the following motions. The zoning motions can be combined or taken individually:

Zoning Recommendations to City Council

- A motion pursuant to Section 12-3-5.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the requests for a Major Change to Conditional Use for a Final PUD;
- A motion pursuant to Section 12-3-6.H of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the proposed major variations

Subdivision Approval

- A motion pursuant to Section 13-2-2 of the Subdivision Regulations to approve, approve with conditions, or deny the Tentative Plat of Subdivision.

Subdivision Recommendation to City Council

- A motion pursuant to Section 13-2-7 of the Subdivision Regulations to *recommend* to the City Council to approve, approve with conditions, or deny the Final Plat of Subdivision with subdivision variations for lot depth and lot frontage.

On the requests, staff recommends approval be subject to the following conditions:

1. Off-street loading in a location, quantity, and size required by Section 12-9-9 of the Zoning Ordinance or as “otherwise specified” will be provided.
2. All governing documents for the proposed development including covenants, conditions, and restrictions, or any operating reciprocal easement agreements must be submitted to and approved by the City’s General Counsel prior to the recording of the Final Plat of PUD or Final Plat of Subdivision.

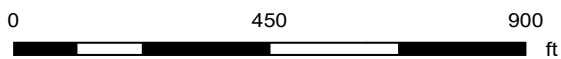
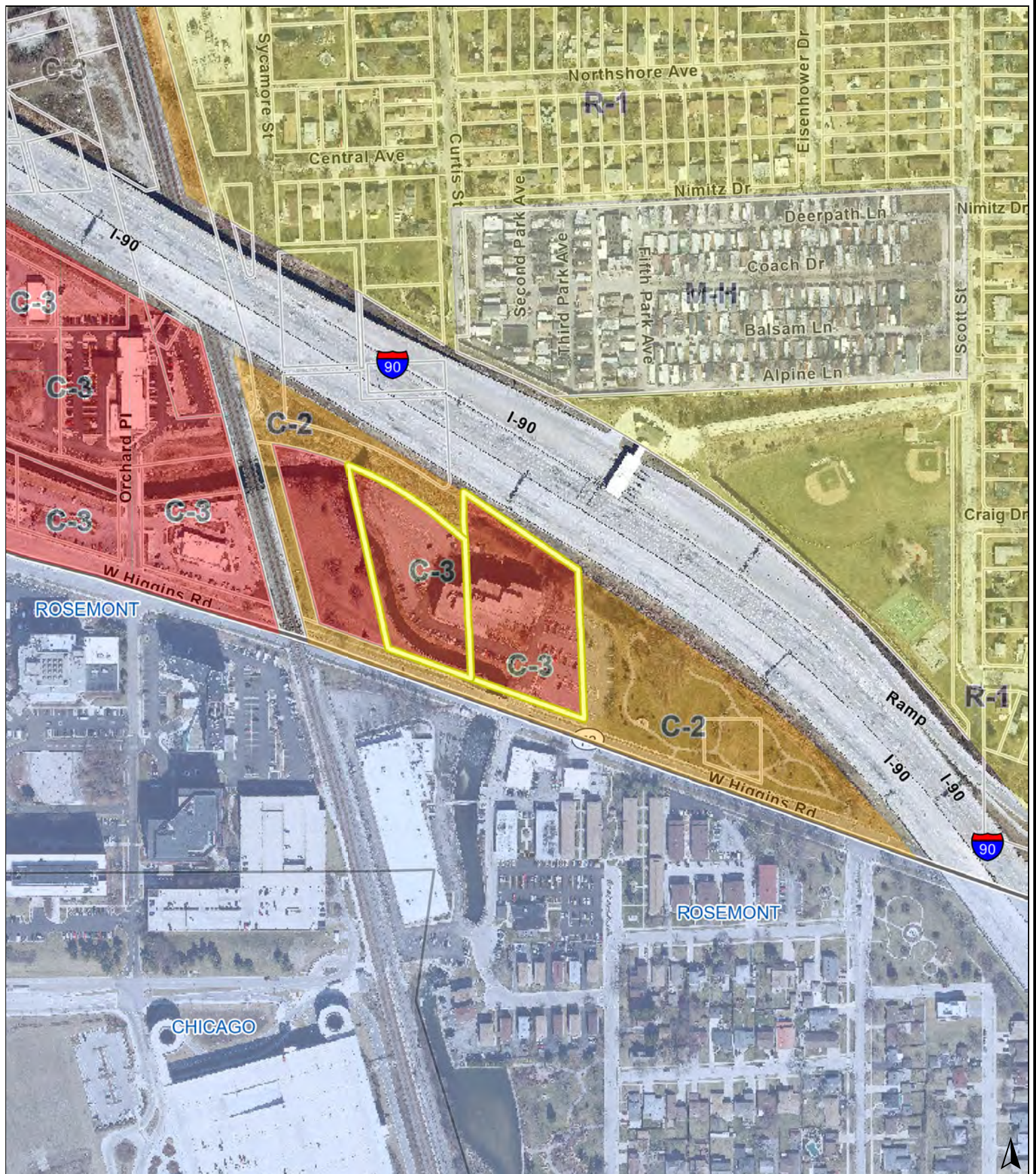
Attachments

Attachment 1:	Location Map
Attachment 2:	Site and Context Photos
Attachment 3:	Plat of Survey
Attachment 4:	Petitioner’s Responses to Standards
Attachment 5:	Public Works and Engineering Memo
Attachment 6:	Conceptual Sign Plan
Attachment 7:	Project Narrative
Attachment 8:	Amended Final PUD (including Site Plan)
Attachment 9:	Select Final Engineering Plans ¹
Attachment 10:	Select Architectural Plans ²
Attachment 11:	Final Plat of Subdivision
Attachment 12:	Landscape Plans
Attachment 13:	Parking Diagram
Attachment 14:	KLOA Traffic and Parking Impact Study without Appendices ³
Attachment 15:	Project Schedule

¹ Summary excerpt pages. Full submittal available upon request to City staff.

² Summary excerpt pages. Full submittal available upon request to City staff.

³ Summary excerpt pages. Full submittal available upon request to City staff.



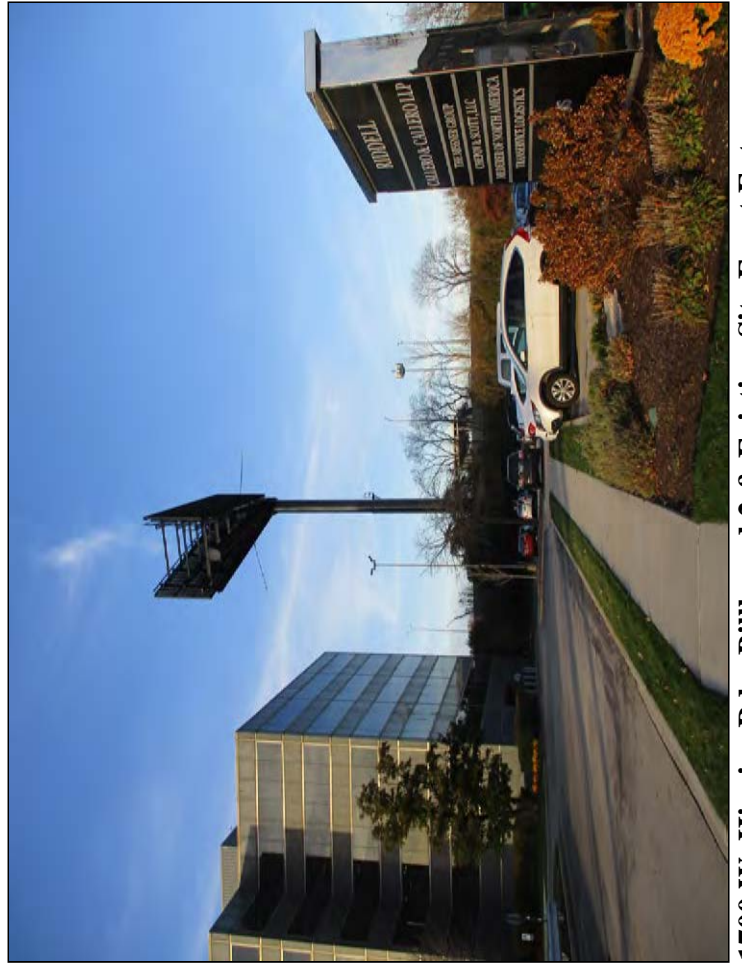
Print Date: 11/17/2022

Notes

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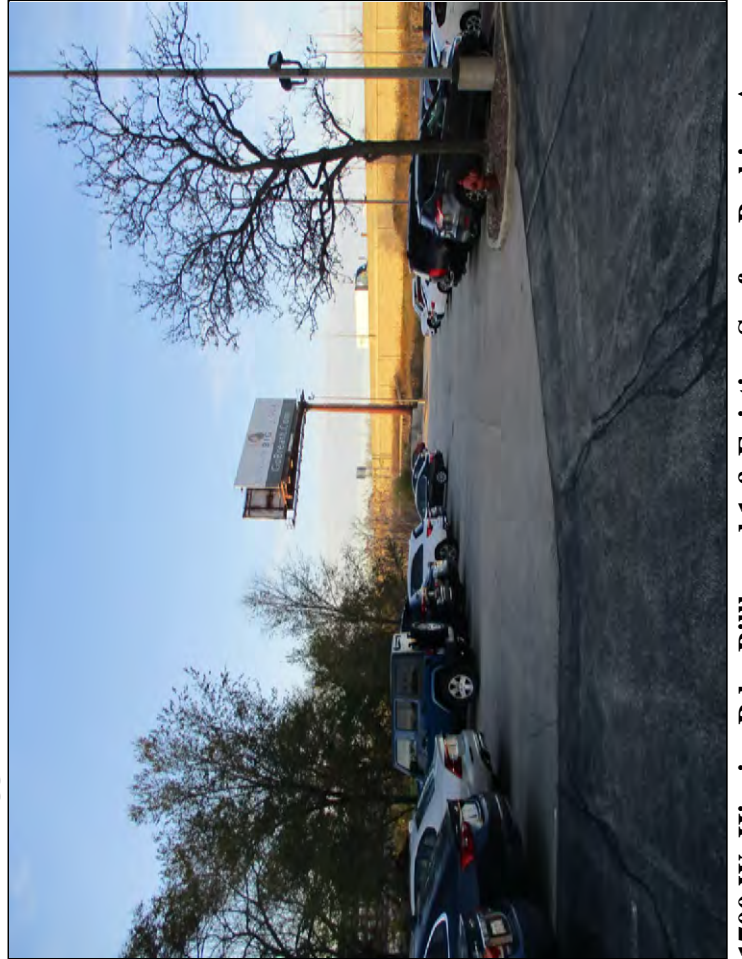
1700 W. Higgins Rd – Looking Northeast at Proposed Hotel Site



1700 W. Higgins Rd – Billboard 2 & Existing Site Front Entrance



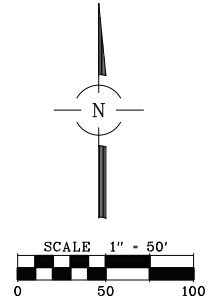
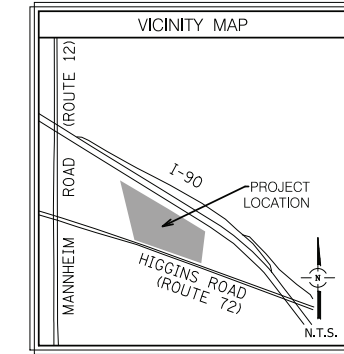
1700 W. Higgins Rd – Public Notice



1700 W. Higgins Rd – Billboard 1 & Existing Surface Parking Area

PLAT OF SURVEY

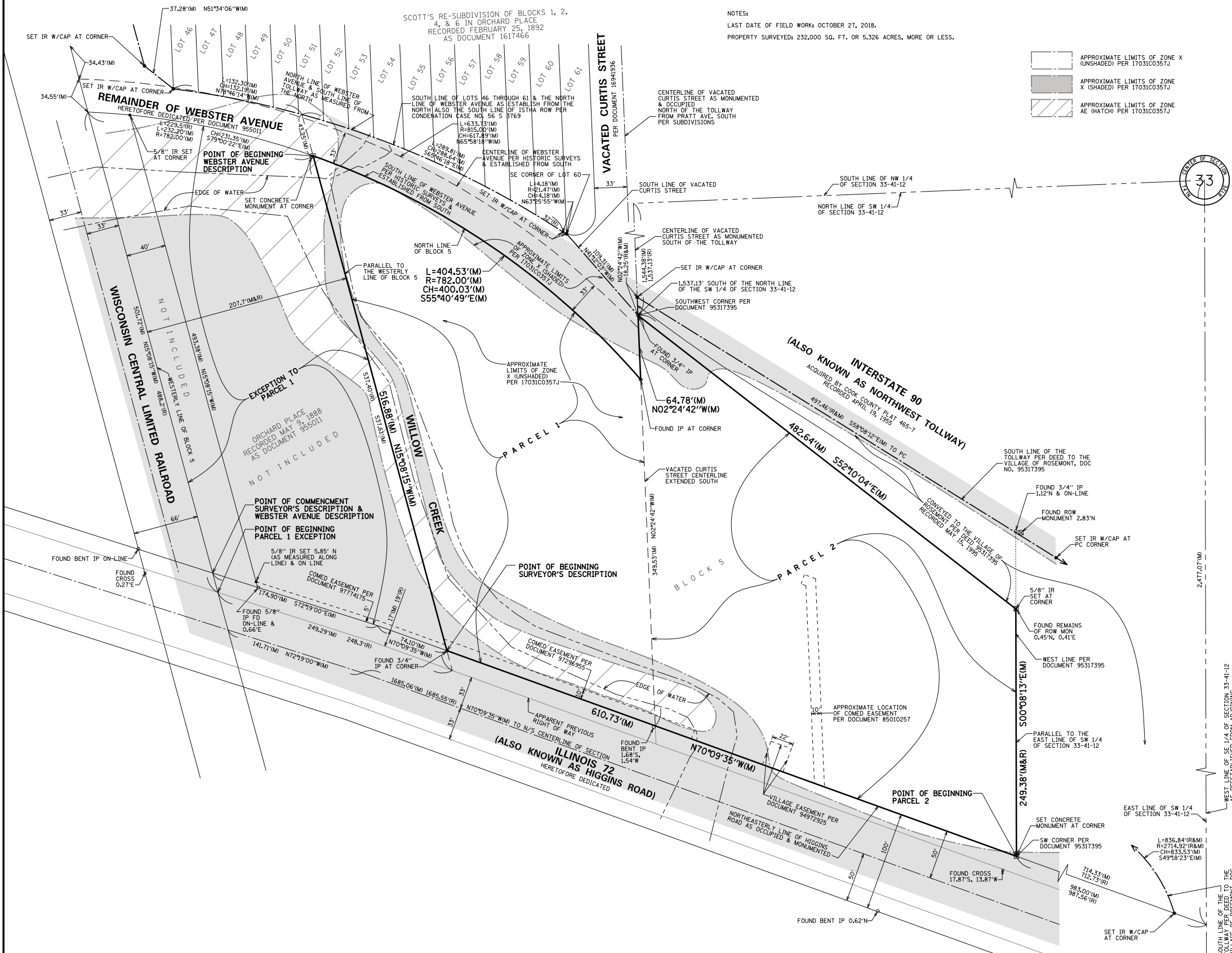
NOTES:
 LAST DATE OF FIELD WORK: OCTOBER 27, 2018.
 PROPERTY SURVEYED: 232,000 SQ. FT. OR 5.326 ACRES, MORE OR LESS.



LEGEND

- ⊗ RIGHT-OF-WAY MONUMENT
- DISC
- IRON PIPE (IP)
- IRON PIPE (IP)
- CUT CROSS
- ✦ PK / MAG NAIL
- ✦ RAILROAD SPIKE

- APPROXIMATE LIMITS OF ZONE X (UNSHADED) PER 17031C0357J
- ▨ APPROXIMATE LIMITS OF ZONE X (SHADED) PER 17031C0357J
- ▨ APPROXIMATE LIMITS OF ZONE AE (HATCH) PER 17031C0357J



PROPERTY DESCRIPTION (PER TITLE COMMITMENT NUMBER/FILE NO.): NCS-931718-MKE#

PARCEL 1:
 BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE NORTH LINE OF SAID BLOCK 5; THENCE WESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
 COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
 THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #189, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1988 AS DOCUMENT NUMBER 955011;

THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2001), NAD83 (2011) ADJUSTMENT, ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.90 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.10 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
 THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1782.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 26, 1892 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 55 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG A WESTERLY LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER OUTLINE DEED RECORDED MAY 15, 1995 AS DOCUMENT NUMBER 9317395; THENCE NORTH TO DEGREES 09 MINUTES 35 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S NOTES:
 NO DOCUMENTS WERE PROVIDED FOR THE DEDICATION OR CONVEYANCE OF HIGGINS ROAD, A REQUEST WAS MADE TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE VILLAGE OF ROSEMONT, THE CITY OF DES PLAINES, AND THE TITLE COMPANY WITH NO SUCCESS. THE RIGHT OF WAY OF HIGGINS ROAD IS SHOWN BASED ON PREVIOUS SURVEYS, AS OCCUPIED AND TAX MAPS.

NOTES:
 THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
 PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18 BOOK #189, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE: 13335.PDF

AN AMBIGUITY EXISTS WITH THE WIDTH AND LOCATION OF WEBSTER AVENUE, THE SOUTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM HISTORIC SURVEYS, MONUMENTS AND OCCUPATION, THE NORTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM THE EXISTING SUBDIVISION TO THE NORTH OF THE TOLLWAY AS MONUMENTED AND OCCUPIED, THE RECORD WIDTH OF WEBSTER AVENUE IS 66 FEET WIDE, IN REALITY, BASED ON MONUMENTATION FOUND AND OCCUPATION THE MEASURED WIDTH IS MUCH LESS. THIS SURVEYOR CAN NOT RESOLVE OR EXPLAIN HOW THIS AMBIGUITY HAS OCCURRED OVER THE LAST 133 YEARS.

STATE OF ILLINOIS)
 COUNTY OF COOK) SS

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 15TH DAY OF JANUARY, 2021 IN ROSEMONT, ILLINOIS.

C. Brian Lounsbury
 C. BRIAN LOUNSBURY, I.P.L.S., No. 035-2841
 LICENSE EXPIRES: 11-30-2022






(VALID ONLY IF EMBOSSED SEAL AFFIXED)
 COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.

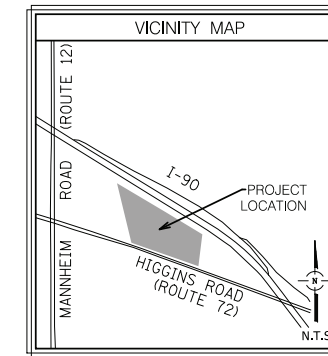
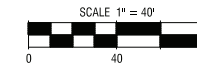
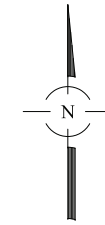
PREPARED FOR & OWNER:
 ANDREW SAUNDERS
 QUATTRO ASSET MANAGEMENT
 GPO BOX 4358
 SYDNEY NSW 2001
























































REVISIONS: _____ _____ _____		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 01/15/2021 JOB NO: 8779.02 FILENAME: 8779.02SUR-01 SHEET: 1 OF 2
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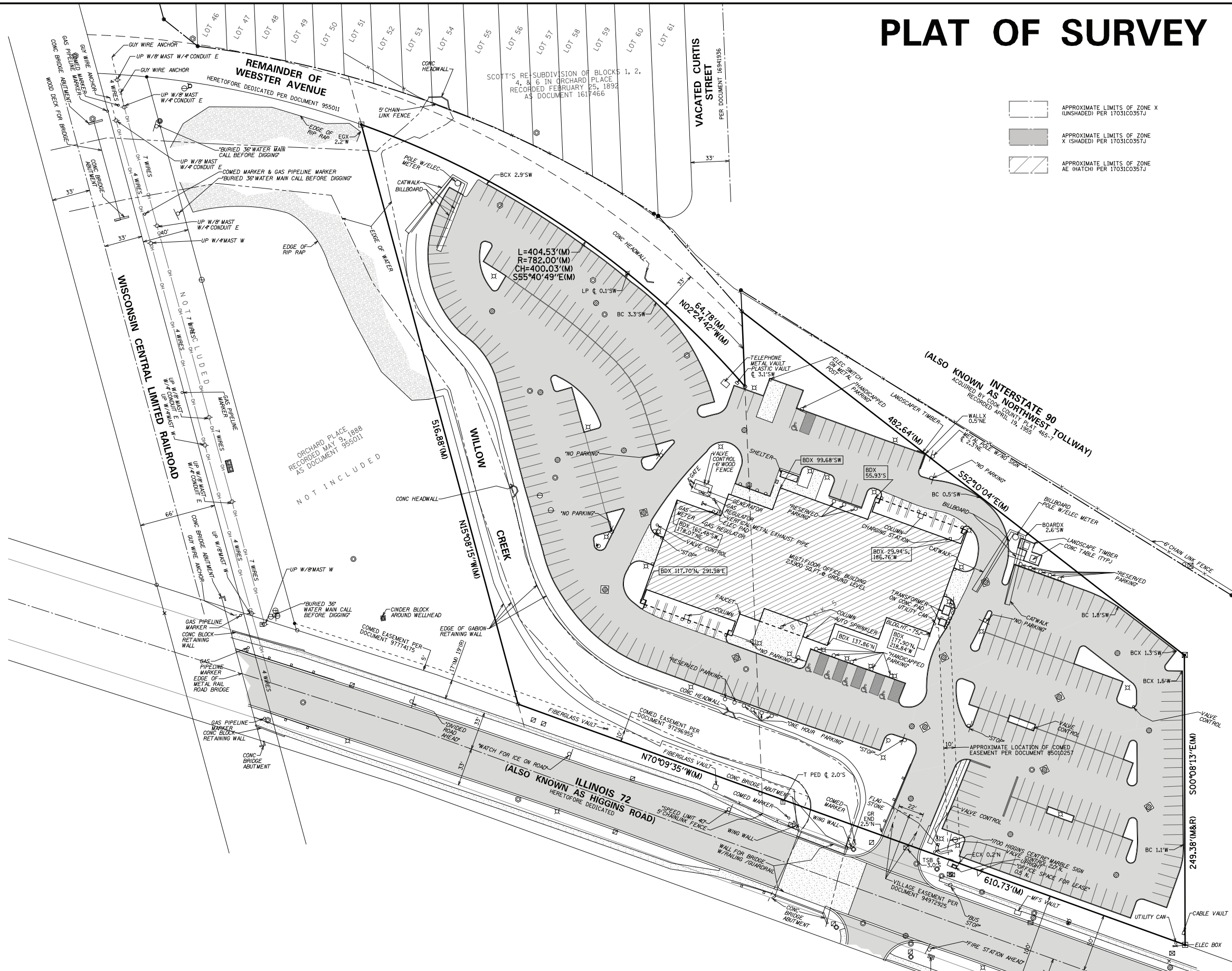
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

PLAT OF SURVEY

-  APPROXIMATE LIMITS OF ZONE X (UNSHADED) PER 1703IC0357J
-  APPROXIMATE LIMITS OF ZONE X (SHADED) PER 1703IC0357J
-  APPROXIMATE LIMITS OF ZONE AE (HATCH) PER 1703IC0357J



LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRES ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	QUADRANGLE
	EDGE OF WATER
	WATERLAND LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	MANHOLE
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	AIR VALVE
	AUXILIARY VALVE
	STEEL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	MANHOLE
	SIGN
	UNIDENTIFIED MANHOLE
	RAMP OR BAY MANAGEMENT
	DIKE
	IRON
	STEEL ROD
	IRON PIPE
	COT CROSS
	PKY MAG NAIL
	RAILROAD SPIKE
	SOIL BORING
	BACK OF CURB
	BACK OF CURB CORNER
	BUILDING CORNER
	CENTER
	EDGE OF CONCRETE CORNER
	EDGE OF GRAVEL CORNER
	GUARD RAIL
	LIGHT POLE
	LP
	T PED
	TSB
	WALL CORNER
	ASPHALT
	CONCRETE
	GRAVEL



PREPARED FOR & OWNER:
ANDREW SALINDERS
QUATTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

REVISIONS:

SPARCO INC.

CONSULTING ENGINEERS	DATE: 01/15/2021
SITE DEVELOPMENT ENGINEERS	JOB NO: 8779.02
LAND SURVEYORS	FILENAME: 8779.02SUR-01
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	SHEET 2 OF 2

STANDARDS FOR PLANNED UNIT DEVELOPMENTS

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Planned Unit Development in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly.

Project: 1700 W. Higgins Road

- 1. The extent to which the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations set forth in subsection A of this section;**

Response: The proposed plan is consistent with the planned unit development regulations listed in subsection A. This plan would not be possible under the strict application of other sections as this development has many unique features, such as being located on and along Willow Creek, the fact that the development encompasses both existing buildings and proposed new ones, and the general size of the development. The current plan proposes a new 107 room hotel with 63 surface parking spaces. As a result of the Hotel development, the current parking count will decrease by 82, for a total of 310. However, according to a recent traffic/parking study completed by KLOA, the peak parking count at 'full' occupancy (~88-90%) will only be approx. 273, resulting in a surplus of over 35 parking spaces.

- 2. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations;**

Response: The proposed plan meets all the requirements and standards of the PUD regulations in section 12-3-5. The plan is allowable in both C-2 and C-3 zoning districts, and it meets the minimum size of two (2) acres for said districts. The Final PUD will be under single ownership. The plan is set up in a way that preserves and highlights the natural features of the area, such as Willow Creek. The proposed plan consists of a new hotel East of the office building with an underground stormwater vault under the parking lot for detention and volume control. The stormwater vault is sized based on the hotel development area and is tributary to an existing sewer on-site that outfalls to Willow Creek. No additional stormwater management is required for areas not disturbed for construction of the hotel.

The current plan retains the landscaping and green area to the immediate West of the property (and north of Higgins Road) and will connect the current park area to the East of

the property with the newly constructed Hotel. Retention and restoration of streams and rivers in the Village is one of the goals in the Comprehensive Plan. The Subject Property is located between I90 and Higgins Road and is highly visible from both thoroughfares; the current green space and proposed Hotel will work synergistically by attracting new and returning customers. There is no current plan to change or remove the park to the East, but there is a possibility that the vacant lot to the West could eventually be used for additional surface parking, if needed.

3. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are or are not deemed to be in the public interest;

Response: The proposed plan departs from the regulations only slightly. The existing office building at the Subject Property was constructed in 1986, before the C-2 and C-3 zoning districts were in existence. Once introduced the zoning districts made some components of the existing property non-conforming.

Identified exceptions include a building height exception of 72 feet, an exception to the back of curb setback from the northern edge of the existing off street parking lot to the north property line (the required setback is 3.5 feet and the closest back of curb setback is .8 feet.), an exception to the seven-foot perimeter parking lot landscaping area requirement, and an exception to the seven foot perimeter parking lot landscaping area requirement for the existing parking lot.

The building height and seven foot perimeter parking lot landscaping area requirements were introduced after the office building was developed as mentioned above, and its departure from the regulations will have no effect on the public interest as Applicant is only looking to protect the building with a PUD exception. The proposed plan will not be detrimental to surrounding properties, and will only serve to increase public safety and accessibility by adding additional parking for the development.

4. The extent to which the physical design of the proposed plan does or does not make adequate provision for public services, provide adequate control over vehicular traffic, provide for and protect designated common open space, and further the amenities of light and air, recreation and visual enjoyment;

Response: The physical design on the proposed plan makes adequate provisions for public services, control of vehicular traffic, common open space and furthers the amenities of light, air, recreation and visual enjoyment.

Per KLOA Report (See enclosed), the results of the capacity analysis indicate that overall this intersection currently operates at Level of Service (LOS) A during the weekday morning and evening peak hours. It should be noted that the eastbound and westbound approaches currently operate at LOS A during both peak hours. Furthermore, the northbound and southbound approaches currently operate at LOS D during the weekday morning peak hour and at LOS E during the weekday evening peak hour.

Under projected conditions, the intersection is projected to operate at LOS A during the weekday morning peak hour and at LOS B during the weekday evening peak hour with increases in delay of approximately one second and four seconds, respectively. It should be noted that the eastbound and westbound approaches are projected to continue to operate at LOS A during the weekday morning and evening peak hours with increases in delay of approximately three seconds or less during both peak hours. Furthermore, the northbound approach is projected to operate at LOS D during both peak hours with increases in delay of less than one second. Additionally, the southbound approach is projected to operate at LOS D during the weekday morning peak hour and a LOS E during the weekday evening peak hour with increases in delay of less approximately three seconds. **As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed hotel.**

As mentioned previously, the plan protects the open green space to the East and West of the property and includes a new sidewalk for easy access. The project also includes significant underground detention work which will significantly improve the stormwater detention in the surrounding area. The plan also furthers the amenities of light, air and visual enjoyment through the installation of new billboards with corresponding air/overhang easements, new building signage, updated landscaping, and the continuous rehabilitation of the existing office building. The Hotel will also include a fitness center and pool which furthers the amenities of recreation.

A shared access and parking easement is noted on the plat allowing said tenants, guests and patrons to share parking on each of the new lots. An easement for the air/billboard overhand rights is also listed on the face of the plat, allowing the billboard faces to cross over their respective lots and project onto the proposed Lot 1.

5. The extent to which the relationship and compatibility of the proposed plan is beneficial or adverse to adjacent properties and neighborhood;

Response:

The plan is compatible with the current conditions and the overall character of existing development in the immediate vicinity as the properties to the west across the Canadian National Railroad. Further, the property to the southwest in Rosemont is zoned for commercial uses and has similar characteristics as the proposed development: mixed use commercial and office space. The plan is also beneficial be beneficial to adjacent properties

and neighborhood as proposed businesses and Hotel will cater to the O'Hare Airport travelers, local residents, nearby works and motorists traveling on Mannheim Road and the Tollway. The plan will also be beneficial by generally increasing the economic activity of the development through the addition of the newly proposed Hotel. The recently completed office generator space provides local residents with a number of suites which they can utilize to jump start its businesses – the generator space has already attracted a number of companies, some of which have moved into the office permanently.

The comprehensive plan does not specifically mention the area around the Subject Property as a top residential priority but does mention that Commercial areas can work synergistically with residential areas, as they generally include retail, office, and service-oriented uses that primarily serve day-to-day needs of local residents. The plan also mentions that Commercial structures should be encouraged to locate at or near the property line with parking provided in the rear or to the side, thus prioritizing the pedestrian environment while allowing for convenient access for vehicles traveling along the corridor. At the Subject location, parking currently surrounds the existing office building (much of it unused) and which allows for easy access to the site. As mentioned above, the plan also retains all of the current green space surround the property, which is also a main goal of land use and development portion of the comprehensive plan.

The substantial rehabilitation of the existing office and the planned landscaping will also further the visibility of the development, and eventually lead to a higher tax base resulting from the improved building and proposed hotel. The project has undergone a traffic and parking study in both 2019 and 2022 (see KLOA study), and results of both suggest that the increase in traffic will not adversely affect surrounding areas. There's also two separate avenues on Higgins Road to enter and exit the residential areas to the South.

6. The extent to which the proposed plan is not desirable to the proposed plan to physical development, tax base and economic well-being of the entire community; and

Response: Applicant does not believe the proposed plan will be undesirable to physical development, tax base, and economic wellbeing of the entire community. As mentioned above, the proposed plan will substantially increase the amount of taxes generated at the property, will beautify the area and its surrounds, bring in new business to the City, and otherwise increase the economic activity in the area from hotel patrons and employees.

7. The extent to which the proposed plan is not in conformity with the recommendations of the comprehensive plan

Response: The proposed plan is in conformity with the recommendations of the comprehensive plan. The 2019 City of Des Plaines Comprehensive Plan designates the area

as Commercial. “Commercial areas include retail, office, and service-oriented uses that primarily service day-to-day needs of local residents.” See page 12 of Des Plaines Comprehensive Plan. The proposed commercial development plans for a hotel to be located to the east of the existing office building commonly known as 1700 Higgins Centre. The proposed hotel will further Des Plaines Economic Development goal to “enhance existing commercial and industrial areas and expand employment opportunities.” See page 7 of Des Plaines Comprehensive Plan. The proposed development could also take advantage of area to the North-West of the existing office for future development along Higgins Road.

STANDARDS FOR VARIATIONS

In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each). Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

Requested Variations:

Zoning Variations:

- Variation request for Lot 1 to reduce the parking requirement from 541 spaces to 247 spaces pursuant to 12-9-7 of the zoning ordinance
- Variation request for Lot 2 to reduce the parking requirement from 110 spaces to 63 spaces pursuant to 12-9-7 of the zoning ordinance.

Subdivision Variations:

- Variation request for Lot 3 and Lot 4 to reduce the 125' lot depth requirement to 6' pursuant to 13-2-5-R of the subdivision regulations.
- Variation for Lot 3 and Lot 4 to remove the requirement that said lots shall front upon a dedicated, public street pursuant to 13-2-5.V of the subdivision regulations

-
- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Response: Proposed Lot 1 encompasses the 135,204 sq. ft. office building and the surrounding parking. The office building currently has off street parking in the amount of 359 (including 28 interior parking spaces) whereas 12-9-7 of the zoning ordinance requires a total of 541 off street parking spaces. Due to the nature of the development, the presence of the floodplain/Willow Creek, and age of the office building, 541 off street parking spaces is not feasible in this location. Lot 2 will contain the proposed 64,760 square foot Hotel and 63 off-street parking spots. Similar to the issue above, zoning ordinance section 12-9-7 requires 1 spot per guest room and an additional spot for every 200 square feet of office space, resulting in 110 required spaces.

According to KLOA's 2022 Traffic & Parking Report, projected peak parking demand for the overall site will be 273 vehicles (88 percent occupancy) occurring at 10:00 A.M. with a surplus of 37 parking spaces. Therefore, the results of the parking evaluation show that the revised parking supply of 310 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses. Based on the findings of its study, KLOA ultimately came to four (4) conclusions:

1. The traffic that will be generated by the proposed hotel will not be significant.
2. The existing signalized access drive off Higgins Road has adequate reserve capacity to accommodate the increase in traffic resulting from the proposed hotel as well as the full occupancy of the office building.
3. The results of the parking evaluation indicate that the proposed number of parking spaces will be adequate in accommodating the projected peak parking demand of both land uses.
4. The projected peak parking demand could be lower than that estimated in the evaluation given that some of the customers of the hotel will be employees of the adjacent office building.

The variance requests for Lots 3 and 4 to reduce the required lot depth from 125' to 6' and to remove the requirement that said lots front upon a dedicated, public street are necessary to protect the billboard monopoles that are already erected and in place. This PUD and Plat simply created a separate lot for each of the existing monopoles. Applicant is not proposing any additional work or changes to the billboards, but rather to protect the existing monopole with the proposed PUD variance. Without the variance, the Applicant will not be able to complete the development as planned; a lot depth of 125' for a monopole is not feasible and its impossible for Lots 3 & 4 to front upon a public street.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Response: The Subject Property is exceptional mainly due to the location of the lots on and around Willow Creek. The location of the lots in relation to the creek make construction around the area extremely difficult, requiring a storm-water management facility and permission from multiple agencies. Additionally, the unique lot configuration (existing and proposed new buildings within the same development), in conjunction with parking servicing multiple parcels in the development, make the deficit on these lots more

than a mere inconvenience or personal situation of the owner. After nearly 4 years of research (pre & post COVID) indicate peak parking numbers of 273 – thus the site’s proposed 310 surface parking will be more than adequate to support the development.

As to the Lots 3 & 4, they are exceptional in the fact that they are not ‘normal’ lots intended for building construction. Lots 3 & 4 are 36 square feet each, and include only a billboard monopole. It would not be prudent or possible to remove the billboards and increase the lot depth by 119’ for a simple monopole. The billboards already exist, and these variances is simply to allow each to become its own Lot.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Response: The unique physical conditions of these lots is not the result of inaction of the current owner or predecessor in title as the uniqueness derives mostly from the topographical features of the site. Additionally, at the time the development was created, the C-2 & C-3 Limited Office Commercial District did not exist. Once the zoning district was introduced, it made some components of the property non-conforming. The billboards on proposed lot 3 and 4 existed prior to this proposed plan, and Applicant is only looking to put each billboard monopole on its own Lot.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Response: Carrying out the strict letter of the provision would deprive owner the opportunity to develop the project as proposed, as it is not practical to add additional off-street parking on the proposed Lot 1 & 2 beyond what is needed (based on years of evidence). Applicant is implementing cross parking easements across both lots to help remedy the parking deficit, as the hotel and office have opposite peak hours allowing both projects to work synergistically. Without these variations, the development could not move forward; the existing office building would stay as-is, and the hotel as proposed could not be constructed.

As to the lot depth variances and frontage, carrying out the strict letter of the provision would force Applicant to remove the currently existing monopoles and increase lot depth by 119’, simply to reinstall a single monopole. Apart from being ineffective and expensive, it may be physically impossible due to the nature of the existing improvements.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not**

available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

Response: The deficit in parking is not merely the inability of the owner to enjoy special privileges, but rather the inability of the site to support the necessary parking. Applicant has shown that it is willing to cooperate with the Village to create additional off street parking if necessary (should parking counts increase). Similarly, the variance to the lot depths is not merely the inability of the owner to enjoy special privileges, but a necessity due to the nature of the existing improvements.

- 6. Title and Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

Response: The variance will not alter the intent, use or development of the comprehensive plan, as the actual use of the development will not change. The variance and new lots will be in harmony with the development and will assist further development on other parcels due to the shared parking easement. The proposed Hotel will further Des Plaines Economic Development goal to “enhance existing commercial and industrial areas and expand employment opportunities.” See page 7 of Des Plaines Comprehensive Plan. The lot depth variances will have no effect on the general purpose and intent on the comprehensive plan other than being an item for which the development depends on.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Response: To Applicant’s knowledge, there is no other means other than the requested variation and potential future off street parking (should parking counts increase) avoid the requirements of 12-9-7 of the zoning ordinance. Per KLOA and the Property Manager’s reports, the site is already adequately parked (if not slightly over-parked) and currently requires no additional surface parking.

As mentioned previously, there is also no other feasible remedy other than a variation to the lot depth or frontage Due to the nature of the existing billboards and improvements, it is neither prudent nor possible to increase the lot depth by 119’ for billboard monopoles or move the already installed billboards.

8. **Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Response: The requested variation is the minimum measure of relief necessary to alleviate the parking deficit that currently exists. Applicant has only requested the amount of parking spots that currently exist be granted a variance on Lot 1. As to Lot 2, there is not enough physical space to fit over 100 spots. Should parking counts increase, the Applicant is willing to work with the City to add additional off-street parking. Likewise, Applicant is only asking that the lot depth and frontage for the currently existing billboards be granted a variance to continue as currently configured.



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: November 7, 2022
To: John Carlisle, Director of Community and Economic Development
From: John La Berg, P.E., Civil Engineer
Cc: Tim Oakley, P.E., Director of Public Works and Engineering
Subject: 1700 Higgins Rd. New Hotel

Per your request, Public Works and Engineering has reviewed the above plans and approved them as noted. The traffic study is also approved. Revisions to the plan are very minor and can be corrected before the next submittal. The traffic study stated that there are 392 current parking spaces and that there will be 310 spaces after the proposed redevelopment. The parking per the traffic study will not be an issue since the office building and the motel will have different peak demand for parking. The office building will have adequate parking during the day, and the hotel will need the parking in the evening when the office building is closed. The hotel parking demand will drop during the morning rush, when the office building's demand will be at its peak.

Easements and agreements will need to be obtained for the parking and utility connections between the lots. Once, the MWRD permit is obtained by the developer, Public Works and Engineering will issue their approval.

JL/jl



1700 W. Higgins Rd – Proposed Wall Sign 1



1700 W. Higgins Rd – Proposed Monument Sign



1700 W. Higgins Rd – Proposed Wall Sign 2

November 15, 2022

VIA MAIL & EMAIL

John Carlisle
Director of Community & Economic Development
City of Des Plaines
1420 Miner Street
Des Plaines, Illinois 60016

RE: Development Application Narrative
Mariner Higgins Centre, LLC
1700 W. Higgins Road
Des Plaines, Illinois 60018
PINs: 09-33-310-004; 09-33-309-007-0000

Dear John:

Mariner Higgins Centre, LLC (the “Applicant”) is the owner of the property located at 1700 W. Higgins Road, Des Plaines, Illinois 60018 (09-33-310-004-0000; 09-33-309-007-0000). The Applicant is requesting approval from the City of Des Plaines (the “City”) of a Final Planned Unit Development (PUD), a Final Plat of Subdivision and three major variances. Applicant is also requesting that CED staff review and approve the proposed hotel design & user. The requested Final PUD includes a recently renovated 139,000 square foot commercial building, construction of an approximately 64,760 square foot hotel as well as significant infrastructure and storm-water management upgrades.

Since December of 2018, the Applicant has invested approximately **\$5,900,000** for major renovations, repairs, improvements and build-out at the existing office building. One of the largest projects required for the property was a complete elevator modernization which was finished in 2019. The other major project for the office was the installation of a business generator/incubator spaces, with Applicant spending over \$500,000 to construct and furnish the areas. The goal is now having growing companies enter the O’Hare office sub-market and eventually grow into larger spaces within the building. Relatedly, the Applicant has also finished rehabilitating some of its previously vacant suites (450, 300, 680 & 690), replaced the roof, installed new furniture for the common areas, completed work in the corridor, finished remodeling the café, resurfaced the parking lot, installed sidewalks, parking lot LEDs, terrazzo floor, revolving doors and more. Since completion, the Applicant has attracted a number of new tenants to both the generator space and formerly vacant suites, including Fi-Tek, LLC, Tech USA, Chepov & Scot, Physicians Immediate Care, The Law Offices of Samuel Bae, Efruitti, Callero & Callero, Ortho Experts, BM2 Freight and various others.

Additionally, the Applicant plans to construct a new 64,760 square foot, 107 room Homes 2Suites Hotel by Hilton on the subject property, including 63 off street parking spaces (including 4 ADA). Homes2 Suite is a modern mid-scale hotel featuring all suites, focusing on the extended stay traveler. Excluding the first, each floor of the hotel will feature 15 queen studios, 6 queen studios (connecting), and one ADA accessible queen studio. The measurement for the highest point of the building is 68’ 2 ½”. The building materials comply with Section 12-3-11 of the zoning ordinance, and a copy of the materials to be used is included on the Hotel elevation sheets A-4.1 & A-4.2 included in the enclosed packet. Please see the breakdown below for the dimensions for all hotel areas devoted to offices:

- **First Floor Offices**

- Sales Office:
 - Area: 133 Sq. Ft. – Dimensions: 11’ 10 13/16 “ x 9’ 4 ½ “
- Engineer Office:
 - Area: 71.4 Sq. Ft. – Dimensions: 11’ 10 13/16 “ x 6’
- Manager Office:
 - Area: 112.8 Sq. Ft. – Dimensions 11’ x 9’ 3 1/8 “
- B.O.H:
 - Area: 858.5 Sq. Ft.
- Food Prep:
 - Area: 269.4 Sq. Ft.
- **Typical Floor**
 - No office sheets for 1.2 through 1.5, but there is a housekeeping room that measures 434.29 Sq. Ft.

Construction is planned to begin around June 2023 with completion by approximately November 2024. The Final Plat of Subdivision includes an easement which allows for shared parking across both lots. The Hotel and Office parking will work synergistically with one another, with office parking demand declining in the afternoon while Hotel parking increases. The parking will be fully open with the exception that priority will be given to the parking spaces on Lot 2 to the Hotel after normal working hours. This will allow the Hotel to utilize the parking directly north for the peak check in hours.

The site currently consists of two parcels which include an existing 139,000 square foot commercial building surrounding by a parking lot on each end. The total land square footage of these two parcels is approximately 230,000. The site currently has 392 parking spaces including 358 outdoor parking spaces, 28 indoor parking spaces, and six handicap parking spaces. According to a KLOA study done on April 3rd, 2019, peak parking demand was 136 vehicles (35 percent) occurring at 11:00 A.M. with a surplus of 256 parking spaces. At the time the 2019 parking occupancy survey was conducted, the existing office building was approximately 47% vacant. According to the property managers, the final peak parking count in 2019 was 158 spots utilized, for a surplus of 234.

As of the date of this submission, the existing office building is 72% occupied, with a maximum parking demand of approximately 160 spaces. As indicated above, the office building has approximately 37,857 square feet of vacant space. In order to determine the parking demand of the fully occupied office building, the parking demand of the vacant space was estimated based on the existing peak parking demand. As a result, KLOA concluded that the peak parking demand of the fully occupied office building will be 222 spaces. It should be noted that the proposed hotel will occupy the southeast corner of the lot, which provides parking to the existing office building, resulting in a loss of approximately 82 parking spaces. As such, the site will provide a revised total parking supply of 310 spaces.

Per KLOA’s 2022 update, the total projected parking demand of the overall site was calculated adding the projected parking demand for the proposed hotel to the projected parking demand of the office building assuming full occupancy. The hourly parking demand for the office was estimated based on ITE’s hourly parking distribution. It should be noted that in order to provide for a conservative analysis, the highest hourly parking demand for the hotel was based on the City of Des Plaines Code. The table below shows the total projected hourly parking demand for the site.

WEEKDAY TOTAL PROJECTED PARKING DEMAND

Time	Office	Hotel	Total	Surplus	Percent Occupancy
6:00 AM	20	95	115	195	37
7:00 AM	29	87	116	194	37
8:00 AM	107	77	184	126	59
9:00 AM	195	76	271	39	87
10:00 AM	222	51	273	37	88
11:00 AM	222	44	266	44	86
12:00 PM	189	31	220	90	71
1:00 PM	186	32	218	92	70
2:00 PM	206	27	233	77	75
3:00 PM	209	36	245	65	79
4:00 PM	189	46	235	75	76
5:00 PM	124	41	165	145	53
6:00 PM	44	43	87	223	28
7:00 PM	24	39	63	247	20

Proposed Parking Supply: 310 spaces

A review of the table above indicates that the projected peak parking demand for the overall site will be 273 vehicles (88 percent occupancy) occurring at 10:00 A.M. with a surplus of 37 parking spaces. Therefore, the results of the parking evaluation show that the revised parking supply of 310 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses. Based on the findings of its study, KLOA ultimately came to four (4) conclusions:

1. The traffic that will be generated by the proposed hotel will not be significant.
2. The existing signalized access drive off Higgins Road has adequate reserve capacity to accommodate the increase in traffic resulting from the proposed hotel as well as the full occupancy of the office building.
3. The results of the parking evaluation indicate that the proposed number of parking spaces will be adequate in accommodating the projected peak parking demand of both land uses.
4. The projected peak parking demand could be lower than that estimated in the evaluation given that some of the customers of the hotel will be employees of the adjacent office building.

Stormwater management is required for this project and will be designed to meet Metropolitan Water Reclamation District of Greater Chicago (MWRD) standards. The project is tributary to Willow. The site is currently developed as an office building and surrounding parking lot. The proposed plan consists of a new hotel East of the office building with an underground stormwater vault under the parking lot for detention and volume control. The stormwater vault is sized based on the hotel development area (area disturbed for new hotel). The vault is tributary to an existing sewer on-site that outfalls to Willow Creek. No additional stormwater management is required for areas not disturbed for construction of the hotel.

The Applicant is requesting the City’s approval of the attached Final Plat of Subdivision. The proposed subdivision seeks to re-subdivide the existing lots into four new lots to reflect the redevelopment of this property:

<u>Proposed Lot Number</u>	<u>Proposed/Existing Use</u>	<u>Proposed Land Area</u>
Lot 1	Office	197,393 SF
Lot 2	Hotel	52,598 SF

Lot 3	Billboard	100 SF
Lot 4	Billboard	100 SF

The office building is currently sited on across both existing parcels, but is being reconfigured on the Plat so that the Eastern boundary of existing Parcel #1 will be extended further to include the entirety of the office building. The area of land to become Proposed Lot 2 is located on current Parcel #2, and will be the site of a new 64,760 square foot hotel. The exterior color and building materials for the future hotel building will complement the existing office building and comply with the Building Design Standards in the Zoning Ordinance. The Applicant is under contract with a hotel developer, with plans to begin construction in 2023. Lastly, Proposed Lots 3 and 4 encompass the base of the two billboards, with Lot 3 encompassing the easternmost billboard and Lot 4 encompassing the westernmost billboard.

The Applicant is also requesting the following four (4) major variations:

Zoning Variations:

1. Variation request for Lot 1 to reduce the parking requirement from 541 spaces to 247 spaces pursuant to 12-9-7 of the zoning ordinance
2. Variation request for Lot 2 to reduce the parking requirement from 110 spaces to 63 spaces pursuant to 12-9-7 of the zoning ordinance.

Subdivision Variations:

1. Variation for Lot 3 and Lot 4 to reduce the 125' lot depth requirement to 6' pursuant to 13-2-5-R of the subdivision regulations.
2. Variation for Lot 3 and Lot 4 to remove the requirement that said lots shall front upon a dedicated, public street pursuant to 13-2-5.V of the subdivision regulations

Ultimately, the Applicant requests that the City of Des Plaines approve of the proposed Final PUD, Final Plat of Subdivision, zoning variances and approval of the Hotel user. Should you need any additional documentation or have any questions or concerns, do not hesitate to contact me at (312) 604-3898.

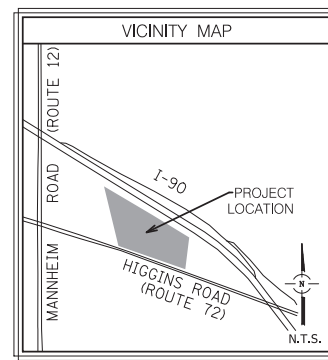
Best Regards,



Mark Rogers

FINAL PLAN OF PLANNED UNIT DEVELOPMENT 1700 WEST HIGGINS ROAD

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN



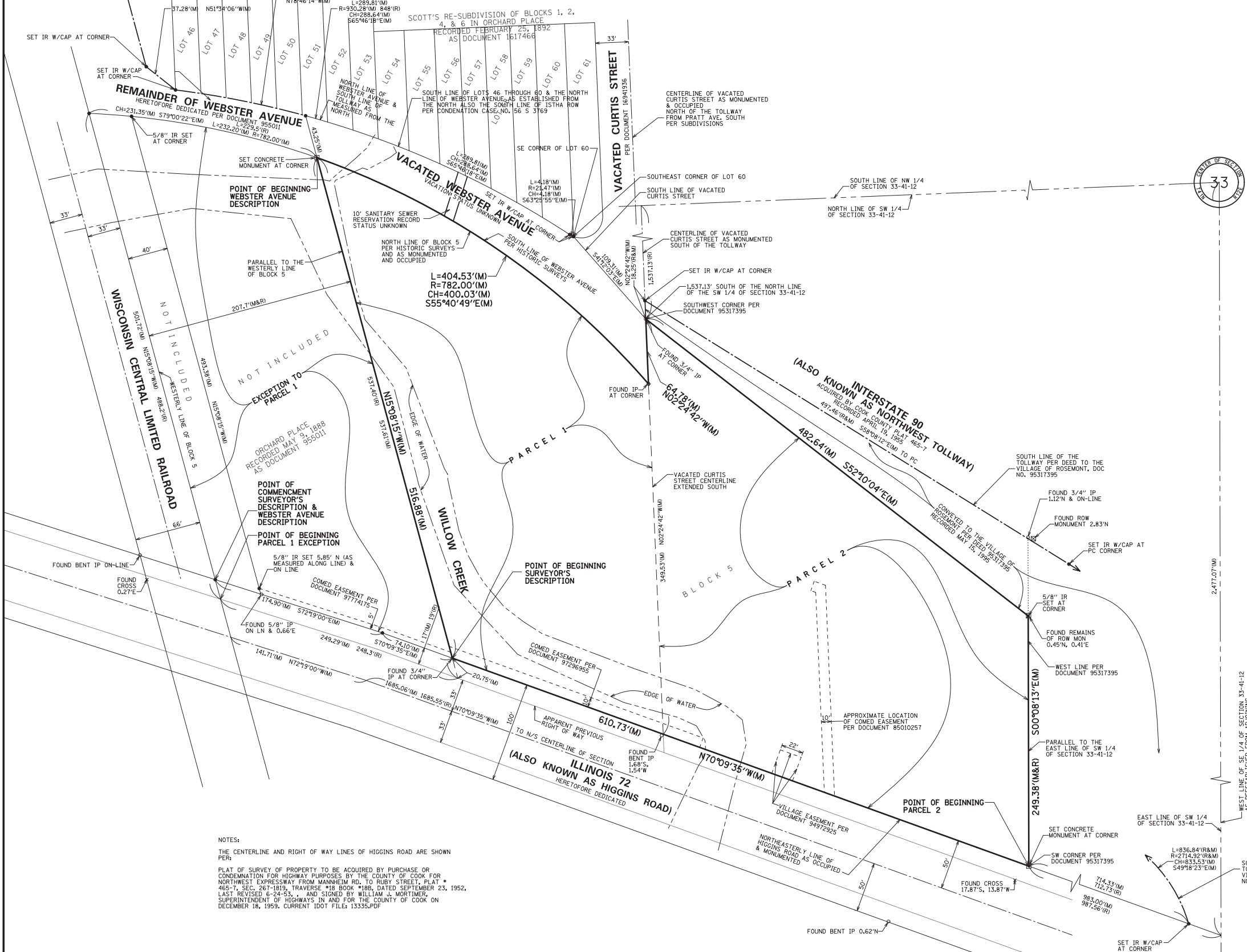
LEGEND	
⊗	RIGHT-OF-WAY MONUMENT
○	DISC
●	IRON W/ STEEL ROD (IR)
○	IRON PIPE (IP)
⊕	CUT CROSS
⊙	PK / MAG NAIL
⊙	RAILROAD SPIKE

PROPERTY DESCRIPTION (PER TITLE COMMITMENT NUMBER/FILE NO.): NCS-931718-MKE#

PARCEL 1:
BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 229.5 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1815, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE# 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1988 AS DOCUMENT NUMBER 955011;
THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2001), NAD83 (2011) ADJUSTMENT, ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.30 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 39 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.0 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 182.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 25, 1992 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 56 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, 482.64 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT A CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER OUTLINE DEED RECORDED MAY 15, 1995 AS DOCUMENT 95317395; THENCE NORTH TO DEGREES 09 MINUTES 39 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.



NOTES:
THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1815, TRAVERSE #18, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE# 13335.PDF

EXISTING BOUNDARY INFORMATION

REVISIONS:	
10/17/2022	



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 10/13/2022
JOB NO: 8779.02
FILENAME: 8779.04PUD-01
SHEET 1 OF 2

FOR REVIEW
PURPOSES ONLY

PREPARED FOR & OWNER:
NEXTGEN HOTELS
550 EAST DEVON AVENUE
SUITE 110
ITASCA, ILLINOIS 60143

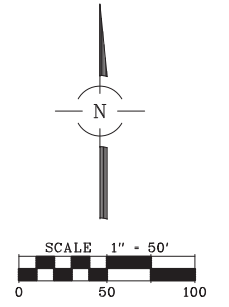
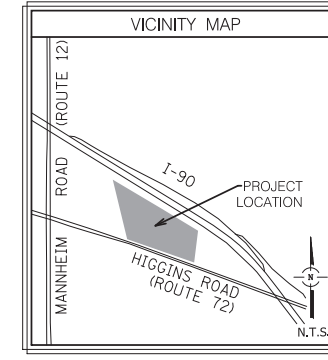
FINAL PLAN OF PLANNED UNIT DEVELOPMENT 1700 WEST HIGGINS ROAD

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN

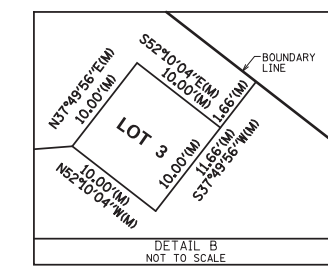
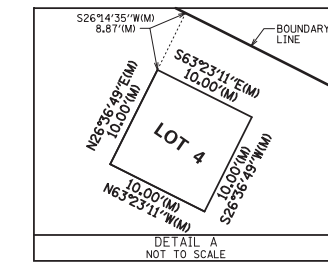
NOTES:
UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.
PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.
PER ATLAS EXISTING UTILITY AS SHOWN ON THE PLAN BASED ON UTILITY COMPANY PROVIDED ATLAS SHEETS. LOCATION WAS NOT BEEN SURVEYED. DEPTH AND LOCATION OF EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS. NOTE THAT EXISTING UTILITIES IN ADDITION TO WHAT ARE SHOWN MAY BE PRESENT.

	SQUARE FEET	ACRES
LOT 1	179,302	4.116
LOT 2	52,598	1.208
LOT 3	100	0.002
LOT 4	100	0.002
TOTAL	232,100	5.328

THIS PLAT DOES NOT GRANT ANY EASEMENTS. SEE PLAT OF SUBDIVISION FOR EASEMENTS TO BE GRANTED.



EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	



- TO BE GRANTED EASEMENT FOR STORM SEWER
- TO BE GRANTED EASEMENT FOR PUBLIC UTILITIES
- TO BE GRANTED STORM WATER RETENTION AREA

TABULATION TABLE	LOT 1 (OFFICE)	LOT 2 (HOTEL)
NUMBER OF BUILDINGS	1	1
FLOOR AREA (NET)	135,204 SQ. FT. (OFFICE)	52,920 SQ. FT. (HOTEL)
BUILDING HEIGHT	72' (6 STORIES)	68.65' (5 FLOORS)
HOURS OF OPERATION	M-F 7AM-6PM	SU-SA 24 HOURS
• OF EMPLOYEES	N/A	4
SPECIFIC USES	OFFICE USE & 3,936 SF OF LAB SPACE	HOTEL
• OF DWELLING UNITS PER ACRE	N/A	N/A
OFF-STREET PARKING REQUIRED	541	115
OFF-STREET PARKING PROVIDED	247 - INCLUDES 28 INTERIOR PARKING	63

PREPARED FOR & OWNER:
NEXTGEN HOTELS
550 EAST DEVON AVENUE
SUITE 110
ITASCA, ILLINOIS 60143

NOTES:
SEE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS TO BE RECORDED AS PART OF THIS DEVELOPMENT.

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS) SS
COUNTY OF COOK)

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT WE HAVE SURVEYED AND PLATTED THE PROPERTY AS HEREON DESCRIBED, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND PLANNED UNIT DEVELOPMENT PLAT.

WE FURTHER DECLARE THAT BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 17031C0357J MAP WITH AN EFFECTIVE DATE OF AUGUST 19, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) - AREA OF MINIMAL FLOOD HAZARD; ZONE X (SHADED) - 0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE; AND ZONE AE (HATCH) - REGULATORY FLOODWAY AS IDENTIFIED BY SAID F.I.R.M. MAP.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 2021, IN ROSEMONT, ILLINOIS.

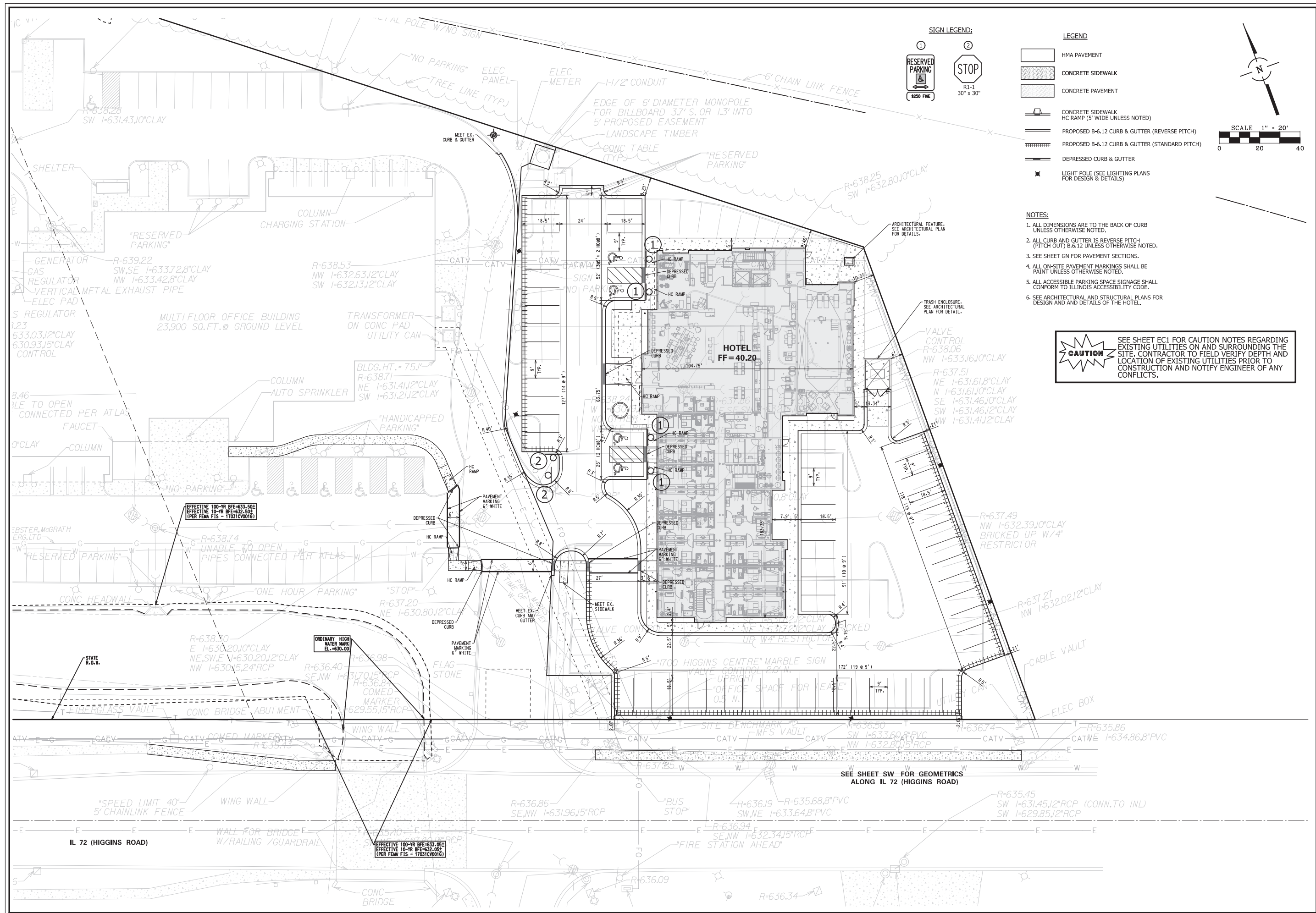
C. BRIAN LOUNSBURY, I.P.L.S., No. 035-2841
LICENSE EXPIRES: 11-30-2022

PROPOSED LOT & EASEMENT LAYOUT

REVISIONS: 10/17/2022	SPACECO INC.	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 10/13/2022 JOB NO: 8779.02 FILENAME: 8779.04PUD-01 SHEET 2 OF 2
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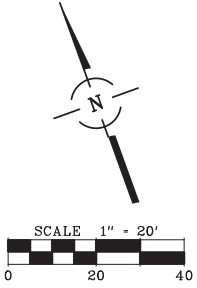
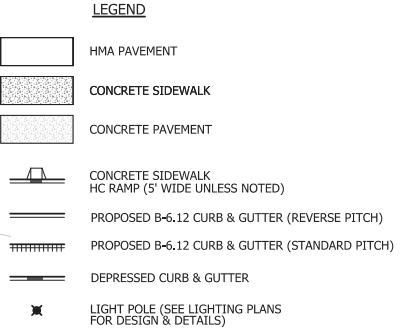
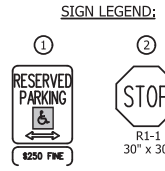
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

FOR REVIEW PURPOSES ONLY



CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER IS REVERSE PITCH (PITCH OUT) B.6.12 UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN FOR PAVEMENT SECTIONS.
 4. ALL ON-SITE PAVEMENT MARKINGS SHALL BE PAINT UNLESS OTHERWISE NOTED.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DESIGN AND DETAILS OF THE HOTEL.



NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN
1700 W. HIGGINS ROAD
HOTEL
 DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.04GM1

DATE:
10/20/22

JOB NO.
8779.04

SHEET
GM1
5 OF 24

STORMWATER MANAGEMENT SUMMARY - EAST

DETENTION REQUIRED
 EXISTING DETENTION
 (PER MWRD PERMIT #84-659) = 0.047 AC-FT
 PROPOSED CONDITIONS = 0.612 AC-FT
 TOTAL = 0.659 AC-FT

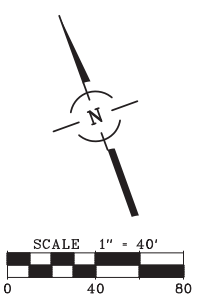
DETENTION PROVIDED
 VAULT #1 = 0.293 AC-FT
 VAULT #2 = 0.369 AC-FT
 TOTAL = 0.662 AC-FT

VOLUME CONTROL REQUIRED
 TOTAL = 0.084 AC-FT

VOLUME CONTROL PROVIDED
 VAULT #1 = 0.037 AC-FT
 VAULT #2 = 0.047 AC-FT
 TOTAL = 0.084 AC-FT

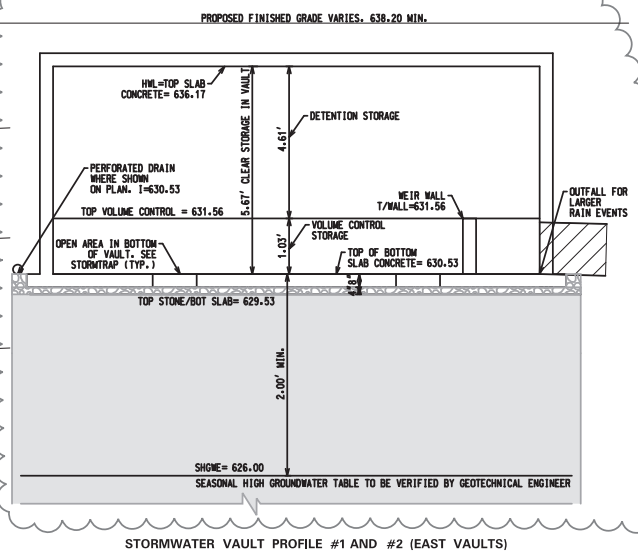
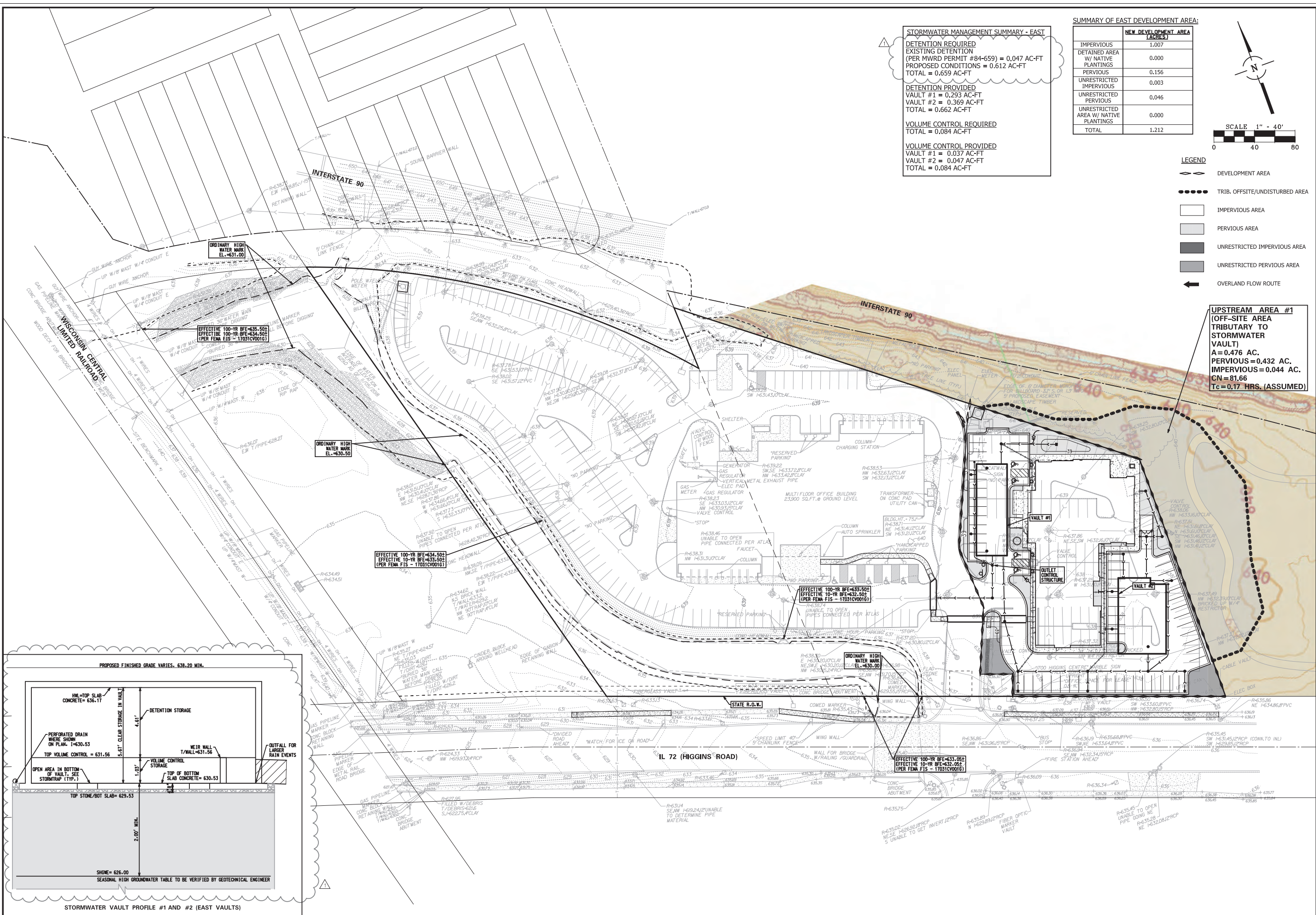
SUMMARY OF EAST DEVELOPMENT AREA:

	NEW DEVELOPMENT AREA (ACRES)
IMPERVIOUS	1.007
DETAINED AREA W/ NATIVE PLANTINGS	0.000
PERVIOUS	0.156
UNRESTRICTED IMPERVIOUS	0.003
UNRESTRICTED PERVIOUS	0.046
UNRESTRICTED AREA W/ NATIVE PLANTINGS	0.000
TOTAL	1.212

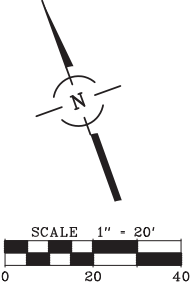
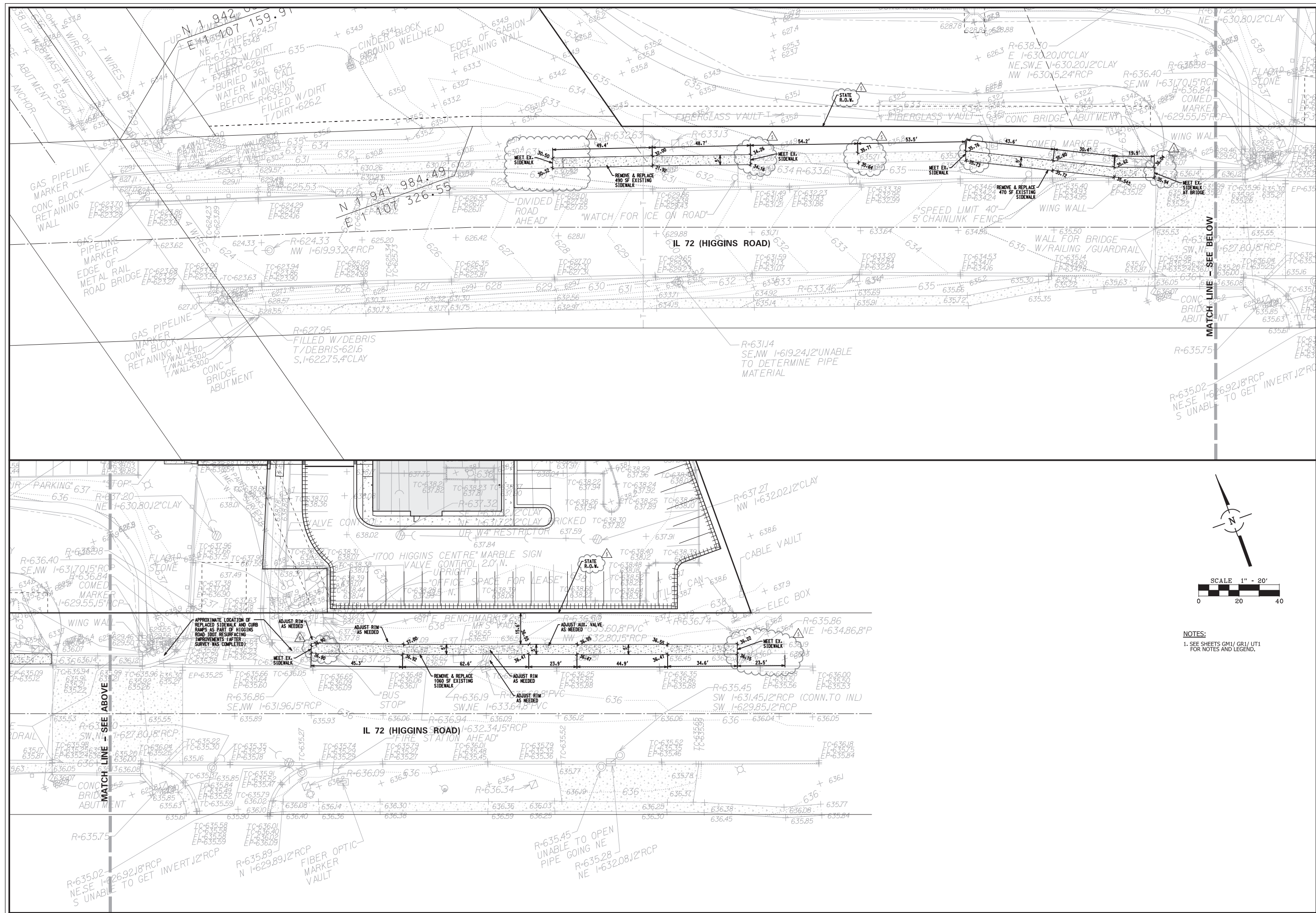


- LEGEND**
- DEVELOPMENT AREA
 - TRIB. OFFSITE/UNDISTURBED AREA
 - IMPERVIOUS AREA
 - PERVIOUS AREA
 - UNRESTRICTED IMPERVIOUS AREA
 - UNRESTRICTED PERVIOUS AREA
 - OVERLAND FLOW ROUTE

UPSTREAM AREA #1
 (OFF-SITE AREA TRIBUTARY TO STORMWATER VAULT)
 A=0.476 AC.
 PERVIOUS=0.432 AC.
 IMPERVIOUS=0.044 AC.
 CN=81.66
 Tc=0.17 HRS. (ASSUMED)



PROPOSED DRAINAGE EXHIBIT 1700 W. HIGGINS ROAD HOTEL DES PLAINES, ILLINOIS	NO. DATE REMARKS 1 11/15/22 PER CITY OF DES PLAINES NO. DATE REMARKS
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 694-4060 Fax: (847) 694-4065	
SPACECO INC.	
FILENAME: 8779.04PDE	
DATE: 10/20/22	
JOB NO. 8779.04	
SHEET PDE 21 OF 24	



NOTES:
 1. SEE SHEETS GM1/ GR1/ UT1 FOR NOTES AND LEGEND.

NO.	DATE	REMARKS

NO.	DATE	REMARKS

IDOT IL 72 (HIGGINS ROAD) SIDEWALK EXHIBIT
1700 W. HIGGINS ROAD
HOTEL
 DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.04INSET

DATE:
10/20/22

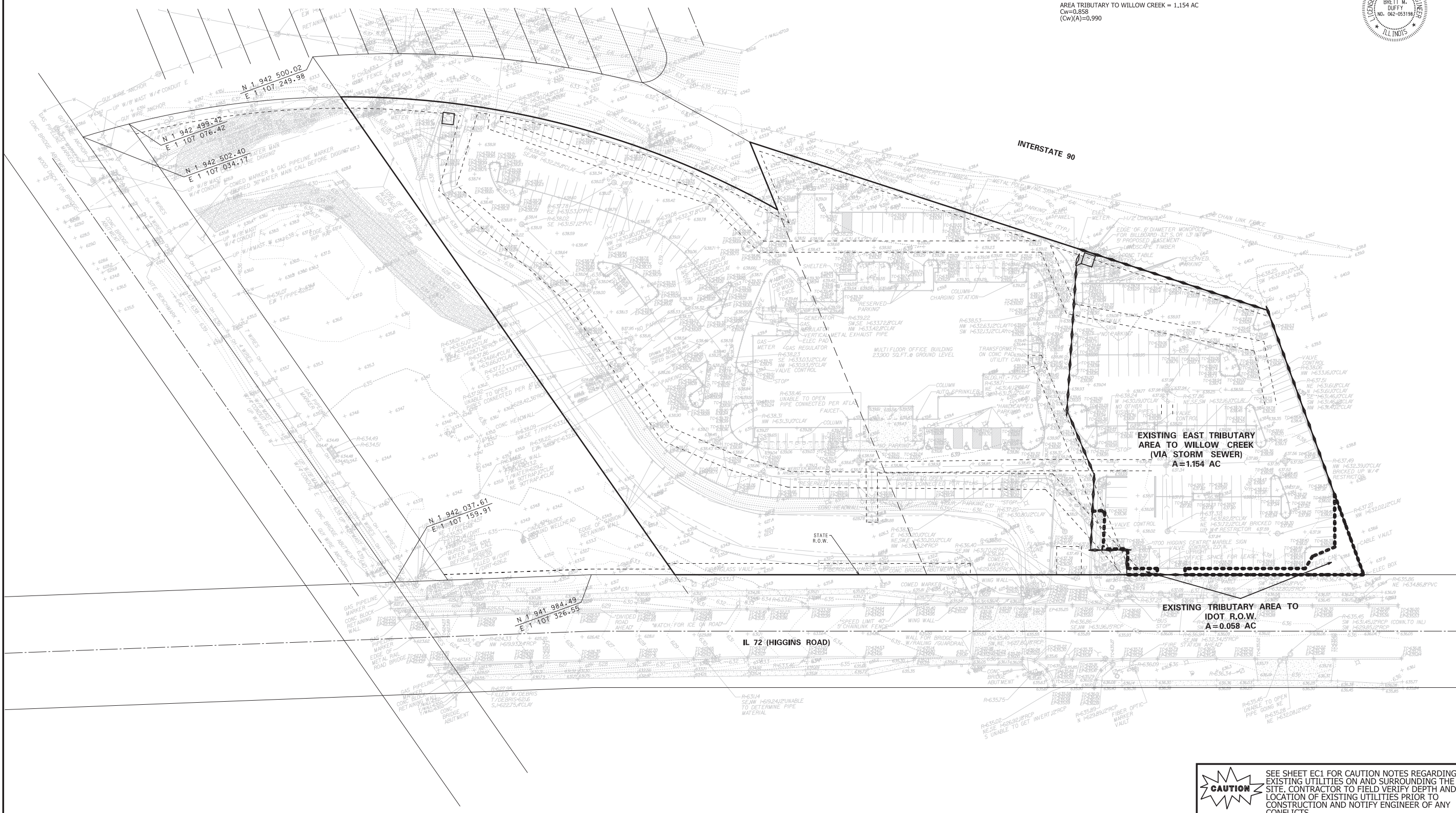
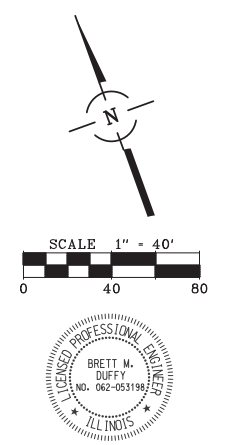
JOB NO.
8779.04

SHEET
SW
22 OF 24

LEGEND

EAST DRAINAGE CALCULATION (TO IDOT ROW)
 C-VALUE ASSUMED - PER LOCAL ORDINANCES
 C-IMPERVIOUS = 0.90
 C-PERVIOUS = 0.45
 $C_w = [(C-IMPERVIOUS \times A-IMPERVIOUS) + (C-PERVIOUS \times A-PERVIOUS)] / \text{TOTAL AREA}$
 $C_w = [(0.90 \times 0.003 \text{ AC}) + (0.45 \times 0.055 \text{ AC})] / 0.058 \text{ AC} = 0.473$
 AREA TRIBUTARY TO IDOT ROW = 0.058 AC
 $C_w = 0.73$
 $(C_w)(A) = 0.042$

EAST DRAINAGE CALCULATION (TO WILLOW CREEK)
 C-VALUE ASSUMED - PER LOCAL ORDINANCES
 C-IMPERVIOUS = 0.90
 C-PERVIOUS = 0.45
 $C_w = [(C-IMPERVIOUS \times A-IMPERVIOUS) + (C-PERVIOUS \times A-PERVIOUS)] / \text{TOTAL AREA}$
 $C_w = [(0.90 \times 1.046 \text{ AC}) + (0.45 \times 0.108 \text{ AC})] / 1.154 \text{ AC} = 0.858$
 AREA TRIBUTARY TO WILLOW CREEK = 1.154 AC
 $C_w = 0.858$
 $(C_w)(A) = 0.990$



NO.	DATE	REMARKS

IDOT EXISTING DRAINAGE AREA
1700 W. HIGGINS ROAD
HOTEL
 DES PLAINES, ILLINOIS


CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065




SPACECO INC.
 FILENAME:
 8779.04EX.DRAIN
 DATE:
 10/20/22
 JOB NO.
 8779.04
 SHEET
EX. DRAIN
 23 OF 24

CAUTION
 SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

LEGEND

 PROPOSED DRAINAGE AREA TRIBUTARY TO IL 72 (HIGGINS ROAD)

 PROPOSED UNRESTRICTED DRAINAGE AREA TRIBUTARY TO WILLOW CREEK

NOTES:

1. SEE SHEETS GR1 FOR ADDITIONAL NOTES AND LEGEND.

EAST DRAINAGE CALCULATION (TO IDOT ROW)

C-VALUE ASSUMED - PER LOCAL ORDINANCES
 C-IMPERVIOUS = 0.90
 C-PERVIOUS = 0.45

$Cw = [(C-IMPERVIOUS \times A-IMPERVIOUS) + (C-PERVIOUS \times A-PERVIOUS)] / \text{TOTAL AREA}$

$Cw = [(0.90 \times 0.003 \text{ AC}) + (0.45 \times 0.045 \text{ AC})] / 0.048 \text{ AC} = 0.478$

AREA TRIBUTARY TO IDOT ROW = 0.048 AC
 Cw=0.478
 (Cw)(A)=0.023

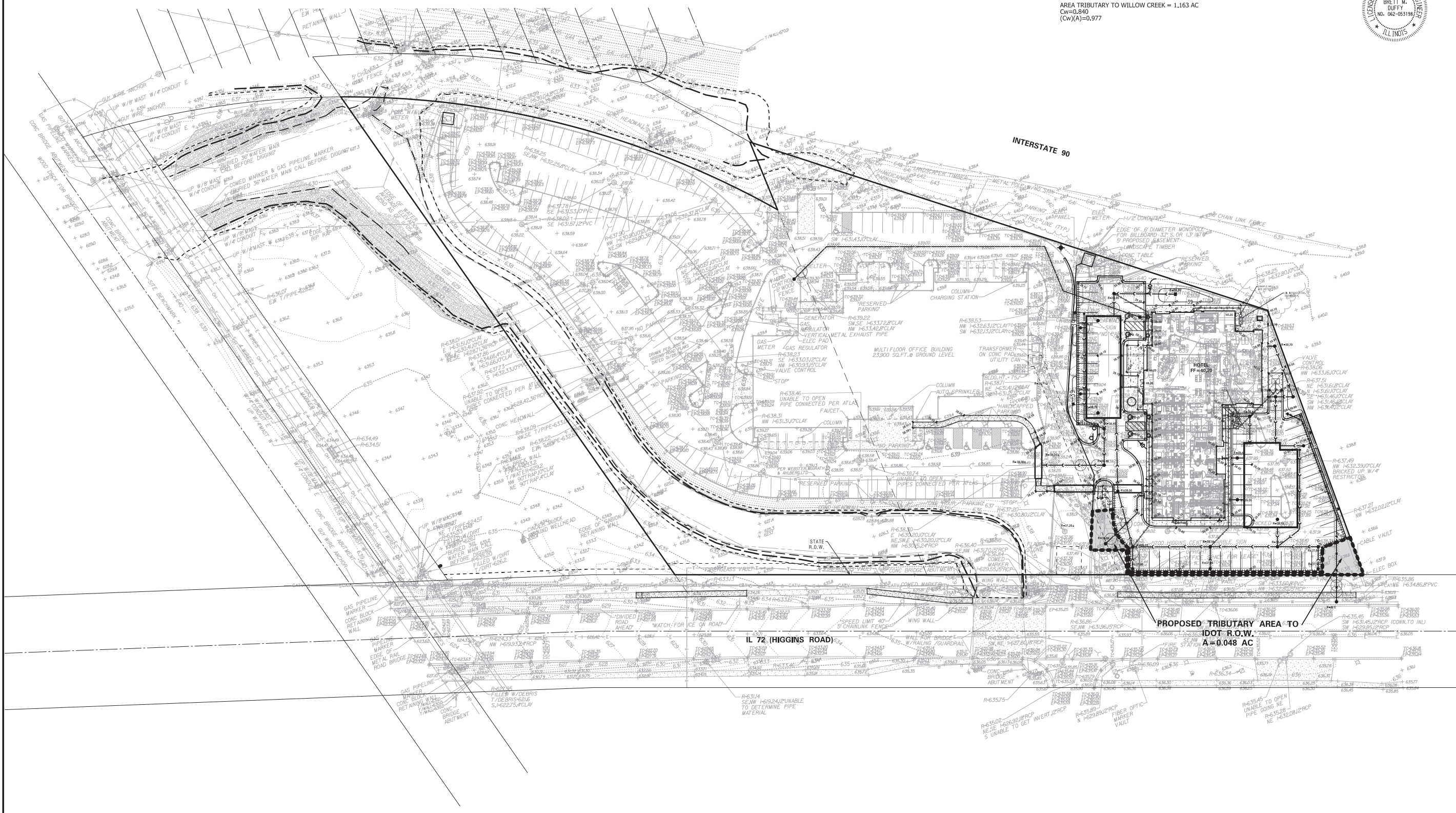
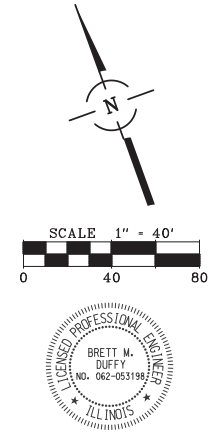
EAST DRAINAGE CALCULATION (TO WILLOW CREEK)

C-VALUE ASSUMED - PER LOCAL ORDINANCES
 C-IMPERVIOUS = 0.90
 C-PERVIOUS = 0.45

$Cw = [(C-IMPERVIOUS \times A-IMPERVIOUS) + (C-PERVIOUS \times A-PERVIOUS)] / \text{TOTAL AREA}$

$Cw = [(0.90 \times 1.007 \text{ AC}) + (0.45 \times 0.156 \text{ AC})] / 1.163 \text{ AC} = 0.840$

AREA TRIBUTARY TO WILLOW CREEK = 1.163 AC
 Cw=0.840
 (Cw)(A)=0.977



NO.	DATE	REMARKS

IDOT PROPOSED DRAINAGE AREA
1700 W. HIGGINS ROAD
HOTEL
 DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4045



SPACECO INC.

FILENAME:
8779.04PR.DRAIN

DATE:
10/20/22

JOB NO.
8779.04

SHEET
PR. DRAIN
24 OF 24



**1700 E HIGGINS ROAD
DES PLAINES IL, 60018**



GENERAL NOTES

1. THE "WORK" SHALL CONSIST OF ALL DRAWINGS, GRAPHIC REPRESENTATIONS OF THE WORK AND THE PROJECT SPECIFICATIONS. REPORT ANY DEVIATION OR DISCREPANCIES TO ARCHITECT PRIOR TO START OF "WORK".
 2. CONTRACTOR TO VERIFY BUILDING CONSTRUCTION TO CONFORM TO ALL PREVAILING CODES & ORDINANCES (NATIONAL, STATE & LOCAL). ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
 3. ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING, DO NOT RELIEVE THE CONTRACTOR(S) FROM EXECUTING WORK IN THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS.
 4. CONTRACTOR TO BE RESPONSIBLE FOR COMPLYING WITH ALL ACCESSIBILITY REQUIREMENTS.
 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS NOT SCALED FROM DRAWINGS. THE ARCHITECT WILL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.
 6. CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION, AND SHALL PAY ALL APPLICABLE FEES.
 7. SPECIFICATION PACKAGE TO BE INCLUDED ALONG WITH THE CONSTRUCTION DOCUMENTS AS PART OF THE CONTRACT DOCUMENTS AND NOT TO BE ISSUED SEPARATELY.
 8. THE AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 13 AT ASSEMBLY AREA AND 13R AT RESIDENTIAL AREA (AREA AS INDICATED ON CODE DATA SHEET) & APPLICABLE NATIONAL, STATE & LOCAL CODES & GOVERNING AUTHORITIES. BUILDING SHALL BE FULLY SPRINKLERED INCLUDING CONCEALED SPACES AND SHALL BE PROVIDED WITH AN ADEQUATE AND RELIABLE WATER SUPPLY. FIRE PROTECTION SYSTEM TO BE DESIGNED BY THE FIRE PROTECTION CONTRACTOR. FIRE PROTECTION CONTRACTOR SHALL SUBMIT COMPLETE FIRE PROTECTION DRAWINGS AND CALCULATIONS TO STATE AND LOCAL JURISDICTIONS FOR REVIEW AND PERMIT BEFORE START OF WORK. ALL SPRINKLER PIPING SUBJECT TO FREEZING SHALL BE DRY-TYPE SYSTEMS WHERE PERMITTED, AND HEAT-TRACE TAPED WHERE PROTECTION REQUIRED.
 - 8A. THE FIRE SPRINKLER SYSTEM MUST BE ZONED HORIZONTALLY BY FLOOR IN ACCORDANCE WITH NFPA 13 AT ASSEMBLY AREA AND 13R AT RESIDENTIAL AREA.
 9. INSTALL SEALANT JOINT AT ALL LOCATIONS WHERE DISSIMILAR MATERIALS MEET.
 - 9A. SEALANT AT ALL EXTERIOR JOINTS BETWEEN WINDOWS AND DOOR FRAMES BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL AND PANELS AND ALL PENETRATIONS OR UTILITIES THROUGH WALLS AND ROOFS AND BETWEEN ALL DISSIMILAR MATERIALS.
 10. SEALANT SHALL BE INSTALLED BETWEEN ALL DISSIMILAR SURFACES IN GUEST BATHROOMS, PUBLIC RESTROOMS & EMPLOYEE, ETC.
 - 10A. SEALANT SHALL BE INSTALLED
 - BETWEEN FLOOR OR WALL TILE & BATHTUB/SHOWER ENCLOSURE
 - BETWEEN WALL TILE & CEILING
 - CAULK COLOR TO MATCH GROUT COLOR
 - INSTALL CLEAR CAULK BETWEEN VANITY & WALL
 11. CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING, TO ASSURE AN EXACT FIT. THE CABINETS SHALL MATCH PLANS (NOTIFY ARCHITECT OF ANY DISCREPANCIES).
 12. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING ALL CURRENT FRANCHISE STANDARDS AND CODES. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FRANCHISE STANDARDS TO ARCHITECT FOR CLARIFICATIONS. NO ADDITIONAL COST WILL BE APPROVED DUE TO FAILURE OF GC TO OBTAIN CLARIFICATION PRIOR TO SIGNING OF CONSTRUCTION CONTRACT.
 13. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTOR OR OWNER DRIVEN CHANGES OR DEVIATIONS TO CONSTRUCTION DRAWINGS. ALL REVISIONS, VALUE ENGINEERING ITEMS & CLARIFICATIONS TO BE APPROVED BY ARCHITECT PRIOR TO START OF CONSTRUCTION.
 14. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
 15. NOT USED
 16. GEOTECHNICAL REPORT PREPARED BY CONTOUR ENGINEERING, LLC PROJECT NO. G18ING04, CONTOUR'S PROPOSAL NUMBER G18ING-008, DATED OCTOBER 25, 2016, IS A PART OF THE CONSTRUCTION DOCUMENTS. GC IS RESPONSIBLE FOR COORDINATING BETWEEN THE GUIDELINES & RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT & THE OTHER DISCIPLINES.
 17. ALL WORK AND EQUIPMENT TO BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY AND ACCEPTANCE FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS. (O.N.O.)
 18. STORE MATERIALS IN SECURE, DRY ENVIRONMENT.
 19. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT. PDF FILES OF SHOP DWGS, REVIEWED WITH COMMENTS IN GREEN INK, SIGNED AND STAMPED BY G.C. ON SHOP DWGS. (NOT SEPARATE COVER LETTER) SHALL BE SUBMITTED. SUBMITTALS NOT REVIEWED, SIGNED AND STAMPED BY G.C. WILL BE REJECTED AND NOT REVIEWED.
- THE FOLLOWING IS A MIN. LIST OF DEFERRED SUBMITTALS TO BE PROVIDED TO THE CITY ONCE REVIEWED BY ARCHITECTS OF RECORD, CONFIRM WITH CITY
1. FIRE ALARM AND DETECTION SYSTEM DWGS
 2. POOL PERMIT DWGS TO BE SUBMITTED BY POOL CONTRACTOR.
20. DRAFT STOPPING TO BE PROVIDED PER CODE 2012 IBC AND FIRE MARSHAL'S REQUIREMENTS.
21. FIRE BLOCKING TO BE CONSTRUCTED IN COMPLIANCE WITH STATE & LOCAL BUILDING CODES.
22. FIRE STOPPING SHALL BE PROVIDED TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY AND ROOF SPACE. FIRE STOPS SHALL BE LOCATED IN EXTERIOR AND INTERIOR WALLS, PARTITIONS AT CEILING AND FLOOR LEVEL AS REQUIRED BY CODE.

GUEST UNIT AREAS & PARKING INDEX

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO		
LEVEL	GROSS SQFT	TOTAL GUESTROOMS
LEVEL 1	14,786SF	11
LEVEL 2	12,498 SF	24
LEVEL 3	12,498 SF	24
LEVEL 4	12,498 SF	24
LEVEL 4	12,498 SF	24
TOTAL	64,786SF	107

ADA PARKING REQUIREMENT		
TOTAL	REQUIRED	PROVIDED
68	4	4

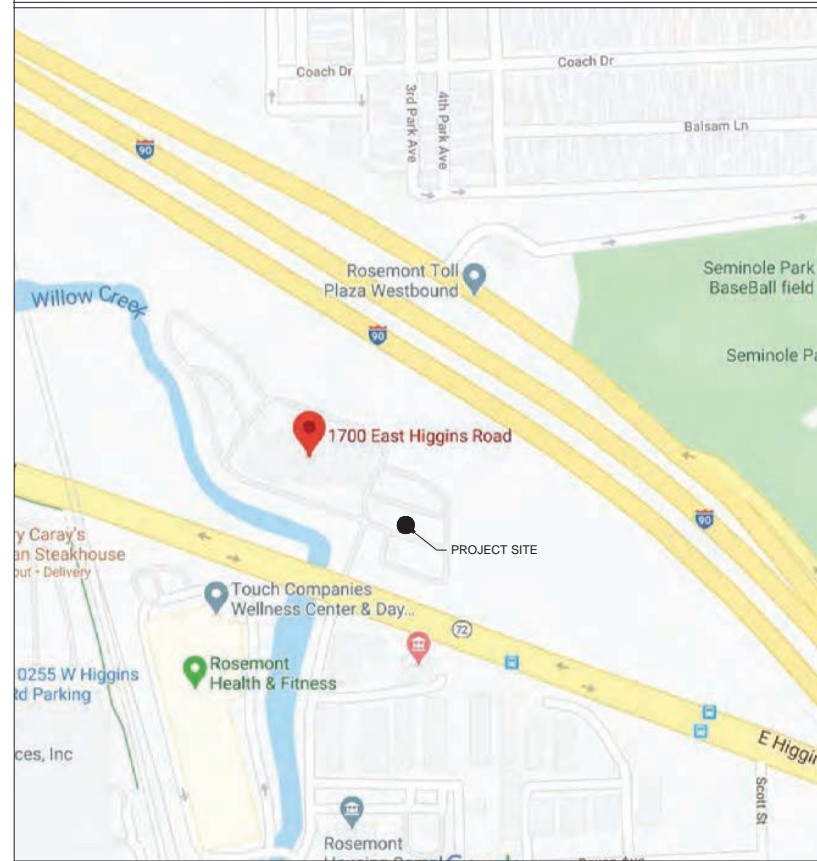
GUEST UNIT MATRIX

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO			QUEEN QUEEN STUDIO	TOTAL		
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING	QUEEN STUDIO M.F. R.I.S.			QUEEN STUDIO M.F. R.I.S.	
LEVEL 1	14,786SF	2	1	1	1	0	4	2	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	1	9	1	0	1	8
LEVEL 3	12,498 SF	3	0	1	1	1	9	1	0	1	8
LEVEL 4	12,498 SF	3	0	1	1	1	9	1	1	0	8
LEVEL 5	12,498 SF	3	0	1	1	1	9	1	1	0	8
SUBTOTAL		15	1	5	5	38	7	2	2	32	107
TOTAL	64,786 SF	14	1	10			50			32	
PERCENTAGES		13%	1%	9%			47%			30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME 2 SUITS, IL			
TOTAL NUMBER OF GUEST UNITS - 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES (M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # - 201, 301	2	2	L224.2(ADA2010)
MOBILITY FEATURES (M.F.) W/ROLL-IN SHOWER (R+S) ROOM # - 401, 501	2	2	
MOBILITY FEATURES (M.F.) ROOM # - 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F.) ROOM # - 115,124,127,201,212,214,231,301,312,331,419,421	12	12	L224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS 8.2510(107%)

VICINITY MAP



MATERIALS LEGEND

- CONCRETE
- CONCRETE MASONRY UNITS
- INSULATION (BAFF, LOOSE, OR FRICTION)
- INSULATION (RIGID)
- LUMBER (ROUGH)
- LUMBER (FINISHED)
- PLYWOOD OR OSB SHEATHING
- GYPSON BOARD
- 2 HR. F.R. WALL ASSEMBLY

ABBREVIATIONS:

- TOMA - TILE COUNCIL OF NORTH AMERICA
- HADG - HILTON ACCESSIBILITY DESIGN GUIDE
- M.F. - MOBILITY FEATURES
- C.F. - COMMUNICATION FEATURES

SYMBOLS LEGEND

- NOTE TAG REFERENCING GENERAL NOTES PER EACH DRAWING
- ELEVATION MARK
- ENLARGED PLAN DETAIL MARK
- SECTION MARK
- ROOM NUMBER
- DOOR NUMBER
- FLOOR/CEILING ROOF TYPE AND ELEVATION
- WALL TYPE
- WINDOW TYPE
- ELEVATION MARKER
- CENTERLINE OF COLUMN
- FACE OF STUD/ CONCRETE/ MASONRY
- REQUIRED ACCESSIBLE CLEAR FLOOR SPACE

CONSTRUCTION NOTES

1. STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT ALL PENETRATIONS INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING, IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES.
2. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICE AND CERTIFIED FIRE RATING CRITERIA AS REQ. FOR THICKNESS, NAILING, TAPING AND STUD SPACING.
3. NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AUTHORITIES.
4. FIRE EXTINGUISHERS TO BE LOCATED PER SECT. 906 (2012 IBC) AND AS DIRECTED BY LOCAL JURISDICTION AND AUTHORITIES.
5. REFER TO UNIT PLAN PLUMBING DRAWINGS FOR LOCATION OF PLUMBING WALLS. REFER TO STRUCTURAL DRAWINGS FOR UNUSUAL OR SPECIAL FRAMING CONDITIONS.
6. WATER SERVICE SHALL NOT BE PLACED IN CONCEALED SPACES OUTSIDE OF THE CONDITIONED BUILDING ENVELOPE (PATIO FLOOR SPACES OR ATTICS).
7. SEE STRUCTURAL FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.
8. PROVIDE BLOCKING SUPPORT AND REINFORCEMENT TO ACCOMMODATE ALL WALL AND CEILING MOUNTED EQUIPMENT, FIXTURES & ACCESSORIES, INCLUDING ELEC. FEATURES & TOILET FIXTURES & GRAB BARS.
9. ALL GYPSUM BOARD EXTERIOR CORNERS SHALL HAVE CONTINUOUS METAL CORNER BEADS FLOOR TO SOFFIT. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL 'L' BEADS CONTINUOUS FROM FLOOR TO CEILING.
10. ALL PENETRATIONS IN GYPSUM DRYWALL CONSTRUCTION SHALL BE SEALED TO PREVENT SOUND LEAKAGE.
11. ALL FIRE RATED SHEAF ARE TO EXTEND TO THE UNDERSIDE OF FLOOR ROOF DECK OR CONCRETE SLAB ABOVE. U.N.O.
12. FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVELNESS RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATIONS SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES. ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
13. SIZE AND LOCATION OF ALL FLOOR OPENINGS TO BE VERIFIED WITH TRADE AFFECTED BEFORE WORK. PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/ OR FIRE CODES.
14. PROVIDE ACCESS PANELS ABOVE SUSP. CEILING TILE WHERE POSSIBLE.
15. COORDINATE LOCATION, CONSTRUCTION, AND DETAIL OF LOAD BEARING WALLS AND SHAFT DIMENSIONS/ LOCATION BEFORE START OF WORK.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING WHERE NECESSARY.
17. GENERAL CONTRACTOR SHALL DRY-IN & CONDITION BUILDING PRIOR TO INSTALLING FINISHES.

LIFE SAFETY NOTES

1. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILS. SUCH IDENTIFICATION SHALL:
 - A) BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING OR ATTIC SPACES
 - B) BE REPEATED AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
 - C) INCLUDE LETTERING NOT LESS THAN 5 INCH IN HEIGHT, INCORPORATING THE SUGGESTED WORDING "FIRE AND/OR SMOKE BARRIER PROJECT ALL OPENINGS" OR OTHER WORKING.
2. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED PERMANENT DESIGN AND BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
3. CHAIR ARRANGEMENTS CONTAINING 200 OR MORE CHAIRS (NOT FIXED) REQUIRE ALL OF THE CHAIRS TO BE BONDED TOGETHER IN GROUPS OF NOT LESS THAN THREE.
4. ALL DECORATIVE MATERIALS SHALL BE OF NON-COMBUSTIBLE OR APPROVED FLAME RETARDANT TREATED MATERIALS. CCR TITLE 19 SECTION 3.08.
5. FIRE PROTECTION CONTRACTOR TO SUBMIT PLANS TO AHJ & OBTAIN PERMIT. REQ. APPROVALS FOR THE DESIGN & INSTALLATION OF FIRE SPRINKLER SYSTEM.
6. THE GENERAL CONTRACTOR SHALL COORDINATE THE FIRE ALARM SYSTEM INTERFACES WITH THE FIRE ALARM CONTRACTOR, SPRINKLER CONTRACTOR, MECHANICAL CONTRACTOR AND ANY OTHER PERTINENT TRADES (FIRE ALARM, SPRINKLER SYSTEM, HOOD AND VENT EXTINGUISHING SYSTEM, HVAC, FIRE SMOKE DAMPERS, ETC.)
7. PROVIDE MINIMUM 2A-10B-C PORTABLE FIRE EXTINGUISHERS (PER NFPA 10). ONE EXTINGUISHER IS REQUIRED FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF OF FLOOR SPACE, WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET. A MINIMUM OF 3 PORTABLE FIRE EXTINGUISHERS ARE REQUIRED PER FLOOR BASED ON THE SQUARE FOOTAGE.
8. MAGNETIC DOOR HOLDER DEVICES SHALL BE INCLUDED AS PART OF THE FIRE ALARM PLAN SUBMITTAL AND SHALL RELEASE UPON ACTIVATION OF THE FIRE ALARM SYSTEM.
9. VERIFY LOCK BOX LOCATION AND CRITERIA WITH AHJ.

PROJECT TEAM

ARCHITECT: Origination Design, LLC 3225 Shallowford Rd., Suite 920, Marietta, GA 30062 O: 678.404.8456 M: 404.542.0838	MEP ENGINEER MEP GREEN DESIGN & BUILD 10244 El Camino Real, Suite 211, Houston, TX 77058 O: 281.786.1195 M: 360.878.3994	STRUCTURAL ENGINEER ASE Engineering Services, Inc. 10244 E Colonial DR, Suite 202, Orlando, Florida 32817 O: 407.677.5565 F: 407.730.2999	CONTRACTOR BCG 2401 Broad Street, Suite 101 Chattanooga, TN 37408 O: 423.498.2557 F: 423.370.1640
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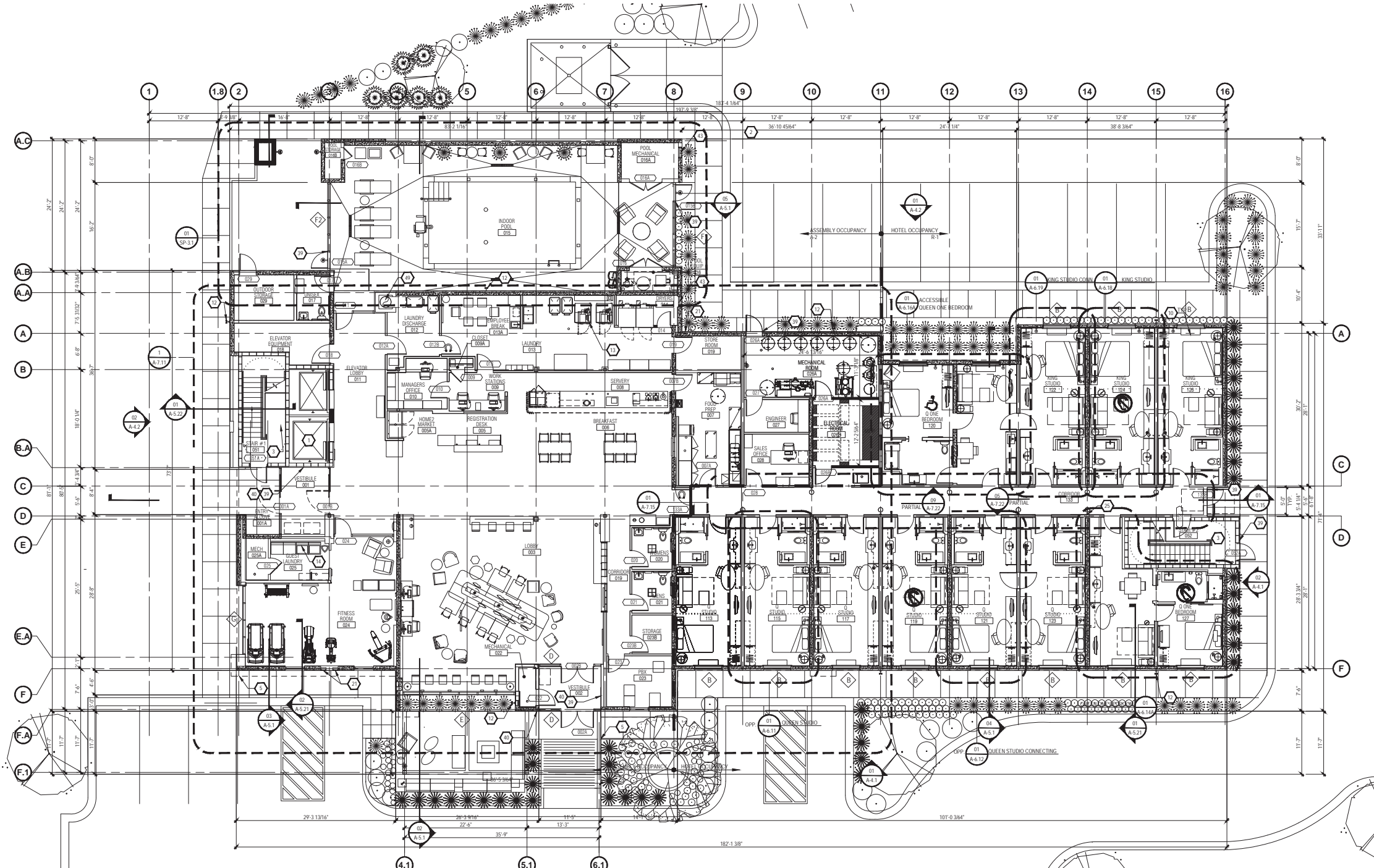
COVER SHEET



No.	Description	Date

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Project Number 202005
Date 01/17/21
Drawn By M.N.
Checked By J.G.



01 FIRST FLOOR PLAN
A-1.1 SCALE: 1/8" = 1'-0"

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING KING STUDIO	KING STUDIO CONNECTING	KING		QUEEN				QUEEN QUEEN	TOTAL	
			KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO		QUEEN QUEEN STUDIO		
					QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING			
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1	10			50			32	
PERCENTAGES		13%	1%	9%			47%			30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS, JL			
TOTAL NUMBER OF GUEST UNITS: 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201, 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F.) ROOM # : 119,124,127,201,212,214,231,301,312,331,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)

- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL, ELECTRICAL AND PLUMBING CHASE
 - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUCH INTO AREA OF REFUGE
 - HOSE BIB- FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADERS FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
 - CANOPY ROOF OVERLAP SCOPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HANDBOOK FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - NOT USED
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - NOT USED
 - WIRE SHELVING SYSTEM - REFER TO FF&E
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4' 4" F.
 - MEMBRANE ROOF. SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAIN/GUTTERS
 - TAPERED INSULATION CRICKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH. SEE PER LOCAL BUILDING CODES. ACCESSSED VIA AN ALTERNATING TREAD STAIR
 - ROOF PARAPET
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON. REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER'S INDOOR LOCAL CODE PROVISIONS
 - KEYCARD HEADER ENTRANCE HARDWARE MOUNTED SO THAT TOP OF HEADER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
 - PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING) MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
 - SLASHLOCK
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CMU CORNER TO HAVE 1" RADIIUS BULLNOSE
 - MILLIMETRY PROTECTION PAD IN CONTRACTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2 HOUR RATED SHAFT WITH RATED DOOR

SYMBOL / FIXTURES KEY:

[Symbol]	ACCESSIBLE ROOM
[Symbol]	COMMUNICATION FEATURES ROOM. REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
[Symbol]	MAGNETIC DOOR HOLD OPERATED TO BUILDING ALARM SYSTEM. REFER TO DOOR SCHEDULE, ELEC. & ALARM DRAWINGS

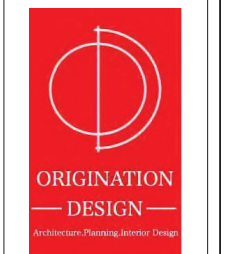
- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECEIVED CABINETS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF SLOPE A NUMBER OF ROOF OR DRAINAGE PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FUTURE EQUIPMENT REQS
 - REFER TO HANDBOOK FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & COMMON AREAS
 - THE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS. COMPLIING WITH NFPA 72 (799 OR 2022 EDITION) AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "SILENT ROOMS" IN COMMUNICATION FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS. THE WIRING SHALL BE DESIGNED SO THAT ALARMS CAN BE INTEGRATED INTO THE SYSTEM UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.

FURNISHINGS LEGEND:

PA-001	ROOMS SHADE
PA-002	ART WORK
PA-003	CONSOLE TABLE
PA-004	WIRE SHELVING
PA-005	ICE MAKER

FINISH LEGEND:

PF	PAINT
PL	PLASTER/LAMINATE
SI	STONE
SS	SOLID SURFACE
SP	SPECIAL FINISH
CO	CONCRETE
CP	CARPET
CT	TILE
GL	GLASS
QT	QUARRY TILE
WB	WALL BASE
WF	WALL FLOORING



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No.	Description	Date

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Project Number: 202005
Date: 01/17/21
Drawn By: A.S.
Checked By: J.G.



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SECOND FLOOR PLAN

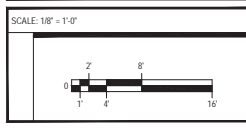
- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE.
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF.
 - LINE OF ROOF CANOPY ABOVE.
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS.
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE.
 - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED.
 - NOT USED.
 - PIAC UNIT.
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE.
 - HOSE BIB - FROST FREE WHERE REQUIRED.
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
 - CANOPY ROOF OVERLAP ON SCUPPER.
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAMA CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DOOR WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
 - ROOF OF POOL BELOW.
 - CANOPY TRUSS BELOW.
 - DRYER VENT LOUVER - REFER TO ELEVATIONS.
 - NOT USED.
 - NOT USED.
 - WIRE SHELVING SYSTEM - REFER TO F&E.
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
 - MEMBRANE ROOF SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAIN/SCUPPERS.
 - TAPERED INSULATION CRICKET.
 - ROOF LEADER AND OVERFLOW DRAIN.
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR.
 - ROOF PAD/APT.
 - GRAVEL STOP EDGE.
 - EXHAUST FAN.
 - MAKE UP AIR UNIT ON ROOF CURB.
 - ELEVATOR OVER RUN PENTHOUSE.
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS.
 - LAUNDRY CHUTE VENT.
 - ALUMINUM GUTTER AND DOWNSPOUT.
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS.
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
 - POSITION INTERCOM OR HOUSE PHONE OPTIPOINT VIDEO MONITORING. MOUNT TO TOP OF SERVICE IS MINIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT SERVICE.
 - SPLASHBLOCK.
 - NOT USED.
 - MECHANICAL LOUVER.
 - NOT USED.
 - EXPOSED CORNER TO HAVE 1" RADIUS ROUNDOFF.
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF.
 - ALTERNATING TREAD STAIR TO UPPER ROOF.
 - NOT USED.
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR.

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS.
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS.
 - ROOF SLOPES & NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES.
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS.
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT.
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESSABLE VISIBLE ALARMS (COMPLYING WITH IFM 10 1996 OR 2002 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" RECOMMENDING FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE ADDRESSABLE ALARMS. THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

- XXX FURNISHINGS LEGEND:**
- PA-001 RECLINER CHAIR
 - PA-002 ART WORK
 - PA-003 CONSOLE TABLE
 - PA-004 WIRE SHELVING
 - 432 ICE MAKER

- FINISH LEGEND:**
- PT PART
 - PL PLASTIC LAMINATE
 - ST STONE
 - SS SOLID SURFACE
 - SP SPECIAL FINISH
 - CD CONCRETE
 - CP CARPET
 - CT TILE
 - G GLASS
 - QT QUARRY TILE
 - WB WOOD BASE
 - VF VINYL FLOORING

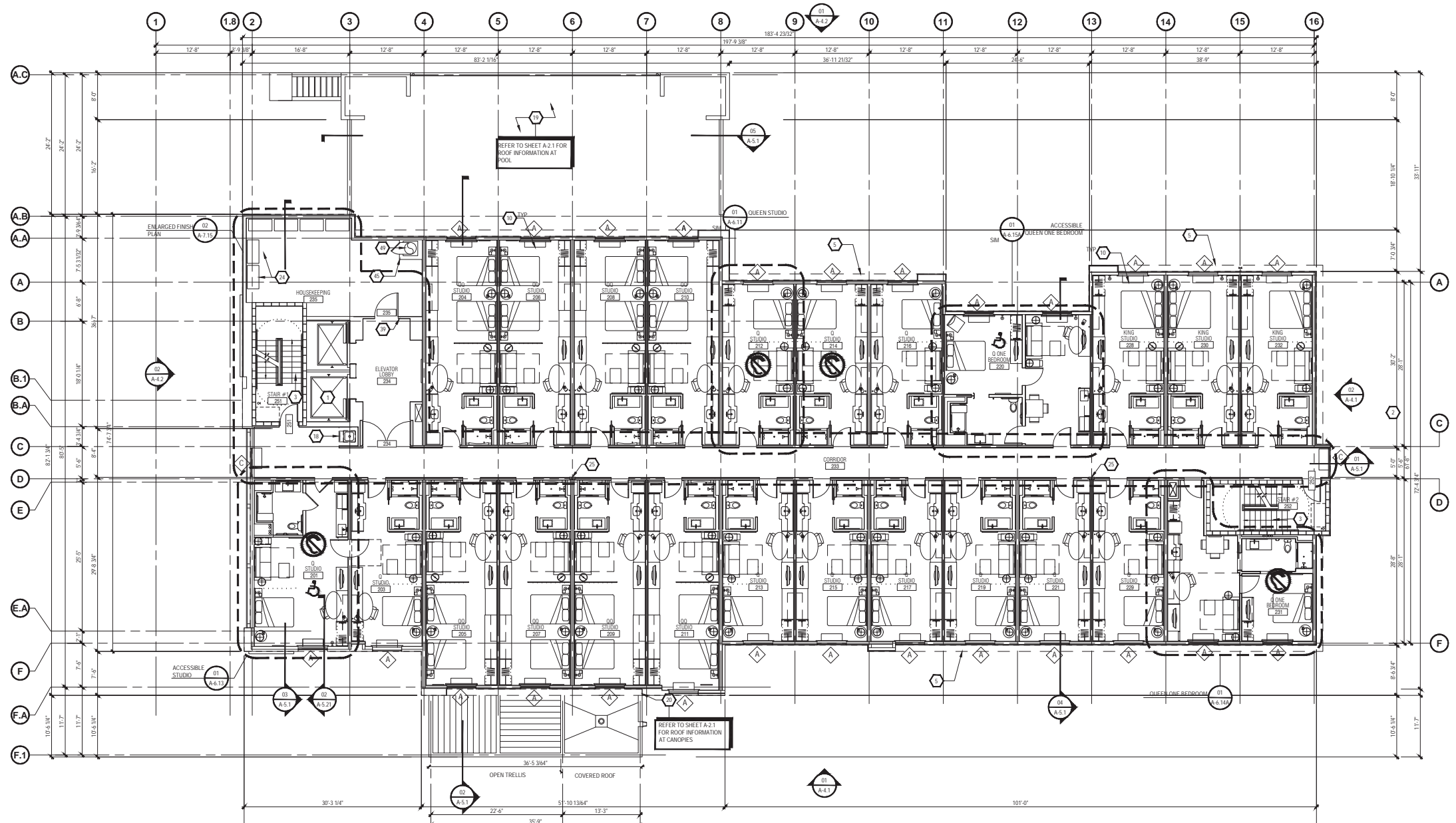


No.	Description	Date

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Project Number 202005
Date 01/17/21
Drawn By M.N.
Checked By J.G.

A-1.2
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01 SECOND FLOOR PLAN
A-1.2 SCALE: 1/8" = 1'-0"

FLOOR AREA (SF)	GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO										TOTAL
	KING KING STUDIO	QUEEN				QUEEN QUEEN	TOTAL				
		KING KING STUDIO CONNECTING	QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO			QUEEN STUDIO CONNECTING	QUEEN STUDIO-M.F. R.I.S.	QUEEN STUDIO-M.F.&C.F. R.I.S.	
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1	10		50				32	
PERCENTAGES		13%	1%	9%		47%				30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS ,IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201 , 301	2	2	L.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401 , 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,331,419,421	12	12	L.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403, 501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



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HOMER2
SUITES BY HILTON
1700 E Higgins Road
Des Plaines, IL, 60018

THIRD FLOOR PLAN



KEY NOTES:

- THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE.
- ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF.
- LINE OF ROOF CANOPY ABOVE.
- VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS.
- MECHANICAL ELECTRICAL AND PLUMBING CHASE.
- CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED.
- NOT USED.
- PTAC UNIT.
- STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE.
- HOSE BIB - FROST FREE WHERE REQUIRED.
- HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
- GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
- PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
- DAshed LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
- CANOPY ROOF OVERLIES ON SCUPPER.
- ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE DRAIN TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE EQUIPMENT. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON 5 STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
- ROOF OF POOL BELOW.
- CANOPY TRUSS BELOW.
- DRYER VENT LOUVER - REFER TO ELEVATIONS.
- NOT USED.
- NOT USED.
- WIRE SHIELDING SYSTEM - REFER TO FEE.
- FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
- MEMBRANE ROOF: SLOPE STRUCTURE TO DRAIN TOWARDS ROOF SCUPPERS/GUTTERS.
- TAPERED INSULATION CRACKET.
- ROOF LEADER AND OVERFLOW DRAIN.
- ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR.
- ROOF PAD/APRT.
- GRAVEL STOP EDGE.
- EXHAUST FAN.
- MAKE UP AIR UNIT ON ROOF CURB.
- ELEVATOR OVER RUN PENTHOUSE.
- LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS.
- LAUNDRY CHUTE VENT.
- ALUMINUM GUTTER AND DOWNSPOUT.
- MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS.
- KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GROUND OR FINISH FLOOR GRADE.
- POSITION INTERCOM OR HOUSE PHONE OPTIONAL VIDEO MONITORING. MOUNT TO TOP OF DEVICE IS MINIMUM OF 48" ABOVE GROUND. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
- FLASHBLOCK.
- NOT USED.
- MECHANICAL LOUVER.
- NOT USED.
- EXPOSED CORNER CORNER TO HAVE 1" RADIUS BULLNOSE.
- WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF.
- ALTERNATING TREAD STAIR TO UPPER ROOF.
- NOT USED.
- LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR.

SYMBOL / FIXTURES KEY:

- ACCESSIBLE ROOM
- COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL.
- MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS.

GENERAL NOTES THIS SHEET:

- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS.
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS.
- ROOF: SUPPLY A NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS.
- REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT.
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESSABLE VISIBLE ALARMS COMPLYING WITH IFPA 101 (M) OR 2022 ADDITION & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" OR "COMMUNICATING FEATURES" AT A MINIMUM WHERE EMPLOYEE AREAS HAVE ADDRESS ALARMS. THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CARE BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

XXX FURNISHINGS LEGEND:

- PA-001 FURNISHING
- PA-002 ART WORK
- PA-003 CONSOLE TABLE
- PA-004 WIRE SHIELDING
- PA-005 ICE MAKER

FINISH LEGEND:

- PT PART
- PL PLASTIC LAMINATE
- ST STONE
- SS SOLID SURFACE
- SP SPECIAL FINISH
- CD CONCRETE
- CP CARPET
- CT TILE
- GL GLASS
- QT QUARRY TILE
- WB VINYL BASE
- VF VINYL FLOORING

SCALE: 1/8" = 1'-0"



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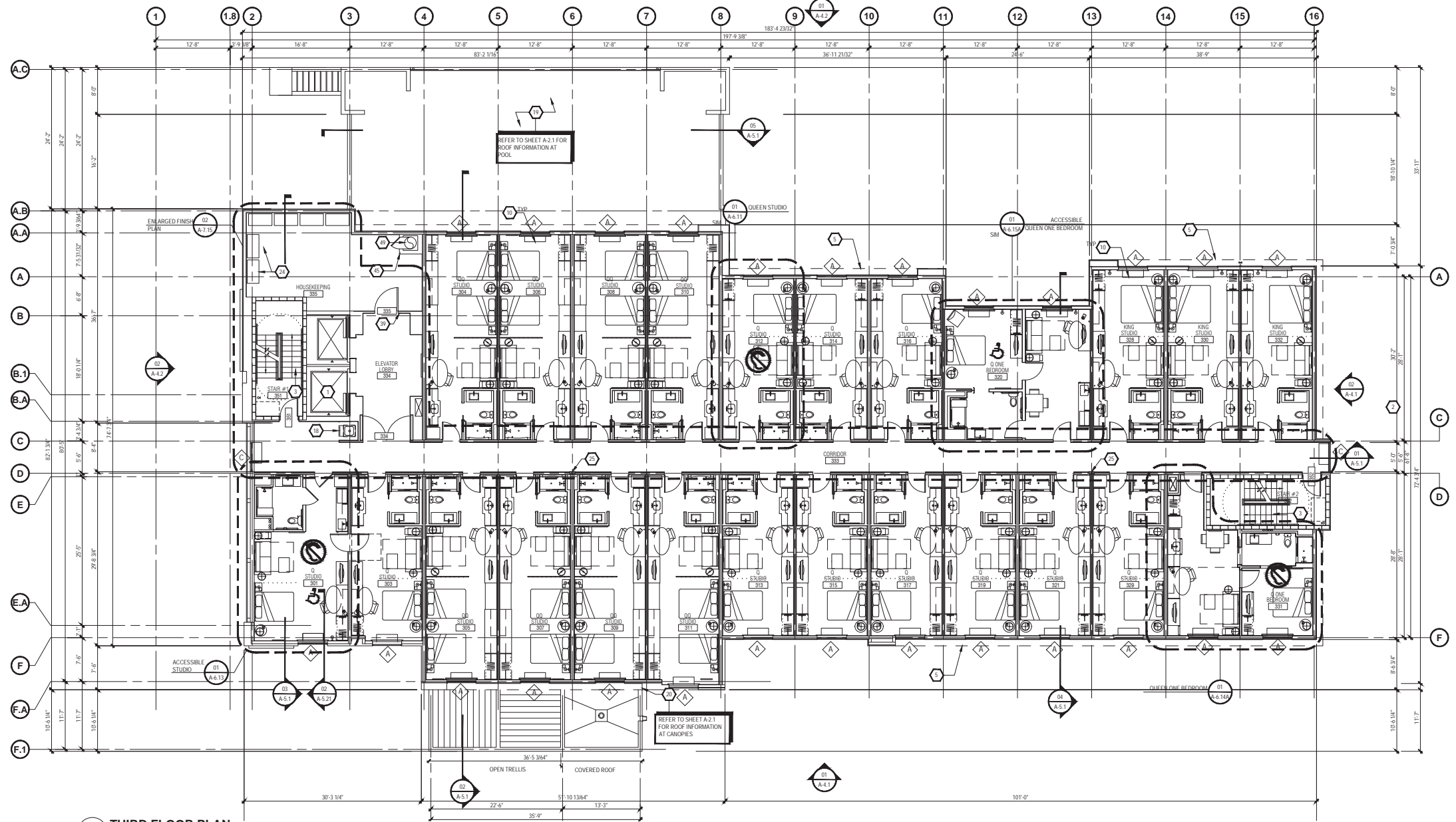
Project Number 202005

Date 01/17/21

Drawn By M.N.

Checked By J.G.

A-1.3
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01 THIRD FLOOR PLAN
A-1.3 SCALE: 1/8" = 1'-0"

FLOOR AREA (SF)	GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO										TOTAL
	KING STUDIO	KING KING CONNECTING	QUEEN				QUEEN QUEEN STUDIO	TOTAL			
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING					
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1	10			50			32	
PERCENTAGES		13%	1%	9%			47%			30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS ,IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201 , 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401 , 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403, 501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



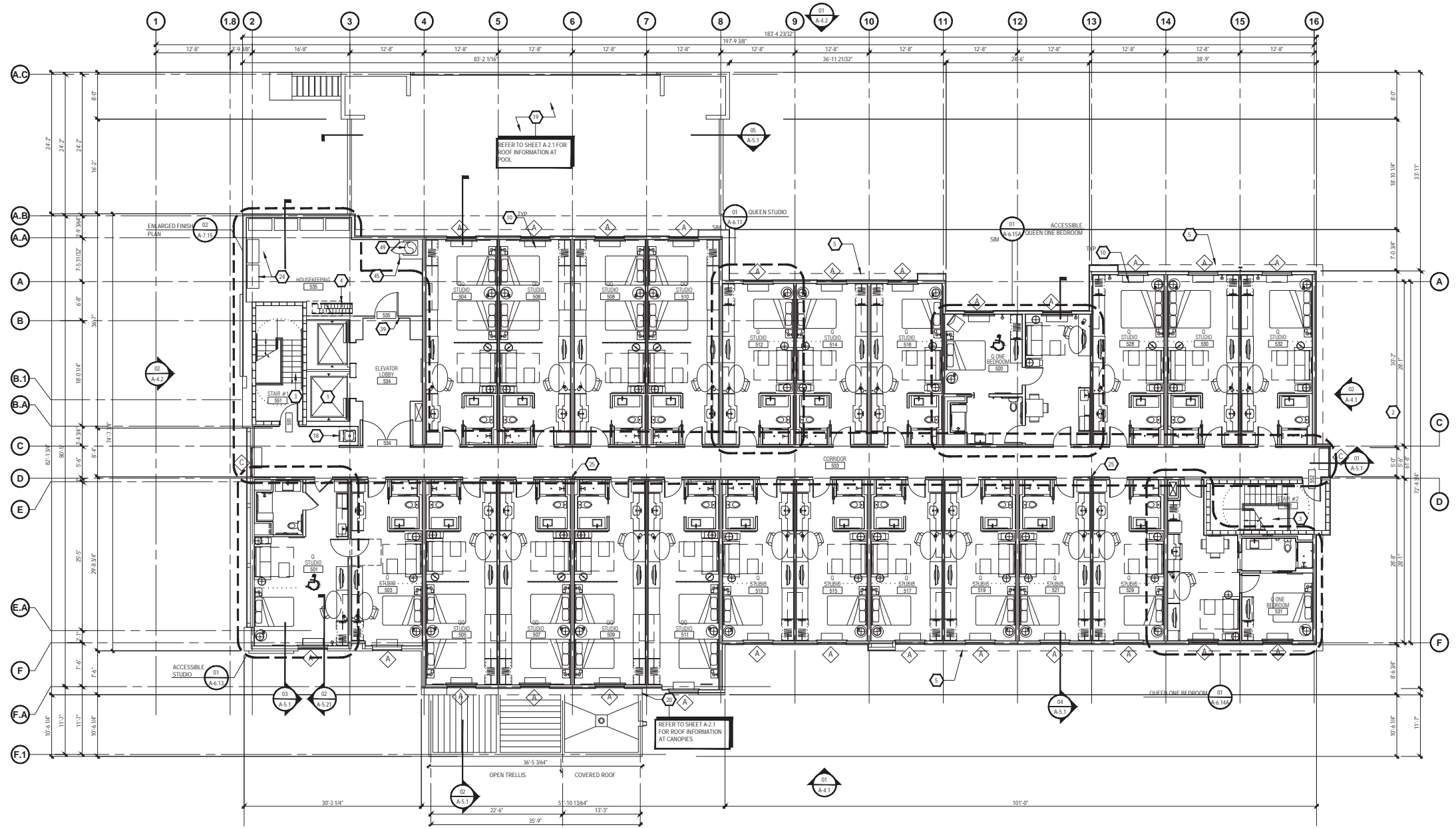
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FIFTH FLOOR PLAN



01 FIFTH FLOOR PLAN
 A-1.5
 SCALE: 1/8" = 1'-0"

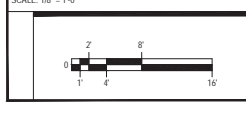
- KEY NOTES:**
- THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE
 - CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - CANOPY ROOF OVERLAP ON SCUPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE DRAIN TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE EQUIPMENT. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON'S STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRUSS BELOW
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - WIRE SHELVING SYSTEM - REFER TO FINE
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
 - MEMBRANE ROOF: SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAIN/SCUPPERS
 - TAPERED INSULATION CRACKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR
 - ROOF PAD/APT
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OR FINISH FLOOR
 - POSITION INTERCOM OR HOUSE PHONE OPTIONAL VIDEO MONITORING. MOUNT TO TOP OF DEVICE IS MINIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
 - SPRINKLER
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CORNER TO HAVE 1" RADIUS ROUNDOFF
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF: SLOPE & NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESS & VISUAL ALARMS (COMPLYING WITH NFPA 72 (1999) OR 2022 ADDITIONS) & REQS BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" OR "COMMUNICATING FEATURES" AT A MINIMUM WHERE EMPLOYEE AREAS HAVE ADDRESS ALARMS. THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CARE BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQD BY LOCAL AUTHORITIES.

- FURNISHINGS LEGEND:**
- PA-001 RECLINER CHAIR
 - PA-002 ART WORK
 - PA-003 CONSOLE TABLE
 - PA-004 WIRE SHELVING
 - PA-005 ICE MAKER

- FINISH LEGEND:**
- PT PART
 - PL PLASTIC LAMINATE
 - ST STONE
 - SS SOLID SURFACE
 - SP SPECIAL FINISH
 - CD CONCRETE
 - CP CARPET
 - CT TILE
 - GL GLASS
 - QT QUARRY TILE
 - WB WOOD BASE
 - VF VINYL FLOORING



No.	Description	Date

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Project Number 202005
 Date 01/17/21
 Drawn By M.N.
 Checked By J.G.

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING		QUEEN					QUEEN QUEEN		TOTAL	
	KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO			QUEEN QUEEN STUDIO			
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING	QUEEN STUDIO-M.F. R.I.S.		QUEEN STUDIO-M.F.&C.F. R.I.S.		
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1		10		50			32	
PERCENTAGES		13%	1%		9%		47%			30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS ,IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201, 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)

ARCHITECTURAL ELEMENTS:

ENVELOPE: exterior skin	
EX 1	ACCENT BAND: infestation Vertical 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX 2	CORE: direct finish
EX 3	WRAP: wrapper Unified element set proud (1/2" min) from the CORE.
EX 4A	LINK: connection Place to break up large segments of the WRAP.
EX 4B	KEEP: element of the BEACON (see below)
EX 5	ACCENT BAND: infestation Horizontal 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX 6	CORE: body Building for layering of all other materials.
EX 7	SUPPORT: base Material extends into the Lobby Area.
EX 10	CANOPY: column roof system Welcome cone at port columns and pedestrian entrance. Covered in front of doors, installed in waiting/lounge areas. Hidden gutter systems, minimal joints. Bulkhead features. Concealed, non-slip surface at driveway under the CANOPY at the port coilers.
BEACON: iconic tower	
EX 4B	KEEP: background Place on primary building only elevation in conjunction with the port coiler and with clear visibility from the frontage road. Extends up beyond the WRAP. Background for primary building sign.
EX 7	BEAM: vertical element Set back in plane from the KEEP, extends to the ground. Composed of three elements: EX 7A REVEAL: vertical element extending through the KEEP EX 7B BAND: horizontal element capping the reveal EX 7C GLASS CROWN: monolithic element resting on the BEAM, intended to be visible from the site and beyond. Transition to white glass or polymer, monolithic if with external, continuous structure.

PROTOTYPICAL MATERIALS:

NOTE: The exterior building materials will be in accordance with Section 11.1.1.1 of the Design Guidelines

SUPPORT
Materiality: Building material substrate and substantial material with clean chip lines such as tile, cast stone, cast stone, decorative masonry units (brick or block)
Color: Light to Medium natural material of choice at the material
Texture: Sandstone-like, ground face, both hand-mixed or smooth
Contrast: High material contrast to WRAP and ACCENT BAND; Medium material contrast to all other elements; High material contrast to adjacent elements.

CORE
Materiality: Building material with strong directionality and high relief to create shade and shadow such as textured EPS, stucco, brick wood Siding, cement fiber board or corrugated metal
Color: Medium value, 40-60% value, earth-toned/painted or natural depending on material
Texture: Medium to coarse texture
Contrast: High material contrast to WRAP and ACCENT BAND; Medium to High to WRAP and ACCENT BAND; Low to medium material contrast to WRAP & ACCENT BAND

WRAP
Materiality: Building material with a minimal amount of joints and connections and a smooth finish such as EPS, stucco or metal panels
Color: Light to medium value, painted
Texture: Smooth or Fine finish
Contrast: Low material contrast to SUPPORT; Medium to high material contrast to CORE; Low to High material contrast to WRAP & ACCENT BAND; Low to High material contrast to CORE

LINK & KEEP
Materiality: Building material with a strong horizontal direction and high relief to create shade and shadow. Smooth finish material EPS and stucco. Strong horizontal materials: brick, wood, cement fiber board or metal
Color: Medium to Dark value, painted or natural depending on material
Texture: Smooth to Coarse
Contrast: Low to high material contrast to WRAP and ACCENT BAND; High color contrast to WRAP; Low to High material contrast to WRAP

ACCENT BAND
Materiality: Building material with a minimum amount of joints and connections and a smooth finish. ACCENT BAND on the BEACON elevation must always be metal. ACCENT BAND on other elevations must be metallic finish, EPS or Stucco
Color: Light to Dark value. Color must match or complement window and door frames throughout the design
Texture: Smooth or Fine finish
Contrast: Low material contrast to WRAP; Medium to High color contrast to WRAP and CORE; Low material contrast to WRAP; Low to High material contrast to CORE

CANOPY
Materiality: Must be durable material such as metal, the overhead of walk or trails must be warm, natural wood. Smooth joints with no exposed fasteners
Color: High visual contrast to the other building elements. Of white/light grey preferred, dark or metallic grey acceptable
Texture: Smooth, painted finish

ADDITIONAL EXTERIOR ELEMENTS:

ROOF TOP EQUIPMENT
Roofing Equipment must be screened and must not draw any attention from below. The screening materials must match the paint color of the WRAP.

ANCILLARY BUILDINGS
Ancillary Buildings must be external structures created to conceal the garbage storage and waste areas. They must be finished and painted to match the CORE material of the building.

WINDOWS
Windows must be standard aluminum storefront, thermally broken, with clear dual glazing with a factory painted finish. Louvers for Show and Hvac units must be integrated with windows and possibly by window manufacturer.

LEADING
Lighting must be provided to highlight the KEEP, entry and exterior gathering areas, paths and outdoor lounge. Light levels must be low to medium contrast to avoid glare shadows and not create high contrast glare. Flooding the entire building with light is not permitted. Refer to the Home2 Suites Lighting Standards for correct light guide requirements.

PAVING
Feature Paving is required to highlight the entry and gathering areas. Color must reference each area and contrast drive and walkways. Feature must be distinctive, yet smooth enough for comfortable use by guests.

SIGNAGE
Signage must include, at a minimum, (1) primary building sign on the most prominent elevation, ideally facing the frontage road, and (2) moment sign marking the entry to the property. Both signs must show the Home2 Suites by Hilton brand logo in its entirety and be internally illuminated for visibility at night. For material and finish details, please refer to the Home2 Global Sign Manual.

KEY NOTES:

- APPROXIMATE LINE OF GRADE
- MOVIE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASHLAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL PRACTICES
- OCULUS
- NOT USED
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS
- ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- EXHAUST: REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR WITH INSULATED GLAZING
- BEACON: BEAM: REFER TO ALSO SECTIONS FOR MORE INFORMATION
- PAINTED TUBE STEEL CANOPY WITH STAINED WOOD TRUSSES
- TONGUE & GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH REFER TO AS 02
- ENVELOPE - WRAP FINISH REFER TO AS 03
- FINISH CONTROL JOINT
- OVERFLOW SCUMPER: BASIS OF DESIGN NESCO MFG INC. MODEL # SC7PHR - REFER ALSO TO DETAIL 4.04A.12
- TAMPER RESISTANT: RECESSED HOSE BIB: MOUNT TOP AT +12' A.F.F.
- ENVELOPE - ACCENT FINISH REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH REFER TO STYLE GUIDE
- SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- FINISH ALUMINUM CORNER SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- FINISH ALUMINUM GRAVEL STOP - COLOR TO MATCH ADJACENT MATERIAL
- REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS NECESSARILY SCREENED.
- NOT USED
- PAINTED ALUMINUM OUTSIDE CORNER BY FRY BELLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
- EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE - REFER TO CEILING PLAN
- EXPANSION JOINT AT FLOOR LINE W/ BACKER ROD AND SEALANT
- ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL. MATCHING ADJACENT WALL.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
- CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
- ACCESS OPENING INTO BEACON
- ALUMINUM GUTTER AND DS: COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CARD READER W/ WIRE TO ELECTRIC STRIKE IN DOOR. TOP OF READER AT 48" MAX. HEIGHT
- POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3" Ø GATE
- PRECAST CORNER

FINISH KEY:

EX 1	ENVELOPE - ACCENT METAL BAND
EX 2	ENVELOPE - CORE DIRECT FINISH
EX 3	ENVELOPE - WRAP
EX 4A	ENVELOPE - LINK
EX 4B	ENVELOPE - KEEP
EX 5	ENVELOPE - ACCENT OPTION
EX 6	ENVELOPE - CORE
EX 7	ENVELOPE - SUPPORT
EX 7A	ENVELOPE - SUPPORT
EX 7B	ENVELOPE - BEAM REVEAL
EX 7C	ENVELOPE - BEAM BAND
EX 8	ENVELOPE - BEAM GLASS CROWN
EX 10	ENVELOPE - CANOPY

BUILDING SIGNAGE

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.

MINIMUM 6" X 6" PLYWOOD BACKERSHIELD REQUIRED AT SIGN LOCATIONS. AREAS SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINISH CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL SIGN REQUIREMENT.

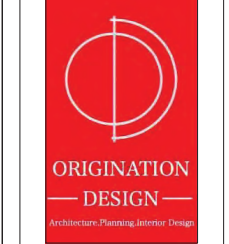
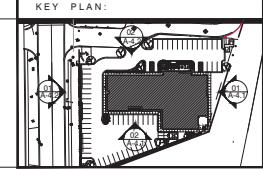
RACEWAYS/WIRINGWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICES INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

Notice:

HATCHED INDICATES AREA OF FACADE WHICH EXTENDS MINIMUM 1/2" PROUD OF ADJACENT FINISH



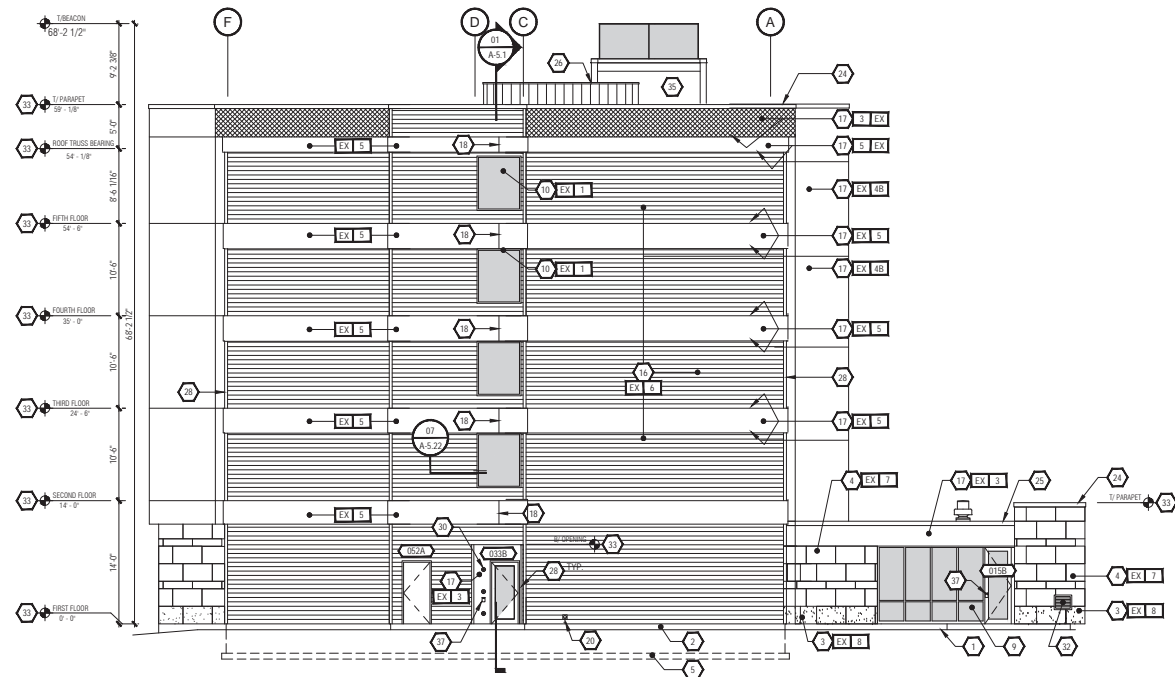
3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



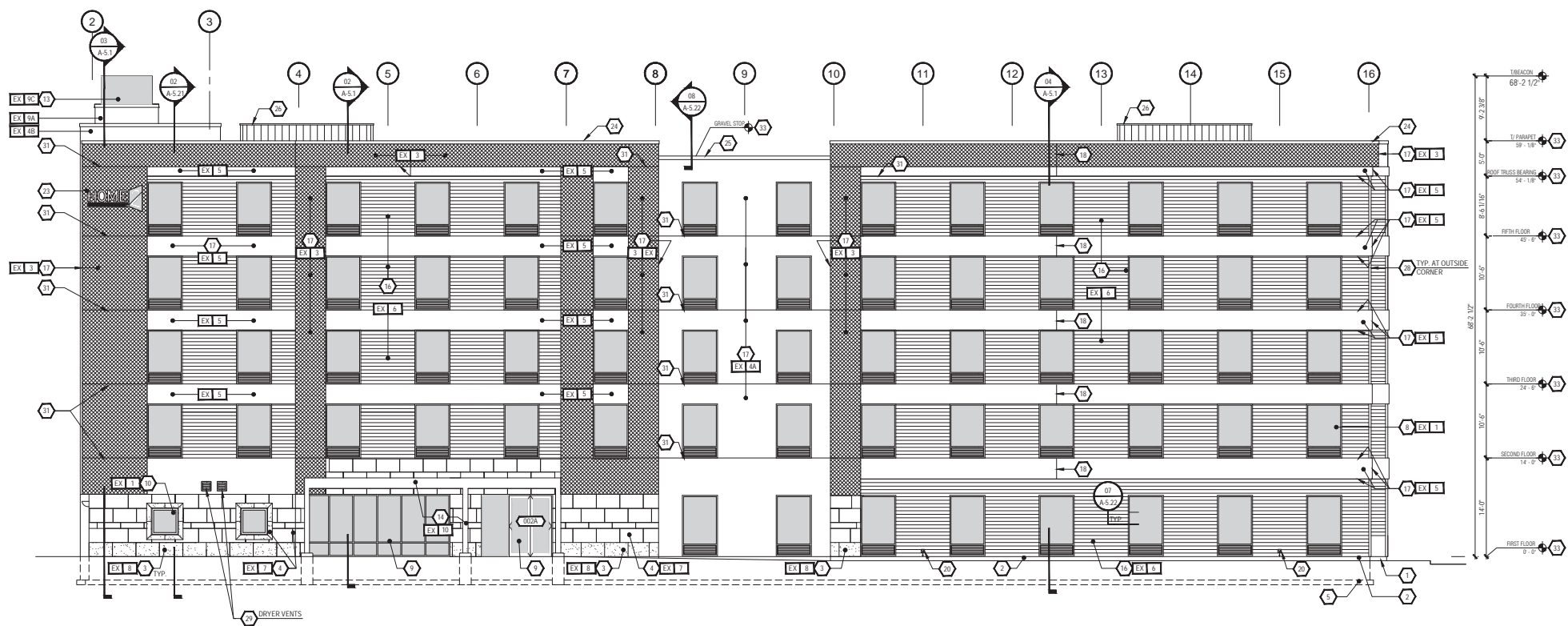
No.	Description	Date

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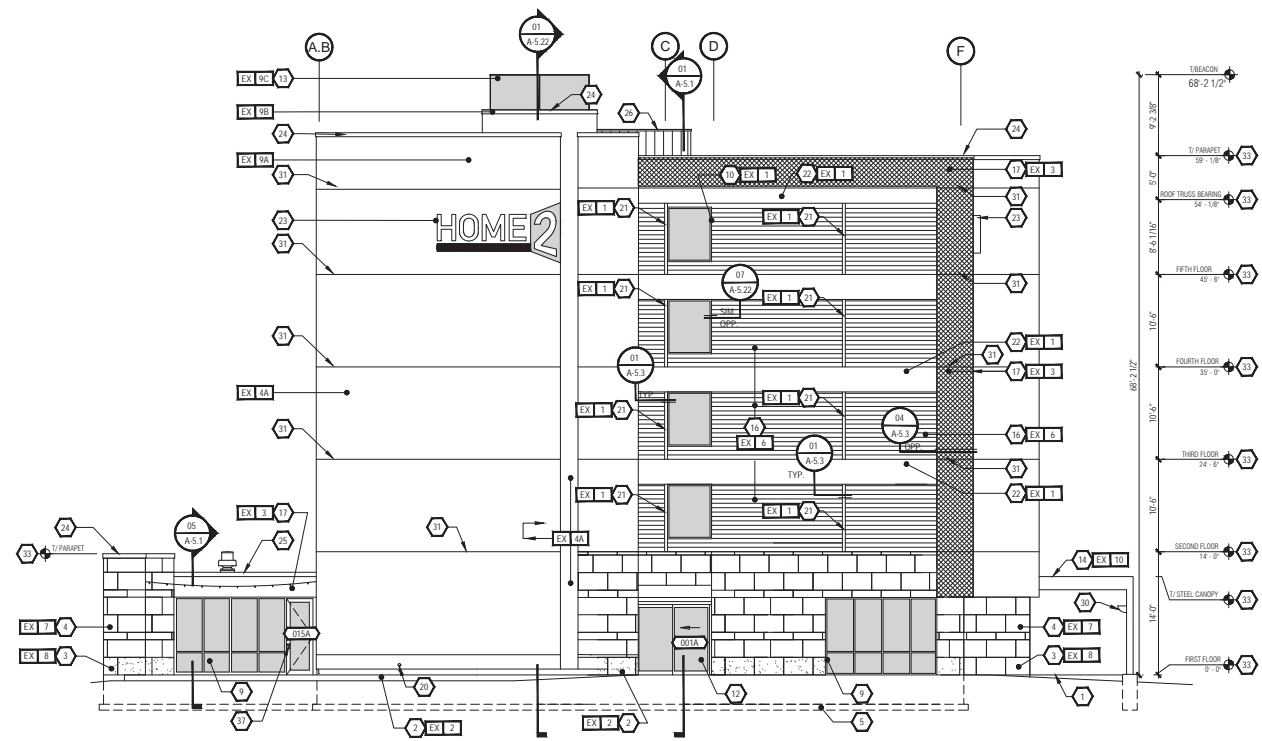
Project Number	202005
Date	01/17/21
Drawn By	M.N.
Checked By	J.G.



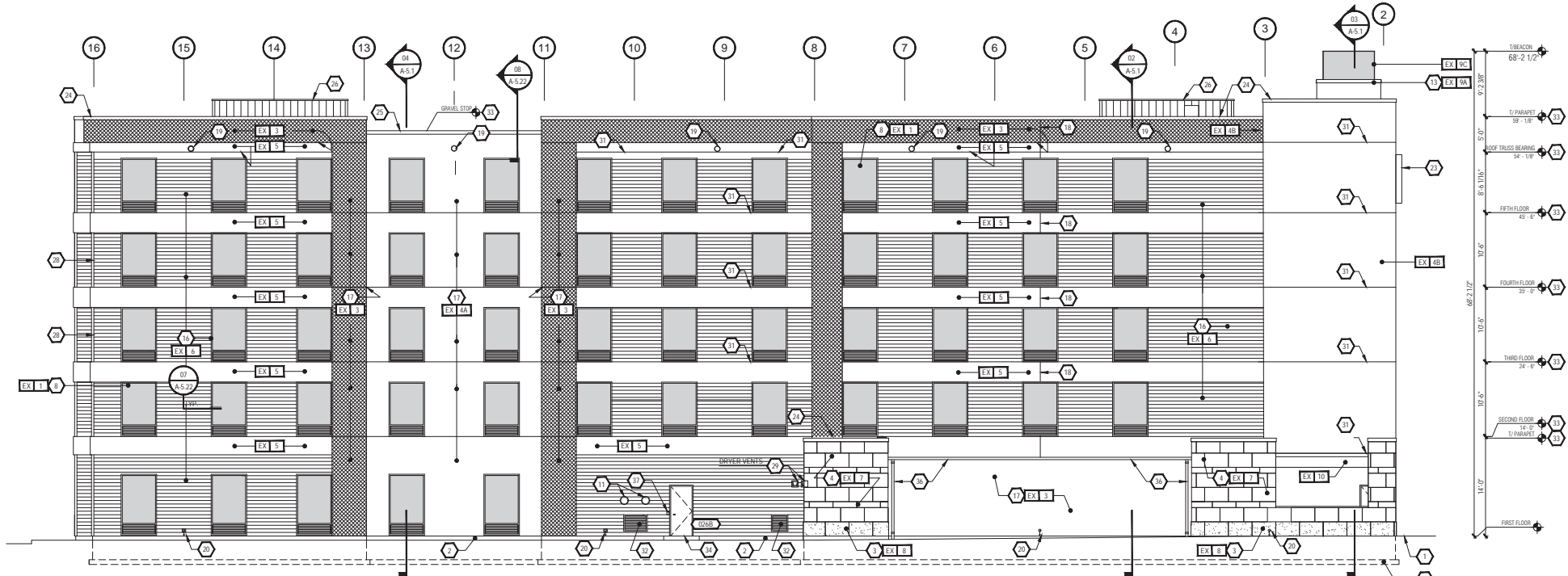
02 EXTERIOR ELEVATION
A-4.1 SCALE: 1/8" = 1'-0"



01 EXTERIOR ELEVATION
A-4.1 SCALE: 1/8" = 1'-0"



02 EXTERIOR ELEVATION
A-4.2 SCALE: 1/8" = 1'-0"



01 EXTERIOR ELEVATION
A-4.2 SCALE: 1/8" = 1'-0"

ARCHITECTURAL ELEMENTS:

ENVELOPE: exterior skin	
EX T1	ACCENT BAND: articulation Vertical 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX T2	CORE: direct finish
EX T3	WRAP: wrapper Unfired element set proud (1/2" min) from the CORE.
EX T4	LINK: connection Piece to break up large segments of the WRAP.
EX T5	KEEP: element of the BEACON (see below)
EX T6	ACCENT BAND: articulation Horizontal 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX T7	CORE: body Backdrop for layering of all other materials.
EX T8	SUPPORT: base Material extends into the Lobby Area.
EX T9	CANOPY: covered roof system Welcome cover at guest entry and pedestrian entrance. Covered in front of stairs. Installed in weather/shade areas. Hidden gutter systems, minimal joints. Backlit/hidden fixtures. Structural: non-slip surface at junction under the CANOPY at the post cocher.
BEACON: iconic tower	
EX B1	KEEP: foreground Placed on primary building entry elevation in conjunction with the post cocher and with color visibility from the frontage road. Extends up beyond the WRAP. Background for primary building sign.
EX B2	BEAM: vertical element Set back in plane from the KEEP. Extends to the ground. Composed of three elements:
EX B2A	REVEAL: vertical element extending through the KEEP
EX B2B	BAND: horizontal element capping the reveal
EX B2C	GLASS CROWN: movable element resting on the BAND, intended to be visible from the site and beyond. Fabricated with glass or acrylic, normally 8' with minimal, unobscured structure.

PROTOTYPICAL MATERIALS:

NOTE: The exterior building materials will be in accordance with the following guidelines:

SUPPORT: Building material, aesthetic, and material material with clean crisp lines such as tile, cast stone, cast stone.

Color: Light to Medium neutral inherent in the material.

Texture: Subtle, grain-like, ground face, both hand-mixed or smooth.

Contrast: High contrast to WRAP and ACCENT BAND. Medium color contrast to all other elements. High material contrast to all other elements.

CORE: Building material with strong directionality and high relief to create shade and shadow such as textured EPS, stucco, brick wood Siding, cement fiber board or corrugated metal.

Color: Medium value, 40-60% value, earth toned/painted or natural depending on material.

Texture: Medium to coarse texture.

Contrast: High contrast to WRAP and ACCENT BAND. Medium to High to WRAP and ACCENT BAND. Low to medium material contrast to WRAP & ACCENT BAND.

WRAP: Building material with a minimal amount of joints and connections and a smooth finish such as EPS, stucco or metal panels.

Color: Smooth or Fine finish.

Texture: Low to medium contrast to SUPPORT. Medium to high material contrast to CORE. Low to high material contrast to WRAP and ACCENT BAND. Low to high material contrast to CORE.

LINK & KEEP: Building material with a strong horizontal direction and high relief to create shade and shadow. Smooth finish material: EPS and stucco. Shiny horizontal materials: brick, wood, cement fiber board or metal.

Color: Medium to Dark value, painted or natural depending on material.

Texture: Smooth to Coarse.

Contrast: Low to high material contrast to WRAP and ACCENT BAND. High color contrast to WRAP. Low to high material contrast to WRAP.

ACCENT BAND: Building material with a minimum amount of joints and connections and smooth finish ACCENT BAND on the BEACON elevation must always be metal. ACCENT BAND on other elevations must be metallic finish. EPS or Stucco. Light to Dark value. Color must match or complement window and door frames throughout the design.

Color: Smooth or Fine finish.

Texture: Low to medium contrast to WRAP. Medium to high color contrast to WRAP and CORE. Low material contrast to WRAP. Low to high material contrast to CORE.

CANOPY: Must be durable material such as metal, the overhead of walk or stiles must be warm, natural wood. Smooth joints with no exposed fasteners.

Color: High visual contrast to the other building elements. Off white/light gray postured. Dark or metallic gray acceptable.

Texture: Smooth, painted finish.

ADDITIONAL EXTERIOR ELEMENTS:

ROOF TOP EQUIPMENT: Building Equipment must be screened and must not draw any attention from below. The screening materials must match the paint color of the WRAP.

ANCILLARY BUILDINGS: Ancillary buildings must be screened structurally to cover the garden storage and waste areas. They must be finished and painted to match the CORE material of the building.

WINDOWS: Windows must be standard aluminum storefront, thermally broken, with clear dual glazing with a factory painted finish. Louvers for Brwair HVAC units must be integrated with windows and provided by window manufacturer.

LIGHTING: Lighting must be provided to highlight the KEEP, entry and cocher gathering areas, patios, and outdoor lounge. Light levels must be low to medium contrast to avoid harsh shadows and not create any adjacent glare. Flooding the entire building with light is not permitted. Refer to the Home2 Lighting Standards for correct fixture requirements.

PAVING: Feature Paving is required to highlight the entry and gathering areas. Color must reference earth tones and contrast where needed. Textures must be distinctive, yet smooth enough for comfortable use by guests.

SIGNAGE: Signage must include, at a minimum, (1) primary building sign on the most prominent elevation, ideally facing the frontage road, and (2) monument sign marking the entry to the property. Both signs must show the Home2 Suites by Hilton brand logo in white and/or silver. Illuminated for visibility at night. For material and finish details, please refer to the Home2 Global Sign Manual.

KEY NOTES:

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASHLAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL CODES/REGS
- OCULUS
- NOT USED
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- EXHAUST, REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR WITH INSULATED GLAZING
- BEACON - BEAM - REFER TO AS ID SECTIONS FOR MORE INFORMATION
- PAINTED TUBE STEEL CANOPY WITH STAINED WOOD TRELLIS
- TONGUE IN GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH - REFER TO AS ID
- ENVELOPE - WRAP FINISH - REFER TO AS ID
- FINISH CONTROL JOINT
- OVERFLOW SCOPPER BASIS OF DESIGN NESCO MFG INC. MODEL # SC1P4R - REFER ALSO TO DETAIL A-4.4.1.2
- TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12' A.F.F.
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- FINISH ALUMINUM COPING STOP - COLOR TO MATCH ADJACENT MATERIAL
- REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS PROPERLY SCREENED.
- NOT USED
- PAINTED ALUMINUM OUTSIDE CORNER BY VEY REGLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
- EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE - REFER TO CEILING PLAN
- EXPANSION JOINT @ FLOOR LINE WITH BACKER ROD AND SEALANT MATCHING ADJACENT WALL
- ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
- CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
- ACCESS OPENING INTO BEACON
- ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT
- POOL PERIMETER FENCE AS REQUIRED BY CODE WITH 3' GATE
- PRECAST COPING

FINISH KEY:

EX T1	ENVELOPE - ACCENT METAL BAND
EX T2	ENVELOPE - CORE DIRECT FINISH
EX T3	ENVELOPE - WRAP
EX T4	ENVELOPE - LINK
EX T5	ENVELOPE - KEEP
EX T6	ENVELOPE - ACCENT OPTION
EX T7	ENVELOPE - CORE
EX T8	ENVELOPE - SUPPORT
EX T9	ENVELOPE - SUPPORT
EX B1	BEACON - BEAM REVEAL
EX B2	BEACON - BEAM BAND
EX B2C	ENVELOPE - BEAM GLASS CROWN
EX T10	ENVELOPE - CANOPY

BUILDING SIGNAGE:

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.

MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL SIGN REQUIREMENT.

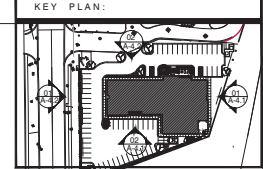
BACKWAYS WIRINGWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FINISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR BE INSTALLED PRIOR TO CLOSING OF THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

Notice:

HATCHED INDICATES AREA OF FACADE WHICH EXTENDS MINIMUM 1/2" PROUD OF ADJACENT FINISH



3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 404.542.8456
C: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



1700 E Higgins Road
Des Plaines, IL 60018



No.	Description	Date

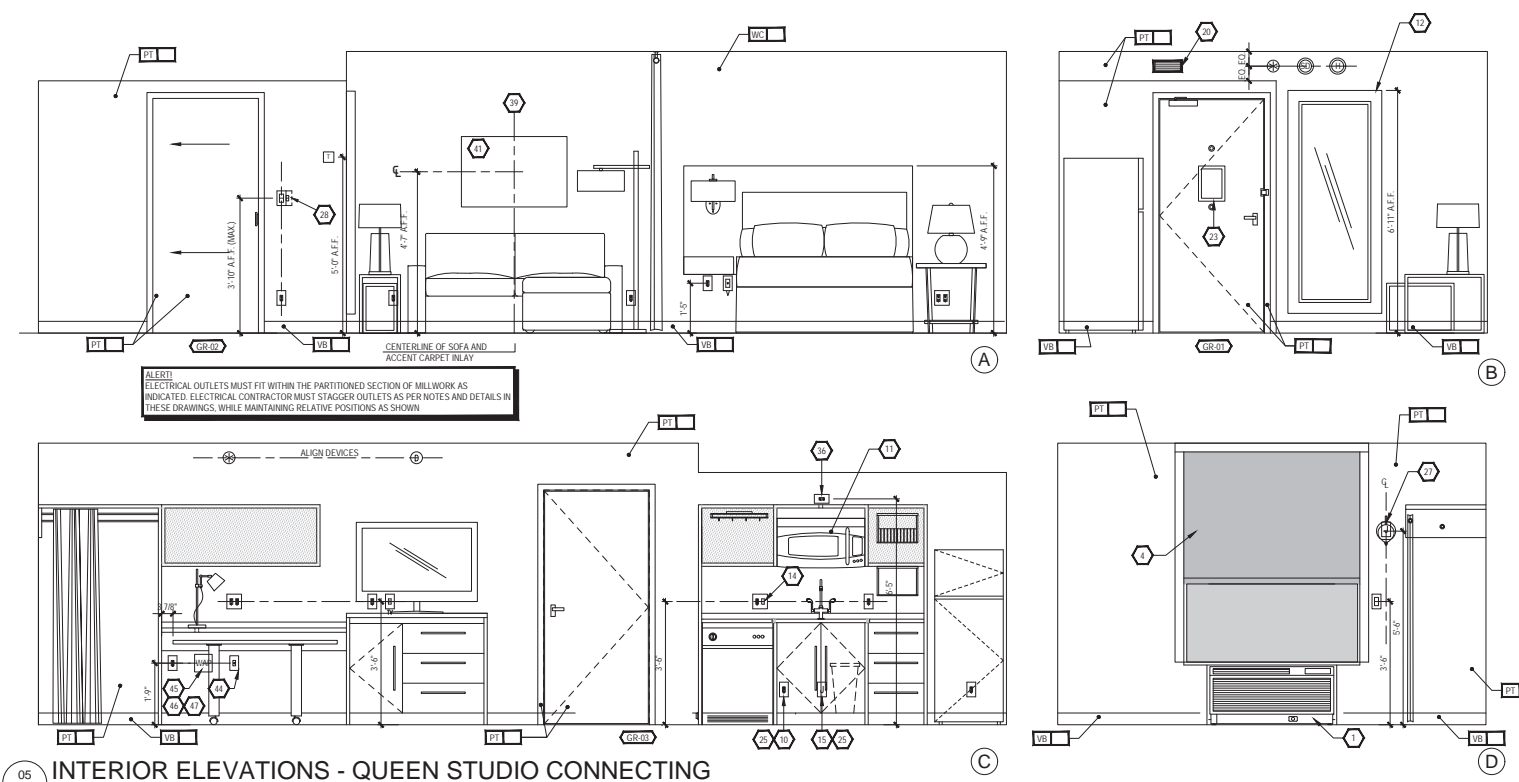
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Date 01/17/21
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Checked By J.G.

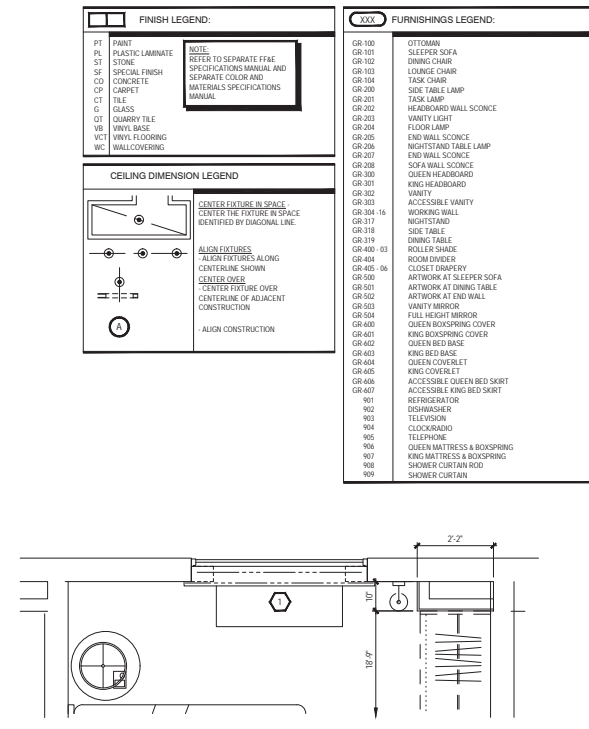
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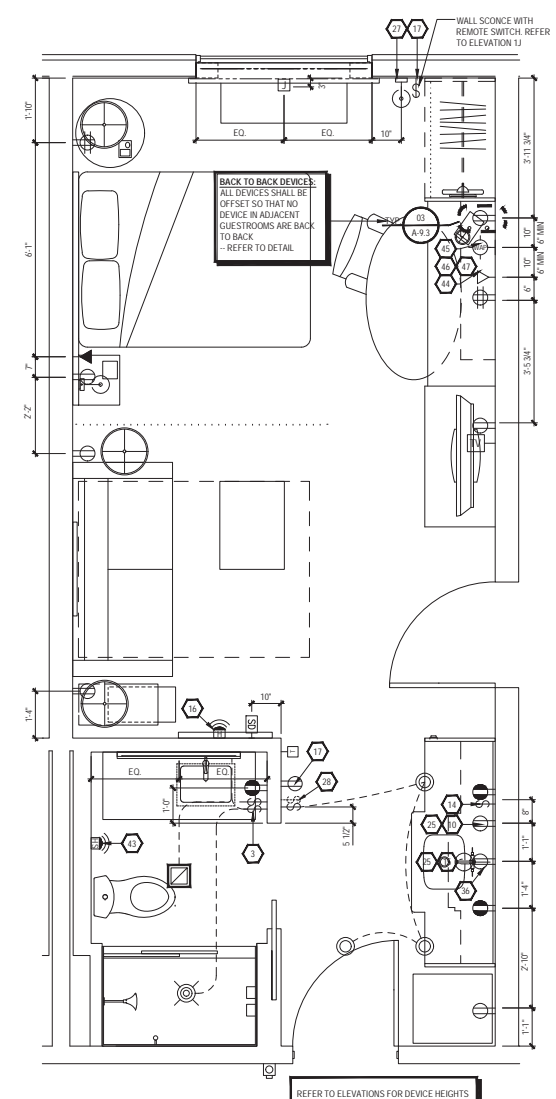
Project Number	202005
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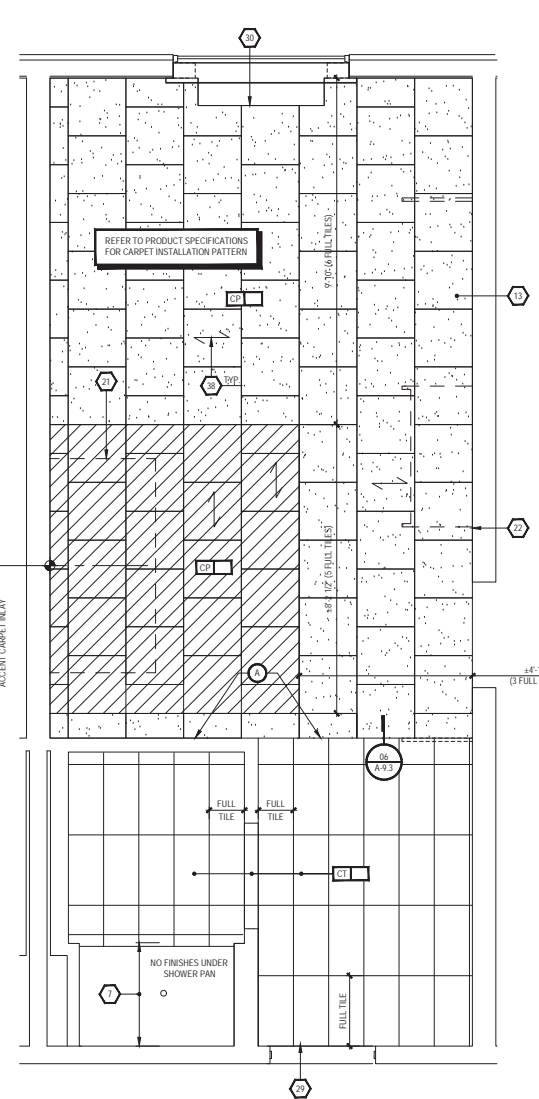
05 INTERIOR ELEVATIONS - QUEEN STUDIO CONNECTING
SCALE: 1/2" = 1'-0"



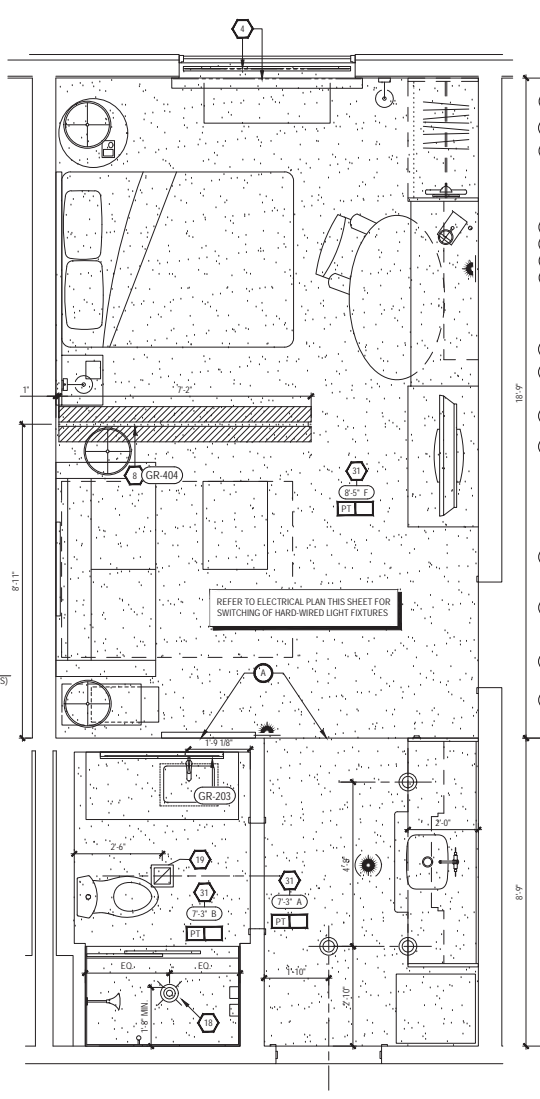
06 WINDOW WALL AT EXTENDED BAY
SCALE: 1/2" = 1'-0"



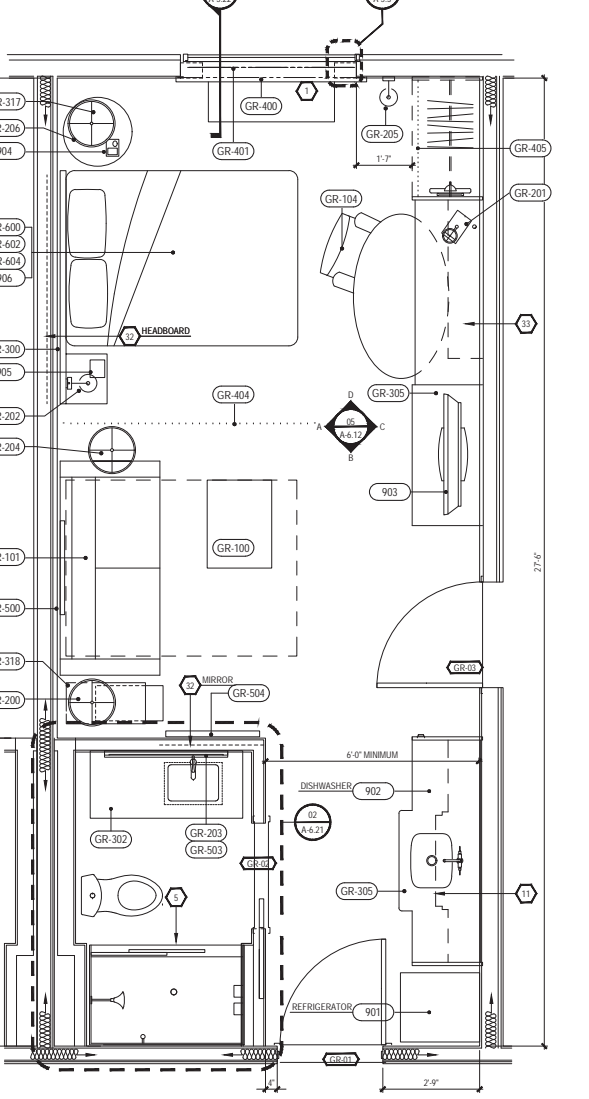
04 ELECTRIC PLAN
SCALE: 1/2" = 1'-0"



03 FLOOR FINISH PLAN
SCALE: 1/2" = 1'-0"



02 CEILING PLAN
SCALE: 1/2" = 1'-0"



01 CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

FINISH LEGEND:		FURNISHINGS LEGEND:	
PT	PAINT	GR-100	OTTOMAN
PL	PLASTIC LAMINATE	GR-101	SLEEPER SOFA
ST	STONE	GR-102	DINING CHAIR
CO	SPECIAL FINISH CONCRETE	GR-103	LOUNGE CHAIR
CP	CARPET	GR-104	TASK CHAIR
CT	CEILING TILE	GR-200	SIDE TABLE LAMP
G	GLASS	GR-201	TASK LAMP
QT	QUARRY TILE	GR-202	HEADBOARD WALL SCIENCE
WB	WAINY BASE	GR-203	VANITY LIGHT
VCT	VINYL FLOORING	GR-204	FLOOR LAMP
WC	WALLCOVERING	GR-205	END WALL SCIENCE
		GR-206	NIGHTSTAND TABLE LAMP
		GR-207	END WALL SCIENCE
		GR-300	SOFA WALL SCIENCE
		GR-301	QUEEN HEADBOARD
		GR-302	WING HEADBOARD
		GR-303	VANITY
		GR-304	ACCESSIBLE VANITY
		GR-305	WORKING WALL
		GR-306	NIGHTSTAND
		GR-307	SOFA TABLE
		GR-308	DINING TABLE
		GR-400	ROLLER SHADE
		GR-401	ROOM DIMMER
		GR-402	CLOSED DAMPERS
		GR-403	ARTWORK AT SLEEPER SOFA
		GR-404	ARTWORK AT DINING TABLE
		GR-405	ARTWORK AT END WALL
		GR-406	VANITY MIRROR
		GR-407	FULL HEIGHT MIRROR
		GR-408	QUEEN BOXSPRING COVER
		GR-409	KING BOXSPRING COVER
		GR-410	QUEEN BED BASE
		GR-411	QUEEN CONSOLE
		GR-412	KING COVERLET
		GR-413	ACCESSIBLE QUEEN BED SKIRT
		GR-414	ACCESSIBLE KING BED SKIRT
		GR-415	REFRIGERATOR
		GR-416	DISHWASHER
		GR-417	TELEVISION
		GR-418	CLOCKRADIO
		GR-419	TELEPHONE
		GR-420	QUEEN MATTRESS & BOXSPRING
		GR-421	KING MATTRESS & BOXSPRING
		GR-422	SHOWER CURTAIN
		GR-423	SHOWER CURTAIN

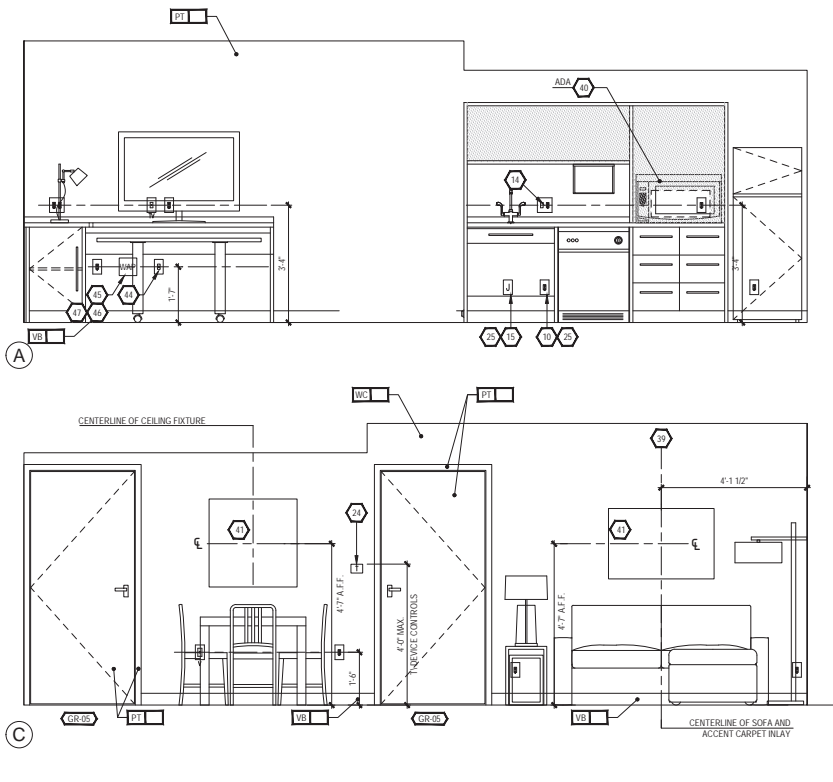
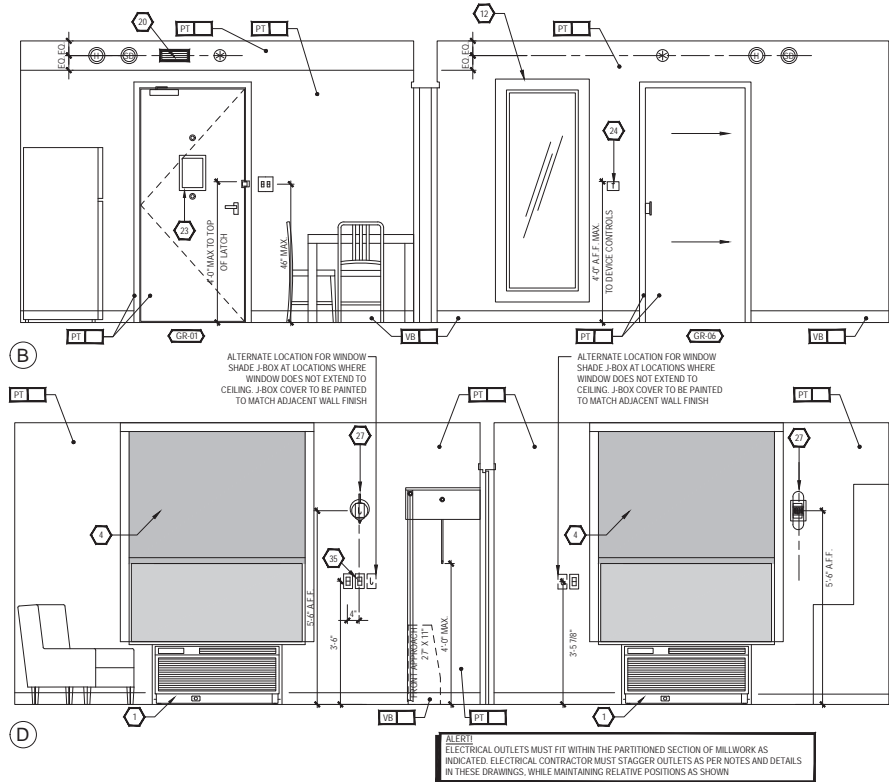
KEY NOTES:	
1	IN BATHROOM LOCATIONS ONLY, LIGHT SWITCH EQUIPPED WITH NIGHTLIGHT - MAINTAIN 2" DISTANCE FROM ALL OTHER DEVICES.
2	SWITCH CENTRAL LINE GARAGE DISPOSAL REFER TO HANG FOR ACCESSIBLE ROOM KEYS.
3	DEDICATED CIRCUIT FOR DISHWASHER
4	RANGE TOP STYLE MICROWAVE AFFIXED TO WALL
5	FULL HEIGHT MIRROR
6	BEGIN CARPET TILE THIS SIDE W/ FULL TILE - FIRST TWO ROWS OF TILE TO BE INSTALLED AROUND BUILT IN CASEGOODS
7	SWITCH CENTRAL LINE GARAGE DISPOSAL REFER TO HANG FOR ACCESSIBLE ROOM KEYS.
8	DEDICATED CIRCUIT FOR GARAGE DISPOSAL
9	FIRE HORN IN STAIRWELL ROOMS
10	FIRE HORN STROBE IN COMMUNICATION FEATURES ROOMS
11	DEVICE SHOWN THIS LOCATION ON PLAN FOR CLARITY - REFER TO ELEVATIONS FOR EXACT POSITION
12	ACCESSIBLE CEILING LIGHT FOR WET LOCATIONS W/ WATERPROOF LENS
13	TOILET EXHAUST GRILLE
14	MAKE UP AIR DIFFUSER
15	OUTLINE OF SOFA
16	APPROXIMATE LOCATIONS OF MILLWORK SUPPORTS ON FLOOR - PROVIDE SHIMS OR LEVELS UNDER SUPPORTS TO PREVENT CARPET CROSSING
17	ROOM SHIMMING
18	NOT USED
19	EXTEND J-BOX, DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK
20	NOT USED
21	WALL SCIENCE (WALL SCIENCE AT ACCESSIBLE ROOM MUST NOT BE INSTALLED FROM WALL - HARDWARE FEATURE TO WALL - CONTRACTOR TO VERIFY J-BOX TYPE TO ENSURE PROPER INSTALLATION)
22	DOORBELL CHIME SWITCH COMMUNICATION FEATURES ROOMS
23	START TILE @ DOOR W/ ONE ROW OF FULL TILES
24	EDGE OF PTAC ABOVE CARPET TILES
25	MIN. CEILING HEIGHT MUST BE MAINTAINED - IF 4' - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL
26	FINISHING SUBCONTRACTOR TO PROVIDE 2" x 4" R.T. R/WOOD BLOCKING TO RECEIVE ITEM INDICATED - EXTEND FULL LENGTH OF BLOCK
27	GENERAL CONTRACTOR TO COORDINATE W/ FUTURE FABRICATOR TO PROVIDE PROPER BLOCKING IN WALL FOR ITEM MOUNTED
28	NOT USED
29	NOT USED
30	OUTLET ABOVE FOR MICROWAVE - REFER TO ROOM ELEVATION MOUNT DEVICE HORIZONTALLY - FACE PLATE TO BE WHITE
31	NOT USED
32	INDICATES DIRECTION OF CARPET PATTERN
33	CENTER ARTWORK OVER SOFA
34	NOT USED
35	GRAPHIC ART. REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN
36	NOT USED
37	ADDITIONAL HORN STROBE - LOCATED IN COMMUNICATION FEATURES ROOMS ONLY
38	WHEN AN OPTIONAL WIRED DATA CONNECTION FOR GUEST IS ALSO PROVIDED, ANOTHER CAT-5E CABLE TERMINATED ON AN 8-PIN RJ-45 PORT MUST BE PROVIDED ON THE WALL BELOW THE OUTLETS AND DEVICES. A PATCH CORD SHOULD BE PROVIDED AT THE LOCATION WITH GROUNDING FOR GUEST CONVENIENCE.
39	EACH CABLE MUST HOMERUN BETWEEN THE GUESTROOM AND THE BATHROOM
40	PROVIDE (1) CAT-5E CABLE IN EVERY GUESTROOM ON THE WALL BELOW THE DESKWORK AREA TERMINATED ON AN 8-PIN RJ-45 WALL PLATE FOR WIRELESS ACCESS POINT INFRASTRUCTURE (LINE POWERED WAP)
41	COORDINATE WAP LOCATION WITH CASEGOODS TO AVOID CONFLICT

CEILING LEGEND:	
1	CEILING HEIGHT
2	CEILING FINISH
A	PRIME & PARTIALLY GYPSUM BOARD
B	PRIME & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
C	OPEN TO UNDERSIDE OF FLOOR/CEILING SYSTEM ABOVE - PAINT ALL SURFACES - LOCATION INDICATED MAY BE APPROXIMATE - REFER TO SECTIONS FOR GENERAL REFERENCE ONLY - REFER TO SECTIONS
D	2 1/2" LAY IN ACoustical CLG. TILE WITH W/W CLG. GRID SUPPORTED FROM STRUCTURE
E	2 1/2" LAY IN CLG. GRID SYSTEM WITH W/W CLG. GRID SUPPORTED FROM STRUCTURE - INSULATED WITH 1" W/W FACED GYPSUM BOARD PANELS - UNDERSIDE OF FLOOR/CEILING SYSTEM - PRIME & PAINTED

POWER AND SIGNAL LEGEND:	
1	POWER OUTLET
2	QUAD OUTLET
3	GFCI OUTLET
4	DATA OUTLET
5	VOICE OUTLET
6	CCTV DEVICE
7	ELECTRICAL SWITCH
8	SMOKE DETECTOR
9	FLOOR MOUNTED 2" BOX
10	WALL MOUNTED 2" BOX
11	CEILING MTD. 2" BOX FOR MOTORISED ROLLER SHADE, BATED FOR USE IN A FIRE RATED ASSEMBLY
12	SPRINKLER HEAD
13	SIDE WALL SPRINKLER HEAD
14	WALL MOUNTED HARDWIRED THERMOSTAT - MOUNT # 40" A.F.F. TO CENTER OF BUTTON (FOR COMMUNICATION FEATURES ROOMS ONLY)
15	DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT # 40" A.F.F. TO CENTER OF BUTTON (FOR COMMUNICATION FEATURES ROOMS ONLY)
16	DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)
17	FIRE HORN (FOR COMMUNICATION FEATURES ROOMS ONLY)
18	FIRE HORN (NON-COMMUNICATION FEATURES ROOMS)
19	WALL MOUNTED WIRELESS ACCESS POINT

LIGHTING AND MECHANICAL - CEILING LEGEND:	
1	RECESSED DOWNLIGHT (FLUORESCENT LAMP)
2	SMALL RECESSED DOWNLIGHT (HALOGEN LAMP) NARROW BEAM SPREAD
3	RECESSED DOWNLIGHT W/ LENS (FLUORESCENT LAMP) AS W/ LENS LABEL
4	MECHANICAL EXHAUST
5	MECHANICAL SUPPLY
6	DECORATIVE WALL SCIENCE
7	REFER TO FF AE
8	FLUORESCENT LIGHT

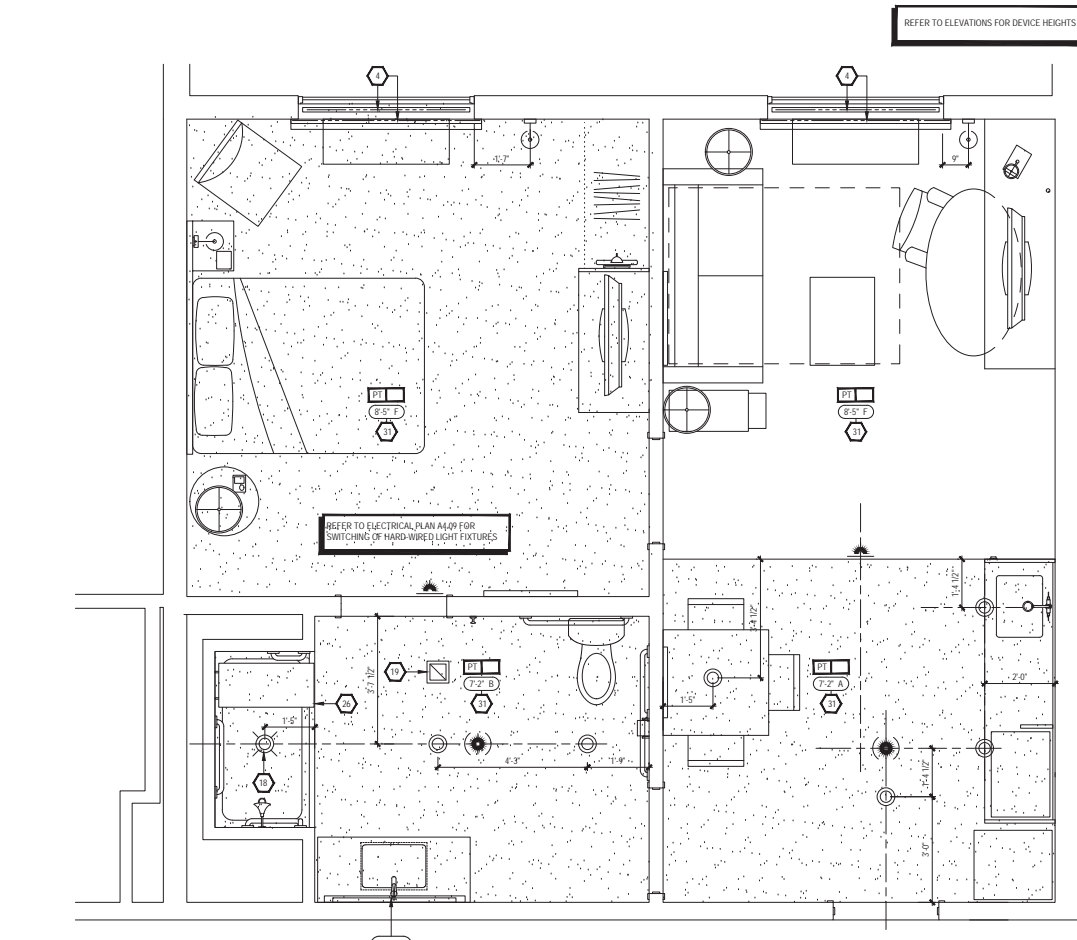
GENERAL NOTES:	
1	PREFER TOFFER PACKAGE FOR FURNITURE, BUILT IN MILLWORK & FINISH SPECS
2	SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - INDICATED FOR DESIGN HISTORY ONLY
3	PROVIDE EMERGENCY LIGHTING PER LOCAL CODE
4	WALL RECEPTACLES/OUTLETS TO BE MOUNTED @ 12" A.F.F. TYPICAL UNLESS NOTED - REFER ALSO TO HANG
5	REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM, GUESTROOM BATH, GUESTROOM ATTIC/BEDROOM POOL DECK'S
6	ALL CONTROLS TO BE USED BY GUESTS MUST BE MOUNTED @ 48" A.F.F. @ 48" A.F.F. PROVIDE A 3/4" GAP CLEAR FLOOR AREA IN COMPLIANCE WITH ACCESSIBLE STANDARDS - OPERABLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST - ACCESSIBLE CONTROLS SHALL COMPLY W/ THE HANG
7	IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET & DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED @ 15" x 48" A.F.F. AND PROVIDE A CLEAR FLOOR AREA IN COMPLIANCE WITH ACCESSIBLE STANDARDS - SEE HANG FOR FURTHER INFO
8	OBJECTS MOUNTED WITH THE CIRCULATION PATH IN ACCESSIBLE ROOMS @ 27" & @ 48" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL REFER TO HANG FOR FURTHER INFO



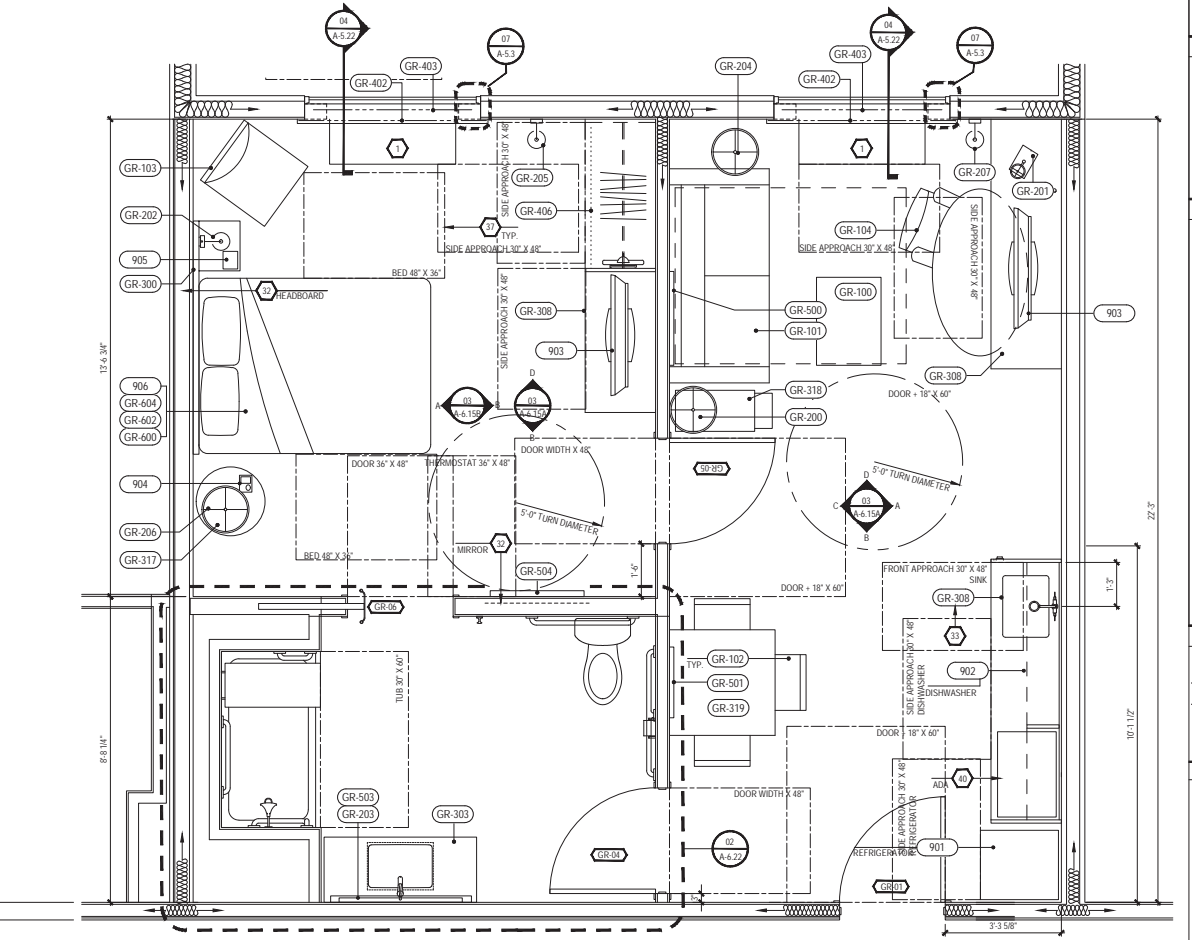
FINISH LEGEND:		FURNISHINGS LEGEND:	
PT	PAINT	GR-100	OTTOMAN
PL	PLASTIC LAMINATE	GR-101	SLEEPER SOFA
ST	STONE	GR-102	DINING CHAIR
SP	SPECIAL FINISH	GR-103	LOUNGE CHAIR
CO	CONCRETE	GR-104	TASK CHAIR
CP	CABINET	GR-200	SEE TABLE LAMP
CT	CEILING TILE	GR-201	HEADBOARD WALL SCIENCE
C	GLASS	GR-202	VANITY LIGHT
GT	COURTNEY TILE	GR-204	FLOOR LAMP
VB	VINYL BASE	GR-205	END WALL SCIENCE
WCT	WALL COVERING	GR-206	NIGHTS/TAND TABLE LAMP
WC	WALL COVERING	GR-207	SOFA WALL SCIENCE
		GR-208	SOFA WALL SCIENCE
		GR-301	QUEEN HEADBOARD
		GR-302	KING HEADBOARD
		GR-303	VANITY
		GR-304	ACCESSIBLE VANITY
		GR-304-16	WORKING WALL
		GR-317	NIGHTSTAND
		GR-318	SEEK TABLE
		GR-319	DINING TABLE
		GR-400-03	ROLLER SHADE
		GR-404	ROOM DRESSER
		GR-405-04	CLOSET DRESSERY
		GR-500	ARTWORK AT SLEEPER SOFA
		GR-501	ARTWORK AT DINING TABLE
		GR-502	ARTWORK AT END WALL
		GR-503	VANITY MIRROR
		GR-504	FULL HEIGHT MIRROR
		GR-600	QUEEN BOXSPRING COVER
		GR-601	KING BOXSPRING COVER
		GR-602	QUEEN BED MATE
		GR-603	KING BED MATE
		GR-604	QUEEN COVERLET
		GR-605	KING COVERLET
		GR-606	ACCESSIBLE QUEEN BED SKIRT
		GR-607	ACCESSIBLE KING BED SKIRT
		901	REFRIGERATOR
		902	REFRIGERATOR
		903	REFRIGERATOR
		904	CLOCKRADIO
		905	TELEPHONE
		906	QUEEN MATTRESS & BOXSPRING
		907	KING MATTRESS & BOXSPRING
		908	SHOWER CURTAIN ROD
		909	SHOWER CURTAIN

- KEY NOTES:**
- PTAC UNIT NOT USED
 - IN BATHROOM LOCATIONS ONLY LIGHT SWITCH EQUIPPED WITH NIGHTLIGHT - MOUNTED 2' CEILING FROM ALL OTHER SWITCHES MOUNTED 50" TO TOP OF SWITCHES 48" MAX A.F.F.
 - HARDWARE BLACK OIL ROLLER SHADE WITH NO EXPOSED WIRES NOT USED
 - FLOOR DRAIN PRE-MANUFACTURED SHOWER PAN NOT USED
 - DEDICATED CIRCUIT FOR DISHWASHER
 - RANGERTOP STYLE MICROWAVE AFFIXED TO WALL
 - FULL HEIGHT MIRROR
 - BEGIN CARPET TILE THIS SIDE W/ FULL TILE - FIRST TWO ROWS OF TILE TO BE INSTALLED BEFORE SET IN CASEGOODS
 - SMOKE CONTROLLING GARAGE DISPOSAL REFER TO HADG FOR POSSIBLE ROOM REQS
 - DEDICATED CIRCUIT FOR GARAGE DISPOSAL
 - FIRE HORN IN STANDARD ROOMS
 - FIRE HORN/STROBE IN COMMUNICATION FEATURES ROOMS - REFER TO ELEVATIONS FOR EXACT POSITION
 - RECESSED CEILING LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS
 - TOILET EXHAUST GRILLE NOT USED
 - OUTLINE OF SOFA
 - APPROXIMATE LOCATION OF MILLWORK SUPPORTS ON FLOOR PROVIDED - SHIMS OR LEVELERS UNDER SUPPORTS TO PREVENT CARPET CRACKING
 - ROOM SIGNAGE
 - WIRE THE THERMOSTAT FOR PTAC - MOUNTED 48" MAX TO TOP OF CASEGOODS - COMMUNICATION BETWEEN THERMOSTAT AND PTAC MAY BE WIRELESS
 - EXTEND J-BOX DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK PANEL
 - CRIPPED GYPSUM BOARD BREAKHEAD @ ROUGH OPENING - WHERE PERMITTED BY LOCAL CODES - PROVIDE 2" MIN. CLEARANCE TO FACE OF GYPSUM BOARD ROUGH OPENING FROM FACE OF GYPSUM BOARD
 - NOT USED
 - DOORBELL SWITCH COMMUNICATION FEATURES ROOMS
 - NOT USED
 - EDGE OF PTAC ABOVE CARPET TILES
 - MIN. CEILING HEIGHT MUST BE MAINTAINED - 8' 0" - REFER TO HOME 2 SCHEDULES FOR MIN. CEILING HEIGHTS
 - FRAMING SUBCONTRACTOR TO PROVIDE 3/4" x 4" PLYWOOD BRACING TO RECEIVE TILES AS INDICATED - EXTEND FULL LENGTH OF OBJECT
 - FRAMING CONTRACTOR TO COORDINATE W/ FUTURE FABRICATOR WHERE NECESSARY TO PROVIDE PROPER BRACING IN WALL FOR TILES TO BE INSTALLED
 - NOT USED
 - SWITCHES CONTROLLING MECHANICAL SHIMES - REFER TO FFE MANUAL
 - NOT USED
 - RECD ACCESSIBLE CLEAR FLOOR AREA DESIGNATION
 - INDICATES DIRECTION OF CARPET PATTERN
 - CENTER ARTWORK OVER SOFA
 - COUNTERTOP MICROWAVE
 - FRAMING ART - REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN
 - NOT USED
 - ADDITIONAL MIRROR STROBE: LOCATED IN COMMUNICATION FEATURES BATHROOMS ONLY
 - WHEN AN OPTIONAL WIRED DATA CONNECTION FOR GUEST IS ALSO PROVIDED, ANOTHER CABLE CHANNEL TERMINATED ON 8" DIA. RUN FOR FEMALE JACK MUST BE PROVIDED ON THE WALL BELOW THE CEILING IN THE AREA OF THE DESKTOP. CABLES ARE ALLOWED AT THE DESKTOP WITH GRAMMET FOR GUEST CONVENIENCE.
 - EACH CABLE MUST HOMERUN BETWEEN THE GUESTROOM AND THE RECD ON EACH FLOOR
 - PROVIDE (1) DATA RAS CABLE IN EVERY GUESTROOM ON THE WALL BELOW THE SMOKE AREA TERMINATED ON 8" DIA. RUN FOR FEMALE JACK FOR WIRELESS ACCESS POINT INFRASTRUCTURE. SAME WIRELESS W/P
 - COORDINATE W/P LOCATION WITH CASEGOODS TO AVOID CONFLICT

03 INTERIOR ELEVATIONS - QUEEN ONE BEDROOM - ACCESSIBLE
A-6-15A SCALE: 1/2" = 1'-0"



02 CEILING PLAN
A-6-15A SCALE: 1/2" = 1'-0"



01 CONSTRUCTION PLAN
A-6-15A SCALE: 1/2" = 1'-0"

- CEILING LEGEND:**
- CEILING HEIGHT
 - CEILING FINISH
 - PRIMED & PAINTED GYPSUM BOARD
 - PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
 - OPEN TO UNDERSIDE OF FLOORBOOR SYSTEM ABOVE - PAINT ALL ELEMENTS - ELEVATION INDICATOR MAY BE "APPROXIMATE" & FOR GENERAL REFERENCE ONLY - REFER TO SECTION
 - 2" LAY UP ACOUSTICAL CLG. TILE WITH 1/2" CLG. GRID SUSPENDED FROM STRUCTURE
 - 2" LAY UP CLG. GRID SYSTEM WITH 1/2" CLG. GRID SUSPENDED FROM STRUCTURE - INFILLED WITH 1/2" VINYL FACED GYPSUM BOARD PANELS
 - UNDERSIDE OF FLOORBOOR SYSTEM - PRIMED & PAINTED
- POWER AND SIGNAL LEGEND:**
- POWER OUTLET
 - QUAD OUTLET
 - GFCI OUTLET
 - DATA OUTLET
 - VOICE OUTLET
 - COZY DEVICE
 - ELECTRICAL SWITCH
 - SMOKE DETECTOR
 - FLOOR MOUNTED "Y" BOX
 - WALL MOUNTED "Y" BOX
 - CEILING MOUNTED "Y" BOX FOR MOTORIZED ROLLER SHADE
 - RATED FOR USE IN A FIRE RATED ASSEMBLY
 - SPRINKLER HEAD
 - SIDE WALL SPRINKLER HEAD
 - WALL MOUNTED HARDWIRED THERMOSTAT - MOUNT @ 48" A.F.F. TO HIGHEST OPERABLE PART (ACCESSIBLE ROOMS ONLY)
 - DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT @ 48" AFF TO CENTER OF BUTTON (FOR COMMUNICATION FEATURES ROOMS ONLY)
 - DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)
 - FIRE HORN (NON-COMMUNICATION FEATURES ROOMS)
 - FIRE HORN (COMMUNICATION FEATURES ROOMS)
 - WALL MOUNTED WIRELESS ACCESS POINT
- LIGHTING AND MECHANICAL - CEILING LEGEND:**
- (R-1) RECESSED DOWNLIGHT (FLUORESCENT LAMP)
 - (R-4) SMALL RECESSED DOWNLIGHT (HALOGEN LAMP)
 - HARDWARE RECESSED DOWNLIGHT
 - (R-3) RECESSED DOWNLIGHT W/ LENS (FLUORESCENT LAMP)
 - "SL" WET LABELED
 - MECHANICAL EXHAUST
 - MECHANICAL SUPPLY
 - DECORATIVE WALL SCIENCE
 - REFER TO FFE
 - FLUORESCENT LIGHT
- GENERAL NOTES:**
- REFER TO FFE PACKAGE FOR FURNITURE, BUILT IN MILLWORK & FINISH SPECS.
 - SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - INDICATED FOR DESIGN INTENT ONLY.
 - PROVIDE EMERGENCY LIGHTING PER LOCAL CODE
 - WALL RECEPTACLE/GATA POINTS TO BE MOUNTED @ 12" A.F.F. TYPICAL U.N.O. - REFER ALSO TO HADG
 - REFER TO HOME 2 SCHEDULES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN & HOOKUP ROOM REQS.
 - ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED @ BIT 15" A.F.F. & 4" FROM A 30" MIN. CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 18" MUST BE MOUNTED NO HIGHER THAN 4" A.F.F. - ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. ACCESSIBLE CONTROLS SHALL COMPLY W/ THE HADG.
 - IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET & DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED BY 15" & 48" A.F.F. AND PROVIDE A CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. SEE HADG FOR FURTHER REQS.
 - OBJECTS MOUNTED WITH THE CIRCULATION PATH IN ACCESSIBLE ROOMS BY 27" & 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL REFER TO HADG FOR FURTHER REQS.



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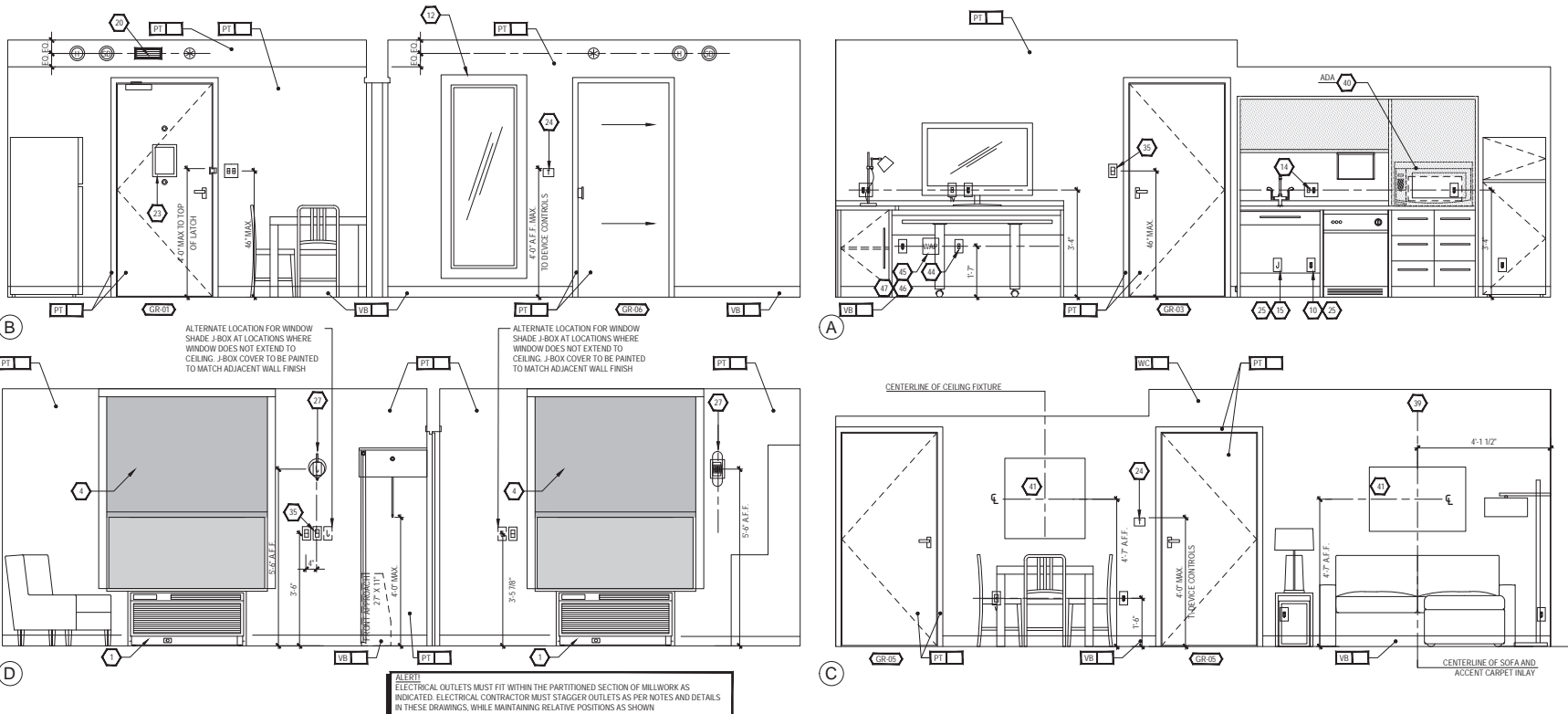
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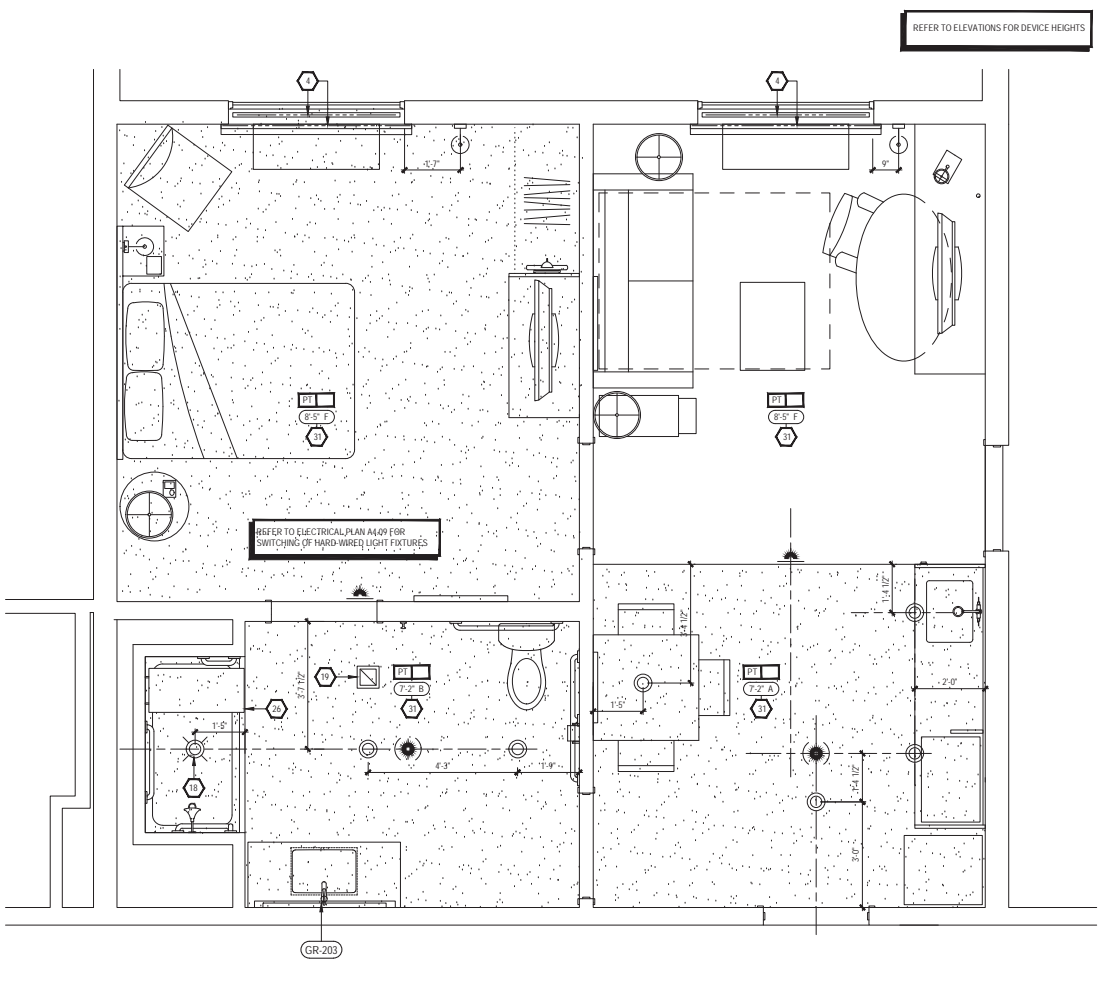
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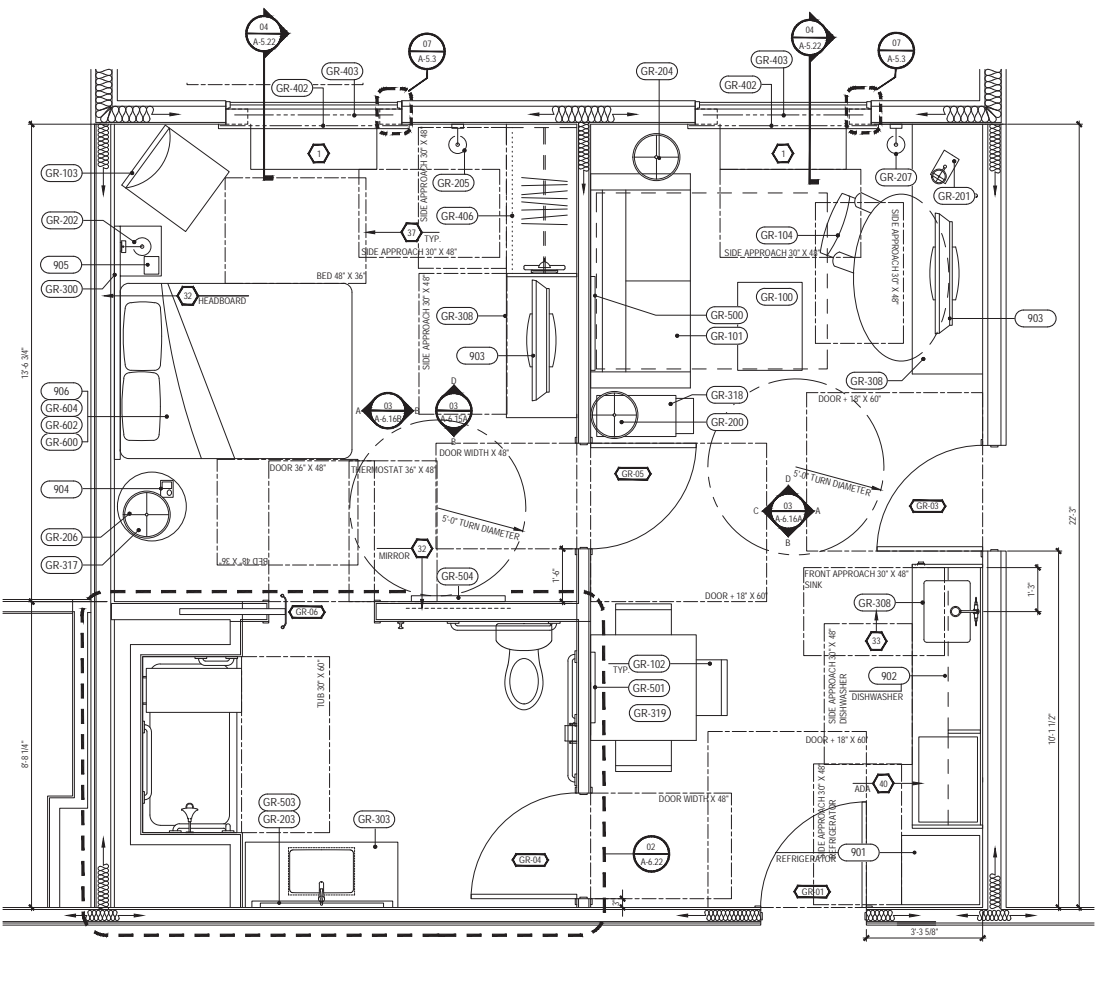


FINISH LEGEND:		FURNISHINGS LEGEND:	
PT	PAINT	GR-100	OTTOMAN
PL	PLASTIC LAMINATE	GR-101	SLEEPER SOFA
ST	STONE	GR-102	DINING CHAIR
SF	SPECIAL FINISH	GR-103	LOUNGE CHAIR
CS	CONCRETE	GR-104	TASK CHAIR
CP	CARPET	GR-200	SIDE TABLE LAMP
CT	CEILING TILE	GR-201	TASK LAMP
G	GLASS	GR-202	HEADBOARD WALL SCONCE
QT	QUARRY TILE	GR-203	VANITY LIGHT
VB	VINYL BASE	GR-204	FLOOR LAMP
VFL	VINYL FLOORING WALLCOVERING	GR-205	END WALL SCONCE
		GR-206	NIGHTSTAND TABLE LAMP
		GR-207	END WALL SCONCE
		GR-208	SOFA WALL SCONCE
		GR-300	QUEEN HEADBOARD
		GR-301	KING HEADBOARD
		GR-302	VANITY
		GR-303	ACCESSIBLE VANITY
		GR-304-16	WORKING WALL
		GR-317	NIGHTSTAND
		GR-318	SIDE TABLE
		GR-319	DINING TABLE
		GR-400-03	ROLLER SHADE
		GR-400	ROOM DIMMER
		GR-401-06	CLOSET SHADERS BY
		GR-500	ARTWORK AT DRINKING TABLE
		GR-501	ARTWORK AT SLEEPER SOFA
		GR-502	ARTWORK AT END WALL
		GR-503	VANITY MIRROR
		GR-600	FULL HEIGHT MIRROR
		GR-601	KING BOXSPRING COVER
		GR-602	QUEEN BOXSPRING COVER
		GR-603	KING BED BASE
		GR-604	QUEEN COVERLET
		GR-605	KING CONSOLE
		GR-606	ACCESSIBLE QUEEN BED SKIRT
		GR-607	ACCESSIBLE KING BED SKIRT
		900	REFRIGERATOR
		902	DISHWASHER
		903	TELEVISION
		904	CLOCKRADIO
		905	TELEPHONE
		906	QUEEN MATTRESS & BOXSPRING
		907	KING MATTRESS & BOXSPRING
		908	SHOWER CURTAIN ROD
		909	SHOWER CURTAIN

03 INTERIOR ELEVATIONS - QUEEN ONE BEDROOM - ACCESSIBLE &
A-6.15A SCALE: 1/2" = 1'-0"



02 CEILING PLAN &
A-6.16A SCALE: 1/2" = 1'-0"



01 CONSTRUCTION PLAN &
A-6.16A SCALE: 1/2" = 1'-0"

KEY NOTES:	
1	IN BATHROOM LOCATIONS ONLY, LIGHT SWITCH EQUIPPED WITH NIGHTVIBRY MINIMIZING DISTURBANCE FROM ALL OTHER DEVICES MOUNTED SO TOP OF SWITCH IS 48" MAX. A.F.F.
2	HARDWIRED BLACK OUT ROLLER SHADE WITH NO EXPOSED WIRES
3	FLOOR DIMEN
4	NOT USED
5	PRE-MANUFACTURED SHOWER PAN
6	NOT USED
7	NOT USED
8	DEDICATED CIRCUIT FOR DISHWASHER
9	BANGETOP STYLE MICROWAVE AFFIXED TO WALL
10	FULL HEIGHT MIRROR
11	BEIGN CARPET TILE THIS SIDE BY FULL TILE. FIRST TWO ROWS OF TILE TO BE RECALLED APPROX. 8" IN CASE GOODS
12	SWITCH CONTROLLING GARBAGE DISPOSAL REFER TO MFG FOR ACCESSIBLE ROOM KEYS
13	DEDICATED CIRCUIT FOR GARBAGE DISPOSAL
14	FIRE HORN IN STANDARD ROOMS
15	FIRE HORN/STROBE IN COMMUNICATION FEATURES ROOMS
16	DEVICE SHOWN THIS LOCATION ON PLAN FOR CLARITY REFER TO ELEVATION FOR EXACT POSITION
17	EXTENDED CEILING LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS
18	TOILET EXHAUST GRILLE
19	NOT USED
20	OUTLINE OF SOFA
21	APPROXIMATE LOCATIONS OF MILLWORK SUPPORTS ON FLOOR. PROVIDE SAME ON LEVELS UNDER SUPPORTS TO PREVENT CARPET CRACKING.
22	ROOM SIGNAGE
23	WIRED THERMOSTAT FOR PTAC MOUNTED 48" MAX TO TOP OF DEVICE. COMMUNICATION BETWEEN THERMOSTAT AND PTAC MAY BE INTERFERED.
24	EXTEND J-BOX, DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK PANEL
25	DROPPED CYPRESS BOARD BULKHEAD @ ROUGH OPENING - WHERE FIRE HORN WALLS CROSS OVER LEVELS UNDER SUPPORTS TO PREVENT ROUGH OPENING FROM FACE OF CYPRESS BOARD
26	NOT USED
27	DOORBELL ONOFF SWITCH (COMMUNICATION FEATURES ROOMS OR SIGNAGE AS REQD)
28	NOT USED
29	EDGE OF PTAC ABOVE CARPET TILES
30	MIN. CEILING HEIGHT MUST BE MAINTAINED - 8'-0" - REFER TO HOME 2 SPECIES BY NESTON STANDARDS MANUAL
31	FRAMING SUBCONTRACTOR TO PROVIDE 3/4" x 8" R.T. PL WOOD BLOCKING TO RECEIVE ITEM INDICATED - EXTEND FULL LENGTH OF OBJECT
32	GENERAL CONTRACTOR TO COORDINATE W/ FIXTURE FABRICATOR WHERE NECESSARY TO PROVIDE PROPER BLOCKING IN WALL FOR ITEM KEYNOTED
33	NOT USED
34	SWITCHES CONTROLLING MECHANICAL SHADES - REFER TO FFE
35	NOT USED
36	RECYD ACCESSIBLE CLEAR FLOOR AREA DESIGNATION
37	INDICATES DIRECTION OF CARPET PATTERN
38	CENTER ARTWORK OVER SOFA
39	COUNTERTOP MICROWAVE
40	GRAPHIC ART - REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN
41	NOT USED
42	ADDITIONAL HORN STROBE - LOCATED IN COMMUNICATION FEATURES BATHROOM ONLY
43	WHEN AN OPTIONAL WIRED DATA CONNECTION FOR GUEST IS ALSO PROVIDED, INTERFERE DATA CABLE TERMINATED ON AN 8'x 8'x 1/2" FEMALE JACK MUST BE PROVIDED ON THE WALL BELOW THE CEILING AREA. MINIMUMY CLEARANCE FROM ALL WALLS, OUTLETS AND DEVICES. A PATCH CORD SHOULD BE PROVIDED AT THE BACK OF WITH GROUND FOR GUEST CONVENIENCE.
44	EACH CABLE MUST HOMERUN BETWEEN THE GUESTROOM AND THE GR ON EACH FLOOR
45	PROVIDE (1) CAT5-R45 CABLE IN EVERY GUESTROOM ON THE WALL BELOW THE CEILING HEIGHT. W/ LED WITH 1/2" W/ WALL MOUNTED CYPRESS BOARD PANELS
46	COORDINATE W/ WP LOCATION WITH CASEGOODS TO AVOID CONFLICT



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ENLARGED PLANS & ELEVATIONS
QUEEN ONE BEDROOM ACCESSIBLE (STE)



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!ALERT!
THIS ROOM TYPE IS ALTERNATE CONSTRUCTION. USE OF THIS ROOM TYPE MUST BE APPROVED BY HILTON HOTELS CORPORATION PRIOR TO PLANNING AND CONSTRUCTION.

FINISH LEGEND:

PT	PAINT
PL	PLASTIC LAMINATE
ST	STONE
SC	CONCRETE
CF	CARPET
CT	TILE
G	GLASS
QT	QUARRY TILE
VB	VINYL BASE
WV	VINYL FLOORING
WC	WALL COVERING

CEILING DIMENSION LEGEND:

CENTER FUTURE IN SPACE
CENTER THE FUTURE IN SPACE IDENTIFIED BY DIAGONAL LINE.

ALIGN FIXTURES ALONG CENTERLINE SHOWN
CENTER FUTURE OVER CENTERLINE OF ADJACENT CONSTRUCTION
-ALIGN CONSTRUCTION

WORKING WALL INSTALLATION:
LAYOUT AND CONSTRUCTION IS TO START AT REFRIGERATOR HOLD DIMENSION AND PROCEED UP THE WALL FROM THAT END - FINAL INSTALLATION IS ROD AT CLOSET. TO BE SCROBED AT WALL AS REQUIRED.

FINISHINGS LEGEND:

GR-00	OTTOMAN
GR-01	SLEEPER SOFA
GR-02	DINING CHAIR
GR-03	LOUNGE CHAIR
GR-04	TASK LAMP
GR-05	SIDE TABLE
GR-06	HEADBOARD WALL SCIENCE
GR-07	VANITY LIGHT
GR-08	FLOOR LAMP
GR-09	END WALL SCIENCE
GR-10	NIGHTSTAND TABLE LAMP
GR-11	ARTWORK AT DINING TABLE
GR-12	ACCESSIBLE VANITY
GR-13	WORKING WALL
GR-14	NIGHTSTAND
GR-15	SIDE TABLE
GR-16	DINING TABLE
GR-17	ROLLER SHADE
GR-18	CLOSET CABINETS
GR-19	ARTWORK AT SLEEPER SOFA
GR-20	ARTWORK AT DINING TABLE
GR-21	ARTWORK AT END WALL
GR-22	VANITY MIRROR
GR-23	FULL HEIGHT MIRROR
GR-24	QUEEN BOXSPRING COVER
GR-25	KING BOXSPRING COVER
GR-26	QUEEN BED BASE
GR-27	KING BED BASE
GR-28	QUEEN COVERLET
GR-29	KING COVERLET
GR-30	ACCESSIBLE QUEEN BED SKIRT
GR-31	ACCESSIBLE KING BED SKIRT
GR-32	REFRIGERATOR
GR-33	TELEVISION
GR-34	CLOCK/RADIO
GR-35	TELEPHONE
GR-36	QUEEN MATTRESS & BOXSPRING
GR-37	KING MATTRESS & BOXSPRING
GR-38	SHOWER CURTAIN ROD
GR-39	SHOWER CURTAIN

KEY NOTES:

- IN BATHROOM LOCATIONS ONLY LIGHT SWITCH EQUIPPED WITH NIGHTSTAND MOUNTED ON OPPOSITE WALL FROM OTHER SWITCHES
- HARDWIRED BLACK OUT ROLLER SHADE WITH NO EXPOSED WIRES
- SHOWER ENCLOSURE WITH TEMPERED GLASS DOOR
- NOT USED
- PRE-MANUFACTURED SHOWER PAN
- CEILING MOUNTED DRAINAGE ROD - PROVIDE BLOCKING AS REQ'D
- NOT USED
- DEDICATED CIRCUIT FOR DISHWASHER
- RANGE TOP STYLE MICROWAVE AFFIXED TO WALL
- FULL HEIGHT MIRROR
- BELOW CARPET TILE THIS SIDE OF WALL TILE - FIRST TWO ROWS OF TILE TO BE NOT Laid IN ROOM BUT IN CASE GOODS
- SWITCH CONTROLLING GARBAGE DISPOSAL REFER TO HANG FOR ACCESSIBLE ROOM REQS
- DEDICATED CIRCUIT FOR GARBAGE DISPOSAL
- FIRE HORN IN STANDARD ROOMS
- FIRE HORN IN COMMUNICATION FEATURES ROOMS
- DEVICE SHOWN THIS LOCATION ON PLAN FOR CLARITY - REFER TO ELEVATIONS FOR EXACT POSITION
- RECESSED CEILING LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS
- TOILET EXHAUST GRILLE
- MAKE-UP AIR DIFFUSER
- OUTLINE OF SOFA
- APPROXIMATE LOCATIONS OF WALL WORK SUPPORTS ON FLOOR - PROVIDE SHIMS OR LEVELERS UNDER SUPPORTS TO PREVENT CARPET CRACKING
- ROOM SMOGAGE
- NOT USED
- EXTEND J-BOX DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK PANEL
- NOT USED
- WALL SCIENCE (WALL SCIENCE AT ACCESSIBLE ROOM MUST NOT PROJECT MORE THAN 4" FROM WALL) - HARDWIRED FEATURE TO WALL - CONTRACTOR TO VERIFY J-BOX TYPE TO INSURE PROPER INSTALLATION
- DOORBELL SWITCH (COMMUNICATION FEATURES ROOMS ONLY) SHOWN AS REQ'D
- START TILE @ DOOR W/ ONE ROW OF FULL TILES
- EDGE OF PTAC ABOVE CARPET TILES
- W/ CEILING HEIGHT MUST BE MAINTAINED - 8'-0" - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL
- FLOORING SUBCONTRACTOR TO PROVIDE 3/4" X 1/2" PLYWOOD UNDERLAY TO BE REMOVED INDICATED - EXTEND FULL LENGTH OF CHAIR
- GENERAL CONTRACTOR TO COORDINATE W/ FUTURE FABRICATOR WHERE NECESSARY TO PROVIDE PROPER BLOCKING IN WALL FOR ITEM (TYPED)
- NOT USED
- NOT USED
- OUTLET ABOVE FOR MICROWAVE - REFER TO ROOM ELEVATION MOUNT DEVICE HORIZONTALLY - FACE TYPE TO BE WHITE
- NOT USED
- INDICATES DIRECTION OF CARPET PATTERN
- CENTER ARTWORK OVER SOFA
- NOT USED
- GRAPHIC ART REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN
- NOT USED
- ADDITIONAL HORN STORE - LOCATED IN COMMUNICATION FEATURES BATHROOMS ONLY
- WHEN AN OPTIMUM WIRED DATA CONNECTION FOR GUEST IS ALSO PROVIDED, ANOTHER CAT5E CABLE TERMINATED ON AN 8 PWR PORT AND 48 PWR PORTS SHOULD BE PROVIDED AT THE LOCATION OF THE DATA AREA. MAINTAIN 4" CLEARANCE FROM ALL OTHER OUTLETS AND DEVICES & FROM CORNERS SHOULD BE PROVIDED AT THE LOCATION WITH GROMMET FOR GUEST CONVENIENCE.
- EACH CABLE MUST HOMERUN BETWEEN THE GUESTROOM AND THE IDF OR EACH FLOOR
- PROVIDE (1) CAT5E CABLE IN EVERY GUESTROOM ON THE WALL BELOW THE DESKTOP AREA TERMINATED ON AN 8 PWR PORT AND 48 PWR PORTS FOR WIRELESS ACCESS POINT INFRASTRUCTURE (BUREAU PAKED W/ 802)
- COORDINATE WAP LOCATION WITH CASEGOODS TO AVOID CONFLICT

CEILING LEGEND:

C-1	CEILING HEIGHT
C-2	CEILING FINISH

POWER AND SIGNAL LEGEND:

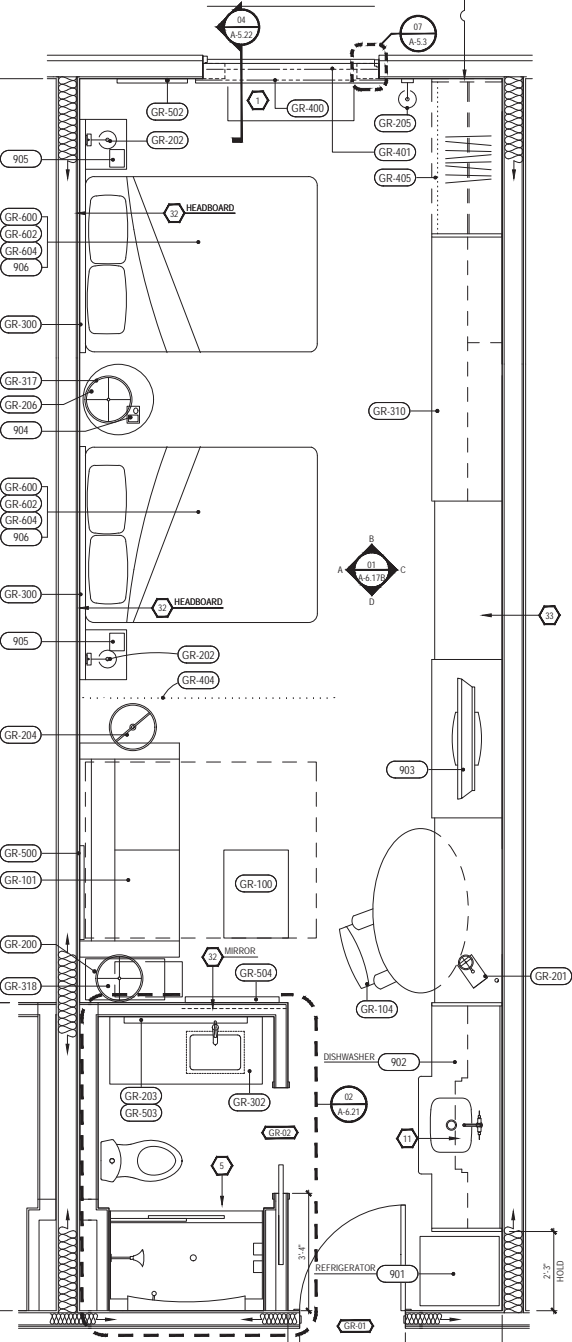
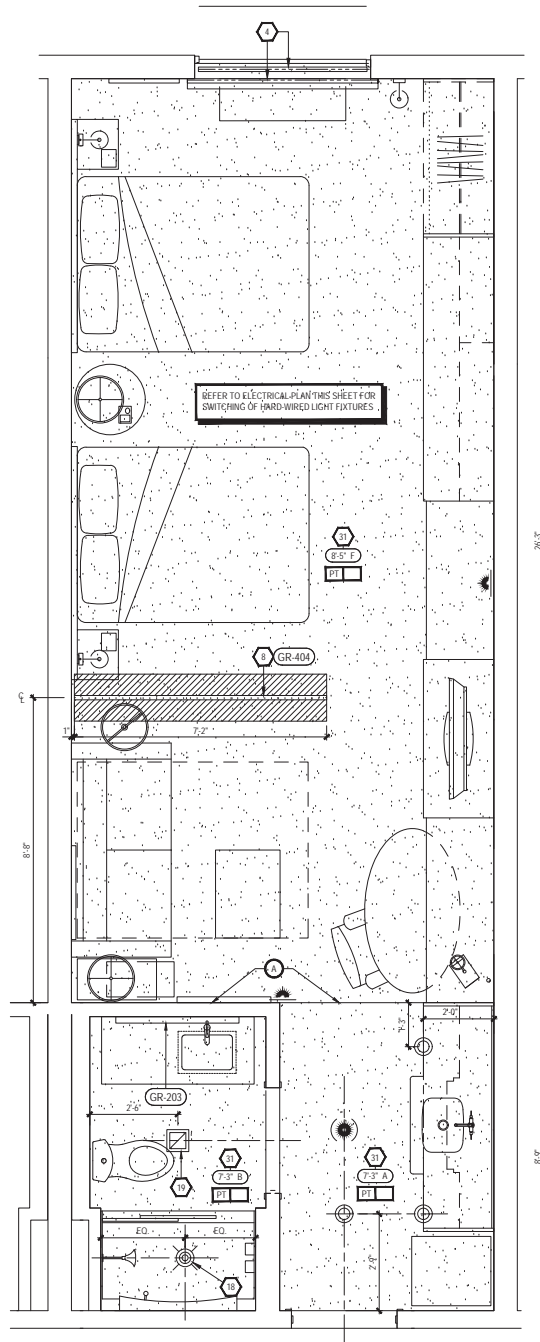
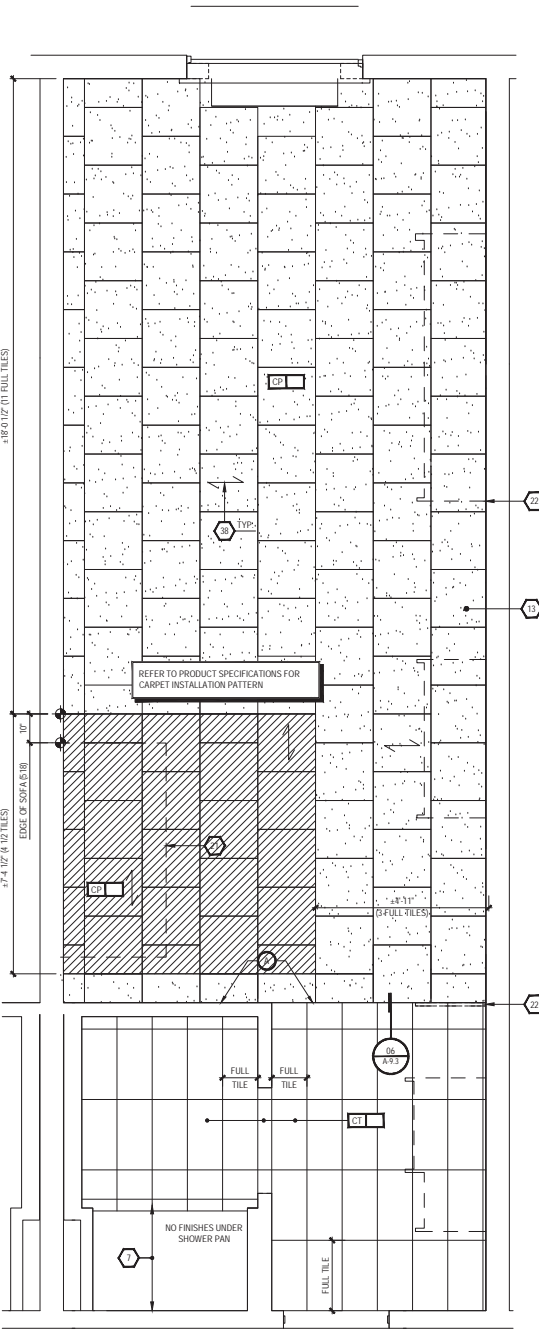
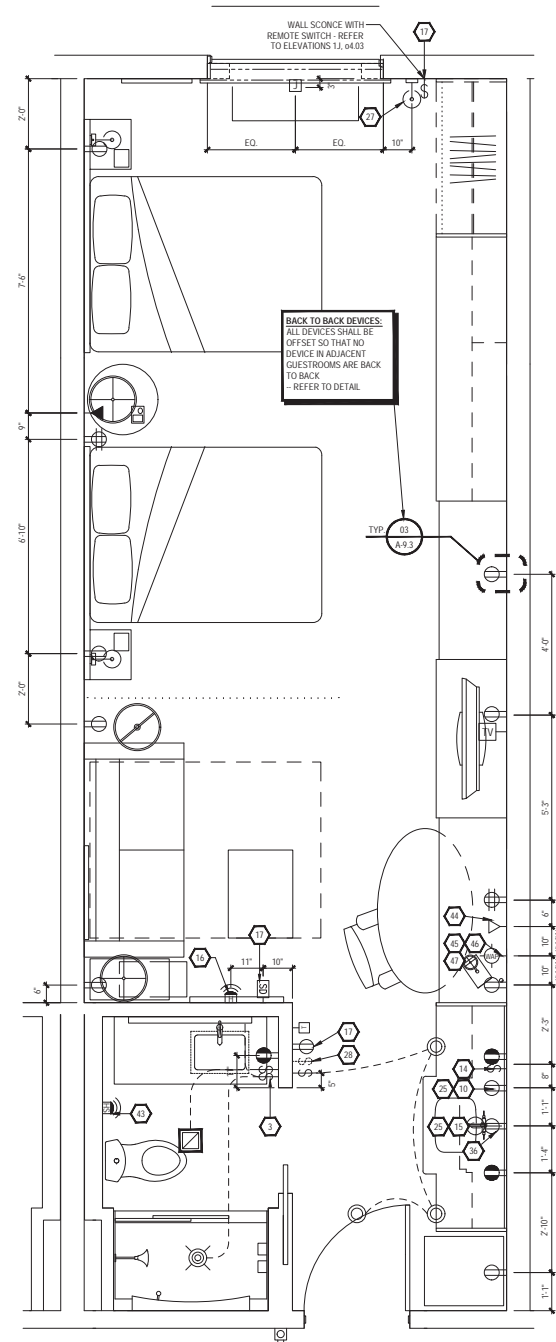
PO	POWER OUTLET
QO	QUAD OUTLET
GO	GF CI OUTLET
DO	DATA OUTLET
VO	VOICE OUTLET
CO	CCTV SWITCH
ES	ELECTRICAL SWITCH
SD	SMOKE DETECTOR
FB	FLOOR MOUNTED 1" BOX
WB	WALL MOUNTED 1" BOX
CE	CEILING MTD. 1" BOX FOR MOTORISED ROLLER SHADE. RATED FOR USE IN A FIRE-RATED ASSEMBLY
SH	SPRINKLER HEAD
SW	SIDE WALL SPRINKLER HEAD
TR	TRIM MOUNTED HARDWIRED THERMOSTAT - MOUNT @ 48" A.F.F. TO HIGHEST OPERABLE PART (ACCESSIBLE ROOMS ONLY)
DL	DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT @ 48" AFF TO CENTER OF BUTTON (FOR COMMUNICATION FEATURES ROOMS ONLY)
DL	DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)
FR	FIRE HORN / STROBE (FOR COMMUNICATION FEATURES ROOMS ONLY - OMIT FIRE HORNS WHEN THEY ARE USES)
FR	FIRE HORN (NON COMMUNICATION FEATURES ROOMS)
WA	WALL MOUNTED WIRELESS ACCESS POINT

LIGHTING AND MECHANICAL - CEILING LEGEND:

RL	RECESSED DOWNLIGHT (FLUORESCENT LAMP)
RL	SMALL RECESSED DOWNLIGHT (HALOGEN LAMP)
RL	MARROW BEAM SPREAD
RL	RECESSED DOWNLIGHT (WELLS FLUORESCENT LAMP) - SEE W/ LABELS
ME	MECHANICAL EXHAUST
MS	MECHANICAL SUPPLY
WS	DECORATIVE WALL SCIENCE
RF	RECESSED FLOOR LIGHT
LI	LIGHT

GENERAL NOTES:

- PREFER TOTAL PACKAGE FOR FURNITURE, BUILT IN MILLWORK & FINISH SPECS.
- SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - INDICATED FOR DESIGN INTENT ONLY.
- PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
- WALL RECESSED SWITCHES TO BE MOUNTED @ 17" A.F.F. TYPICAL UNL. - REFER ALSO TO HANG.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN & INDOOR POOL REQS.
- ALL CONTROLS TO BE USED BY GUESTS MUST BE MOUNTED @ 48" A.F.F. & 48" A.F.F. & PROVIDE A 30" X 48" CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 48" A.F.F. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. ACCESSIBLE CONTROLS SHALL COMPLY W/ THE HANG.
- IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET & DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED @ 15" A.F.F. & 48" A.F.F. AND PROVIDE A CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. SHIMS HANG FOR FURTHER REQS.
- OBJECTS MOUNTED WITH THE CIRCULATION PATH IN ACCESSIBLE ROOMS @ 27" & 48" A.F.F. SHALL NOT PROJECT FURTHER THAN 4" FROM WALL REFER TO HANG FOR FURTHER REQS.



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Drawn By M.N.
Checked By J.G.

A-6.18
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KEY NOTES:

- 1. IN BATHROOM LOCATIONS ONLY LIGHT SWITCH EQUIPPED WITH WEATHER-RESISTANT GROUND-FITTING TYPE SWITCHES.
- 2. HARDWIRED BLACK OUT ROLLER SHADE WITH NO EXPOSED WIRES.
- 3. SHOWER ENCLOSURE W/ TEMPERED GLASS DOOR.
- 4. NOT USED.
- 5. PRE-MANUFACTURED SHOWER PAN.
- 6. CEILING MOUNTED DRAPERY ROD- PROVIDE BLOCKING AS RECD.
- 7. NOT USED.
- 8. DEDICATED CIRCUIT FOR DISHWASHER.
- 9. RANGE TOP STYLE MICROWAVE AFFIXED TO WALL.
- 10. FULL HEIGHT MIRROR.
- 11. BEGIN CARPET TILE THIS SIDE W/ FULL TILE FIRST TWO ROWS OF TILE TO BE INSTALLED AROUND PERIMETER CASEGOODS.
- 12. SWITCH CONTROLLING GARBAGE DISPOSAL REFER TO MWDG FOR ACCESSIBLE ROOM REQS.
- 13. DEDICATED CIRCUIT FOR GARBAGE DISPOSAL.
- 14. FIRE HORN IN STANDARD ROOMS.
- 15. FIRE HORN/STROBE IN COMMUNICATION FEATURES ROOMS.
- 16. DEVICE SHOWN THIS LOCATION ON PLAN FOR CLARITY - REFER TO ELEVATIONS FOR EXACT POSITION.
- 17. RECESSED CEILING LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS.
- 18. TOILET EXHAUST GRILLE.
- 19. MAKE UP AIR DIFFUSER.
- 20. OUTLINE OF SOFA.
- 21. APPROXIMATE LOCATIONS OF MILLWORK SUPPORTS ON FLOOR. PROVIDE SHIMS OR LEVELERS UNDER SUPPORTS TO PREVENT CARPET CHANGING.
- 22. ROOM SMOKE.
- 23. NOT USED.
- 24. EXTEND J-BOX, DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK PANEL.
- 25. NOT USED.
- 26. WALL SCONCE (WALL SCONCE AT ACCESSIBLE ROOM MUST NOT PROJECT MORE THAN 4" FROM WALL) - HARDWARE FUTURE TO WALL- CONTROL TO HEAVY J-BOX TYPE. WALL SCONCE INSTALLATION.
- 27. DOORBELL LIGHT SWITCH (COMMUNICATION FEATURES ROOMS ONLY) SHANGHAI AS RECD.
- 28. START TILE @ DOOR W/ ONE ROW OF FULL TILES.
- 29. EDGE OF PTAC ABOVE CARPET TILES.
- 30. MIN. CEILING HEIGHT MUST BE MAINTAINED - 8'-0" - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL.
- 31. DOORBELL LIGHT SWITCH (COMMUNICATION FEATURES ROOMS ONLY) SHANGHAI AS RECD.
- 32. FRAMING SUBCONTRACTOR TO PROVIDE 2" X 4" FLYWOOD BLOCKING TO RECEIVE TEMPERED GLASS DOOR AT FULL LENGTH OF DOOR.
- 33. GENERAL CONTRACTOR TO COORDINATE W/ FUTURE FABRICATOR WHEN NECESSARY TO PROVIDE PROPER BLOCKING IN WALL FOR ITEM 32 (SEE DETAIL).
- 34. NOT USED.
- 35. NOT USED.
- 36. OUTLET ABOVE MICROWAVE - REFER TO ROOM ELEVATION MOUNT BLOCKING CONTINUOUSLY TO JACK PLATE TIE WALL.
- 37. NOT USED.
- 38. INDICATES DIRECTION OF CARPET PATTERN.
- 39. CENTER ARTWORK OVER SOFA.
- 40. NOT USED.
- 41. GRAPHIC ART REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN.
- 42. NOT USED.
- 43. ADDITIONAL WORN STROBE LOCATED IN COMMUNICATION FEATURES BATHROOMS ONLY.
- 44. WHEN AN OPTIONAL WIRELESS DATA CONNECTION FOR GUESTS IS ALSO PROVIDED, OPTICAL FIBER CABLE TERMINATED ON AN IN-PLANT WIRELESS ACCESS POINT SHALL BE PROVIDED IN THE RECEPTION/DEPARTURE AREA. MAINTAIN 6" CLEARANCE FROM ALL OTHER OUTLETS AND DEVICES & PROVIDE 18" CLEARANCE FROM THE TOP OF THE DESKTOP WITH GROMMET FOR GUEST CONVENIENCE.
- 45. DATA CABLE MUST BE HIDDEN BETWEEN THE GUESTROOM AND THE WIP ON EACH FLOOR.
- 46. PROVIDE (1) DATA HAS CABLE IN EVERY GUESTROOM ON THE WIP BELOW THE CEILING AND AREA TERMINATED IN THE RECEPTION/DEPARTURE AREA. MAINTAIN 6" CLEARANCE FROM ALL OTHER OUTLETS AND DEVICES & PROVIDE 18" CLEARANCE FROM THE TOP OF THE DESKTOP WITH GROMMET FOR GUEST CONVENIENCE.
- 47. COORDINATE WAP LOCATION WITH CASEGOODS TO AVOID CONFLICT.

CEILING LEGEND:

- A. PRIME & PAINTED GYPSUM BOARD
- B. PRIME & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
- C. OPEN TO UNDERSIDE OF FLOORROOF SYSTEM ABOVE - PAINT ALL ELEMENTS - ELEVATION INDICATED MAY BE "APPROXIMATE" & FOR GENERAL REFERENCE ONLY - REFER TO SECTIONS
- D. 2" LAY IN ACOUSTICAL CLG. TILE WITH 1/4" CLG. GRID
- E. 2" X 4" IN CLG. GRID SYSTEM WITH 1/4" CLG. GRID SUSPENDED FROM STRUCTURE - INFILLED WITH 1/2" VINYL FACED GYPSUM BOARD PANEL
- F. UNDERSIDE OF FLOORROOF SYSTEM - PRIME & PAINTED

POWER AND SIGNAL LEGEND:

- POWER OUTLET
- LIQUID OUTLET
- GAS OUTLET
- DATA OUTLET
- VOICE OUTLET
- CCV DEVICE
- ELECTRICAL SWITCH
- SMOKE DETECTOR
- FLOOR MOUNTED 2" BOX
- WALL MOUNTED 2" BOX
- CEILING MTD. 2" BOX FOR MOTORIZED ROLLER SHADE, RATED FOR USE IN A FIRE RATED ASSEMBLY
- SPRINKLER HEAD
- SIDE WALL SPRINKLER HEAD
- WALL MOUNTED HARDWIRED THERMOSTAT - MOUNT @ 48" A.F.F. TO HIGHEST OPERABLE PART (ACCESSIBLE ROOMS ONLY)
- DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT @ 48" A.F.F. TO CENTER OF BUTTON (FOR COMMUNICATION FEATURES ROOMS ONLY)
- DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)
- FIRE HORN/STROBE (FOR COMMUNICATION FEATURES ROOMS ONLY, OMIT FIRE HORNS WHEN THEY ARE USED)
- FIRE HORN (NON COMMUNICATION FEATURES ROOMS)
- WALL MOUNTED WIRELESS ACCESS POINT

LIGHTING AND MECHANICAL - CEILING LEGEND:

- (R-1) RECESSED DOWNLIGHT (FLUORESCENT LAMP)
- (R-2) RECESSED DOWNLIGHT (FLUORESCENT LAMP) - NARROW BEAM SPREAD
- (R-3) RECESSED DOWNLIGHT W/ LENS (FLUORESCENT LAMP) - CLY LABELLED
- MECHANICAL EXHAUST
- MECHANICAL SUPPLY
- DECORATIVE WALL SCONCE
- FLUORESCENT RECESSED DOWNLIGHT
- LIGHT

GENERAL NOTES:

- REFER TO PPAE PACKAGE FOR FINISHES, BUILT IN MILLWORK & FINISH SPECS.
- SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - INDICATED FOR DESIGN INTENT ONLY.
- PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
- WALL RECESSED ACCESS POINTS TO BE MOUNTED @ 12" A.F.F. TYPICAL U.N.G. - REFER ALSO TO MWDG.
- REFER HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN & INDOOR POOL REQS.
- ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED @ BIT 15" A.F.F. & 48" A.F.F. & PROVIDE A 30" X 48" CLEAR FLOOR AREA IN COMPLIANCE WITH ACCESSIBLE STANDARDS. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION (DEEPER THAN 12" MUST BE MOUNTED NO HIGHER THAN 48" A.F.F. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. ACCESSIBLE CONTROLS SHALL COMPLY W/ THE MWDG.
- IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET & DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED @ BIT 15" & 48" A.F.F. AND PROVIDE A CLEAR FLOOR AREA IN COMPLIANCE WITH ACCESSIBLE STANDARDS. SEE MWDG FOR FURTHER REQS.
- OBJECTS MOUNTED WITH THE CIRCULATION PATH IN ACCESSIBLE ROOMS @ BIT 15" & 48" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL. REFER TO MWDG FOR FURTHER REQS.

FINISH LEGEND:

- PT PAINT
- PL PLASTER
- ST STONE
- SF SPECIAL FINISH
- CO CONCRETE
- CP CARPET
- CT TILE
- G GLASS
- QT QUARRY TILE
- VB VINYL BASE
- VCT VINYL FLOORING
- WC WALL COVERING

CEILING DIMENSION LEGEND:

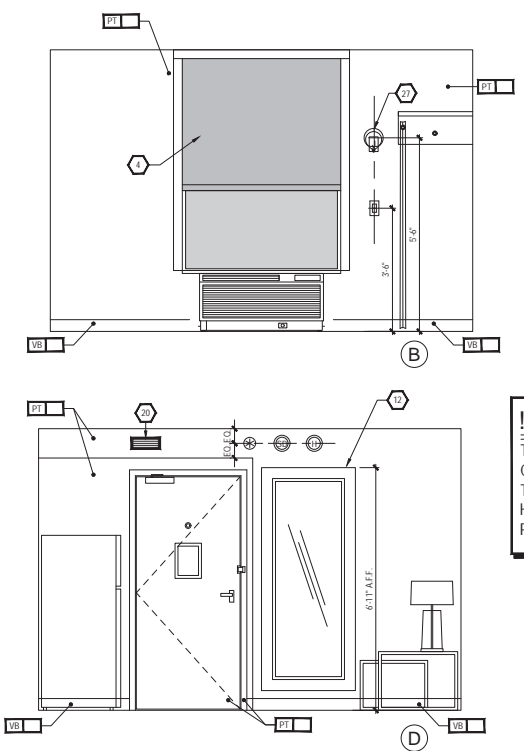
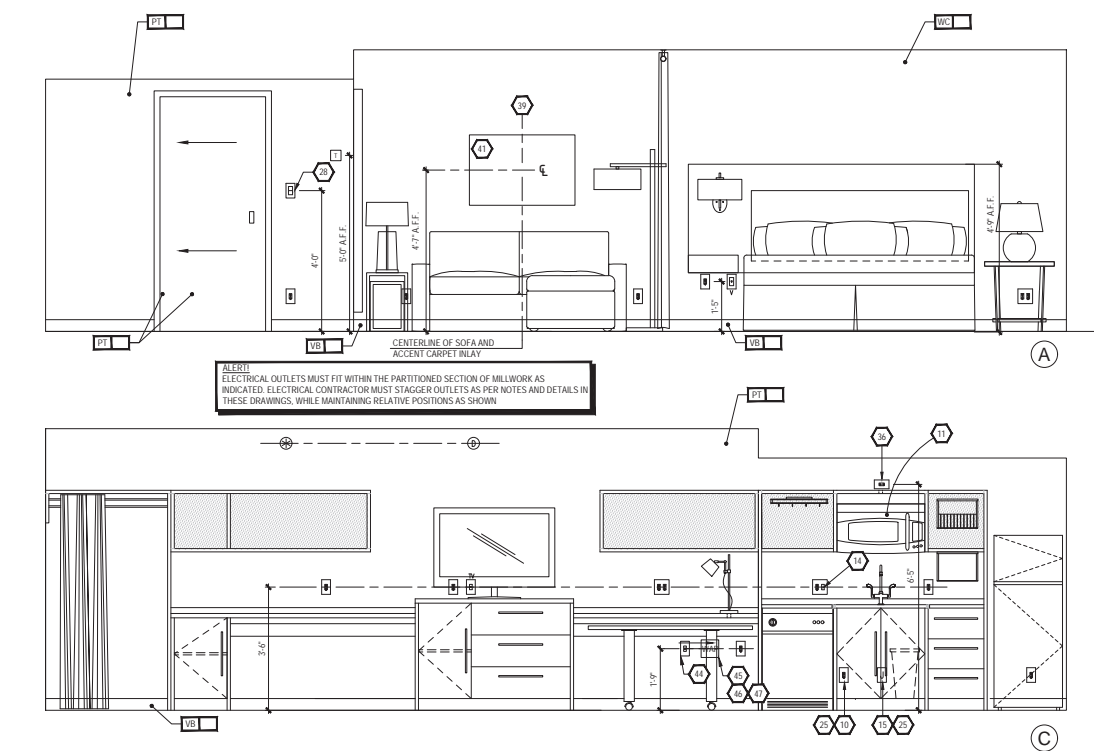
- LOWER COLUMN IN SPACE CENTER THE FUTURE IN PLACE IDENTIFIED BY DIAGONAL LINE
- ALIGN FEATURES
- ALIGN FEATURES ALONG CENTERING SHOWN
- CENTER OVER
- CENTER FEATURE OVER CENTERING OF ADJACENT CONSTRUCTION
- ALIGN CONSTRUCTION

FURNISHINGS LEGEND:

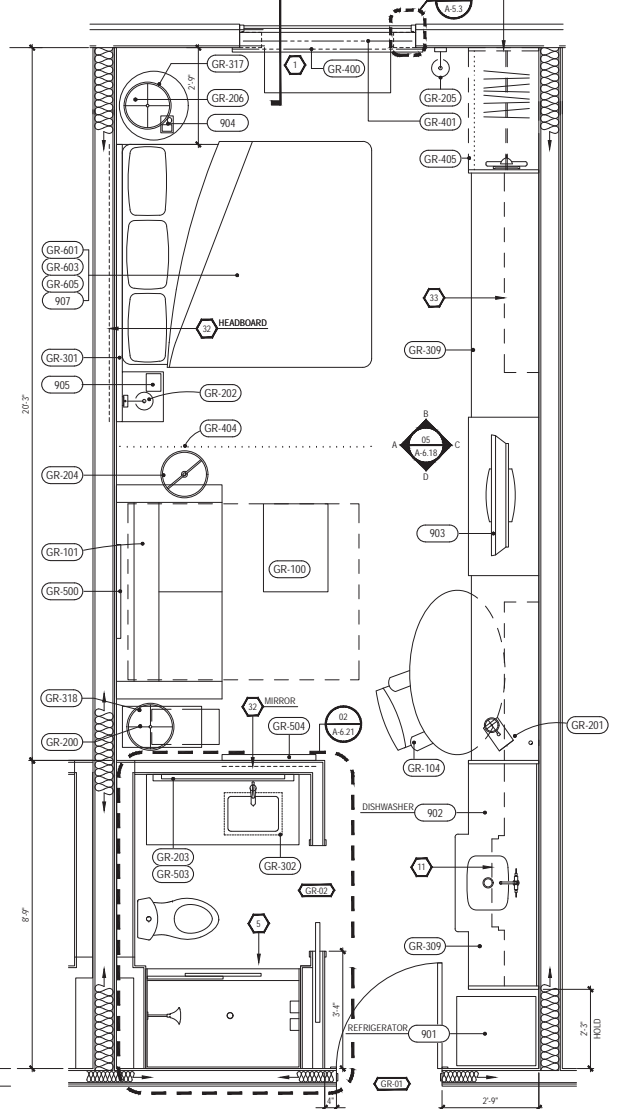
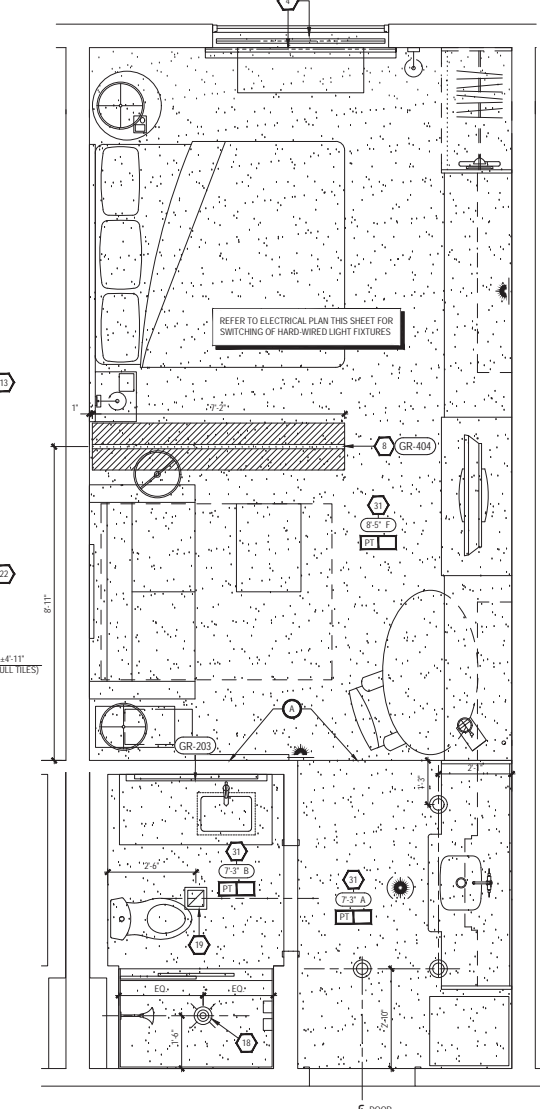
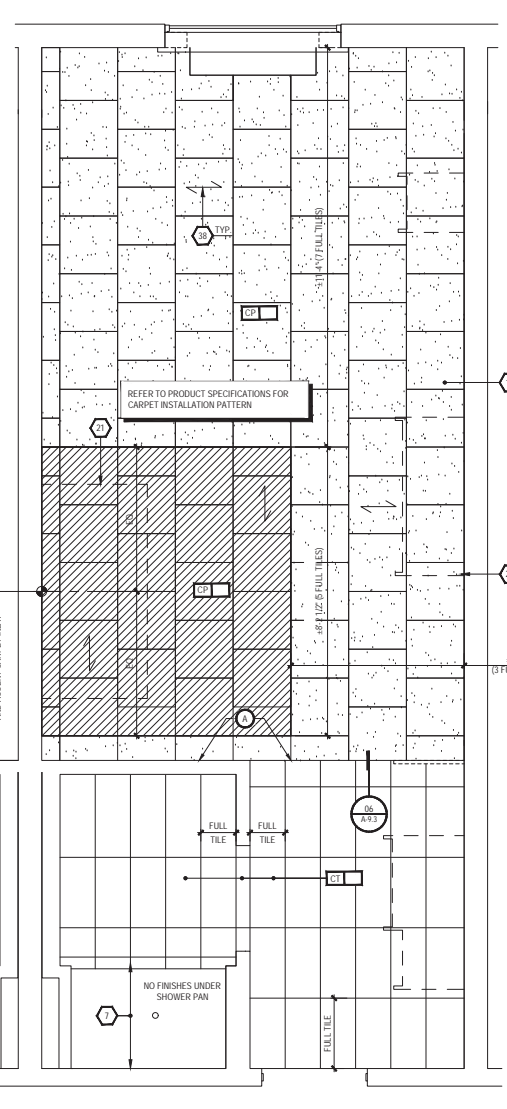
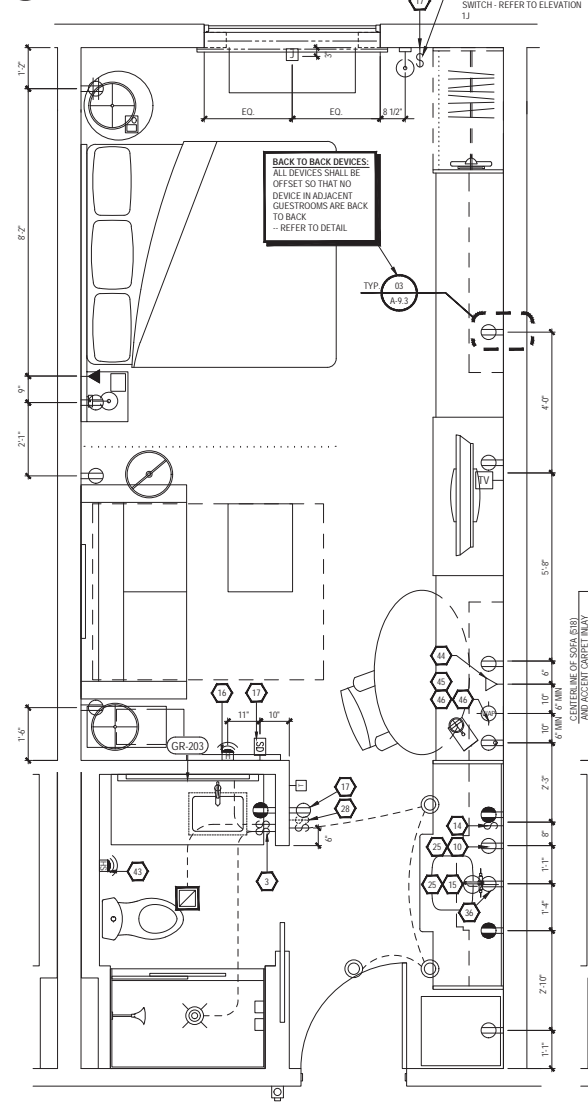
- GR-100 OTTOMAN
- GR-101 SLEEPER SOFA
- GR-102 DINING CHAIR
- GR-103 LOUNGE CHAIR
- GR-104 TASK CHAIR
- GR-200 SIDE TABLE LAMP
- GR-201 TASK LAMP
- GR-202 HEADBOARD WALL SCONCE
- GR-203 VANITY LIGHT
- GR-204 FLOOR LAMP
- GR-205 END WALL SCONCE
- GR-206 INDOOR TABLE LAMP
- GR-207 END WALL SCONCE
- GR-208 SCOA WALL SCONCE
- GR-300 QUEEN HEADBOARD
- GR-301 VANITY
- GR-302 ACCESSIBLE VANITY
- GR-303 WORKING WALL NIGHTSTAND
- GR-304 SIDE TABLE
- GR-305 ROLLER CHAIR
- GR-306 DINING TABLE
- GR-400 ROOM DIVIDER
- GR-401 CLOSET DRAPERY
- GR-500 ARTWORK AT SLEEPER SOFA
- GR-501 ARTWORK AT DINING TABLE
- GR-502 ARTWORK AT END WALL
- GR-503 VANITY MIRROR
- GR-504 FULL HEIGHT MIRROR
- GR-505 QUEEN BOXSPRING COVER
- GR-506 QUEEN BED BASE
- GR-507 KING BED BASE
- GR-508 QUEEN COVERLET
- GR-509 KING COVERLET
- GR-510 ACCESSIBLE KING BED SHORT
- GR-511 ACCESSIBLE KING BED SHORT
- 901 REFRIGERATOR
- 902 DISHWASHER
- 903 TELEVISION
- 904 CLOCK/RADIO
- 905 TELEPHONE
- 906 QUEEN MATTRESS & BOXSPRING
- 907 KING MATTRESS & BOXSPRING
- 908 SHOWER CURTAIN ROD
- 909 SHOWER CURTAIN

!ALERT!
THIS ROOM TYPE IS ALTERNATE CONSTRUCTION. USE OF THIS ROOM TYPE MUST BE APPROVED BY HILTON HOTELS CORPORATION PRIOR TO PLANNING AND CONSTRUCTION.

WORKING WALL INSTALLATION:
LAYOUT AND CONSTRUCTION IS TO START AT REFRIGERATOR HOLD DIMENSION AND PROCEED UP THE WALL FROM THAT END. FINAL INSTALLATION IS SHOWN AND RIOD AT CLOSET. THESE ARE TO BE SCRIBED AT WALL AS REQUIRED.



05 INTERIOR ELEVATIONS - KING STUDIO
SCALE: 1/2" = 1'-0"

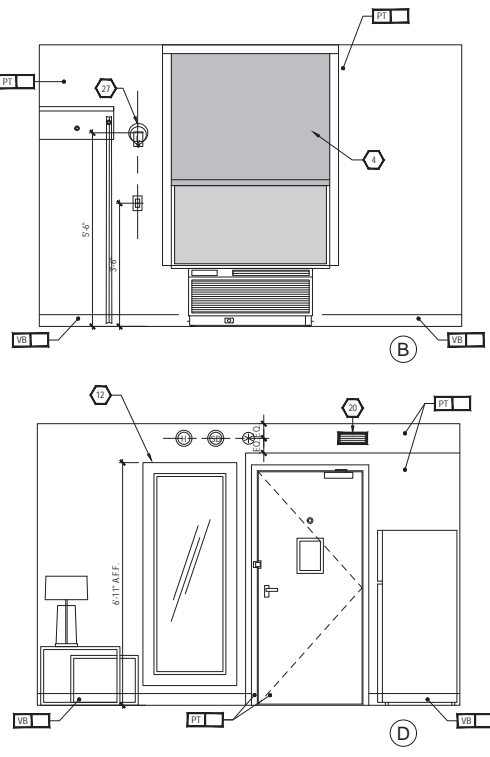
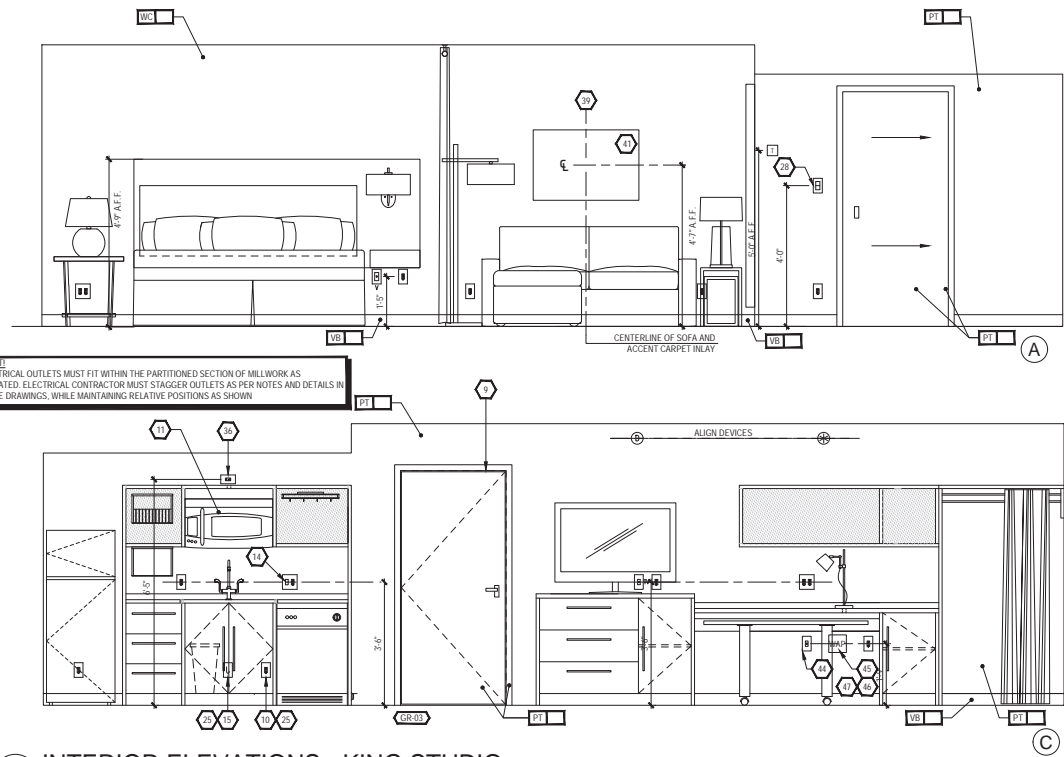


04 ELECTRIC PLAN
SCALE: 1/2" = 1'-0"

03 FLOOR FINISH PLAN
SCALE: 1/2" = 1'-0"

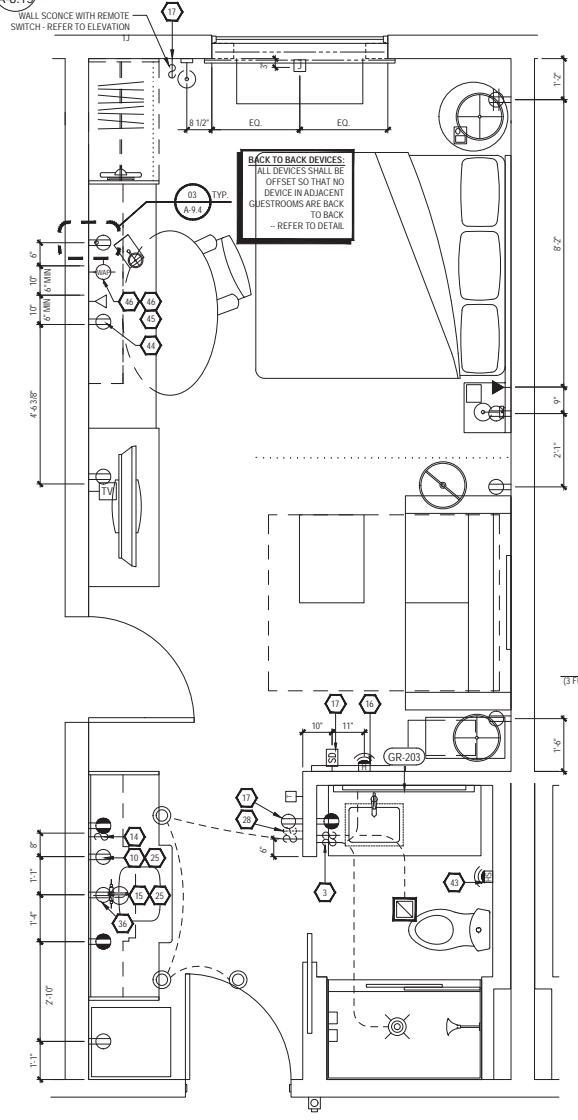
02 CEILING PLAN
SCALE: 1/2" = 1'-0"

01 CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

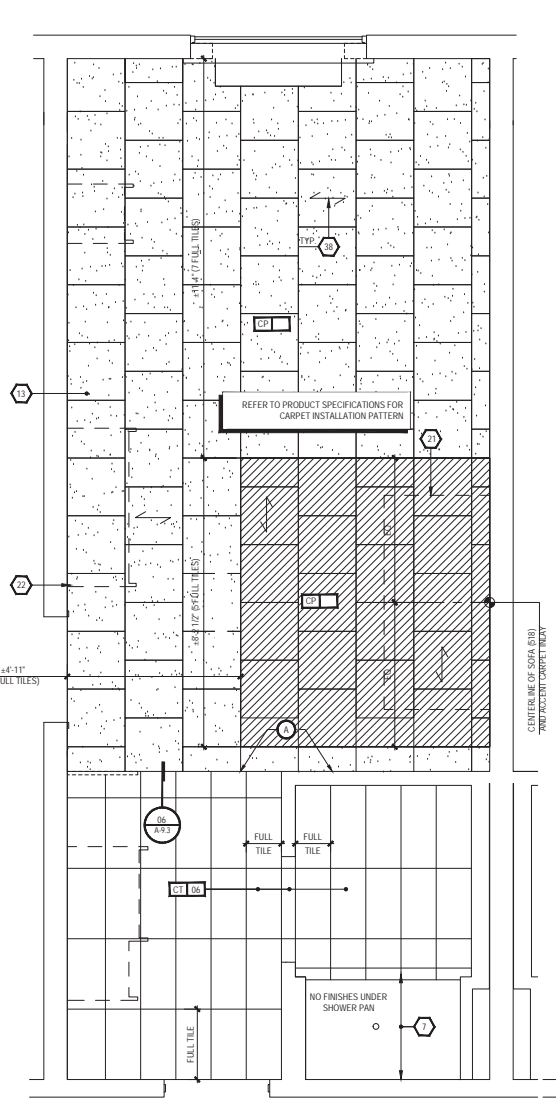


FINISH LEGEND:		FURNISHINGS LEGEND:	
PF	PART	GR-100	DITZMAN SLEEPER SOFA
PL	PLASTIC LAMINATE	GR-102	LOUNGE CHAIR
ST	STONE	GR-104	TASK CHAIR
SP	SPECIAL FINISH	GR-200	SIDE TABLE LAMP
CO	CONCRETE	GR-201	TASK LAMP
CP	CARPET	GR-202	HEADBOARD WALL SCIENCE
CT	TILE	GR-204	FLOOR LAMP
GL	GLASS	GR-205	END WALL SCIENCE
GT	GLASS TILE	GR-206	NIGHTSTAND TABLE LAMP
V	VINYL	GR-207	SOFA WALL SCIENCE
VC	VINYL COMPOSITE	GR-300	QUEEN HEADBOARD
WC	WALLCOVERING	GR-301	KING HEADBOARD
		GR-302	VANITY
		GR-304-16	ACCESSIBLE VANITY
		GR-307	WORKING WALL
		GR-310	NIGHTSTAND
		GR-318	SIDE TABLE
		GR-319	DINING TABLE
		GR-400-01	ROLLER SHADE
		GR-400-03	ROOM DRESSER
		GR-405-04	CLOSET DRESSERY
		GR-500	ARTWORK AT SLEEPER SOFA
		GR-501	ARTWORK AT DINING TABLE
		GR-502	ARTWORK AT END WALL
		GR-504	FULL HEIGHT MIRROR
		GR-505	REFER TO LEGENDS FOR EXACT POSITION
		GR-601	KING ROOFSRING COVER
		GR-602	QUEEN BED BASE
		GR-603	KING BED BASE
		GR-604	QUEEN COVERLET
		GR-605	ACCESSIBLE QUEEN BED SKIRT
		GR-606	ACCESSIBLE KING BED SKIRT
		GR-607	REFRIGERATOR
		GR-608	DISHWASHER
		GR-609	TELEVISION
		GR-610	CLOCKRADIO
		GR-611	TELEPHONE
		GR-612	QUEEN MATTRESS & ROOFSRING
		GR-613	KING MATTRESS & ROOFSRING
		GR-614	SHOWER CURTAIN ROD
		GR-615	SHOWER CURTAIN

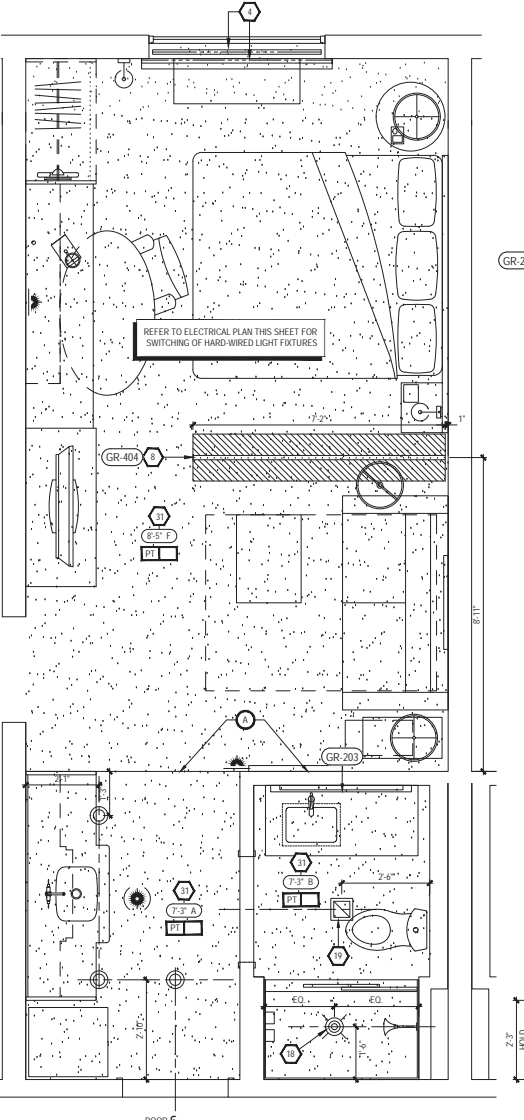
05 INTERIOR ELEVATIONS - KING STUDIO
SCALE: 1/2" = 1'-0"



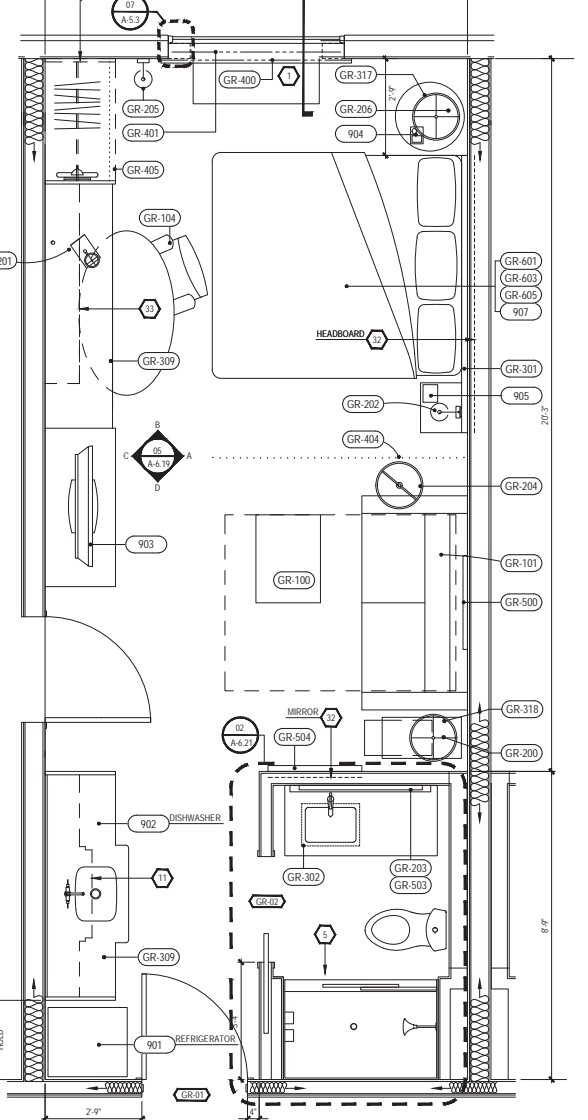
04 ELECTRIC PLAN
SCALE: 1/2" = 1'-0"



03 FLOOR FINISH PLAN
SCALE: 1/2" = 1'-0"



02 CEILING PLAN
SCALE: 1/2" = 1'-0"



01 CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

KEY NOTES:	
1	REFER TO DETAIL
2	NOT USED
3	IN BATHROOM LOCATIONS ONLY LIGHT SWITCH EQUIPPED WITH MOUNTED LIGHT - MOUNTED AT LEAST 48" FROM OTHER DEVICES. MOUNTED TO TOP OF SWITCH TO BE MAINTAINED AT 48"
4	HARDWIRED BLACK OUT ROLLER SHADE WITH NO EXPOSED WIRES
5	SHOWER ENCLOSURE W/ TEMPERED GLASS DOOR
6	NOT USED
7	PRE-MANUFACTURED SHOWER PAN
8	CEILING MOUNTED DRESSERY ROD - PROVIDE BLOCKING AS NOTED
9	NOT USED
10	DEDICATED CIRCUIT FOR DISHWASHER
11	RANGE TOP STYLE MICROWAVE AFFIXED TO WALL
12	FULL HEIGHT MIRROR
13	BEHIND CARPET TILE THIS SIDE W/ FULL TILE - FIRST TWO ROWS OF TILE TO BE INSTALLED AROUND BUILT IN CASEGOODS
14	SWITCH CONTROLLING CARBAGE DISPOSAL REFER TO MAND FOR ACCESSIBLE ROOM RULES
15	DEDICATED CIRCUIT FOR GARBAGE DISPOSAL
16	FIRE HORN IN STANDARD ROOMS
17	FIRE HORN IN COMMUNICATION FEATURES ROOMS
18	DEVICE SHOWN THIS LOCATION ON PLAN FOR CLARITY
19	REFER TO LEGENDS FOR EXACT POSITION
20	RECESSED CEILING LIGHT FOR WET LOCATIONS W/ SHATTER PROOF LENS
21	TOILET EXHAUST GRILLE
22	MAKE-UP AIR DEFUSER
23	OUTLINE OF SOFA
24	APPROXIMATE LOCATIONS OF MILLWORK SUPPORTS ON FLOOR. PROVIDE SHIMS OR LEVELERS UNDER SUPPORTS TO PREVENT CARPET CRUSHING.
25	ROOM STORAGE
26	NOT USED
27	EXTEND J BOX, DEVICE & COVER PLATE FLUSH W/ MILLWORK BACK PANEL
28	NOT USED
29	WALL SCIENCE (WALL SCIENCE AT ACCESSIBLE ROOM MUST NOT BE SCRIBED AT WALL - REFER TO LEGENDS FOR EXACT POSITION - REFER TO WALL-CONTRACTOR TO VERIFY J BOX TYPE TO ENSURE PROPER INSTALLATION)
30	DOORBELL ON/OFF SWITCH COMMUNICATION FEATURES ROOMS ONLY (VIBRATION AS REQ'D)
31	START TILE IN ROOM W/ ONE ROW OF FULL TILES
32	EDGE OF PTAC ABOVE CARPET TILES
33	MIN. CEILING HEIGHT MUST BE MAINTAINED - IF 8' - REFER TO HOME 2 SERIES BY HILTON STANDARDS MANUAL
34	FINISHING SUBCONTRACTOR TO PROVIDE 3/4" X 1/2" FLOOR BLOCKING TO RECEIVE ITEM INDICATED - EXTEND FULL LENGTH OF OBJECT
35	GENERAL CONTRACTOR TO COORDINATE W/ FUTURE FABRICATOR - START TO PROVIDE PROPER BLOCKING IN WALL FOR ITEM KEYNOTED
36	NOT USED
37	NOT USED
38	OUTLET ABOVE MICROWAVE - REFER TO ROOM ELEVATION MOUNT DEVICE HORIZONTALLY - FACE PLATE TO BE WHITE
39	NOT USED
40	INDICATES DIRECTION OF CARPET PATTERN
41	CENTER ARTWORK OVER SOFA
42	NOT USED
43	GRAPHIC ART - REFER TO ACCESSORIES LEGEND & CONSTRUCTION PLAN
44	NOT USED
45	ADDITIONAL HORN STROBE - LOCATED IN COMMUNICATION FEATURES BATHROOMS ONLY
46	WHEN AN OPTIONAL WIRED DATA CONNECTION FOR GUEST IS ALSO PROVIDED, ANOTHER CAT 6/4E CABLE TERMINATED ON AN IN-PIN BUS FEMALE JACK MUST BE PROVIDED AT THE WALL BELOW THE OUTLETS AND DEVICES. A PATCH CORD SHOULD BE PROVIDED AT THE DESKTOP WITHIN GUEST ROOMS.
47	EACH CABLE MUST BE MAINTAINED BETWEEN THE GUESTROOM AND THE IDF ON EACH FLOOR.
48	PROVIDE CAT 6/4E CABLE IN EVERY GUESTROOM ON THE WALL BELOW THE DESKTOP AREA TERMINATED ON AN RJ 45 FEMALE W/ 6" FOR WIRELESS ACCESS POINT INFRASTRUCTURE (LINE PUNCH W/ W/)
49	COORDINATE W/ PLOCATION WITH CASEGOODS TO AVOID CONFLICT
CEILING LEGEND:	
CEILING HEIGHT	CEILING FINISH
A	FORMER FROM FLOOR FINISH
B	PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
C	OPEN TO UNDERSIDE OF FLOOR/ROOF SYSTEM ABOVE - PAINT ALL ELEMENTS - SEE LEGENDS FOR LOCAL CODE - INDICATED FOR GENERAL REFERENCE ONLY - REFER TO SECTIONS
D	2X2 LAY IN ACoustICAL CLG. TILE WITH 1/4" CLG. GRID SUPPORTED FROM STRUCTURE
E	2X4 LAY IN CLG. GRID SYSTEM WITH 1/4" CLG. GRID SUPPORTED FROM STRUCTURE - REFLECTED WITH 1/2" VINYL FLOOR GYPSUM BOARD PANELS - FLOOR/ROOF SYSTEM - PRIMED & PAINTED
POWER AND SIGNAL LEGEND:	
POWER OUTLET	DATA OUTLET
VOICE OUTLET	TELEPHONE
TELEPHONE	SMOKE DETECTOR
SMOKE DETECTOR	FLOOR MOUNTED 1" BOX
FLOOR MOUNTED 1" BOX	WALL MOUNTED 1" BOX
WALL MOUNTED 1" BOX	CEILING MTD. 1" BOX FOR MOTORIZED ROLLER SHADE. RATED FOR USE BY A FIRE RATED ASSEMBLY
CEILING MTD. 1" BOX FOR MOTORIZED ROLLER SHADE. RATED FOR USE BY A FIRE RATED ASSEMBLY	SPRINKLER HEAD
SPRINKLER HEAD	SIDE WALL SPRINKLER HEAD
SIDE WALL SPRINKLER HEAD	WALL MOUNTED HARDWIRED THERMOSTAT - MOUNT @ 48" AT CENTER OF BUTTON FOR COMMUNICATION FEATURES ROOMS ONLY
WALL MOUNTED HARDWIRED THERMOSTAT - MOUNT @ 48" AT CENTER OF BUTTON FOR COMMUNICATION FEATURES ROOMS ONLY	DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT @ 48" AT CENTER OF BUTTON FOR COMMUNICATION FEATURES ROOMS ONLY
DOORBELL HARDWIRED TO DOORBELL LIGHT - MOUNT @ 48" AT CENTER OF BUTTON FOR COMMUNICATION FEATURES ROOMS ONLY	DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)
DOORBELL LIGHT (FOR COMMUNICATION FEATURES ROOMS ONLY)	FIRE HORN / STROBE FOR COMMUNICATION FEATURES ROOMS ONLY
FIRE HORN / STROBE FOR COMMUNICATION FEATURES ROOMS ONLY	FIRE HORN (NON COMMUNICATION FEATURES ROOMS)
FIRE HORN (NON COMMUNICATION FEATURES ROOMS)	WALL MOUNTED WIRELESS ACCESS POINT
WALL MOUNTED WIRELESS ACCESS POINT	
LIGHTING AND MECHANICAL - CEILING LEGEND:	
(R-1) RECESSED DOWNLIGHT (FLUORESCENT LAMP)	(R-4) SMALL RECESSED DOWNLIGHT (HALOGEN LAMP)
(R-2) RECESSED DOWNLIGHT (FLUORESCENT LAMP)	WIRELESS READER
(R-3) RECESSED DOWNLIGHT W/ LENS (FLUORESCENT LAMP)	UL WET LABELED
(R-4) SMALL RECESSED DOWNLIGHT (HALOGEN LAMP)	
MECHANICAL EXHAUST	MECHANICAL SUPPLY
DECORATIVE WALL SCIENCE	LIGHT
REFER TO DETAIL	
GENERAL NOTES:	
1	REFER TO FRM PACKAGE FOR FURNITURE, BUILT IN MILLWORK & FINISHES.
2	SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - INDICATED FOR DESIGN INTENT ONLY.
3	PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
4	WALL RECEPTACLE DATA POINTS TO BE MOUNTED @ 12" A.F.F. TYPICAL U.D.O. - REFER ALSO TO MAND.
5	REFER TO HOME 2 SERIES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN & INDOOR POOL RULES.
6	ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED @ 48" AT 48" A.F.F. AND PROVIDE CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 1/4" MUST BE MOUNTED NO HIGHER THAN 48" A.F.F. - ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE HAND. ACCESSIBLE CONTROLS SHALL COMPLY W/ THE HANS.
7	IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET & DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED @ 15" & 48" A.F.F. AND PROVIDE CLEAR FLOOR AREA IN COMPLIANCE W/ ACCESSIBLE STANDARDS. SEE MAND FOR FURTHER DETAILS.
8	OBJECTS MOUNTED WITH THE CIRCULATION PATH IN ACCESSIBLE ROOMS @ 27" & 48" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL REFER TO MAND FOR FURTHER DETAILS.



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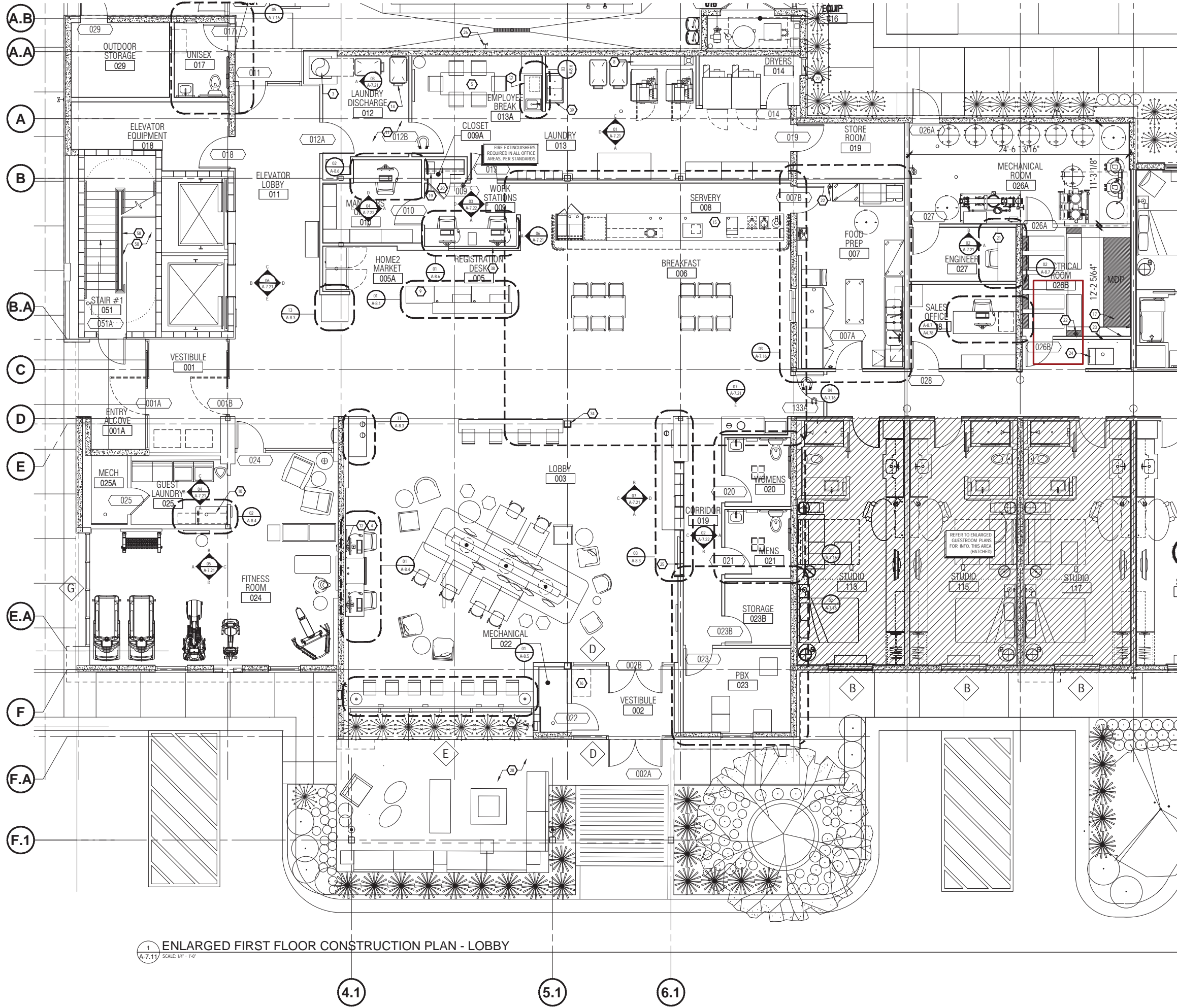
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Project Number 202005
Date 01/17/21
Drawn By M.N.
Checked By J.G.



1 ENLARGED FIRST FLOOR CONSTRUCTION PLAN - LOBBY
 A-7.11 SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- 1 NOT USED
 - 2 ALIGN THIS FACE OF WALL ON COLUMN LINE
 - 3 LAUNDRY CHUTE LOCATION CONTAINED WITHIN GATED SHED WITH RATED DOOR HAVING HARDSHIP DEPENDING ON BUILDING HEIGHT PER STANDARDS
 - 4 ACCESSIBLE WORK STATION
 - 5 ACCESSIBLE TABLE. REFER TO FINISH
 - 6 NOT USED
 - 7 NOT USED
 - 8 TRENCH DRAIN FOR WASHING MACHINES
 - 9 REGISTRATION DESK WITH ACCESSIBLE APPROACH. REFER TO FF&E PACKAGE AND H&G FOR FURTHER INFORMATION
 - 10 ACCESSIBLE WORK TABLE
 - 11 LAUNDRY CHUTE TERMINATION ROOM
 - 12 ACCESSIBLE POWER AND DATA. INSTALLED AT WORK STATION. REFER TO CASEGOODS
 - 13 NOT USED
 - 14 LINEN CART STORAGE AREA
 - 15 BREAKFAST COUNTER
 - 16 LUGGAGE CART STORAGE
 - 17 36" x 36" MOP SINK LOCATION
 - 18 NOT USED
 - 19 SAFETY DEPOSIT BOX LOCATION
 - 20 CLOSET ROD
 - 21 MAINTENANCE DESK
 - 22 FIRE EXTINGUISHER
 - 23 FRP WANSKOT 4" HIGH ON ALL SIDES INDICATED. PROVIDE APPROPRIATE VINYL EDGE TREATMENT
 - 24 ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND H&G FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - 25 ENTERTAINMENT WALL
 - 26 HOSE BIB
 - 27 MECHANICAL LOUVER
 - 28 NOT USED
 - 29 NOT USED
 - 30 NOT USED
 - 31 NOT USED
 - 32 NOT USED
 - 33 STRUCTURAL COLUMN - FINISH CT 04
 - 34 NOT USED
 - 35 NOT USED
 - 36 PTAC
 - 37 FIXED WINDOW UNIT ABOVE WORKSTATION. REFER TO INTERIOR ELEVATIONS
 - 38 2-COMPARTMENT SINK
 - 39 NOT USED
 - 40 NOT USED
 - 41 ACCESSIBLE BASE CABINET WITH SINK
 - 42 NOT USED
 - 43 NOT USED
 - 44 NOT USED
 - 45 NOT USED
 - 46 NOT USED
 - 47 NOT USED
 - 48 NOT USED
 - 49 NOT USED
 - 50 NOT USED
 - 51 NOT USED
 - 52 NOT USED
 - 53 NOT USED
 - 54 NOT USED
 - 55 NOT USED
 - 56 PAINT UNDERSIDE OF STAIR TO MATCH STAIR RAILING
 - 57 NOT USED
 - 58 NOT USED
 - 59 NOT USED
 - 60 NOT USED

FINISH LEGEND:

PT	PANT	SEE
PL	PLASTIC LAMINATE	REFER TO SEPARATE FF&E SPECIFICATIONS MANUAL AND H&G FOR FURTHER INFORMATION
ST	STONE	
SE	SERIAL FINISH	
CO	CONCRETE	
CP	CABINET	SEPARATE COLOR AND MATERIALS SPECIFICATIONS
CT	CEILING	
CF	CORNER	MANUAL FOR FURNITURE FINISH
CT	CURTAIN	NOT IDENTIFIED WITHIN THESE DRAWINGS
QT	QUARRY TILE	
VB	VINYL BASE	
VF	VINYL FLOORING	
WC	WALLCOVERING	

SYMBOL / FIXTURE KEY

1. DESIGNATED REQUIRED CLEAR FLOOR SPACE FOR ACCESSIBILITY REQUIREMENTS. SEE DETAIL ON SHEET A18.01 IN REFERENCE TO APPROACH CLEARANCES. VERIFY REQUIRED CLEAR FLOOR SPACE FOR ALL ACCESSIBLE EQUIPMENT AND H&G. REFER TO H&G FOR FURTHER INFORMATION.

- GENERAL NOTES:**
1. REFER TO FF&E PACKAGE FOR FURNITURE. BUILT IN MILLWORK AND FINISH SPECIFICATIONS.
 2. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS.
 3. PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
 4. WALL DEVICES TO BE MOUNTED AT 18" ± A.F.F. TYPICAL UNLESS REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL GUESTROOM GUESTROOMS/BATHS GUESTROOM KITCHEN AND INDOOR POOL REQUIREMENTS.
 5. REFER TO STANDARDS FOR FURNITURE AND EQUIPMENT SCHEDULES.



3225 Shallowford Rd., Suite 920
 Marietta, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORIGINATIONDESIGN.COM



ENLARGED CONSTRUCTION PLAN LOBBY



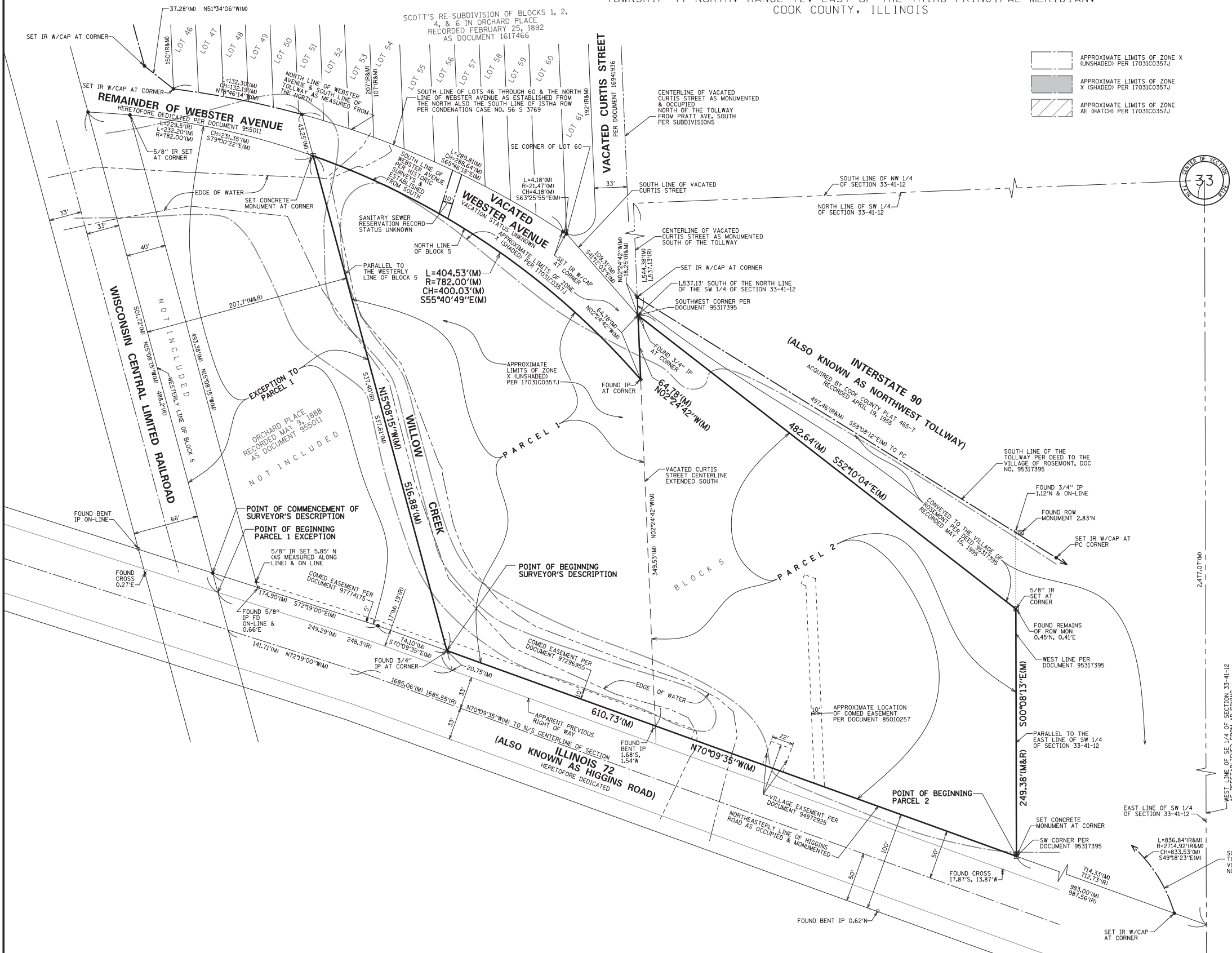
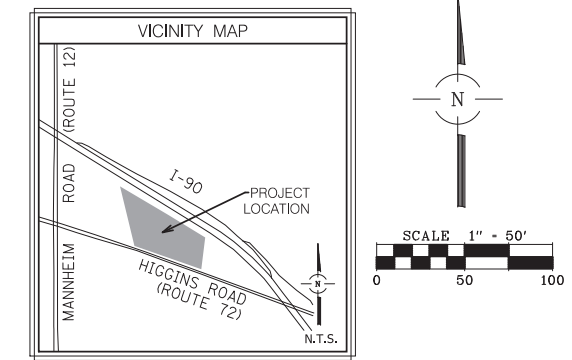
No.	Description	Date

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Project Number	202005
Date	09/29/20
Drawn By	Y.D.
Checked By	J.G.

FINAL PLAT OF 1700 WEST HIGGINS ROAD SUBDIVISION

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
COOK COUNTY, ILLINOIS



LEGEND

- ⊗ RIGHT-OF-WAY MONUMENT
- DISC
- IRON / STEEL ROD (IR)
- IRON PIPE (IP)
- ⊕ CUT CROSS
- ⊕ PK / MAG NAIL
- ⊕ RAILROAD SPIKE
- ▭ SUBDIVISION LIMITS

PROPERTY DESCRIPTION (PER TITLE COMMITMENT NUMBER/FILE NO.): NCS-931718-MKEA

PARCEL 1:
BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE NORTH LINE OF SAID BLOCK 5; THENCE WESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE# 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1888 AS DOCUMENT NUMBER 955011;
THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2001), NAD83 (2011) ADJUSTMENT, ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.90 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 39 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.0 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 182.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 25, 1892 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 56 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG A WESTERLY LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER QUIT CLAIM DEED RECORDED MAY 15, 1995 AS DOCUMENT 95317395; THENCE NORTH TO DEGREES 09 MINUTES 39 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S NOTES:
NO DOCUMENTS WERE PROVIDED FOR THE DEDICATION OR CONVEYANCE OF HIGGINS ROAD, A REQUEST WAS MADE TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE VILLAGE OF ROSEMONT, THE CITY OF DES PLAINES, AND THE TITLE COMPANY WITH NO SUCCESS. THE RIGHT OF WAY OF HIGGINS ROAD IS SHOWN BASED ON PREVIOUS SURVEYS, AS OCCUPIED AND TAX MAPS.

NOTES:
THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18 BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE# 13335.PDF

EXISTING BOUNDARY INFORMATION

WEST LINE OF SW 1/4 OF SECTION 33-41-12 AS REESTABLISHED FROM ADJOINING SUBDIVISION MONUMENTATION

EAST LINE OF SW 1/4 OF SECTION 33-41-12

SOUTH LINE OF THE TOLLWAY PER DEED TO THE VILLAGE OF ROSEMONT, DOC NO. 95317395

PREPARED FOR & OWNER:
NEXTGEN HOTELS
550 EAST DEVON AVENUE
SUITE 110
ITASCA, ILLINOIS 60143

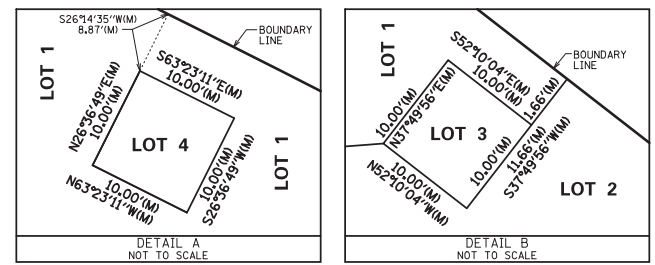
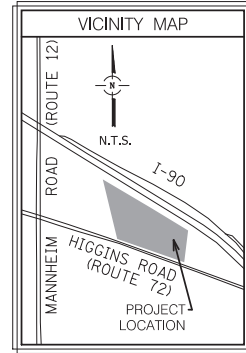
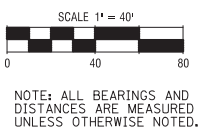
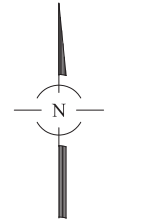
FOR REVIEW
PURPOSES ONLY

REVISIONS: 10/17/2022 11/10/2022		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 10/13/2022 JOB NO: 8779.02 FILENAME: 8779.04SUB-01 SHEET 1 OF 3
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9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

FINAL PLAT OF 1700 WEST HIGGINS ROAD SUBDIVISION

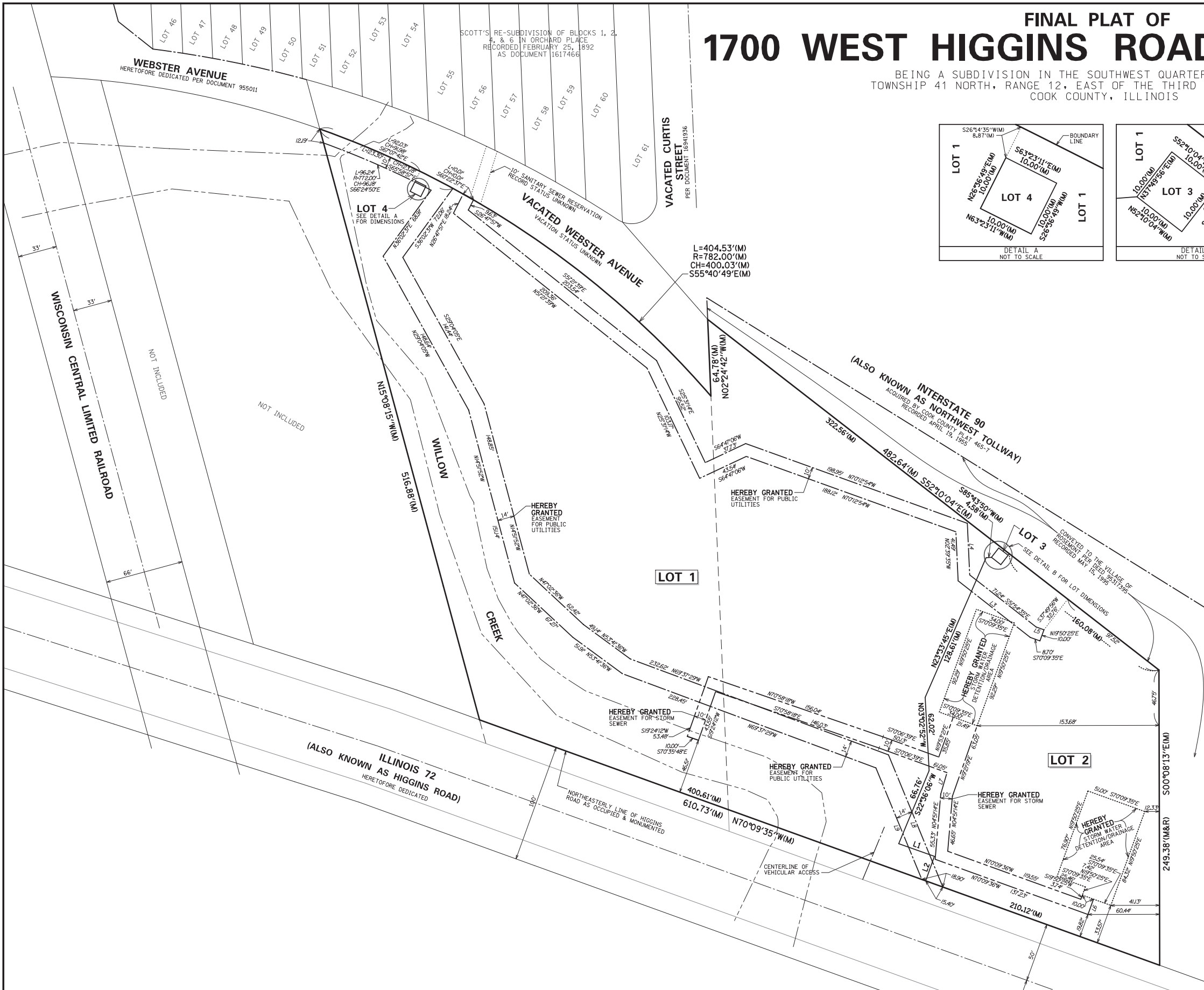
BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
COOK COUNTY, ILLINOIS



	SQUARE FEET	ACRES
LOT 1	179,302	4.116
LOT 2	52,598	1.208
LOT 3	100	0.002
LOT 4	100	0.002
TOTAL	232,100	5.328

- HEREBY GRANTED EASEMENT FOR STORM SEWER
- HEREBY GRANTED EASEMENT FOR PUBLIC UTILITIES
- HEREBY GRANTED STORM WATER DETENTION/DRAINAGE AREA

LINE TABLE		
	DISTANCE	BEARING
L1	31.98'	S70°26'39"E
L2	21.96'	N19°34'46"E
L3	77.43'	S5°54'35"E
L4	43.60'	S02°39'35"E
L5	7.00'	S70°09'35"E
L6	132.4'	S19°50'25"W
L7	18.54'	N8°21'48"E
L8	120.70'	S22°21'46"E
L9	10.88'	S22°21'46"E



PROPOSED LOT & EASEMENT LAYOUT

PREPARED FOR & OWNER:
NEXTGEN HOTELS
550 EAST DEVON AVENUE
SUITE 110
ITASCA, ILLINOIS 60143

FOR REVIEW
PURPOSES ONLY

REVISIONS:
10/17/2022
11/10/2022



CONSULTING ENGINEERS	DATE: 10/13/2022
SITE DEVELOPMENT ENGINEERS	JOB NO: 8779.02
LAND SURVEYORS	FILENAME: 8779.04SUB-01
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	SHEET 2 OF 3

FINAL PLAT OF 1700 WEST HIGGINS ROAD SUBDIVISION

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
COOK COUNTY, ILLINOIS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

MARINER HIGGINS CENTRE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT(S) THIS PLAT OF SUBDIVISION AND ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES, DEDICATES THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON, AS THEY APPLY.

By: _____

NAME: _____

TITLE: _____

NOTARY PUBLIC CERTIFICATE

STATE OF _____)
) ISS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

OF _____ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH. GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CONSENT OF MORTGAGEE CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

VOYA RETIREMENT INSURANCE AND ANNUITY COMPANY, A CONNECTICUT CORPORATION BY: VOYA INVESTMENT MANAGEMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS AUTHORIZED AGENT, WHICH IS THE HOLDER OF A MORTGAGE DATED AS OF _____, 20____,

AND RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDER, ILLINOIS ON _____, 20____ AS

DOCUMENT NO. _____ ENCUMBERING THE PROPERTY DESCRIBED ON THIS PLAT OF SUBDIVISION, HEREBY CONSENTS TO THE RECORDING OF THIS PLAT OF SUBDIVISION AND AGREES THAT ITS LIEN SHALL BE SUBJECT TO THE PROVISIONS OF THIS PLAT OF SUBDIVISION.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS CAUSED THIS CONSENT TO BE EXECUTED ON _____, 20____.

ATTEST: _____, A _____

By: _____

NAME: _____

TITLE: _____

NOTARY CERTIFICATE

STATE OF _____)
) ISS
COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____

BY _____, THE _____, AND _____, THE _____

SECRETARY OF _____, A _____, WHICH INDIVIDUALS ARE KNOWN TO ME TO BE THE IDENTICAL PERSONS WHO SIGNED THE FOREGOING INSTRUMENT AS SUCH OFFICERS OF THE CORPORATION FOR AND ON BEHALF OF SAID CORPORATION, AND THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, AND AS THE FREE AND VOLUNTARY ACT AND DEED OF THE CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

SIGNATURE OF NOTARY _____

SEAL

MY COMMISSION EXPIRES: _____

UTILITY CERTIFICATES

AN EASEMENT FOR SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND NATURAL GAS AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

AT&T, ILLINOIS BELL TELEPHONE CO. (AMERITECH)

APPROVED BY: _____, ON THIS _____ DAY OF _____, 20____.

COMMONWEALTH EDISON COMPANY

APPROVED BY: _____, ON THIS _____ DAY OF _____, 20____.

NORTHERN ILLINOIS GAS COMPANY (NICOR)

APPROVED BY: _____, ON THIS _____ DAY OF _____, 20____.

COMCAST

APPROVED BY: _____, ON THIS _____ DAY OF _____, 20____.

WIDE OPEN WEST

APPROVED BY: _____, ON THIS _____ DAY OF _____, 20____.

PUBLIC UTILITY EASEMENTS PROVIDED, SHALL BE FOR THE USE OF MUNICIPAL SEWER AND WATER LINES, STORM DRAINAGE AND PUBLIC UTILITY LINES, LINES FOR ANY CABLE TELEVISION FRANCHISE GRANTED BY THE CITY, AND OTHER MUNICIPAL USES.

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

OWNER _____ REGISTERED PROFESSIONAL ENGINEER _____
NAME: _____ NAME: _____
DATE: _____ FIRM: _____
DATE: _____
(SEAL)

MAYOR AND CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON _____, 20____.

THIS _____ DAY OF _____, A.D. 20____.

SIGNED: _____ MAYOR

ATTEST: _____ CITY CLERK

PLANNING AND ZONING BOARD CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

APPROVED BY THE CITY PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____.

SIGNED: _____ CHAIRMAN

DIRECTOR OF FINANCE CERTIFICATE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATE: _____ DIRECTOR OF FINANCE _____

DIRECTOR OF PUBLIC WORKS AND ENGINEERING CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON _____, 20____.

THIS _____ DAY OF _____, A.D. 20____.

SIGNED: _____ DIRECTOR OF PUBLIC WORKS AND ENGINEERING

ILLINOIS DEPARTMENT OF TRANSPORTATION ACCEPTANCE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

APPROVED ON THIS _____ DAY OF _____, 20____.

ANTHONY J. QUIGLEY, P.E.
REGION ONE ENGINEER

VEHICULAR ACCESS NOTES

1. THERE SHALL BE, AT MOST, ONE (1) VEHICULAR ACCESS TO ILLINOIS 72 (HIGGINS ROAD) FROM LOT 1, AS SHOWN HEREON.
2. THERE SHALL BE NO VEHICULAR ACCESS TO ILLINOIS 72 (HIGGINS ROAD) FROM LOT 2.
3. ALL OTHER VEHICULAR ACCESS SHALL BE VIA INTERNAL CIRCULATION.

ZONING VARIATION STATEMENT

THE APPLICANT IS ALSO REQUESTING THREE MAJOR VARIANCES:
ZONING VARIATION GRANTED _____ FOR ZONING CASE NUMBER 22-049-FPUB-FPLAT-V TO ALLOW THE FOLLOWING ZONING VARIATIONS:

- 1) VARIATION REQUEST FOR LOT 1 TO REDUCE THE PARKING REQUIREMENT FROM 541 SPACES TO 247 SPACES PURSUANT TO 12-9-7 OF THE ZONING ORDINANCE.
- 2) VARIATION REQUEST FOR LOT 2 TO REDUCE THE PARKING REQUIREMENT FROM 110 SPACES TO 63 SPACES PURSUANT TO 12-9-7 OF THE ZONING ORDINANCE.

SUBDIVISION VARIATION GRANTED _____ FOR ZONING CASE NUMBER 22-049-FPUB-FPLAT-V TO ALLOW THE FOLLOWING ZONING VARIATIONS:

- 1) VARIATION FOR LOT 3 AND LOT 4 TO REDUCE THE 125' LOT DEPTH REQUIREMENT TO 6' PURSUANT TO 13-2-5-R OF THE SUBDIVISION REGULATIONS.
- 2) VARIATION FOR LOT 3 AND LOT 4 TO REMOVE THE REQUIREMENT THAT SAID LOTS SHALL FRONT UPON A DEDICATED, PUBLIC STREET PURSUANT TO 13-2-5.V OF THE SUBDIVISION REGULATIONS.

RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER DETENTION AREA (NO HOA)

1. THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORM WATER DETENTION AREA" SHALL BE CONTINUOUSLY MAINTAINED IN A FIRST RATE MANNER BY OWNERS OF LOT 2 ON WHICH THE STORM WATER DETENTION AREA IS LOCATED (A "DETENTION AREA LOT") AND AN EASEMENT ON, UNDER AND ABOVE THE STORM WATER DETENTION AREA IS HEREBY GRANTED TO, AND FOR THE USE AND BENEFIT OF, ALL OF THE LOTS IN THIS SUBDIVISION FOR THE SOLE PURPOSE OF STORM WATER DETENTION AND DRAINAGE.
2. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN THE STORM WATER DETENTION AREA, NOR SHALL ANY CONSTRUCTION OF ANY KIND WHATSOEVER BE ERRECTED OR PERMITTED TO EXIST WITHIN THE STORM WATER DETENTION AREA THAT MIGHT MATERIALLY IMPED STORM WATER DRAINAGE THEREIN OR MATERIALLY REDUCE THE STORM WATER DETENTION CAPACITY THEREOF. TREES, SHRUBS, FENCES AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN THE STORM WATER DETENTION AREA ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS (THE "CITY").
3. IN THE EVENT THE CITY DETERMINES, IN ITS SOLE AND ABSOLUTE DISCRETION, THAT PROPER MAINTENANCE OF THE STORM WATER DETENTION AREA IS NOT PERFORMED AT ANY TIME, THE CITY, AFTER TEN (10) DAYS PRIOR WRITTEN NOTICE TO THE OWNERS OF THE DETENTION AREA LOTS, MAY, BUT SHALL NOT BE OBLIGATED TO, ENTER UPON ANY OR ALL OF THE DETENTION AREA LOTS FOR THE PURPOSE OF PERFORMING MAINTENANCE WORK ON AND TO THE STORM WATER DETENTION AREA.
4. IN THE EVENT THAT THE CITY SHALL CAUSE TO BE PERFORMED ANY WORK PURSUANT TO THESE PARAGRAPHS, THE CITY SHALL HAVE THE RIGHT TO CHARGE THE OWNERS OF THE DETENTION AREA LOTS AN AMOUNT SUFFICIENT TO DEFRAY THE ENTIRE COST OF SUCH WORK OR ACTION, INCLUDING ADMINISTRATIVE COSTS, EITHER BEFORE OR AFTER SUCH COST IS INCURRED. IF THE AMOUNT SO CHARGED IS NOT PAID BY THE OWNERS OF THE DETENTION AREA LOTS WITHIN THIRTY (30) DAYS FOLLOWING A DEMAND IN WRITING BY THE CITY FOR SUCH PAYMENT, SUCH CHARGE, TOGETHER WITH INTEREST AND COSTS OF COLLECTION, SHALL BECOME A LIEN UPON THE DETENTION AREA LOTS AND THE CITY SHALL HAVE THE RIGHT TO COLLECT SUCH CHARGE, WITH INTEREST AND COSTS, AND TO ENFORCE SUCH LIEN AS IN FORECLOSURE PROCEEDINGS AS PERMITTED BY LAW.
5. NOTHING IN THESE PARAGRAPHS SHALL BE CONSTRUED TO CONSTITUTE A DEDICATION OF ANY PORTION OF THE STORM WATER DETENTION AREA OR OF THE DETENTION AREA LOTS TO, OR AN ACCEPTANCE THEREOF BY, THE CITY.
6. THE CITY SHALL BE UNDER NO OBLIGATION TO EXERCISE THE RIGHTS GRANTED IN THESE PARAGRAPHS EXCEPT AS IT SHALL DETERMINE TO BE IN ITS BEST INTEREST, NO FAILURE TO EXERCISE AT ANY TIME ANY RIGHT HEREIN GRANTED TO THE CITY SHALL BE CONSTRUED AS A WAIVER OF THAT OR ANY OTHER RIGHTS.
7. THESE COVENANTS SHALL RUN WITH THE LAND IN THE SUBDIVISION SHOWN ON THIS PLAT, AND SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE OWNERS OF ALL LOTS OF RECORD THEREIN, THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND GRANTEEES AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM. ENFORCEMENT OF THESE COVENANTS MAY BE SOUGHT BY THE OWNERS OF ANY LOTS OF RECORD IN THIS SUBDIVISION, ANY INTEREST IN ANY OF SAID LOTS OF RECORD, OR THE CITY OF DES PLAINES BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT, EITHER TO RESTRAIN VIOLATION, TO COMPEL AFFIRMATIVE ACTION OR TO RECOVER DAMAGES, AND AGAINST THE LAND TO ENFORCE ANY LIEN CREATED BY THESE COVENANTS.

EASEMENT FOR STORM SEWER

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM SEWER" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY.

EASEMENT FOR STORM WATER DRAINAGE

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, AND TO, AND FOR THE USE AND BENEFIT OF, THE OWNERS OF ALL OF THE LOTS IN THIS SUBDIVISION, FOR THE SOLE PURPOSE OF STORM WATER DRAINAGE, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM WATER DRAINAGE" ON THIS SUBDIVISION PLAT. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE ERRECTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF. TREES, SHRUBS, FENCES, AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES. EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM WATER DRAINAGE" LOCATED ON IT SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE "EASEMENT FOR STORM WATER DRAINAGE", AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNERS OF LOTS ON WHICH ANY "EASEMENT FOR STORM WATER DRAINAGE" IS LOCATED SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM WATER DRAINAGE" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES.

EASEMENT FOR PUBLIC UTILITIES

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREON, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL IN NO MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR PUBLIC UTILITIES" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

NOTE:
SEE DECLARATION OF COVENANTS, CONDITION SAND RESTRICTIONS TO BE RECORDED AS PART OF THIS DEVELOPMENT.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT WE HAVE SURVEYED AND SUBDIVIDED THE PROPERTY AS HEREON DESCRIBED, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

WE FURTHER DECLARE THAT STEEL RE-INFORCING RODS (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT CORNERS, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF DES PLAINES CITY CODE THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAT PLAN.

WE FURTHER DECLARE THAT BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) PANEL NUMBER 357 OF 832, COMMUNITY NUMBER 170156, MAP NUMBER AND MAP NUMBER 1701560357 WITH AN EFFECTIVE DATE OF AUGUST 19, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) - AREA OF MINIMAL FLOOD HAZARD, ZONE X (SHADED) - 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE; AND ZONE AE (HATCH) - REGULATORY FLOODWAY AS IDENTIFIED BY SAID F.I.R.M. MAP.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 2022, IN ROSEMONT, ILLINOIS.

C. BRIAN LOUNSBURY, I.P.A.S. No. 035-2841
LICENSE EXPIRES: 11-30-2024

PREPARED FOR & OWNER:
NEXTGEN HOTELS
550 EAST DEVON AVENUE
SUITE 110
ITASCA, ILLINOIS 60143

AFTER RECORDING RETURN TO: _____ SEND TAX BILLS TO: _____

FOR REVIEW
PURPOSES ONLY

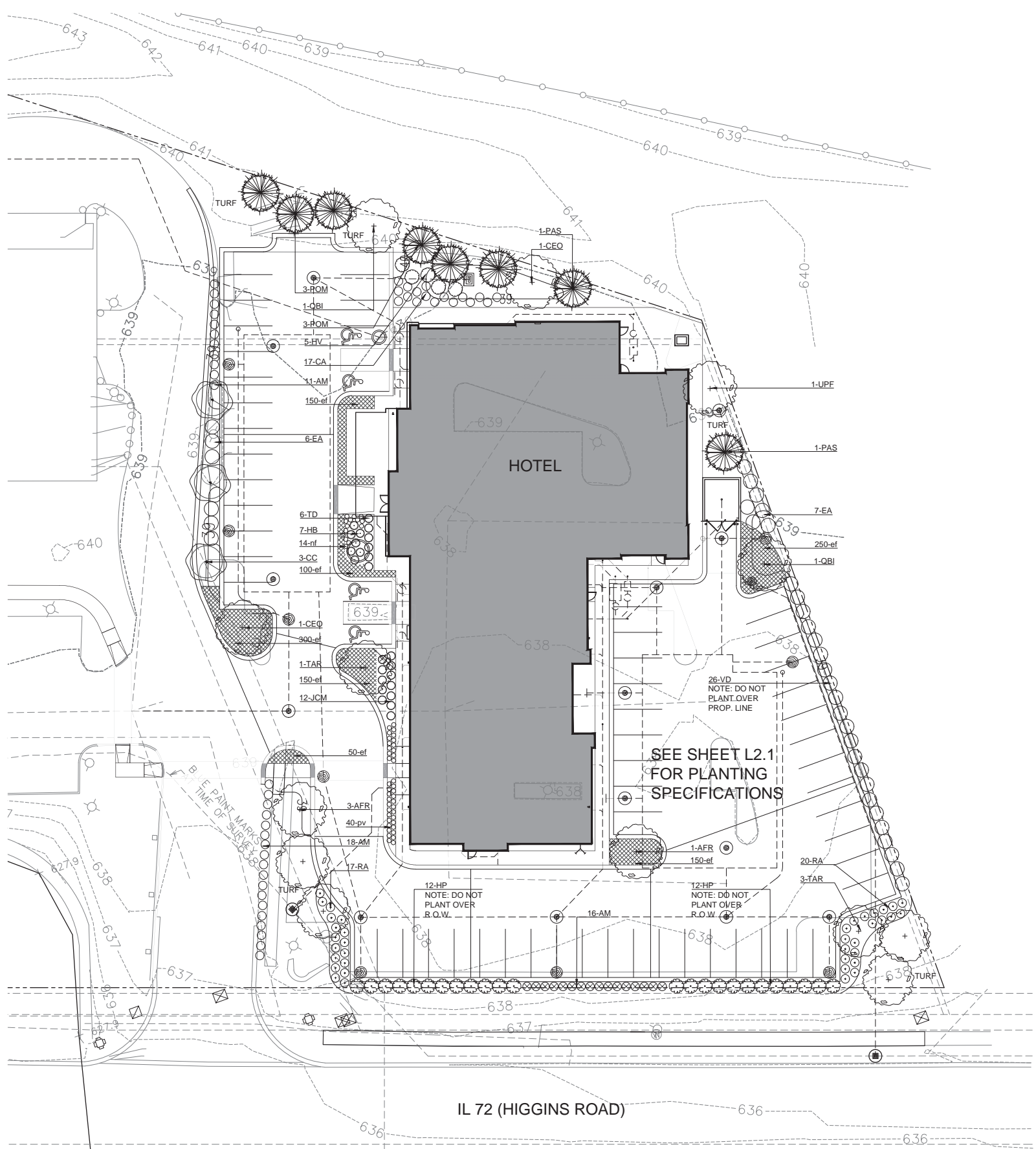
REVISIONS:
10/17/2022
11/10/2022



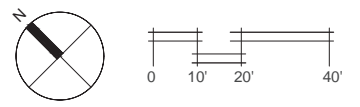
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 10/13/2022
JOB NO: 8779.02
FILENAME: 8779.04SUB-01
SHEET 3 OF 3



OVERALL LANDSCAPE PLAN
SCALE: 1" = 20'-0"



Master Plant List						
Shade Trees						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
AFR	4	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		MOIST
CEO	2	CELTUS OCCIDENTALIS	HACKBERRY	3" BB		URBAN, MOIST
QBI	2	QUERCUS BICOLOR	SWAMP WHITE OAK	3" BB	NATIVE	
TAR	4	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVE	URBAN, MOIST
UPF	1	ULMUS PAVIFLORA 'FRONTIER'	FRONTIER ELM	3" BB		URBAN
Evergreen Trees						
PAS	2	PICEA AIBES	NORWAY SPRUCE	8" BB		
POM	6	PICEA OMORIKA	SERBIAN SPRUCE	8" BB		URBAN
Ornamental Trees						
CC	3	CRATAEGUS CRUSGALLI VAR. INERMIS	THORNLESS HAWTHORN	6" BB		
Evergreen Shrubs						
JCM	12	JUNPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24" BB		
TD	6	TAXUS x MEDIA 'DENSII'	DENSE YEW	24" BB		
Deciduous Shrubs						
AM	45	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	24" BB	NATIVE	
CA	17	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	5 GAL		
EA	13	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	36" BB		
HV	5	HAMMAMELIS VERNALIS	VERNAL WITCH-HAZEL	48" BB	NATIVE	
HB	24	HYDRANGEA PANICULATA 'LVOBO'	BOBO HYDRANGEA	24" BB		
HP	24	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB		
RA	37	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	NATIVE	
VD	26	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48" BB	NATIVE	
Groundcover						
ef	1250	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		
Perennials						
nf	14	NEPETA X FAASSENII	FAASSENS CATMINT	1 GAL		12" LAVENDER
Grasses						
pv	40	PANICUM VIRGATUM 'NORTH WIND'	SWITCH GRASS	3 GAL		4'

LANDSCAPE REQUIREMENT SUMMARY

INTERIOR PARKING LOT LANDSCAPING

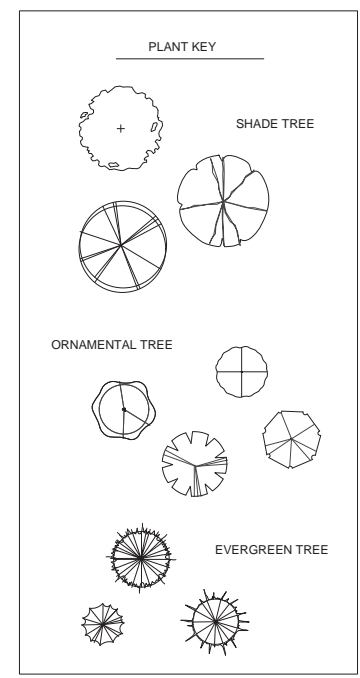
PARKING LOT AREA	23,580 SF
REQUIRED INTERIOR GREEN SPACE (5%)	1,179 SF
PROPOSED INTERIOR GREEN SPACE	4,560 SF
REQ. INTERIOR SHADE TREES (1:100 SF)	12
PROPOSED INTERIOR SHADE TREES	12

PERIMETER LANDSCAPE

PERIMETER LENGTH	313 LF
REQUIRED SHADE TREES (1:40 LF)	8
PROPOSED SHADE TREES	1
PROPOSED EVERGREEN TREES	8

NOTE: DUE TO SITE CONSTRAINTS, THE NUMBER OF TREES ON THE PERIMETER HAS BEEN LIMITED. ADDITIONAL TREES ARE PROPOSED IN OTHER LOCATIONS.

REQUIRED SHRUBS (1:3')	104
PROPOSED SHRUBS	108



Kathryn Talty
landscape architecture
Winnetka, Illinois 60093
847.612.5154
www.kmtaltdesign.com



no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	11-02-22

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

LANDSCAPE PLAN
MASTER PLANT LIST

date	11-01-22	drawn	DW	checked	KMT
job no.	22470				
sheet no.	L 1.1				

GENERAL CONSTRUCTION NOTES

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP OF THE ROOT ZONES AND/OR WITHIN THE DRILLPIECE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

LANDSCAPE MAINTENANCE SPECIFICATIONS

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the project landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative.

All seasonal color selections shall be approved by the Owner's Representative prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results:

	Landscape Trees & Shrubs	Turf
pH Range	5.0-7.0	6.0-7.0
Organic Matter	>1.5%	>2.5%
Magnesium (Mg)	100+lbs./acre	100+lbs./acre
Phosphorus (P2O5)	150+lbs./acre	150+lbs./acre
Potassium (K2O)	120+lbs./acre	120+lbs./acre
Soluble salts	Not to exceed 900ppm/1.9 mmhos/cm in soil; not to exceed 1400 ppm/2.5 mmhos/cm in high organic mix	Not to exceed 750ppm/0.75 mmhos/cm in soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Boron	3 pounds per acre
Manganese	50 pounds per acre
Potassium (K2O)	450 pounds per acre
Sodium	20 pounds per acre

WORKMANSHIP

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP
Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING

Turf grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall. From June through September, mowing height shall be maintained at no less than 3".

The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Mechanical weeders should NOT be used around trees because of potential damage to the bark.

EDGING

Edging of all sidewalks, curbs and other paved areas shall be performed once to every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

FERTILIZING

Seasonally stepped fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. Read the label prior to applying any chemical.

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. Do not shear trees or shrubs. If previous maintenance practice has been to shear and ball, then a natural shape will be restored gradually.

Pruning Guidelines:

- Prune plants that flower before the end of June (spring blooming) immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce the spring flowering display.
- Prune plants that flower in July - September (summer or autumn blooming) in winter or spring before new growth begins, since these plants develop flowers on new growth.
- Delay pruning plants grown for ornamental fruits, such as Cotoneseasters and Viburnums.
- Hollies and other evergreens may be pruned during winter in order to use your branches for seasonal decoration. However, severe pruning of evergreens should be done in early spring only.
- Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off.
- Hedges or shrubs that require shearing to maintain a formal appearance shall be pruned as required. Dead wood shall be removed from sheared plants before the first shearing of the season.
- Conifers shall be pruned, if required, according to their genus.
 - Yews, Junipers, Hemlocks and Arborvites may be pruned after new growth has hardened off in late summer.
 - If severe pruning is necessary, it must be done in early spring.
 - Birns and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
 - Pines may be lightly pruned in early June by reducing candles.
- Groundcover shall be edged and pruned as needed to contain it within its borders.
- Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating excessive growth. Thinning is used on Crab Apples, Lilacs, Viburnums, etc.
- Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on Forsythia, Hydrangea, Spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of work.

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

FERTILIZING

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Eriaceous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

TREES, SHRUBS, & GROUND COVER (CONT.)

MULCHING

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract. For an additional charge, plant pathogenic diseases that can be resolved through properly timed applications of fungicides shall be made when the owner authorizes it.

If the contractor notes an especially insect-or disease-prone plant species in the landscape, he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent with the intent of the landscape design.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is Insects that feed on Trees and Shrubs by Johnson and Lyon, Comstock Publishing Associates. For plant pathogenic diseases, two references are suggested: Scouting and Controlling Woody Ornamental Diseases in Landscapes and Nurseries, authorized by Gary Mooman, published by Penn State College of Agricultural Sciences, and Diseases of Trees and Shrubs by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL

The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL

All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall perform supplemental leaf removals.

WINTER CLEAN-UP

The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

Clean-up includes:

- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

- After flowering, cut off spent flower heads.
- Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded. Cut off at base.
- Allow leaves of other bulbs to yellow naturally and then cut off at base.
- Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate of 2 pounds per 1000 square feet or top-dress with compost 1" deep. Fall fertilization with a bulb fertilizer or mulching with 1" of compost is optional.

Flower Rotation:

- Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner and install new plants if included in contract.
- Summer Annuals or Fall Plants:
 - Dead heading: Pinch and remove dead flowers on annuals as necessary.
 - Fertilizing Summer Annuals: Fertilize using one or two methods: Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of 20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100 gallons of water, monthly, or mulch with compost 1" deep.
 - Removal: If fall plants are to be installed, summer annuals shall be left in the ground until the first killing frost and then removed, unless otherwise directed by the owner.

Perennials:

- After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
- The following year:
 - Fertilize perennials with a slow-release fertilizer or any 50% organic fertilizer, or mulch perennials with compost 1" deep.
 - Cut all deciduous perennials flush to the ground by March 1, if this was not done the previous fall, to allow new growth to develop freely.
 - Mulch the perennial bed once in early spring at 1"-2" depth. If soil is bare in late fall, re-mulch lightly after the ground is frozen to protect perennials.
 - Inspect for insect or disease problems on perennials. Monitor and control slugs on hostas and ligularias. Powdery mildew on phlox, monardas, and asters can be prevented with properly timed fungicides or use of disease-resistant varieties.
 - Weed perennial bed as specified in "WEEDING" above.
 - Prune branching species to increase density. Cut only the flowering stems after blooming. Do not remove the foliage.
- The following fall cut back deteriorating plant parts unless instructed to retain for winter interest, e.g. Sedum Autumn Joy and ornamental grasses.
- Long-term Care:
 - Divide plants that overcrowd the space provided. Divide according to the species. Some need frequent dividing, e.g. asters and yarrow every two years; other rarely, if ever, e.g. peonies, hostas, and asilbe.
 - For detailed information regarding the care of specific perennials, refer to All About Perennials by Ortho; Perennials: How to Select, Grow and Enjoy by Pamela Harper and Frederick McGouty, Hp Books Publisher; Herbaceous Perennial Plants: A Treatise on their Identification, Culture and Garden Attributes by Allan Armitage, Stepes Pub LLC.

SUMMARY OF MAINTENANCE

LAWN MAINTENANCE

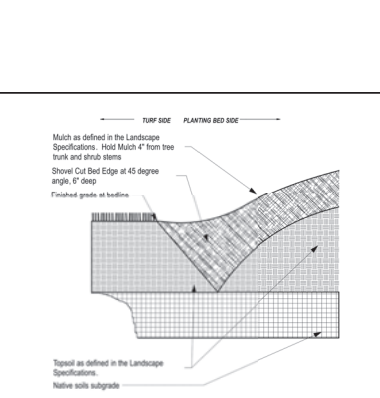
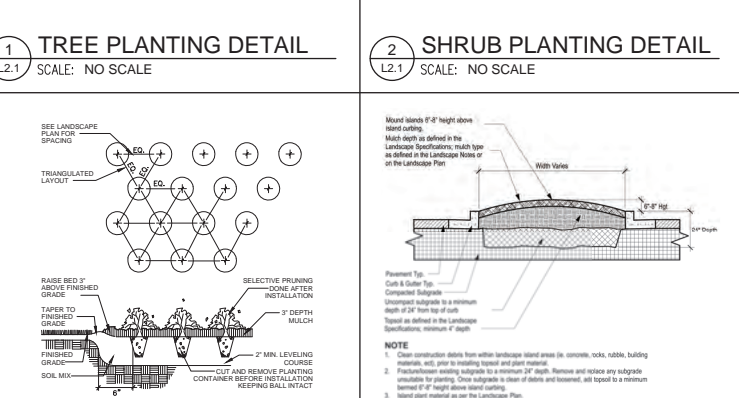
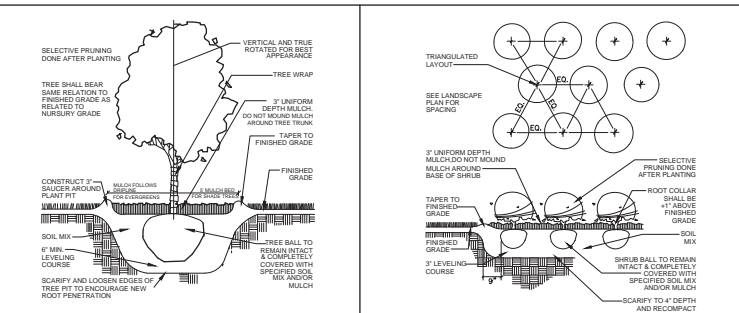
- Soil analysis performed annually to determine pH. If pH does not fall within specified range, adjust according to soil test recommendations.
- Maintain proper fertility and pH levels of the soil to provide an environment conducive to turf vitality for turf grasses.
- Mow turf on a regular basis and as season and weather dictates. Remove no more than the top 1/3 of leaf blade. Clippings on paved and bed areas will be removed.
- Aerate warm season turf areas to maintain high standards of turf appearance.
- Apply pre-emergent to turf in two applications in early February and early April to extend barrier.
- Apply post emergent as needed to control weeds.
- Mechanically edge curbs and walks.
- Apply non-selective herbicide, to mulched bed areas and pavement and remove excess runners to maintain clean defined beds.

TREE, GROUND COVER AND SHRUB BED MAINTENANCE

- Prune shrubs, trees and groundcover to encourage healthy growth and create a natural appearance.
- Mulch to be applied in February/March with a half rate in late summer to top dress.
- Apply pre-emergent herbicides in February and April.
- Manual weed control to maintain clean bed appearance.
- Apply fungicides and insecticides as needed to control insects and diseases.
- Ornamental shrubs, trees and groundcovers to be fertilized three (3) times per year with a balanced material (January/February, April/May, and October/November)
- Edge all mulched beds.
- Remove all litter and debris.

GENERAL MAINTENANCE

- Remove all man-made debris, blow edges.
- Inspect grounds on a monthly basis and schedule inspection with Unit Operator.



no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	11-02-22

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

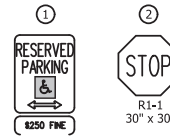
CONSTRUCTION NOTES
PLANTING DETAILS
LANDSCAPE INSTALLATION AND
MAINTENANCE SPECIFICATIONS

date	1-1-01-22	checked	KMT
drawn	KMT	checked	KMT
job no.	22470		
sheet no.	L 2.1		

NOTES:

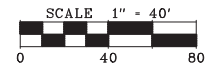
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER IS REVERSE PITCH (PITCH OUT) 8.6.12 UNLESS OTHERWISE NOTED.
3. SEE SHEET GN FOR PAVEMENT SECTIONS.
4. ALL ON-SITE PAVEMENT MARKINGS SHALL BE PAINT UNLESS OTHERWISE NOTED.
5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
6. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DESIGN AND DETAILS OF THE HOTEL.

SIGN LEGEND:



LEGEND

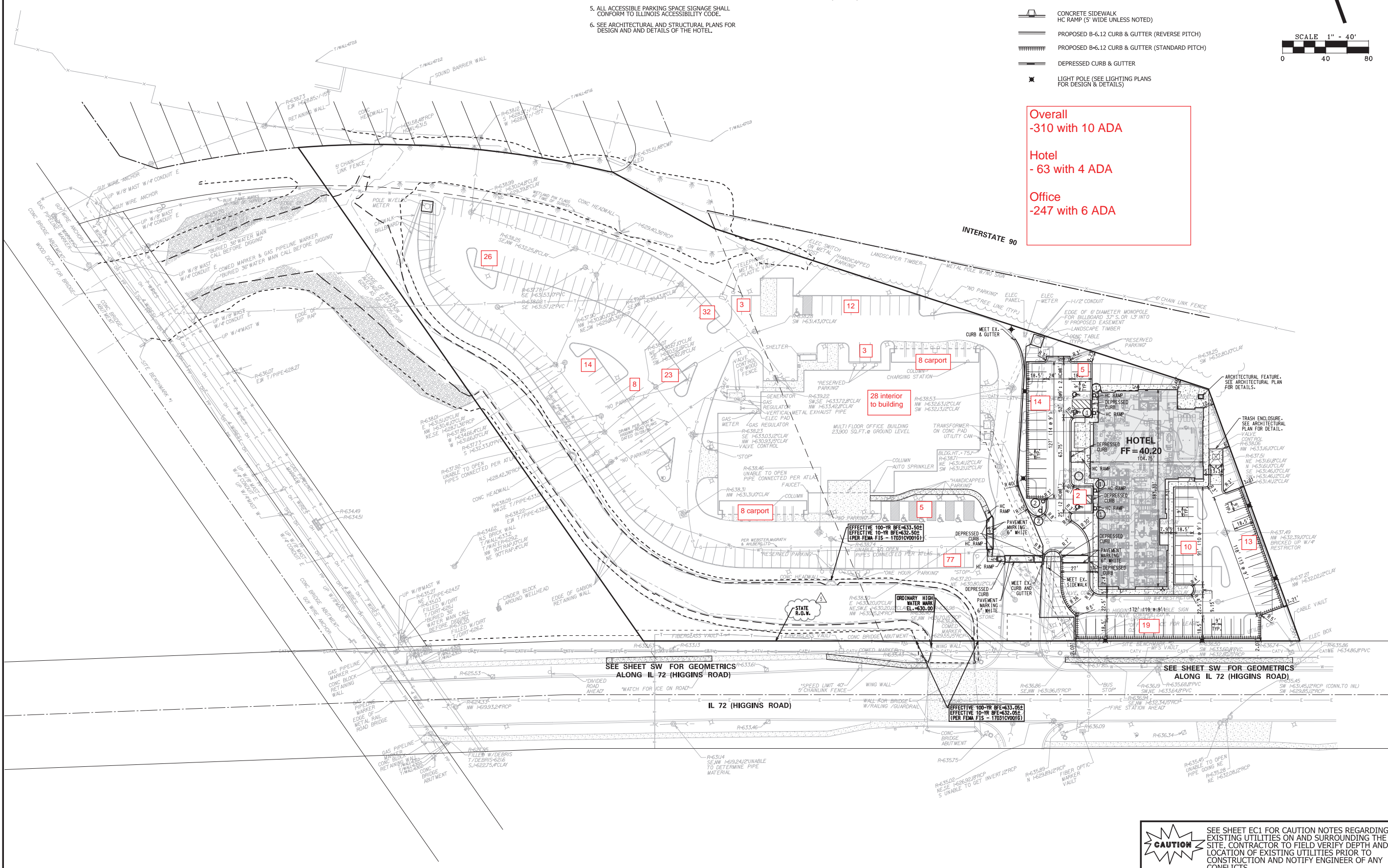
- HMA PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
- PROPOSED B-6.12 CURB & GUTTER (REVERSE PITCH)
- PROPOSED B-6.12 CURB & GUTTER (STANDARD PITCH)
- DEPRESSED CURB & GUTTER
- LIGHT POLE (SEE LIGHTING PLANS FOR DESIGN & DETAILS)



Overall
-310 with 10 ADA

Hotel
-63 with 4 ADA

Office
-247 with 6 ADA



SEE SHEET SW FOR GEOMETRICS ALONG IL 72 (HIGGINS ROAD)

SEE SHEET SW FOR GEOMETRICS ALONG IL 72 (HIGGINS ROAD)

IL 72 (HIGGINS ROAD)

CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.04GM1

DATE:
10/10/22

JOB NO.
8779.04

SHEET
GM1
6 OF 31

Traffic and Parking Impact Study Proposed Hotel

Des Plaines, Illinois



Prepared For:



October 12, 2022

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic and parking impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed hotel to be located at 1700 W. Higgins Road in Des Plaines, Illinois. As proposed, the 107-room hotel will occupy an outlot parcel within the parking lot that serves the existing office building. Access will continue to be provided via the existing access drive that is signalized at its intersection with Higgins Road.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed hotel.

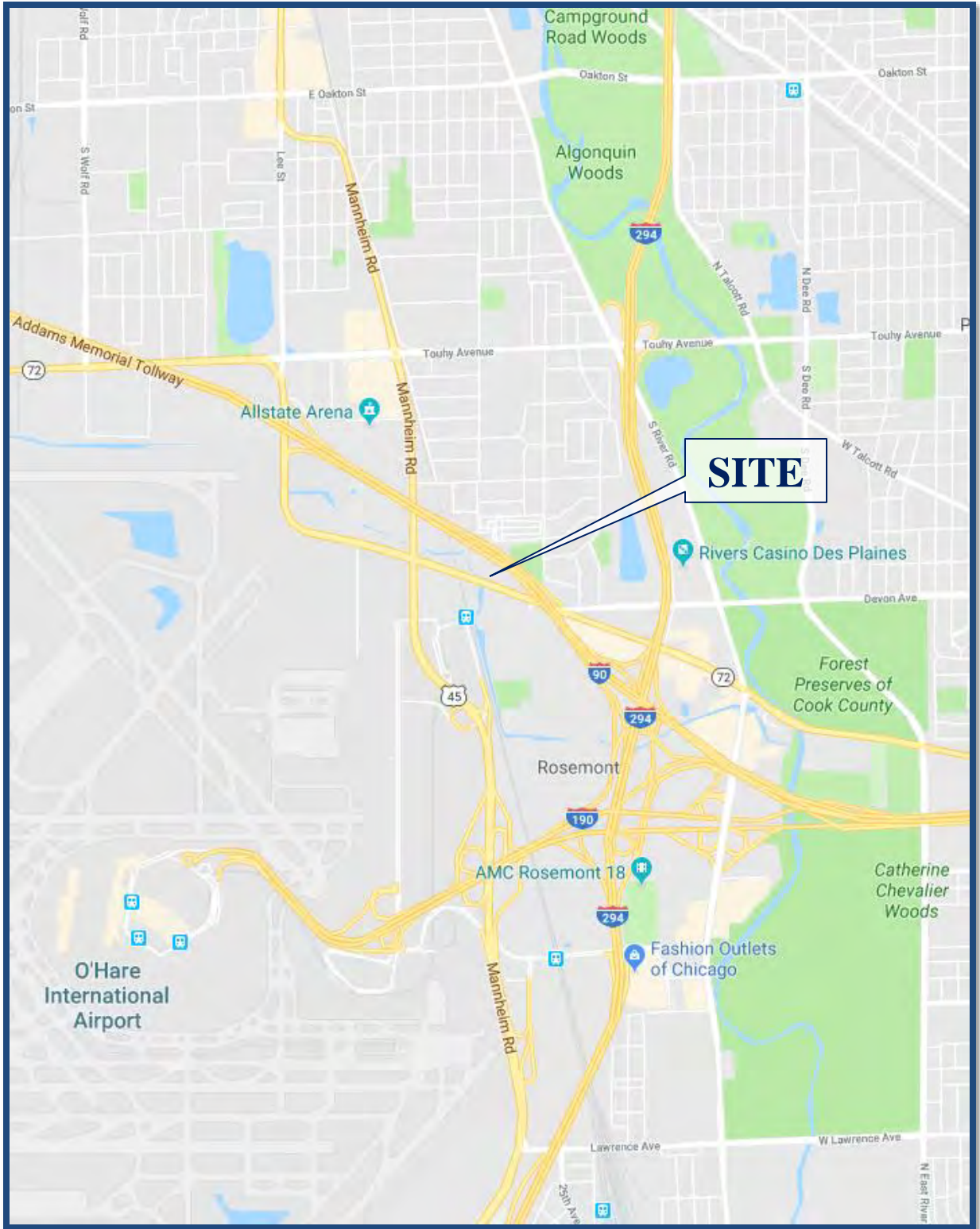
Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed hotel
- Directional distribution of the hotel traffic
- Vehicle trip generation for the proposed hotel
- Future traffic conditions including access to the proposed hotel
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system
- Evaluation of the parking needs of the office building and the proposed hotel

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Condition - Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Projected Condition – Analyzes the projected traffic volumes which includes the existing traffic volumes increased by an ambient area growth factor (growth not attributable to any particular development) and the traffic estimated to be generated by the proposed hotel.



Site Location

Figure 1



Aerial View of Site

Figure 2

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

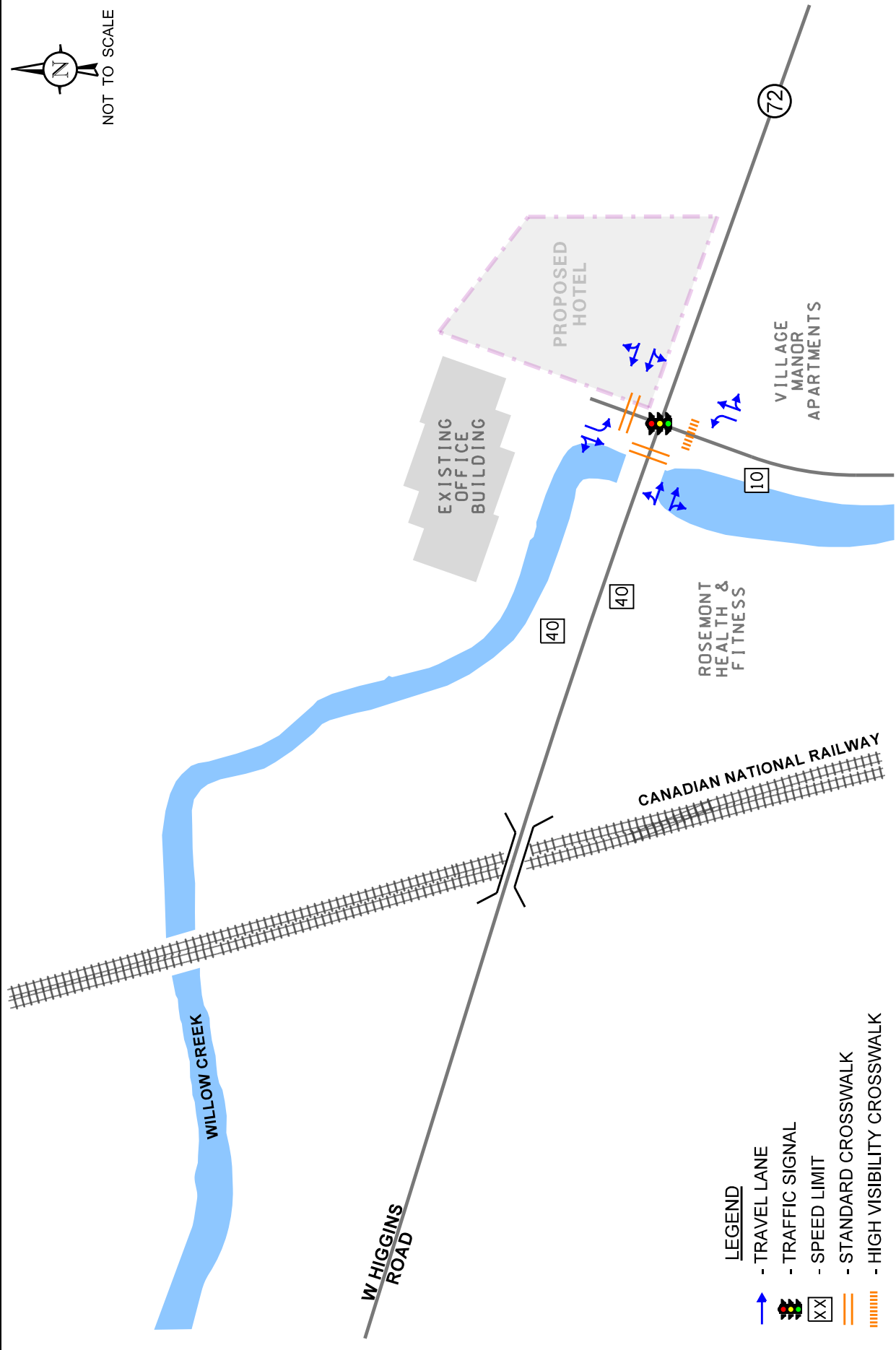
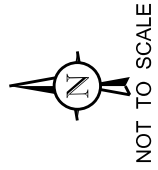
The site, which is currently occupied by a six-story, 135,204 square-foot office building and a 392-space parking lot, is located east of the Canadian National Railway tracks at 1700 West Higgins Road. Land uses in the vicinity of the site include Rosemont Health & Fitness to the south, a park to the east, the Canadian National Railway tracks to the west, and Interstate 90 (I-90) to the north.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

Higgins Road (IL 72) is an east-west minor arterial that provides two through lanes in each direction. At its signalized intersection with the access drive serving Rosemont Health & Fitness and the access drive serving the existing office building, Higgins Road provides a combined through/left-turn lane and a combined through/right turn lane on both approaches. Additionally, Higgins Road provides a standard style crosswalk on the west leg of this intersection. Higgins Road is under the jurisdiction of the Illinois Department of Transportation (IDOT), is not classified as a Strategic Regional Arterial (SRA) in the vicinity of the site, carries an Annual Average Daily Traffic (AADT) volume of 23,900 vehicles (IDOT 2017), and has a posted speed limit of 40 miles per hour.

It should be noted that the access drive serving Rosemont Health & Fitness and the access drive serving the existing office building provide an exclusive left-turn lane and a combined through/right-turn lane on their approaches at their signalized intersection with Higgins Road. Additionally, the existing office building access drive and the Rosemont Health & Fitness access drive provide a standard style crosswalk on the north leg and a high-visibility crosswalk on the south leg of this intersection. Furthermore, the traffic signal is interconnected to the adjacent traffic signals at Mannheim Road to the west and Scott Street to the east.



- LEGEND**
- TRAVEL LANE
 - TRAFFIC SIGNAL
 - SPEED LIMIT
 - STANDARD CROSSWALK
 - HIGH VISIBILITY CROSSWALK

Proposed Hotel
Des Plaines, Illinois

Existing Roadway Characteristics

Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts using Miovision Scout Video Collection Units on Wednesday, April 3, 2019 during the weekday morning (7:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:00 P.M.) peak periods at the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site.

The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:30 A.M. to 8:30 A.M. and the weekday evening peak hour of traffic occurs from 4:45 P.M. to 5:45 P.M. **Figure 4** illustrates the existing peak hour traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.

Crash Analysis

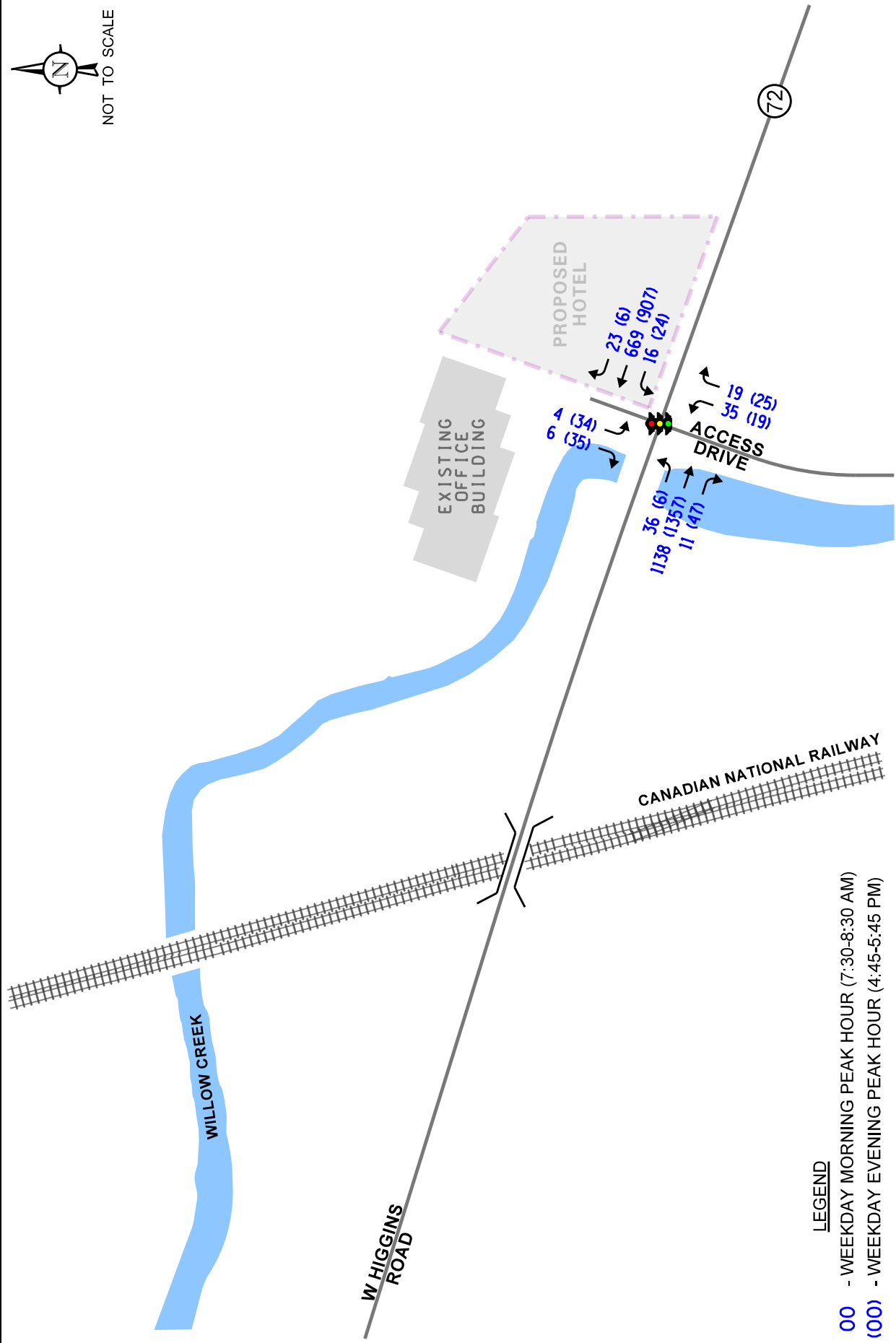
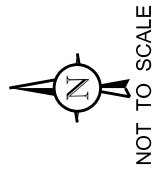
KLOA, Inc. obtained crash data¹ from IDOT for the most recent available five years (2013 to 2017) for the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site. The crash data for this intersection is summarized in **Table 1**. A review of the crash data indicated that no fatalities were reported at this intersection.

Table 1

HIGGINS ROAD WITH ROSEMONT HEALTH & FITNESS – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Pedestrian	Object	Rear End	Sideswipe	Turning	Other	
2013	0	0	0	2	0	2	0	4
2014	0	0	0	3	0	5	0	8
2015	1	0	1	0	0	1	0	3
2016	1	0	0	0	0	2	0	3
2017	0	0	0	3	0	0	0	3
Total	2	0	1	8	0	10	0	21
Average	<1.0	0	<1.0	1.6	0	2.0	0	4.2

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



LEGEND

- 00** - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
Des Plaines, Illinois

Existing Traffic Volumes

3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

As proposed, the 107-room hotel will occupy an outlot parcel within the parking lot that serves the existing office building. In addition, approximately 63 parking spaces will serve the hotel. Access to the site will continue to be provided via the existing access drive that is signalized at its intersection with Higgins Road. A copy of the preliminary site plan depicting the proposed development and access is included in the Appendix.

Directional Distribution

The directions from which patrons and employees of the proposed hotel will approach and depart the site, as determined from the traffic counts, indicate that approximately 40 percent will approach and depart the site from the east and approximately 60 percent will approach and depart the site from the west.

Estimated Site Traffic Generation

The volume of traffic generated by the proposed hotel was estimated using data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 11th Edition. “All Suites Hotel” (Land-Use Code 311) was used for the proposed hotel. It should be noted that at the time the traffic counts were conducted, the existing 135,204 square-foot office building contained 74,291 square feet of vacant space. The “General Office Building” (Land-Use Code 710) was used for the vacant space that will be converted into office uses. **Table 2** tabulates the estimated trips for the proposed hotel as well as the full occupancy of the vacant space within the office building. The trip rate graphs are included in the Appendix.

Table 2
 ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily
		In	Out	Total	In	Out	Total	
311	All Suites Hotel (107 rooms)	19	17	36	19	20	39	440
710	General Office Building ¹ (74,291 s.f.)	114	16	130	22	108	130	896
Total New Trips		133	33	132	41	128	125	1,336

¹ Vacant office space

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

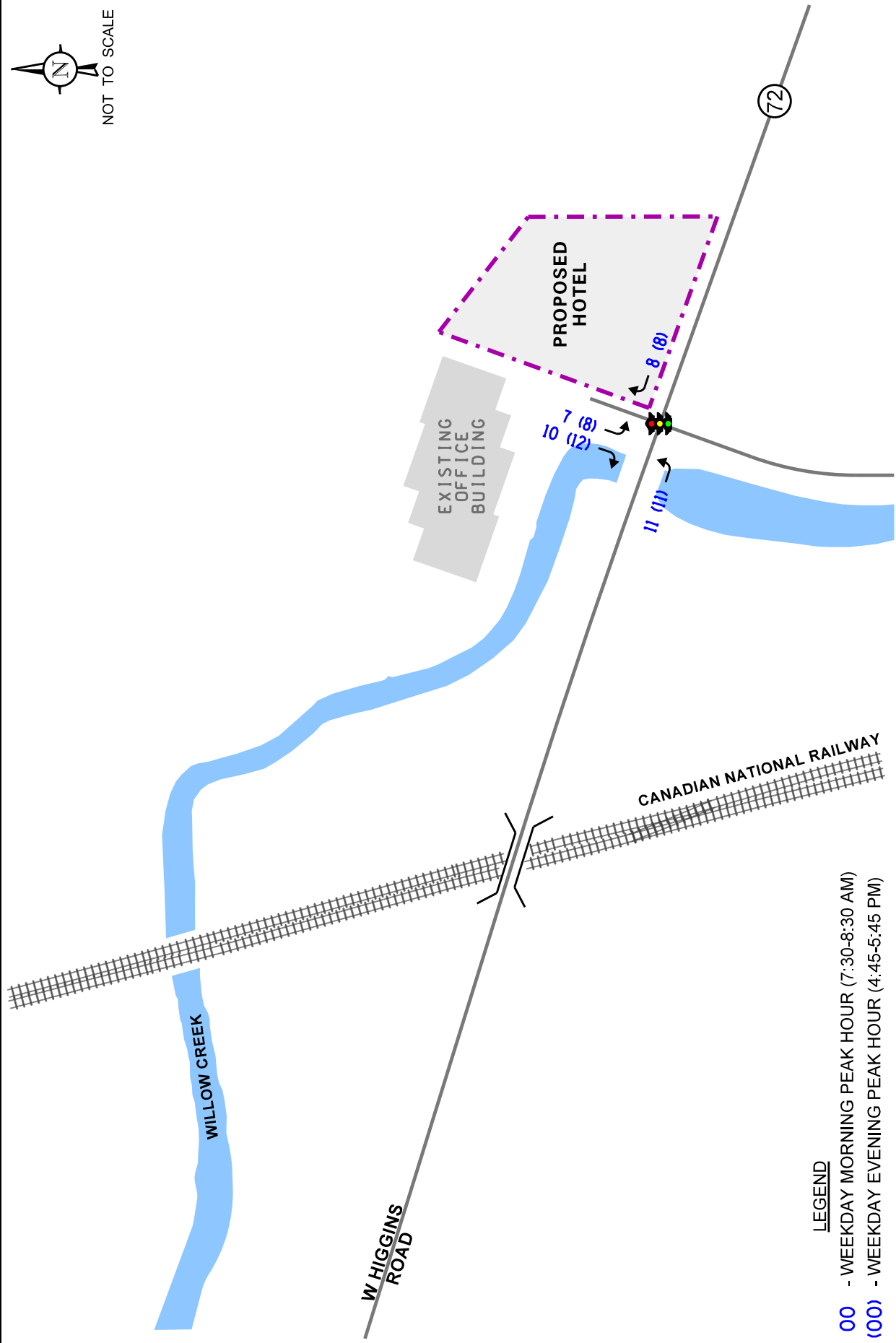
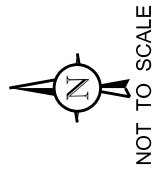
The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed hotel and full occupancy of the office building were assigned to the roadway system in accordance with the previously described directional distribution. The site traffic assignment for the proposed hotel is illustrated in **Figure 5** and the total site traffic assignment for the hotel and the full occupancy of the office vacant space is illustrated in **Figure 6**.

Background Traffic Conditions

The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on 2050 Average Daily Traffic (ADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated April 24, 2019, the existing traffic volume were increased by four percent to represent Year 2027 total projected conditions. A copy of the CMAP 2050 projections letter is included in the Appendix.

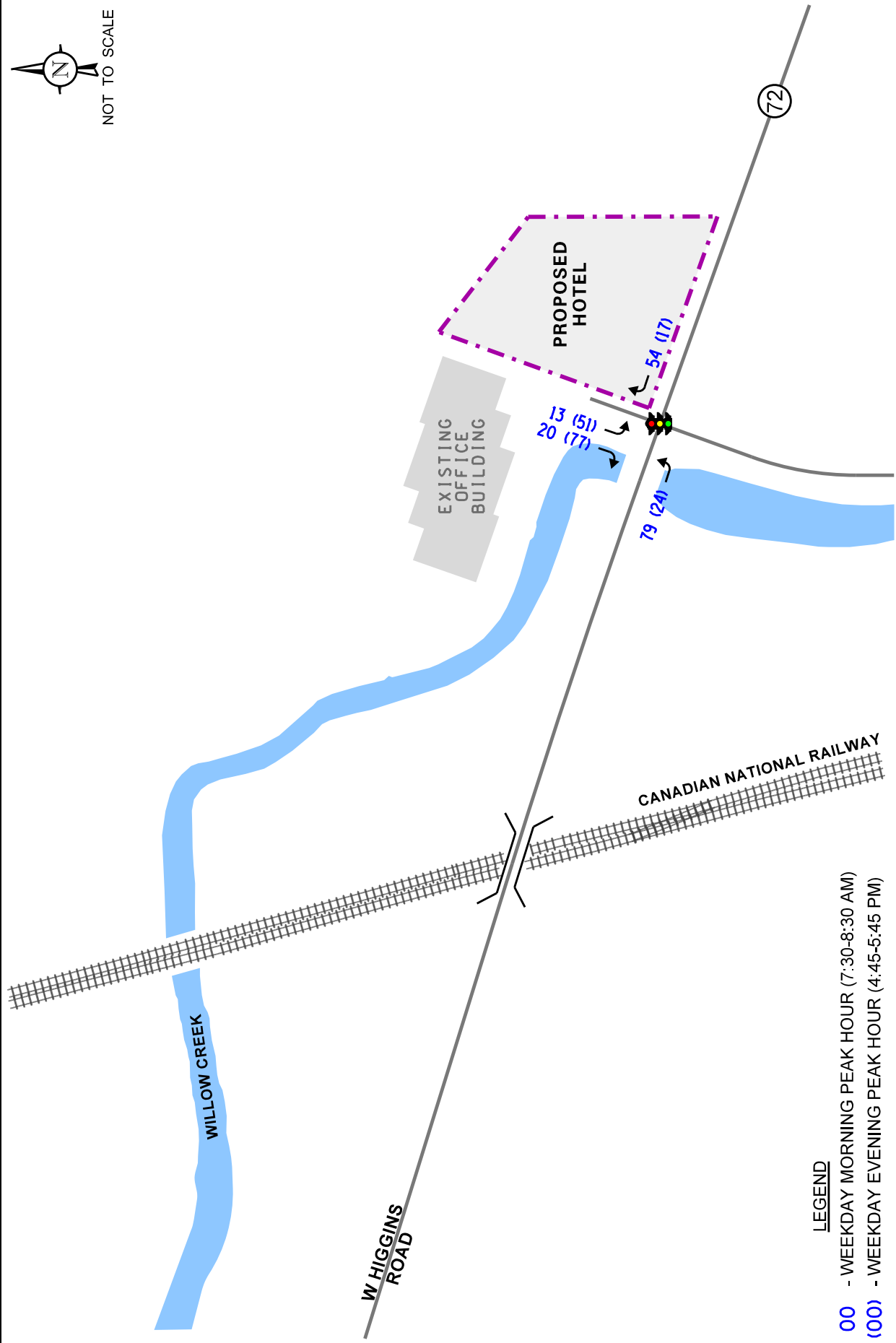
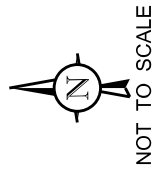
Total Projected Traffic Volumes

The development-generated traffic (Figure 6) was added to the existing traffic volumes increased by a regional growth factor to determine the Year 2027 total projected traffic volumes, as illustrated in **Figure 7**.



Estimated Site-Generated Traffic Volumes
(Hotel)

Proposed Hotel
Des Plaines, Illinois

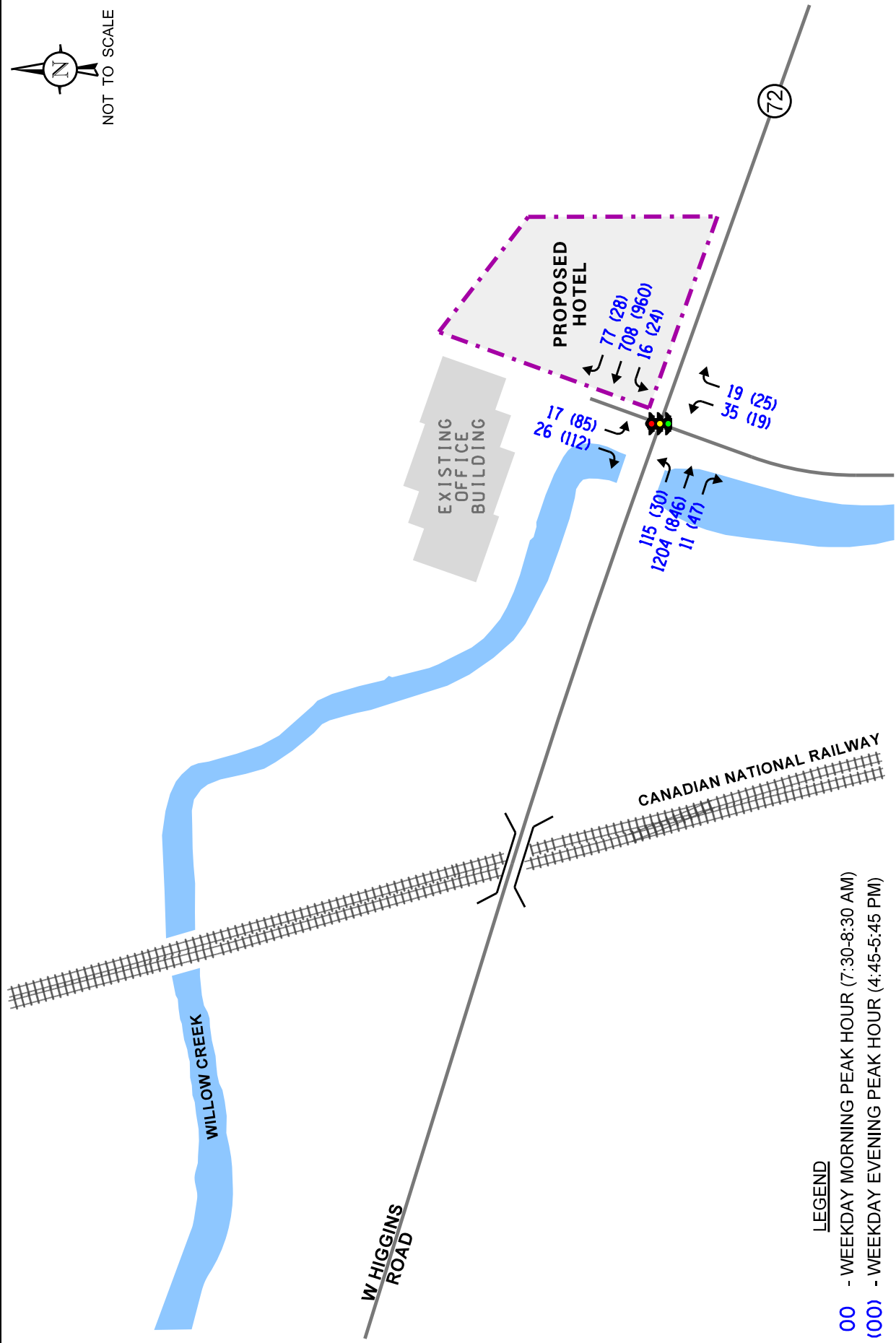
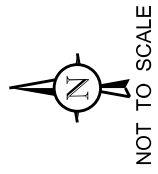


LEGEND

- 00** - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
Des Plaines, Illinois

Estimated Total Site-Generated Traffic Volumes



LEGEND

- 00** - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
Des Plaines, Illinois

Total Projected Traffic Volumes

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the existing (Year 2019) and future projected (Year 2027) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 6th Edition* and analyzed using Synchro/SimTraffic 11 computer software. The analyses for the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness was completed utilizing actual cycle lengths, phasings, and offsets.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2027 total projected conditions are presented in **Table 3**. A discussion of the intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 3
CAPACITY ANALYSIS RESULTS – HIGGINS ROAD WITH THE ROSEMONT HEALTH & FITNESS ACCESS DRIVE – SIGNALIZED

Year 2019 Existing Conditions	Peak Hour	Eastbound		Westbound		Northbound		Southbound		Overall
		L/T/R	L/T/R	L	T/R	L	T/R	L	T/R	
Year 2019 Existing Conditions	Weekday Morning Peak Hour	A 3.9	A 2.9	D 52.6	D 47.6	D 45.0	D 45.2	D – 45.1	A 5.0	
				E 59.4	E 59.2	E 64.6	E 61.7			
				E – 59.3		E – 63.1				
Year 2027 Total Projected	Weekday Morning Peak Hour	A 5.9	A 3.1	D 52.7	D 47.5	D 47.8	D 48.7	D – 48.3	A 6.8	
				D – 50.9		E – 48.3				
				D – 51.0		E – 66.0				
Year 2027 Total Projected		A 5.3	A 5.4	D – 51.0		E – 66.0		B 11.8		

Letter denotes Level of Service; Delay is measured in seconds.
L = Left Turn, T = Through, R = Right Turn

Discussion and Recommendations

The following summarizes how the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site is projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development traffic.

Higgins Road with the Rosemont Health & Fitness/Site Access Drives

The results of the capacity analysis indicate that overall this intersection currently operates at Level of Service (LOS) A during the weekday morning and evening peak hours. It should be noted that the eastbound and westbound approaches currently operate at LOS A during both peak hours. Furthermore, the northbound and southbound approaches currently operate at LOS D during the weekday morning peak hour and at LOS E during the weekday evening peak hour.

Under projected conditions, the intersection is projected to operate at LOS A during the weekday morning peak hour and at LOS B during the weekday evening peak hour with increases in delay of approximately one second and four seconds, respectively. It should be noted that the eastbound and westbound approaches are projected to continue to operate at LOS A during the weekday morning and evening peak hours with increases in delay of approximately three seconds or less during both peak hours. Furthermore, the northbound approach is projected to operate at LOS D during both peak hours with increases in delay of less than one second. Additionally, the southbound approach is projected to operate at LOS D during the weekday morning peak hour and at LOS E during the weekday evening peak hour with increases in delay of less approximately three seconds. As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed hotel.

Parking Evaluation

A parking evaluation to assess the adequacy of the parking supply of the office building in accommodating the increase in parking demand that will be generated by the full occupancy of the office building and the parking demand that will be generated by the proposed hotel was conducted. In order to do that, the following was obtained/determined:

- Current occupancy of the building and utilization of the parking lot
- Projected parking demand of the proposed hotel
- Adequacy of the available parking within the parking lot of the office building in accommodating the increase in parking demand

Existing Office Occupancy

Based on information provided by Colliers, the existing office building currently has an occupancy of 72 percent with a maximum parking demand of 160 spaces. The site currently has 392 parking spaces including 358 outdoor spaces, 28 indoor spaces, and six handicap parking spaces.

Parking Demand Adjustments

As indicated above, the office building has approximately 37,857 square feet of vacant space. In order to determine the parking demand of the fully occupied office building, the parking demand of the vacant space was estimated based on the existing peak parking demand. As a result, the peak parking demand of the fully occupied office building will be 222 spaces.

Parking Demand of the Proposed Hotel

It should be noted that the proposed hotel will occupy the southeast corner of the lot, which provides parking to the existing office building, resulting in a loss of approximately 82 parking spaces. As such, the site will provide a total parking supply of 310 spaces.

The parking demand of the proposed hotel was estimated based on the City of Des Plaines Zoning Code and on parking rates published by ITE in its *Parking Generation Manual*, 5th Edition. Land-Use Code 311 (“All Suites Hotel”) was utilized. Below is a breakdown of the required parking spaces based on the two sources.

- City of Des Plaines Zoning Code
 - 107 parking spaces (ratio of one space per guestroom, plus one space per 200 square feet of area devoted to offices). No area devoted to offices within the hotel was assumed in the study.
- ITE *Parking Generation Manual*, 5th Edition
 - 82 parking spaces (ratio of 0.77 spaces per rooms)

The parking demand for the all-suites hotel for both methods was distributed on an hourly basis based on information provided in the ITE *Parking Generation Manual*.

Table 4 summarizes the projected hourly parking demand for the proposed hotel. Based on these methodologies, the following parking demand of the proposed hotel was determined:

- Peak parking demand based on the City of Des Plaines Code will be 107 vehicles occurring between 12:00 A.M. and 4:00 A.M.
- Peak parking demand based on ITE rates will be 82 vehicles occurring between 12:00 A.M. and 4:00 A.M.
- Peak parking demand (between 5:00 A.M. and 7:00 P.M.) based on the City of Des Plaines Code will be 95 spaces occurring at 5:00 A.M. and 6:00 A.M.
- Peak parking demand (between 5:00 A.M. and 7:00 P.M.) based on the City of Des Plaines Code will be 73 spaces occurring at 5:00 A.M. and 6:00 A.M.

Table 4
PROJECTED WEEKDAY HOURLY PARKING DEMAND - HOTEL

Time	City of Des Plaines Zoning Code	ITE Rates
5:00 AM	95	73
6:00 AM	95	73
7:00 AM	87	66
8:00 AM	77	59
9:00 AM	76	58
10:00 AM	51	39
11:00 AM	44	34
12:00 PM	31	24
1:00 PM	32	25
2:00 PM	27	21
3:00 PM	36	28
4:00 PM	46	35
5:00 PM	41	31
6:00 PM	43	33
7:00 PM	39	30

Total Projected Parking Demand

The total projected parking demand of the overall site was calculated adding the projected parking demand for the proposed hotel to the projected parking demand of the office building assuming full occupancy. The hourly parking demand for the office was estimated based on ITE's hourly parking distribution. It should be noted that in order to provide for a conservative analysis, the highest hourly parking demand for the hotel was based on the City of Des Plaines Code. **Table 5** shows the total projected hourly parking demand for the site.

A review of Table 5 indicates that the projected peak parking demand for the overall site will be 363 vehicles (91 percent occupancy) occurring at 10:00 A.M. with a surplus of 38 parking spaces.

Therefore, the results of the parking evaluation show that the proposed parking supply of 401 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses.

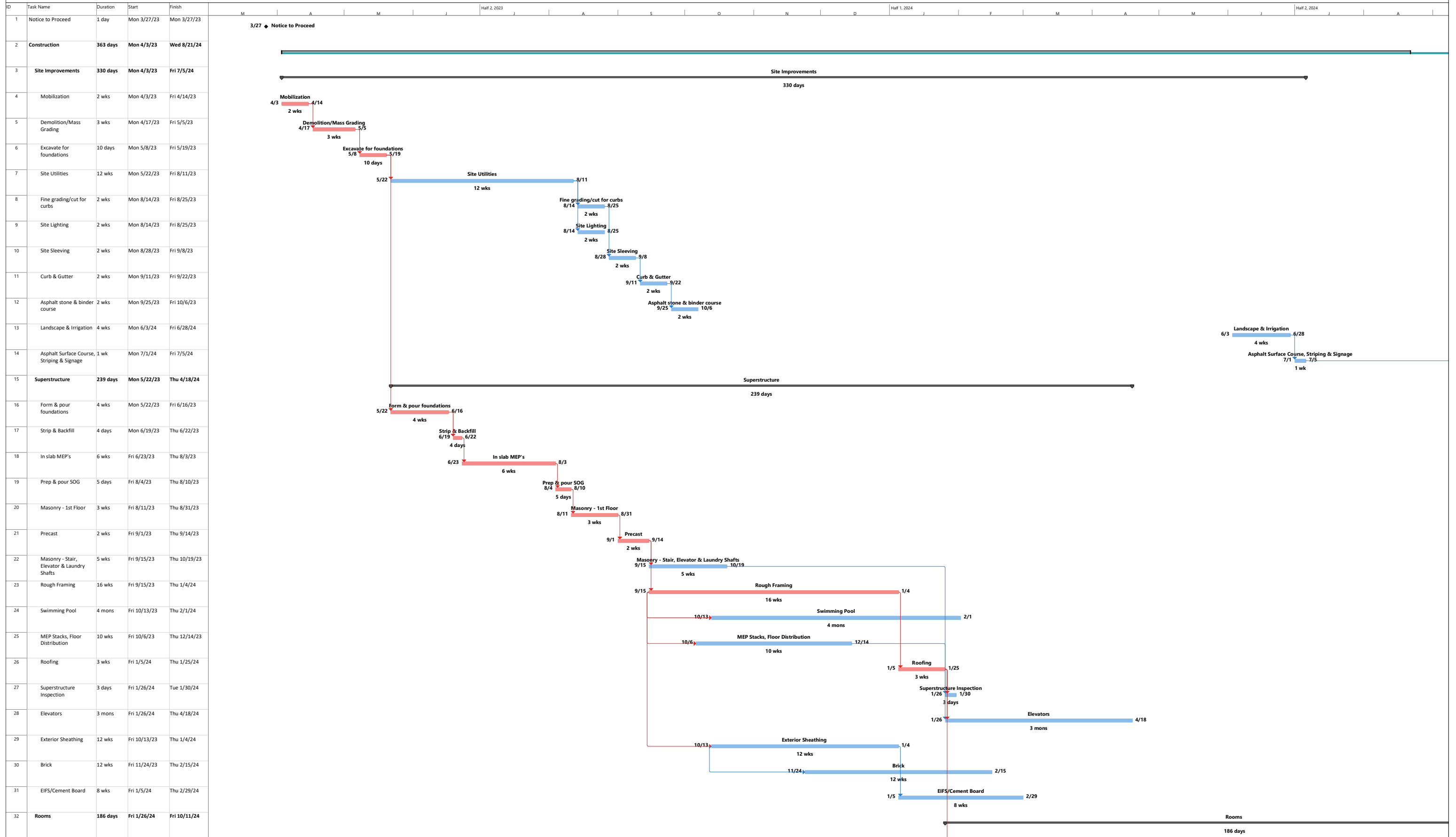
Table 5
WEEKDAY TOTAL PROJECTED PARKING DEMAND

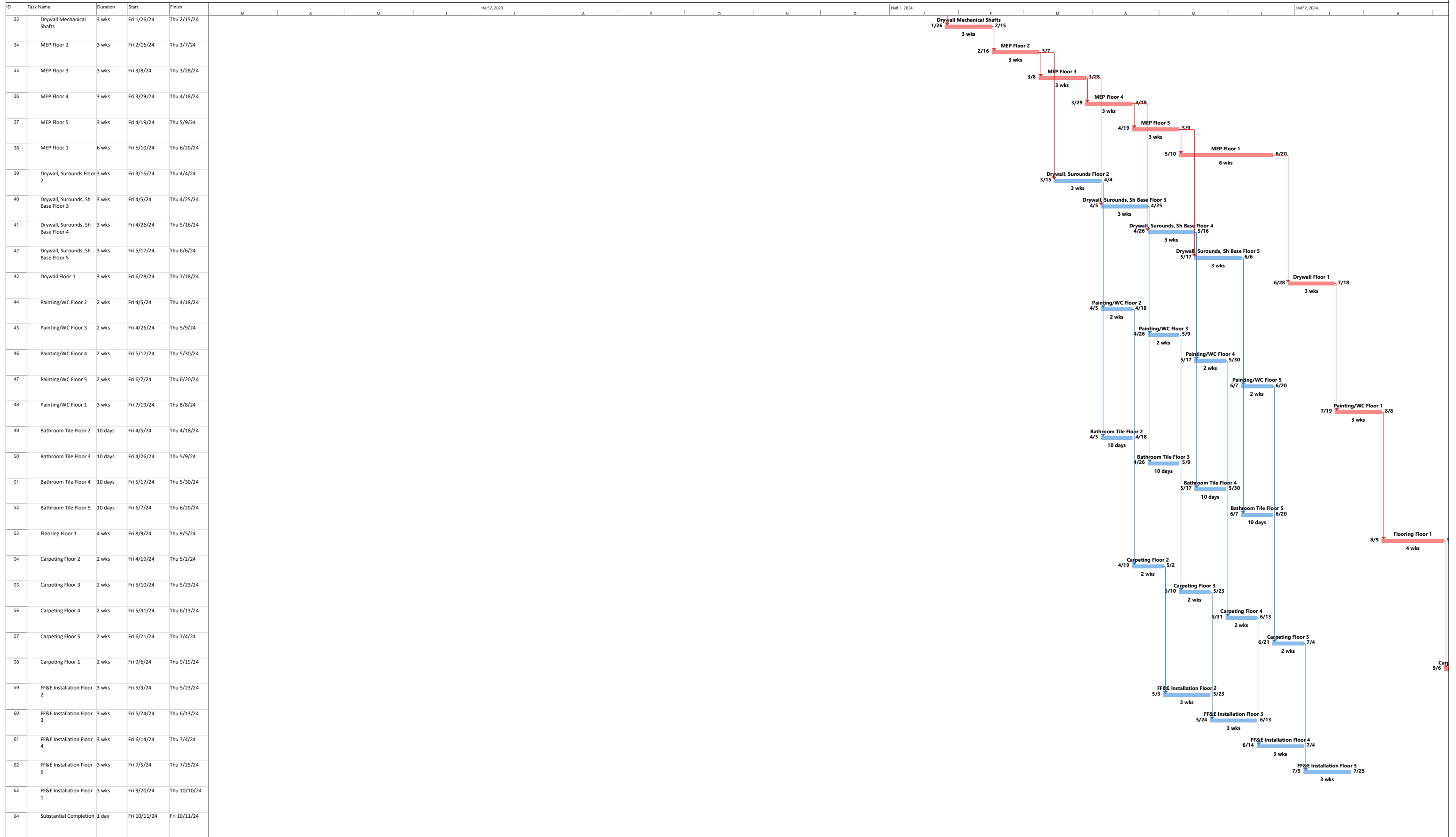
Time	Office	Hotel	Total	Surplus	Percent Occupancy
6:00 AM	20	95	115	195	37
7:00 AM	29	87	116	194	37
8:00 AM	107	77	184	126	59
9:00 AM	195	76	271	39	87
10:00 AM	222	51	273	37	88
11:00 AM	222	44	266	44	86
12:00 PM	189	31	220	90	71
1:00 PM	186	32	218	92	70
2:00 PM	206	27	233	77	75
3:00 PM	209	36	245	65	79
4:00 PM	189	46	235	75	76
5:00 PM	124	41	165	145	53
6:00 PM	44	43	87	223	28
7:00 PM	24	39	63	247	20
Proposed Parking Supply: 310 spaces					

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The traffic that will be generated by the proposed hotel will not be significant.
- The existing signalized access drive off Higgins Road has adequate reserve capacity to accommodate the increase in traffic resulting from the proposed hotel as well as the full occupancy of the office building.
- The results of the parking evaluation indicate that the proposed number of parking spaces will be adequate in accommodating the projected peak parking demand of both land uses.
- The projected peak parking demand could be lower than that estimated in the evaluation given that some of the customers of the hotel will be employees of the adjacent office building.





MEMORANDUM

Date: November 18, 2022

To: Planning and Zoning Board (PZB)

From: Samantha Redman, Associate Planner

Cc: John T. Carlisle, AICP, Director of Community and Economic Development

Subject: Zoning Text Amendments Regarding Definition of “Park” and Associated Off-Street Parking Requirement

Issue: Consider Zoning Ordinance amendments to: (i) revise the term “Park” in Section 12-13-3 to allow for private ownership and (ii) amend the off-street parking requirement in Section 12-9-7 for “Parks-outdoor” to reduce the amount of parking required for parks that are one acre or less.

PIN: Citywide

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Case Number: #22-050-TA

Project Summary: The City of Des Plaines is applying for zoning text amendments to facilitate development and re-development of existing and future recreational space within the City.

Background

The current definition of “Park” in Section 12-13-3 defines and provides an overview of the typical uses for parks, including any accessory uses. The definition also states a park must be owned by one of three public entities to be classified as a park. The definition states:

“A City, park district, or County owned public recreation facility which may be improved with a combination of active recreation areas such as field game areas, court game areas, crafts, playground apparatus, passive recreation areas, such as picnicking, and/or other facilities, such as swimming pools, recreation centers, and on site parking. Concession sales, indoor and outdoor art, craft, and plant shows, exhibits, and sales, and temporary or seasonal tree sales are considered accessory uses for parks of over five (5) acres in size.”

The origin of this definition is Ordinance Z-7-13, part of a series of text amendments to the Zoning Ordinance

in 2013 to update definitions and use matrices to better “reflect responsible development patterns.”¹ Several commercial recreational uses are newly defined within Ordinance Z-7-13 alongside “parks,” and the City’s intent in adding the definitions was to distinguish between commercial and non-commercial recreational uses. “Indoor commercial recreation” and “outdoor commercial recreation” are similar to “park,” but they identify the uses as operating on a commercial or membership basis. To draw a sharp distinction at the time, the “Park” definition included the requirement to be “...City, park district, or County owned...”

Parks are permitted by right in the majority of zoning districts, including all residential districts, the mobile home park district, most commercial districts, and the institutional district. No specific standards exist within the Zoning Ordinance about park design or other City expectations. This guidance exists in Section 13-4-2 of the Subdivision Regulations, which require the dedication of park land for residential developments or subdivisions with more than fifteen (15) dwelling units, or payment of fee in lieu. Most residential development subject to these requirements is completed by private developers.

Section 13-4-2 lists the amount of land required for dedication and depends on the estimated number of people generated by a proposed development. The “service area” of the park is matched to the required size and type of park; a service area is the area intended to be served by park or recreational purposes. For example, a 15-unit development that is estimated to generate 2.5 residents per unit (a total of 38 residents) would require 0.21 acres of recreation area, which would serve a half-mile radius surrounding the new park or recreational space. The table below appears in Section 13-4-2.A and outlines the types of recreation areas and requirements.

Types Of Recreation Area	Size Range	Service Area (Approximate Distance)	Minimum Acres Per 1,000
Neighborhood playground	1,200 - 4,000 sq. ft. +/-	0.5 mile	5.5 acres/1,000
Open space	0.2 - 4.5 acres	0.5 mile	5.5 acres/1,000
Mini park	0.15 - 1.0 acre	0.5 mile	5.5 acres/1,000
Neighborhood park	0.5 - 5 acres	2 miles	5.5 acres/1,000
Community park	5.0 - 75 acres	Citywide	5.5 acres/1,000

New developments may dedicate land to the city or park district to meet these requirements; however, this practice adds another facility requiring maintenance to the City or park district. An unintended consequence of limiting ownership in the current park definition to public entities is the prohibition of private and non-profit development and maintenance of parks for public access and benefit. An increasingly common trend in the last two decades is public-private partnerships or private ownership of park facilities within cities.² This trend shifts the burden of construction and maintenance of public spaces away from municipalities and park districts to developers either required to or keen to provide services to residents or tenants of their development. Smaller “pocket parks” may be challenging for park districts in many communities because these spaces require maintenance, but often are not large enough to provide an opportunity to build or provide robust programming.

Off-Street Parking Requirement

The off-street parking requirement for parks made its first appearance in the original 1998 Zoning Ordinance, preceding the definition of “park.” The requirement has remained unchanged since 1998 – a minimum of 2 spaces, plus 1 space for every ½ acre of park space is required for any outdoor park. However, an analysis of 50 parks and green spaces within the city (attached) has revealed 30 did not contain any off-street parking. Smaller parks within residential neighborhoods did not contain any off-street parking. In fact, no parks one acre or less in size contained off-street parking.

¹ City Council Staff Report for May 1, 2013 Meeting - Zoning Ordinance Text Amendments, Case #12-072-TA, page 2.

² Nemeth, J., & Schmidt, S. (2011). The privatization of public space: modeling and measuring. *Environment and Planning B: Planning and Design*, page 7.

Pursuant to Section 13-4-2, new park spaces of one acre or less are projected to have a service area of 0.5 miles. For the average person, this is an 8-15-minute walk.³; It is unlikely an individual would drive this distance for outdoor recreation instead of walking or riding a bike. If it is assumed smaller parks one acre or less in size are intended for pedestrians within the 0.5 mile service area, off-street parking is unnecessary. Neighborhood or pocket parks are intended to be enjoyed by the surrounding community rather than be a regional or communitywide destination that would necessitate a visitor driving to the park. This position is further supported by the existing land patterns of parks within the city, with no existing parks one acre or less containing off-street parking areas.

The current requirement also places a burden on any future redevelopment of existing parks. Pursuant to Section 12-5-5.E, existing parks not meeting the parking requirement are not required to come into conformance, but any expansion or enlargement of the park would require the site to follow all applicable parking requirements in Section 12, Chapter 9. Most smaller parks would not have space to accommodate the required parking and would require a reduction in usable park area and/or greenspace. Examples of these smaller parks, including photos and the service area per Section 13-4-2 is included as an attachment.

Revisions to the off-street parking requirements for parks are proposed below. Staff suggests eliminating parking requirements for parks one acre or less in size.

Examples in Other Municipalities and Maintaining Public Access

A survey of the Northwest Municipal Conference (NWMC) in October 2022 received fourteen (14) responses from municipalities in the north and northwest suburbs of Chicago about standards for parks in their zoning ordinances. Of the 14 responses, only three did not allow for private ownership of publicly accessible parks. The remainder either explicitly allowed for private parks, did not specify ownership in the definition or did not include a definition of park in their zoning ordinance. The municipalities also provided information on parking – of the 14 surveyed, four required off-street parking for parks and 11 did not.

Examples from these municipalities were used to shape the suggest revisions to the park definition. An important consideration during the revision process was maintaining the intent of the original park definition to provide *public* access to recreational facilities. Urban parks are a vital public good benefitting the quality of life, environment, economic value, and aesthetics of communities. However, maintaining public access to parks does not necessitate ownership by public entities; legal instruments such as recorded permanent easements and development agreements can establish a framework where the space must be open to the public but the maintenance and programming expenses lies with a private property owner. The proposed revisions to the definition maintain public access by requiring any park to maintain land for “the general public.”

Proposed Amendments

Amendments to the park definition and the parking requirements are suggested, shaped by staff analysis of the current Zoning Ordinance, existing park design, and trends in other cities and similar municipalities, as discussed above. Additions are **bold, double-underline**. Deletions are ~~struck through~~. Amended sections are provided with some surrounding, unamended text for context.

Section 12-13-3: DEFINITION OF TERMS

“PARK: A ~~City, park district, or County owned public recreation tract of land dedicated to, set aside, and maintained for recreational purposes of the general public facility which may be improved~~ and may include, without limitation, ~~with a combination, of~~ active recreation areas such as field game areas, court

³ Bohannon, R. W. (1997). Comfortable and maximum walking speeds of adults aged 20-79 years: reference values and determinants. *Age and Ageing*, page 17.

game areas, crafts, playground apparatus, passive recreation areas, such as turf and trees, picnicking, and/or other facilities, such as swimming pools and recreation centers, ~~on-site parking~~. Concession sales, indoor and outdoor art, craft, and plant shows, exhibits, and sales, and temporary or seasonal tree sales are considered accessory uses for parks of over five (5) acres in size.”

Section 12-9-7: OFF STREET PARKING REQUIREMENTS

Parks – Outdoor³	A minimum of 2 spaces, plus 1 space for every 1/2 acre
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3. No off-street parking is required for parks one acre or less in size.

Standards for Text Amendments:

The following is a discussion of standards for zoning amendments from Section 12-3-7.E of the Zoning Ordinance. Rationale for how the proposed amendments would satisfy the standards is provided. The PZB may use the statements below as its rationale or adopt its own.

1. Whether the proposed amendments are consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

Incorporating parks and open space is one of the overarching principles of the Comprehensive Plan and its goal is to “promote recreational facilities to boost the local economy”⁴. In fact, the plan discusses creating additional small-scale, pocket parks on underutilized or vacant lands⁵. The amendments provide additional flexibility for the development and ownership of parks and maximize the amount of usable recreation or greenspace by eliminating parking requirements on properties of one acre or less, which are likely to face space constraints if forced to accommodate paved off-street parking spaces.

PZB Modifications (if any): _____
_____.

2. Whether the proposed amendments are compatible with current conditions and the overall character of existing development;

Amendments to the park definition would create flexibility in the entities developing park spaces within the city, while maintaining the intent of the original definition of requiring public access. The definition allows for the private or non-profit development and long-term ownership and maintenance of parks, reducing the obligation for public entities.

As discussed within this staff report, no existing small parks (one acre or less in size) contain off-street parking. Eliminating this parking requirement matches existing conditions, allowing for the continued development of recreation spaces on smaller parcels and allowing the re-development of existing parks to

⁴ Des Plaines Comprehensive Plan (2019), page 27

⁵ Des Plaines Comprehensive Plan (2019), page 8

continue to offer the same amount of usable park space without requiring the construction of parking areas on space-constrained properties.

PZB Modifications (if any): _____
_____.

3. Whether the proposed amendments are appropriate considering the adequacy of public facilities and services available;

The revised definition of parks will allow for the development of additional recreational and green spaces, without burdening existing city and park district resources. Private and non-profit entities would be provided the opportunity to develop and maintain these areas, contributing to the inventory of park spaces for existing and future residents without creating strain on existing public facilities and services. The revised parking requirement will have no effect on public facilities and services.

PZB Modifications (if any): _____
_____.

4. Whether the proposed amendments will have an adverse effect on the value of properties throughout the jurisdiction; and

The proposed amendments are likely to increase the inventory of parks available to the community. Research on urban parks has demonstrated a positive effect on property values for areas surrounding park spaces, with property buyers consistently willing to pay a larger amount for property close to parks and open space⁶. Amendment to the parking requirements would increase the amount of usable recreation and greenspace within new parks and maintain it when existing parks are re-developed.

PZB Modifications (if any): _____
_____.

5. Whether the proposed amendments reflect responsible standards for development and growth.

Parks are an essential component to a healthy, vibrant community and support the economic vitality of the city by increasing property values and appeal to businesses seeking attractive environments for employees and customers. The amendments will increase both the inventory of parks and the quality of parks; revising the definition is anticipated to increase the number of parks available and promote more usable recreation and greenspace rather than requiring the paving of surfaces to accommodate off-street parking spaces.

PZB Modifications (if any): _____
_____.

⁶ Kolimenakis, A., Solomou, D. A., & Proutsos, N. (2021). The Socioeconomic Welfare of Urban Green Areas and Parks; A Literature Review of Available Evidence. *Sustainability*, 20.

PZB Procedure and Recommended Conditions: Under Section 12-3-7 of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve with modifications, or deny the above-mentioned amendments. City Council has final authority on the proposal.

Attachments:

Attachment 1: Example Parks without Off-Street Parking and Maps with Service Areas

Attachment 2: Parking Inventory of Des Plaines Parks

Attachment 3: Summary of NWMC Results

Cherokee Park

Size: 15,921.41 sq ft

Amenities: Playground, basketball court

No off-street parking



0.5 Mile Service Area

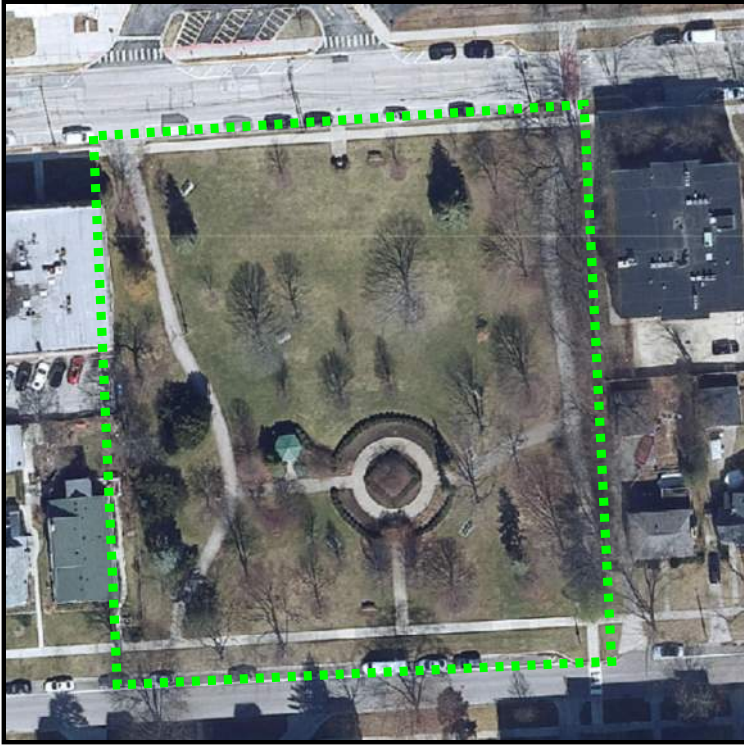


Central Park

Size: 68,582.23 sq ft

Amenities: Gazebo, garden

No off-street parking



0.5 Mile Service Area



Paroubeck Park

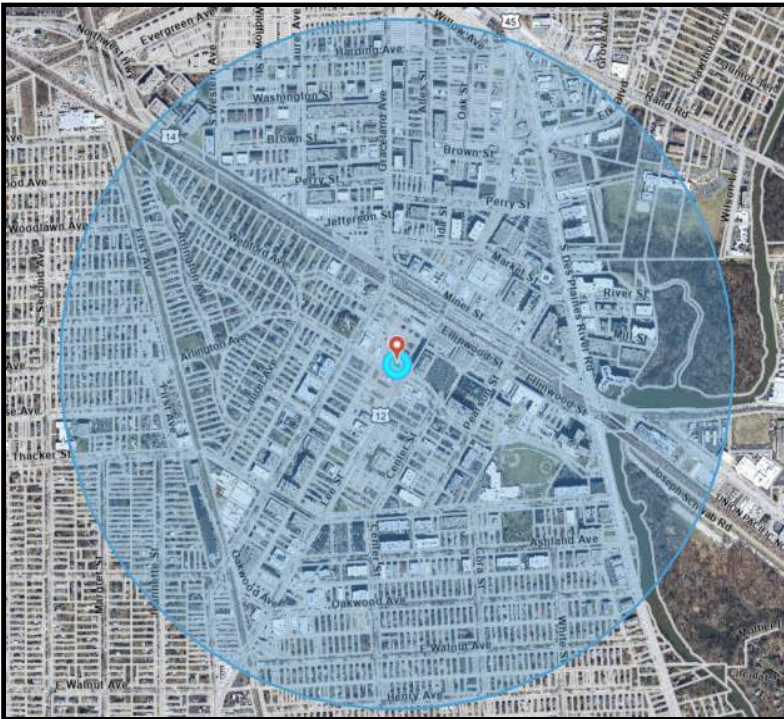
Size: 6,513.99 sq ft

Amenities: Benches, picnic table

No off-street parking



0.5 Mile Service Area



Parking Inventory of Des Plaines Parks

Name	Address	Zoning	Size (acre)	Off-Street Parking (Yes/No)
Paroubeck Park	724 Lee St.	C-5	0.15	No
Orchard Court	544 Orchard Ct.	R-1	0.20	No
Yale Court	625 Yale Ct.	R-1	0.32	No
Cherokee Park	1260 White St.	R-1	0.37	No
Winnebago Park	1250 Margret St.	R-1	0.42	No
Jaycee Park	1496 Wicke Ave.	R-1	0.47	No
Sioux Park	500 Clayton Ln	R-1	0.49	No
Teton Park	510 State St	R-1	0.53	No
Kiwanis Park	1700 Lincoln Ave	R-1	0.53	No
North Golf Cul De Sac Park	975 N Golf Cul De Sac	R-1	0.53	No
Menominee Park	440 Laurel Ave	R-4	0.56	No
Hawaii Park	600 N Fifth Ave	R-1	0.69	No
Mckay-Nealis Park	1755 Maple St	R-1	0.69	No
Kutchen Park	450 State St	R-1	0.71	No
Woodlawn Park	875 Woodlawn Ave	R-1	0.76	No
Potowatomie Park	1190 Prairie Ave	R-1	0.90	No
Dimucci-Lowenberg Park	400 N. Radcliffe Ave.	R-1	0.95	No
Westfield Gardens	955 S. Warrington Rd.	R-1	1.28	No
Northshire Park	200 Fletcher Dr	R-1	1.34	No
Central Park	1555 Thacker St.	R-4	1.57	No
Cumberland Terrace	426 S. Warrington Rd.	R-1	1.71	Yes
Apache Park	2100 Pine St.	R-3	1.79	No
Brentwood Park	225 Brentwood Place	R-1	1.80	Yes
Des Plaines Manor Park	198 Fremont Ave.	R-1	1.86	No
Craig Manor Park	800 Madelyn Dr	R-1	1.94	No
Willow Park	1330 Willow Ave	R-1	1.96	No
Cornell Park	175 Ardmore Rd	R-1	1.99	No
Mountain View Adventure Center	510 E Algonquin Rd	I-1	2.07	Yes
Tomahawk Park	350 S Westgate Rd	R-1	2.89	No
Kylemore Greens	1101 Kylemore Dr	R-1	2.91	No
Devonshire Park	160 Windsor Dr	R-1	3.05	Yes
Eaton Field	2975 Craig Dr	R-1	3.60	No
Cheyenne Park	601 N. Wolf Rd.	R-1	3.67	No
Garden Plots	600 Warrington Rd	R-1	3.69	No
Sesquicentennial Park	255 Grove Ave	R-1	4.38	Yes
Blackhawk Park	100 E. Golf Rd.	R-1	4.41	Yes
Iroquois Park	1836 E Touhy Ave	R-1	5.78	Yes
Einstein Park	355 W Walnut Ave	R-1	6.02	Yes
Mystic Waters	2025 Miner St	R-1	6.07	Yes
Chippewa Park	123 Eighth Ave	R-1	7.91	Yes
Seminole Park	3100 Scott St	R-1	9.23	Yes
West Park	651 S. Wolf Rd	R-1	10.34	Yes
Rand Park	2025 Miner St	R-1	11.00	Yes

Parking Inventory of Des Plaines Parks

Name	Address	Zoning	Size (acre)	Off-Street Parking (Yes/No)
Arndt Park	1990 White St	I-1	12.75	Yes
Majewski Metro Park	251 Wille Rd.	M-2	21.86	Yes
Rosemary S. Argus Friendship Park	395 E Algonquin Rd	R-1	28.73	Yes
Mohawk Park	1400 E Algonquin Rd	R-1	29.06	Yes
Prairie Lakes Park	515 Thacker St	I-1	36.51	Yes
High Ridge Knolls Park	600 Marshall Dr	R-1	40.50	Yes
Lake Park	1012 Touhy Ave.	R-1	73.67	Yes

Northwest Municipal Conference Survey Results

Date of Results: October 25, 2022

Private Park Allowed or Definition Does Not Differentiate Between Private/Public

Municipality	Yes/No
Arlington Heights	No
Deerfield	Yes
Evanston	Yes
Grayslake	Yes
Libertyville	Yes
Lincolnwood	No
Morton Grove	Yes
Niles	Yes
Park Ridge	Yes
Rolling Meadows	No
Schaumburg	Yes
Streamwood	Yes
Wheeling	Yes
Wilmette	Yes

Off-Street Parking Required for Parks

Municipality	Yes/No
Arlington Heights	No
Deerfield	Yes
Evanston	Yes
Grayslake	No
Libertyville	No
Lincolnwood	No
Morton Grove	No
Niles	No
Park Ridge	No
Rolling Meadows	Yes
Schaumburg	No
Streamwood	Yes
Wheeling	No
Wilmette	No