



CITY COUNCIL AGENDA

Monday, March 7, 2022
Closed Session – 6:30 p.m.
Regular Session – 7:00 p.m.
Room 102

CALL TO ORDER

CLOSED SESSION

REVIEW OF CLOSED SESSION MINUTES
PURCHASE OF PROPERTY

REGULAR SESSION

ROLL CALL
PRAYER
PLEDGE OF ALLEGIANCE

PROCLAMATION

NATIONAL WOMEN'S HISTORY MONTH

RECOGNITION

LIFE-SAVING AWARD – SERGEANT JONES, OFFICER SKOTNICKI, OFFICER JEON, OFFICER LEON (*postponed from 2/22/22 Council Agenda*)

PUBLIC HEARING

ZONING TEXT AMENDMENTS REGARDING PUBLIC NOTICING AND RECOVERING CITY COSTS AND FEES/**FIRST READING – ORDINANCE Z-5-22:** Amending the Text of the Des Plaines Zoning Ordinance Regarding Public Notice and Recovery of City Costs and Fees

PRESENTATION

ADOPTION OF THE CITY OF DES PLAINES STRATEGIC PLAN/**RESOLUTION R-55-22:** Adopting the 2022-2026 Strategic Plan for the City of Des Plaines

PUBLIC COMMENT

(matters not on the agenda)

ALDERMEN ANNOUNCEMENTS/COMMENTS

MAYORAL ANNOUNCEMENTS/COMMENTS

Motion to Extend Declaration of Civil Emergency

CITY CLERK ANNOUNCEMENTS/COMMENTS

MANAGER'S REPORT

CITY ATTORNEY/GENERAL COUNSEL REPORT

CONSENT AGENDA

1. **RESOLUTION R-47-22:** Authorizing the Quartermaster Purchase of Fire Department Uniforms from On-Time Embroidery, Inc. in an Amount Not-to-Exceed \$50,000. Budgeted Funds – Fire Department/Uniforms.
2. **RESOLUTION R-48-22:** Approving Task Order No. 19 with Trotter & Associates, St. Charles, Illinois in the Amount of \$44,176. Budgeted Funds – Water/Professional Services.
3. **RESOLUTION R-49-22:** Approving Task Order No. 1 with Christopher B. Burke Engineering, Ltd., Rosemont, Illinois in the Amount of \$400,190. Budgeted Funds – Capital Projects.
4. **RESOLUTION R-50-22:** Approving and Authorizing the Execution of an Amended and Restated Business Development Agreement Between the City of Des Plaines and Midwest Gaming & Entertainment, LLC
5. **RESOLUTION R-51-22:** Approving an Amendment to the Grant Agreement with the Illinois Emergency Management Agency (IEMA)
6. **RESOLUTION R-52-22:** Approving Task Order No. 1 with AECOM Technical Services, Inc. in the Amount of \$267,552. Budgeted Funds – Capital Projects.
7. **FIRST READING – ORDINANCE M-8-22:** Amending Chapter 2, “General Offenses” of Title 6 of the City of Des Plaines City Code to Align the Possession of Cannabis and Public Display and Sale of Drug Paraphernalia Sections with Illinois State Law
8. **SECOND READING – ORDINANCE M-6-22:** Approving Appropriations to Defray the Expenses of the City of Des Plaines, Cook County, Illinois for Municipal Purposes Designated as the “Annual Appropriation Ordinance” for the Fiscal Year Beginning January 1, 2022 and Ending December 31, 2022
9. Minutes/Regular Meeting – February 22, 2022
10. Minutes/Closed Session – February 22, 2022

UNFINISHED BUSINESS

n/a

NEW BUSINESS

1. **FINANCE & ADMINISTRATION** – Alderman Artur Zadrozny, Chair
 - a. Warrant Register in the Amount of \$3,047,860.36 – **RESOLUTION R-53-22**
 - b. Consideration of Amendments to Chapter 7 “Real Estate Transfer Tax” of Title 15 of the City of Des Plaines City Code – **FIRST READING – ORDINANCE M-7-22**
2. **COMMUNITY DEVELOPMENT** – Alderman Malcolm Chester, Chair
 - a. Consideration of a Final Plat of Subdivision with Subdivision Variations for Lot Depth and Frontage for a Restaurant and Retail Development at 2805-2845 Mannheim Road – **RESOLUTION R-54-22**

OTHER MAYOR/ALDERMEN COMMENTS FOR THE GOOD OF THE ORDER

ADJOURNMENT

ORDINANCES ON THE AGENDA FOR FIRST READING APPROVAL MAY ALSO, AT THE COUNCIL'S DISCRETION, BE ADOPTED FOR FINAL PASSAGE AT THE SAME MEETING.

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 391-5486 to allow the City to make reasonable accommodations for these persons.



MEMORANDUM

Date: February 10, 2022
To: Aldermen
Cc: Michael G. Bartholomew, City Manager
From: Andrew Goczkowski, Mayor
Subject: Proclamation

At the beginning of the March 7, 2022 City Council Meeting, we will be issuing a Proclamation declaring March as Women's History Month.

OFFICE OF THE MAYOR

CITY OF

DES PLAINES, ILLINOIS

WHEREAS, *in March, we recognize and celebrate American women for their extraordinary contributions throughout our history that helped shape and strengthen our nation and our communities; and*

WHEREAS, *Des Plaines has a rich history of trailblazing women from the handful of valiant Des Plaines women who served in the Women's Army Corp in World War II to the 75 women who bravely serve our police and fire departments today; and*

WHEREAS, *we also celebrate our local women leaders and change-makers – past and present – including the small group of women who founded the Self- Help Closet & Pantry more than a half-century ago; and*

WHEREAS, *those women who are elected to office and serve the public at every level of government, from the three female elected officials currently serving Des Plaines, to our first female U.S. vice president, first female Speaker of the House, first female Treasury Secretary and a historic number of women in U.S. Congress.*

WHEREAS, *we honor the American women everywhere who have fought and continue to fight for the advancement of women's rights; and*

WHEREAS, *this month and every day of the year, we should remain steadfast in our commitment to women's equality; and*

Now, therefore, I, ANDREW GOCZKOWSKI, MAYOR OF THE CITY OF DES PLAINES, do hereby proclaim March as

WOMEN'S HISTORY MONTH

Dated this 7th day of March, 2022.

Andrew Goczowski, Mayor



POLICE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5400
desplaines.org

MEMORANDUM

Date: February 9, 2021
To: Michael G. Bartholomew, City Manager
From: Deputy Chief Dan Shanahan *643
Subject: Presentation of Life Saving Awards- Sgt. Jones, Ofc. Skotnicki, Ofc. Jeon and Ofc. Leon

Issue: To honor Sgt. Jones, Ofc. Skotnicki, Ofc. Jeon and Ofc. Leon for their life saving efforts and present them with lifesaving awards and medals at the February 22, 2022 City Council meeting.

Analysis: On August 31, 2021, Sgt. Jones*789, Ofc. Jeon *515, Ofc. Leon *533 and Ofc. Skotnicki *446 responded to the 1000 block of Seymour Av to assist the Des Plaines Fire Department with a male subject experiencing a mental health episode. Dispatch relayed information that the subject was in the driveway, covered with a blanket doused in gasoline, and he was trying to light himself on fire. In addition, Dispatch advised the subject was possibly armed with a knife. Upon arrival, the officers observed the subject sitting on the driveway, covered with a blanket, but they could not see his hands. Officers Jeon and Leon approached the subject and attempted to de-escalate the situation by engaging in conversation with him. The officers saw the subject began to pour a flammable liquid all over himself. At this time, the subject displayed a lighter and began to flick it. Officers Jeon and Leon ran to the subject in an attempt to pull the lighter away from him, but he turned away from them and was able to light his abdomen on fire. As the fire started, with officers Jeon and Leon still attempting to wrestle the lighter away, Ofc. Skotnicki ran to the scene with a fire extinguisher, discharged it and successfully extinguished the fire. Sgt. Jones immediately immobilized the subject, fearing he was still in possession of a knife and would either try using it to further harm himself or the officers. Officers Jeon and Leon were able to control the subject's hands, revealing only a lighter and no knife. Once the subject was secured, Des Plaines Fire Department paramedics were able to provide medical treatment to him. The officers' quick decisions and responses saved the despondent person's life.

Recommendation: These officers should be honored and presented with lifesaving awards and medals.



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: February 24, 2022

To: Michael G. Bartholomew, City Manager

From: John T. Carlisle, AICP, Director of Community and Economic Development *JTC*

Subject: Zoning Text Amendments Regarding Public Noticing and Recovering City Costs and Fees (Public Hearing)

Issue: The City Council is holding a public hearing to consider the following text amendments to the Zoning Ordinance: (i) amend Section 12-3-1 to specify when the legal description of subject property is required to be included in the published notice and increase the radius within which notice is required to be mailed for non-residentially zoned properties; and (ii) amend Section 12-3-10 to allow the City to recover costs incurred when preparing, publishing, and mailing required notices on behalf of petitioners.

PIN: Citywide

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Case Number: #22-009-TA

Public Notice Background

At its December 6, 2021 meeting, the City Council instructed staff to research options and implications for amending the required mailed public notice distance set forth in Section 12-3-1 of the Zoning Ordinance. Staff returned with research, and Council discussed on February 7, 2022. The Council reached consensus to expand the mailed notice shed for non-residential properties while retaining the existing distance (300 feet) for residential properties, with multiple aldermen agreeing that a larger notice shed for residential projects is not necessary. Also based on staff's review and the discussion, Council expressed support for amending Section 12-3-10 to ensure petitioners would bear the cost of producing and sending mailed notices, estimated at \$1 per notice, although the task of preparing and mailing would continue to be completed by City staff.

The staff memo and presentation on February 7 listed several scenarios based on properties that have recently been subject to a public hearing. A member of the public commented that of particular concern are properties where barriers such as a rail line or utility easement separate a neighborhood from the subject property, causing the rail line or utility easement to absorb a chunk of the notice distance. While there was discussion to exclude rights of way from the required distance, Council and staff concluded there are administrative challenges in adopting this measurement. It was decided the best solution is to retain a numerical-only distance requirement but simply expand it from the existing 300 feet for non-residential properties. Results from surveys in recent years of the Northwest Municipal Conference (NWMC) are attached for reference, but Des Plaines may be unique with its concentration of rail lines and other barriers that would make it appropriate to have a somewhat larger distance than many peers.

Aldermen expressed opinions that favored 750 or 1,000 feet as the required mailed notice distance for non-residentially zoned properties. Based on additional study since February 7, the attached approving Ordinance sets the new distance at 500 feet. For example, the property at 580 S. Wolf, which under the existing 300-foot requirement led to 124 properties in the notice shed, would under a 500-foot requirement lead to 261 properties. This is more than double the number and would extend the shed farther into adjacent residential neighborhoods. See the attached maps, which also illustrate scenarios of 750 and 1,000 feet for this site.

Additionally, consider that the residential and commercial density of downtown Des Plaines, which is generally zoned C-5, already leads to a relatively large number of notices in that area. The 1504 Miner Street petition from 2021 resulted in 302 noticed properties. At 500 feet, the number climbs to 720 but would increase greatly to 1,479 at 750 feet and 2,086 at 1,000 feet. Small businesses and properties along the Miner Street corridor, where it is foreseeable that a conditional use or variation could be necessary, could bear a fairly sizeable additional cost with a required notice shed at 750 or 1,000 feet. Similar but to a lesser extent, in the Oakton Street corridor (where contractor businesses, for example, require a conditional use), small businesses might also face an additional cost. At 1773 E. Oakton, where a conditional use for a trade contractor was approved in 2021, the existing 300-foot distance resulted in 173 noticed properties. Increasing to 500 feet would not have made a significant difference (205 noticed properties). However, at 750 feet the number of noticed properties is 356, and at 1,000 feet, it is 553. See also attached maps for comparison.

Finally, consider there is a rational basis for a 500-foot distance already in the Zoning Ordinance: It is the minimum distance from which any cannabis business establishment must be located from various pre-existing sensitive uses, such as pre-schools, primary or secondary schools, commercial child cares, and places of worship. Nonetheless, if the Council does not believe 500 feet is sufficient, the distance can be revised in the Council’s motion and returned for final approval as revised.

Recommended Proposed Amendments

The full proposed amendments are here and incorporated within approving Ordinance Z-5-22:

“12-3-1: APPLICATIONS AND HEARINGS:

* * *

“C: Notice:

1. Notice Of Public Hearing In Newspaper: For any development review procedure that requires a public hearing, the City shall arrange for the publication of a public notice in a newspaper of general circulation in the Des Plaines jurisdictional area. The notice shall include the date, time and place of such hearing or meeting, a description of the matter to be heard or considered, the address or particular location of the subject property, **and the property index number(s) for subject property. If there is no available street address or property index number for the subject property, then a legal description of the subject property must be included.**, ~~and, in the case of a public hearing for an amendment, a legal description of the subject property.~~ The notice shall run at least one time, not more than thirty (30) days nor less than fifteen (15) days prior to the public hearing.

2. Notice Of Public Hearing Through Posted Sign: In addition to the newspaper notice provision required above, not more than thirty (30) days nor less than fifteen (15) days prior to any public hearing on a development review procedure the zoning administrator shall cause to be posted on the **subject** property ~~affected~~ a notice sign stating that a hearing

will be held and including the date, time and place of such hearing or meeting, and a description of the matter to be heard or considered.

3. Notice To Proximate Property Owners: ~~For~~^{In} any public hearing regarding a map amendment, conditional use, or major variation, notice by U.S. mail the petitioner shall be required to notify sent to owners of properties property owners by U.S. mail within the following distances measured from the perimeter of the subject property lot of record:
- a. ~~within three hundred feet (300~~ feet for subject properties located entirely within residential zoning districts
 - b. 500 feet for all other properties, including properties located only partially in a residential district. of the perimeter of the subject lot of record.

~~Petitioner shall sign an affidavit verifying said mailing occurred attaching the copy of the document.~~

“12-13-10: RECOVERY OF CITY COSTS AND FEES:

- A. Established: Except for costs for variations to one- and two- family dwellings, every petition filed and processed pursuant to this zoning code that requires the city to incur ~~third party~~ costs or expenses associated with the review of the petition, including, without limitation, legal fees incurred by the office of the city attorney or any attorney or firm retained by the city, shall be subject to the requirements set forth in this section. The recovery of city costs and fees shall be in addition to any and all other filing fees and other charges established by the city. For purposes of this section, the word "petition" is deemed to include and refer to any and all petitions and applications filed or processed pursuant to this zoning code.

* * *

- C. Recoverable Costs: The recoverable costs and fees incurred by the city in processing a petition shall include, but not be limited to, the following items:

- 1. Preparation, publication, and mailing of notices, including fees charged by the local newspaper of record and costs incurred for postage and printing, plus an administrative fee of \$1.00 for each mailed notice;
- 2. Court reporter, including the cost of two (2) transcripts, or any subsequent transcription of audio/video recordings;
- 3. Professional and technical consultant services and fees;
- 4. The fees and costs of a hearing officer, if any;
- 5. Cost of the city attorney and assistant city attorney measured by their time expended and multiplied by their hourly rate of pay. The costs of any city retained attorney or law firm, for consultation, meeting attendance, document preparation, advice and review;
- 6. Copy reproduction;
- 7. Costs of document recordation by the county plus an additional fee for recording of fifty dollars (\$50.00);
- 8. Mailing costs, exclusive of required notices; and
- 9. Proof of ownership or title searches.

* * *

Standards for Zoning Ordinance Text Amendments

The following is a discussion of standards for zoning amendments from Sections 12-3-1 and 12-13-10 of the Zoning Ordinance. The City Council may use the rationale below or adopt its own findings for how the proposed amendments would satisfy the standards.

1. Whether the proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the City Council;

Through its robust outreach process and its chapter on diversity, the Comprehensive Plan calls for the City to put a strong emphasis on communication and transparency.

2. Whether the proposed amendment is compatible with current conditions and the overall character of existing development;

An expanded mailed notice shed for certain properties and projects addresses the common condition in Des Plaines for rail lines and other right-of-way uses to separate residential neighborhoods from commercial or industrial sites.

3. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;

The amendments increase the City's authority to recover costs and fees given the increased staff resources required to complete additional noticing.

4. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction; and

The amendments may lead to greater involvement of residents and business owners in public hearings, where decisions – or recommendations for decisions – are made that could affect property values.

5. Whether the proposed amendment reflects responsible standards for development and growth.

The proposed text amendments are designed to improve the process for which certain types of development and growth happen in Des Plaines.

Public Hearing: The Planning and Zoning Board (PZB) typically holds public hearings and votes on recommendations to the City Council regarding zoning amendments. However, the City Council expressly instructed action on this item, so it is being brought directly to the Council's consideration through a public hearing.

City Council Options: The Council may vote on the first reading of the approving Ordinance Z-5-22 at the conclusion of the public hearing. In making a motion, the Council has options such as:

- Approve Ordinance Z-5-22 as submitted by staff; or
- Approve Ordinance Z-5-22 as *revised*. Potential revisions could include:
 - Expanding the non-residential notice distance to 750 or 1,000 feet; and/or
 - Setting the requirement for properties in the C-5 downtown district at a lesser distance (e.g. 300 or 500 feet) than for property in all other non-residential districts.

Attachments

Attachment 1: NWMC 2015 Survey Results

Attachment 2: NWMC 2019 Survey Results

Attachment 3: Maps of 580 S. Wolf Road mailed notice scenarios

Attachment 4: Maps of 1504 Miner Street mailed notice scenarios

Attachment 5: Maps of 1773 East Oakton Street mailed notice scenarios

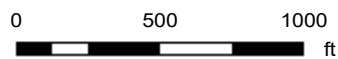
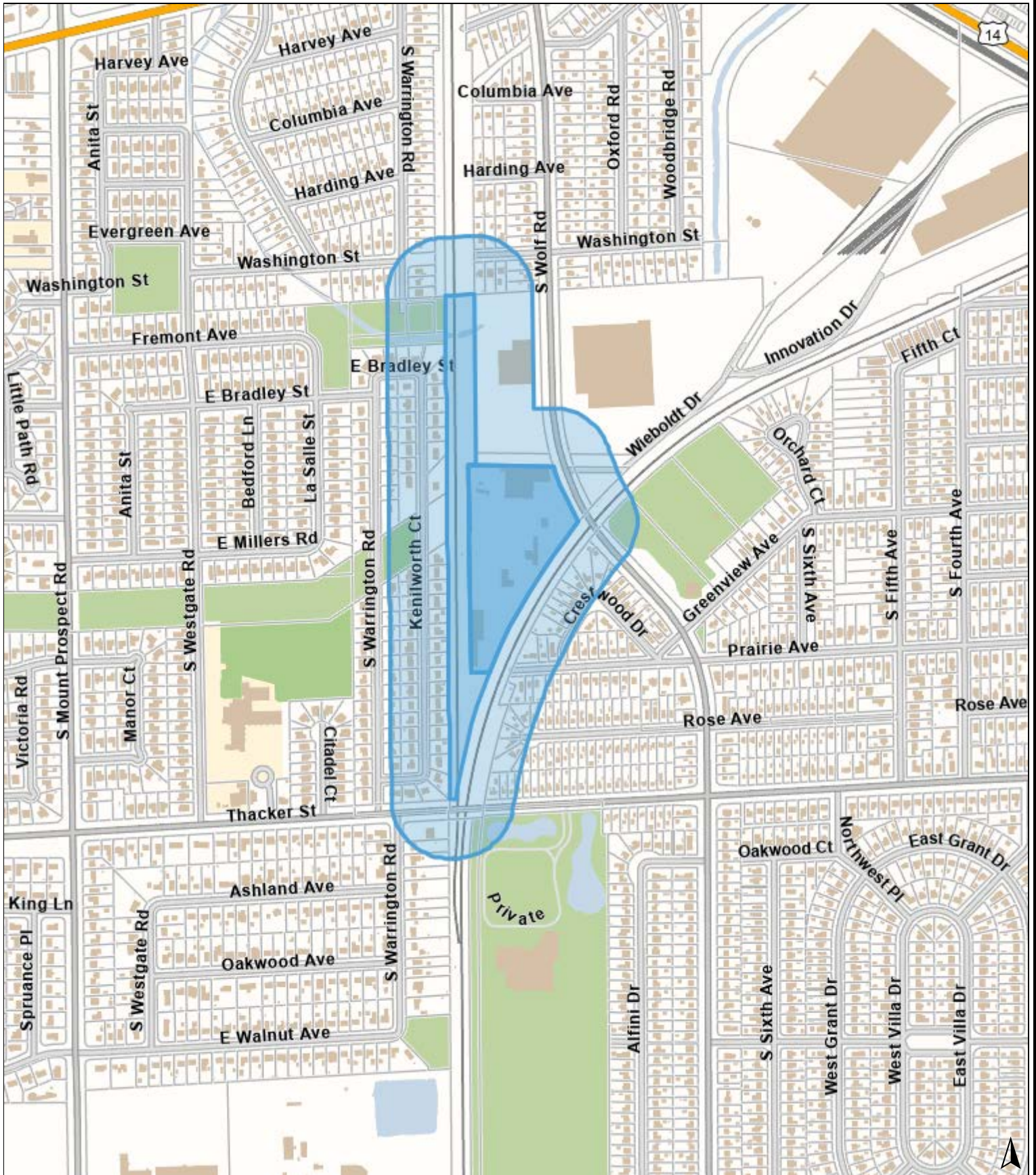
Ordinance Z-5-22

Municipality	Does the City/Village require that notification is mailed to all property owners within 250 feet of the subject property prior to a Plan Commission or Zoning Board of Appeals public hearing?	Is the mailing sent certified mail with a return receipt (green card required), certified mail without return receipt (no green card required) or standard mail?	Is the City/Village or the Petitioner responsible for providing the mailing list of property owners within 250 feet?	Is the City/Village or the Petitioner responsible for completing the mailing?	Is a copy of the published legal notice including in the mailing?
Buffalo Grove	Yes.	Standard Mail.	The Petitioner.	Village will do the mailing.	Yes.
Deerfield	Yes, 250 feet from the boundaries of the subject property. If a height variation is being requested notification is mailed to all property owners within 500 feet.	Written notice by personal service, certified or registered mail, return receipt requested (green card required).	The petitioner is responsible for providing the mailing list of the property owners.	The petitioner is responsible for completing the mailing, per Village Zoning Ordinance.	A copy of the published legal notice is required in the mailing.
Des Plaines	300-foot notification for map amendment, conditional use, or major variation.	Zoning Ordinance only specifies U.S. Mail. Some petitioners send certified.	City provides based on GIS (Cook County) data.	Petitioner.	Not the actual newspaper notice, but the same language used in the notice on City letterhead.
Fox Lake	300 feet requirement.	Contiguous is certified and return receipt, others within 300 feet are standard mail.	Petitioner responsible for contiguous listing, village provides additional 300 ft requirement listing.	Either, up to the petitioners discretion. If Village provides the service, the petitioner is billed for all mailing costs.	The same legal notice is sent to the property owners as what is sent for publishing.
Grayslake	Rezoning only.	Standard mail.	Petitioner.	The Village.	Usually.
Hoffman Estates	300	Standard Mail.	Yes, 300 feet.	Village and Yes.	No.
Lake Forest	Certified mailed notice is required to be sent by the petitioner for requests that involve Special Use Permits. The notice area is 1,320 feet or three properties deep, whichever is less.	Green card required.	Petitioner.	Petitioner.	No, however the notice is similar.
Lincolnshire	Yes.	Certified mail with return receipt.	Petitioner.	Petitioner.	No.
Mount Prospect	Village Code requires notification of 250 feet but Village sends notification to all property owners within 300 feet.	Standard Mail.	Village provides mailing list.	Residential property; Village responsible. Commercial property; petitioner responsible.	Yes.
Niles	Yes.	Standard Mail.	No we take care of it.	Yes we take care of it.	No.
Northbrook	Yes (excluding ROW).	Yes - certified mail, return receipt.	Petitioner.	Petitioner.	Same language - different format.
Rolling Meadows	Yes.	Certified mail with a return receipt.	Petitioner.	Petitioner.	Yes.

Municipality	Does the City/Village require that notification is mailed to all property owners within 250 feet of the subject property prior to a Plan Commission or Zoning Board of Appeals public hearing?	Is the mailing sent certified mail with a return receipt (green card required), certified mail without return receipt (no green card required) or standard mail?	Is the City/Village or the Petitioner responsible for providing the mailing list of property owners within 250 feet?	Is the City/Village or the Petitioner responsible for completing the mailing?	Is a copy of the published legal notice including in the mailing?
Schaumburg	Notice is required within 150 feet, not counting ROW.	Certified mail (green card).	Yes, we direct them to the township assessor's office.	Petitioner.	No, the village prepared a letter that is included.
Skokie	Yes.	Standard Mail.	Petitioner, however, the Village provides a map on the properties to be notified.	Petitioner.	Yes.
Streamwood	Yes.	Yes green card required.	Petitioner.	Petitioner.	Yes.
Wilmette	Yes, owners and occupants.	We no longer require certified mail/return receipt - first class is sufficient. The applicant provides an affidavit affirming that they gave notice.	We provide the applicant with the PINs of the properties and a map of the notice area.	No.	We create a separate personal notice describing the request. This is more detailed than what goes to the newspaper.

Municipality	1. What is your code-required adjacent owner notification radius for public hearings?	2. Does the notification radius include public right-of-ways?	3. Does your code allow administrative approvals for minor amendments to Special Uses, PUDs and board-approved plans?	4. Please attach relevant code sections.
Barrington	250 ft. exclusive of rights-of-way.	No.	No. However, some PUD's have provisions to allow minor amendments on items that are fully compliant with the underlying zoning regulations. (Example - new sign that is otherwise fully compliant).	
Buffalo Grove	250', not including ROW.	No.	Yes.	
Elk Grove Village	300'	Yes.	If they are considered "minor" per our code.	
Evanston	It ranges between 250' (Minor Variations), 500' (Major Variations, Special Use, and Map Amendments, and 1000' (Planned Developments).	Yes.	Minor Adjustments to Planned Developments are allowed as an administrative approval.	
Fox Lake	150' Radius, 300' diameter, 942' circumference (Be careful what word you use).	Yes.	It does not allow for minor amendments after they've been approved.	
Glencoe	200 feet.	Yes.	No.	Relevant code sections: http://library.amlegal.com/nxt/gateway.dll/Illinois/glencoe_il/zoningcode/articleititleandpurposes?f=templates\$fn=default.htm\$3.0\$vid=amlegal:glencoe_il
Glenview	All contiguous properties plus all properties contiguous to those. (1+1).	Yes.	Yes.	
Morton Grove	See attached.	Yes.	See attached.	
Mount Prospect	250'	No.	Yes.	
Niles	250'	The code does not specifically mention the right of way, but internally we add the width of any ROW to the 250' radius.	For special uses, no. Any modification to a special use must be resubmitted as a new special use application. The community development director may approve modifications to a PUD in specific circumstances listed in section 12.7(A) of our zoning code, otherwise it must go before the planning and zoning board.	See attached.

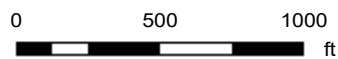
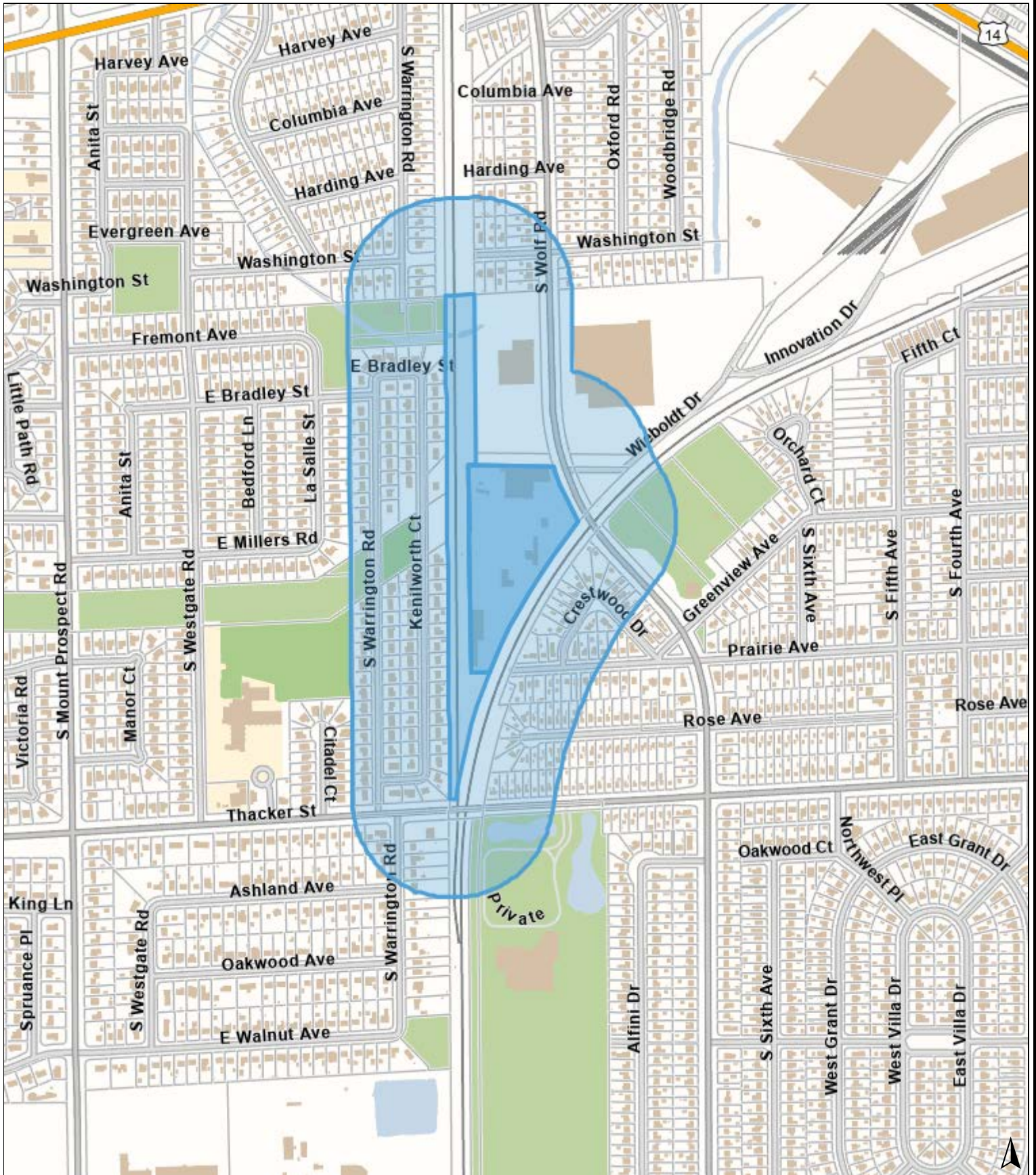
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Northfield	250 feet.	No.	Yes.	<p>Radius requirement for public notice: http://sterlingcodifiers.com/cod ebook/index.php?book_id=886 &chapter_id=70229#s686817 Changes to Special Use: http://sterlingcodifiers.com/cod ebook/index.php?book_id=886 &chapter_id=70414#s688144 Changes to PUDs: http://sterlingcodifiers.com/cod ebook/index.php?book_id=886 &chapter_id=70415#s688156</p>
Park Ridge	250 feet radius.	It does not.	SU, PUDs, board-approved plans are subject to underlying district regulations unless such exception is granted. Any amendments to exceptions granted would require commission/board review.	
Schaumburg	150'	No.	Yes but typically only when this does not affect the nature or type of use.	See attached.
Streamwood	250 feet.	Exclusive of the right of way.	Very limited but in some circumstances.	
Wheeling	250 feet.	No, public right-of-ways are removed from the 250 feet.	See attached.	
Wilmette	For the ZBA and Plan Commission, we require 250'. Appearance Review requires different notice depending on the type of request. Administrative variations are adjacent properties only.	Yes.	The PUD section provides for major and minor changes. Special uses, variations, and appearance approvals do not have a specified modification process.	See attached.
Winnetka	250 feet, with the exception for special uses within the Commercial Overlay District, which requires a 500-foot radius.	Yes.		



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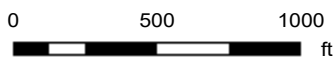
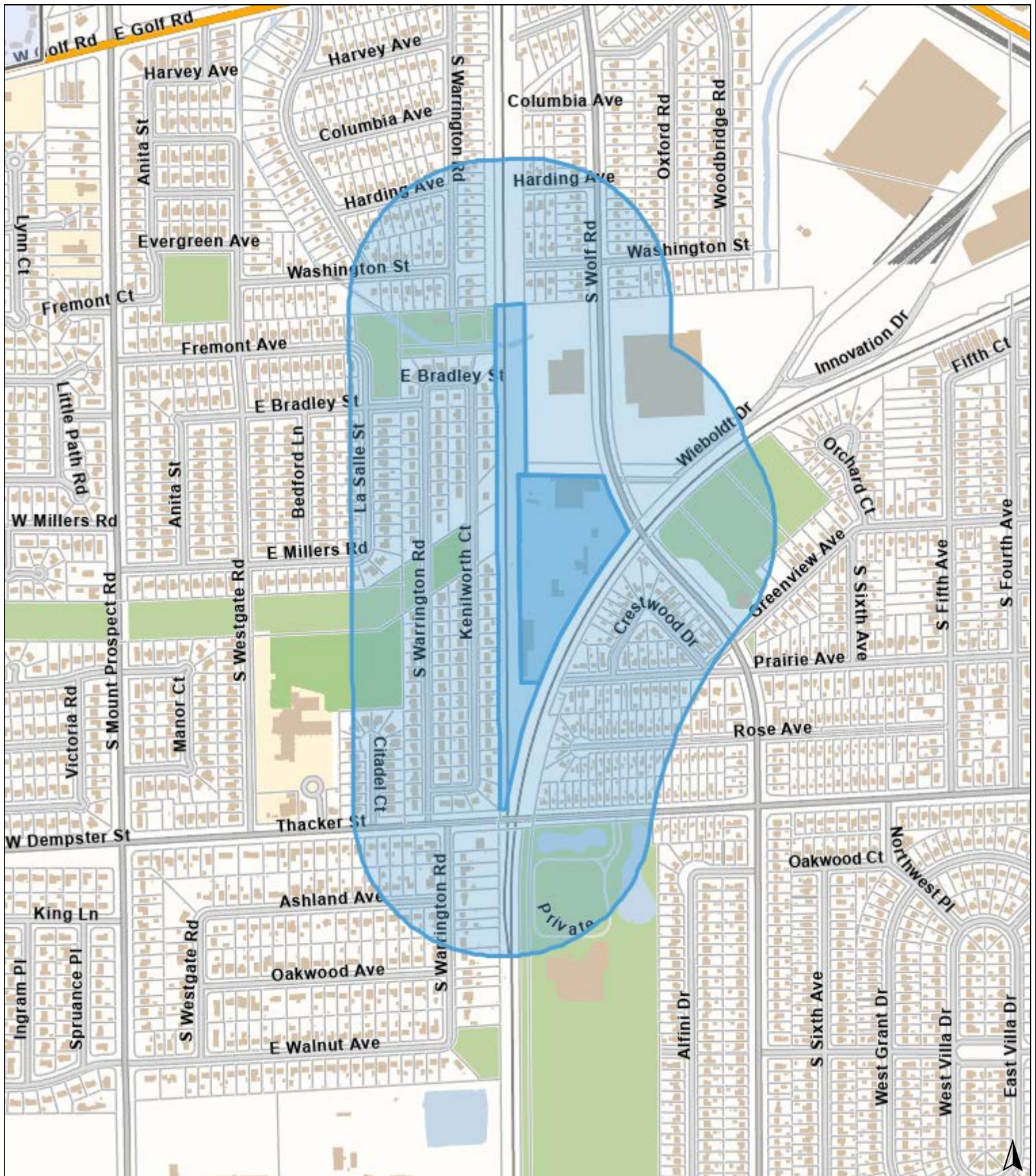
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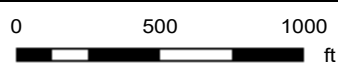
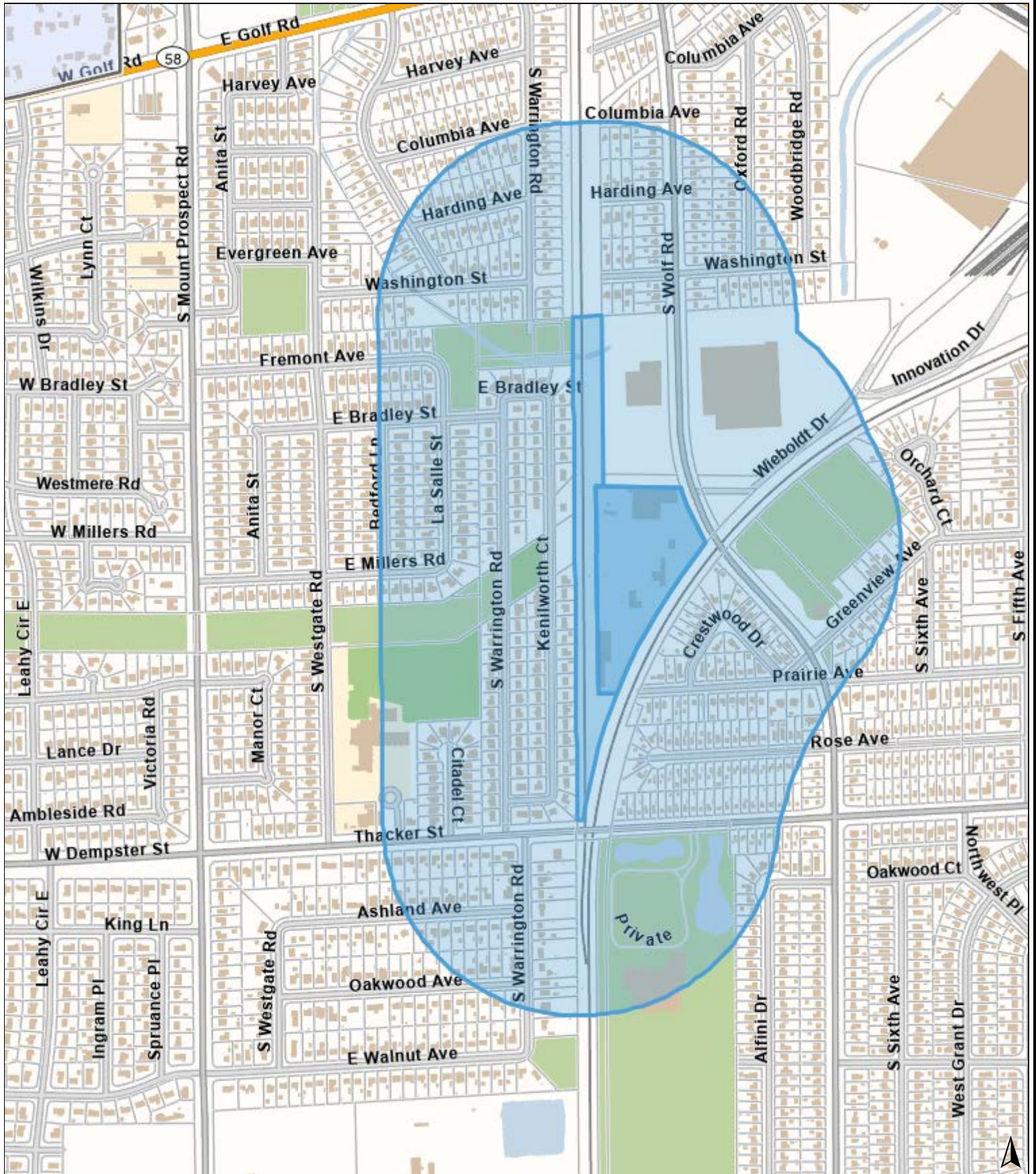
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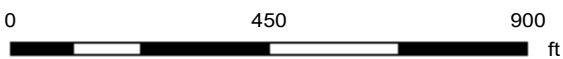
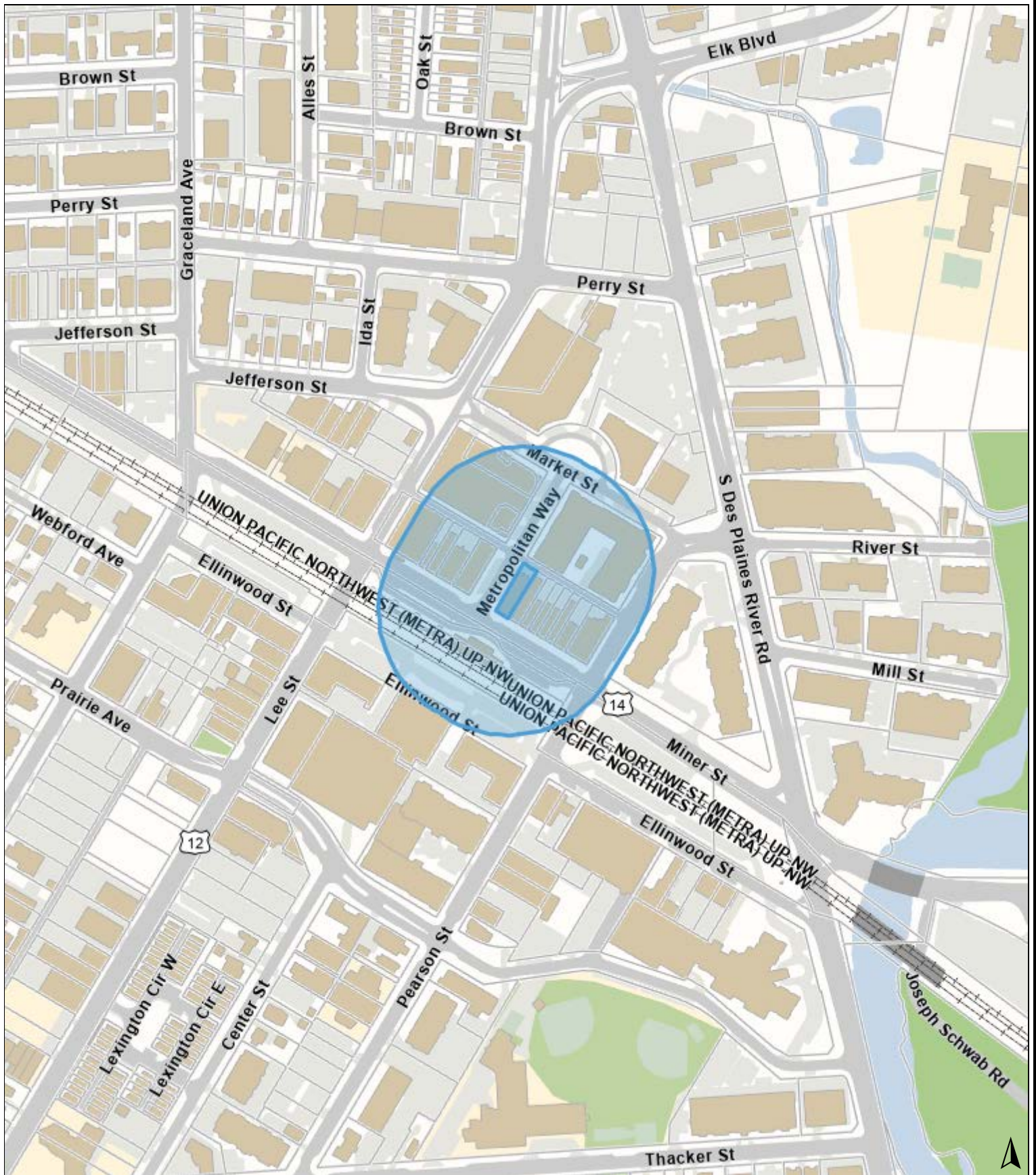
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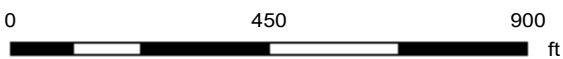
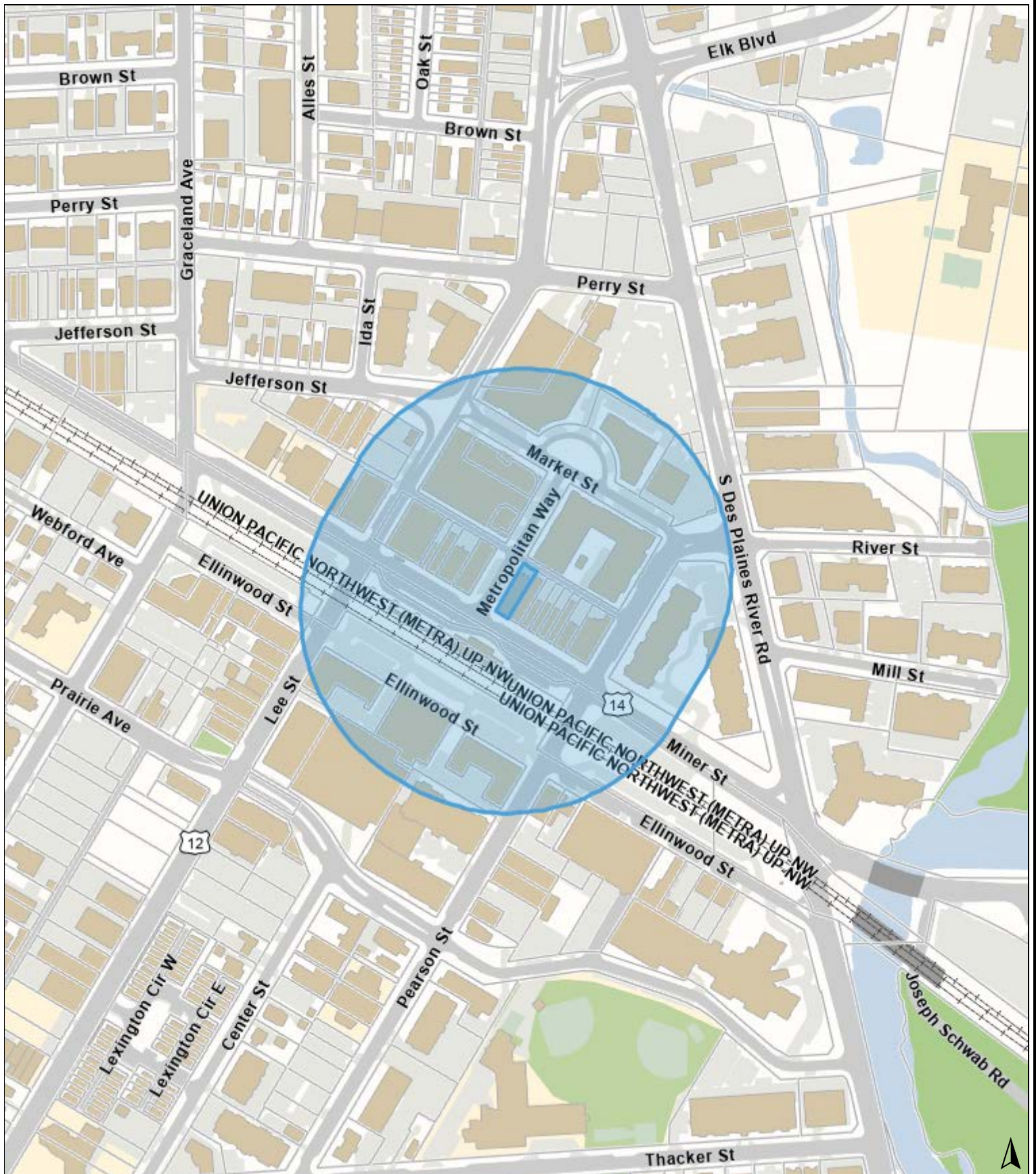
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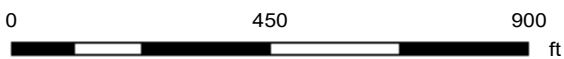
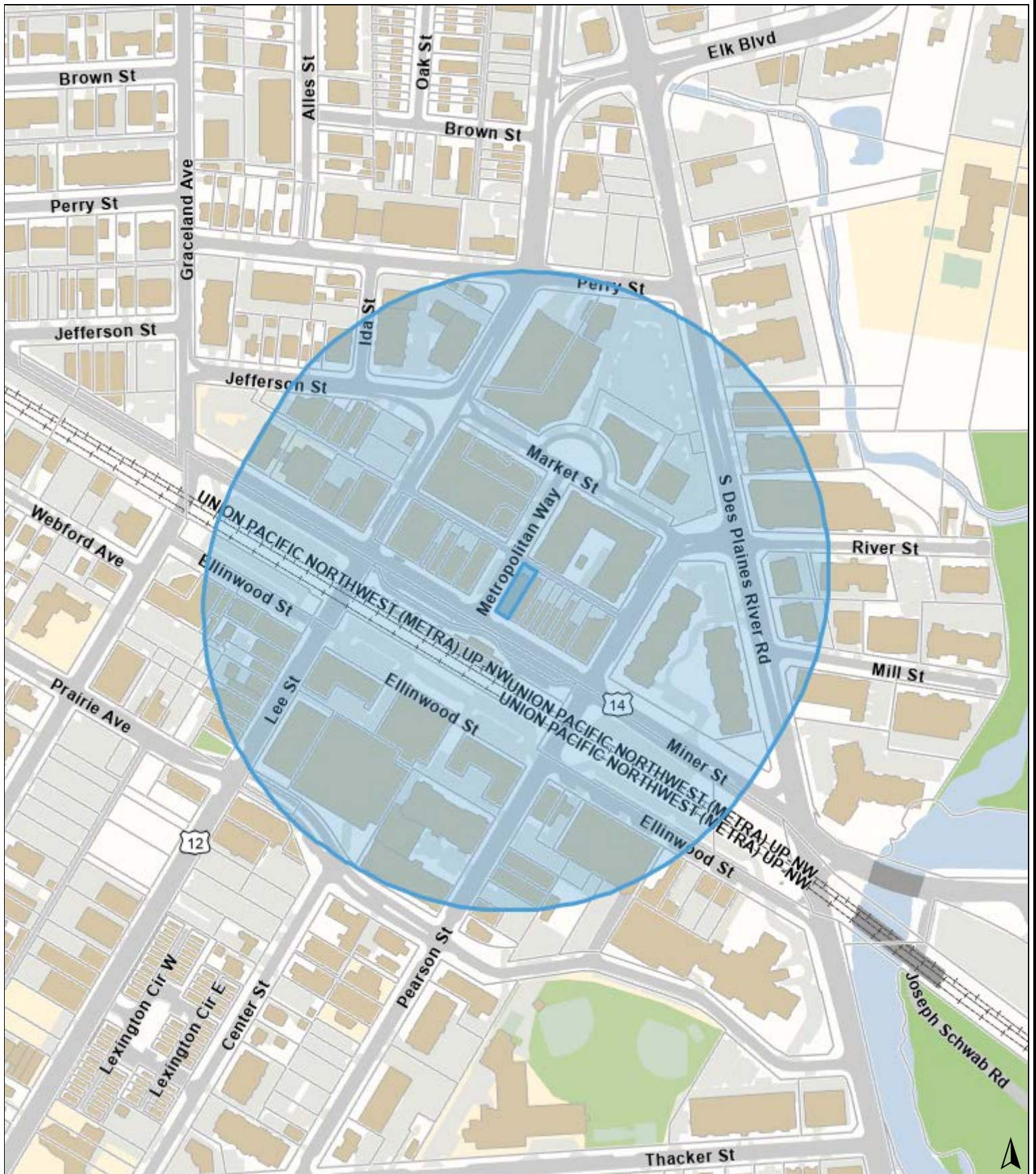
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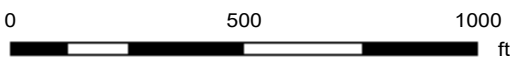
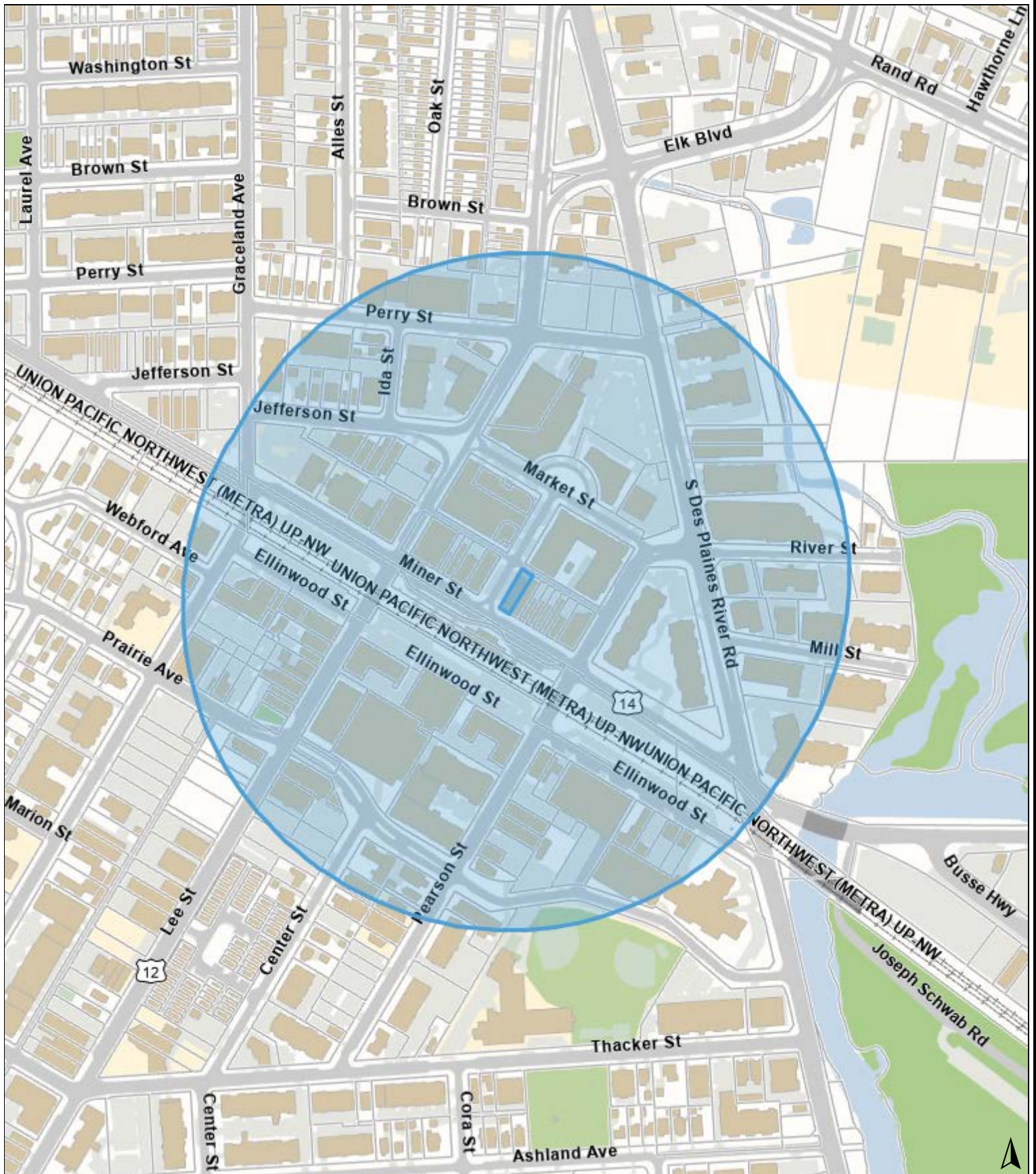
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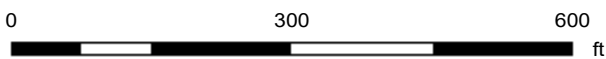
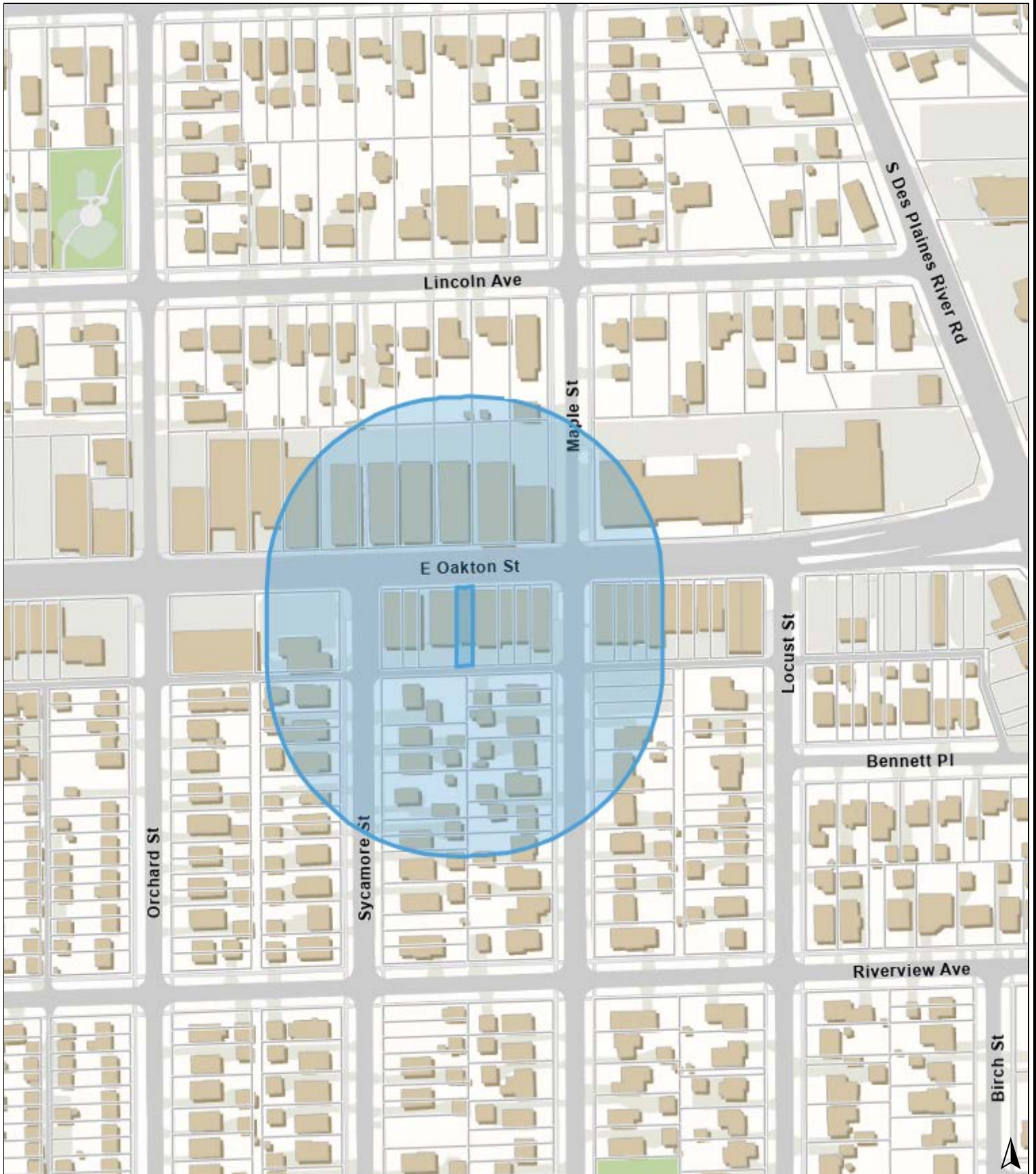
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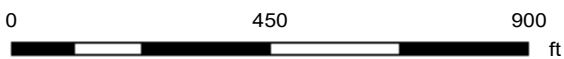
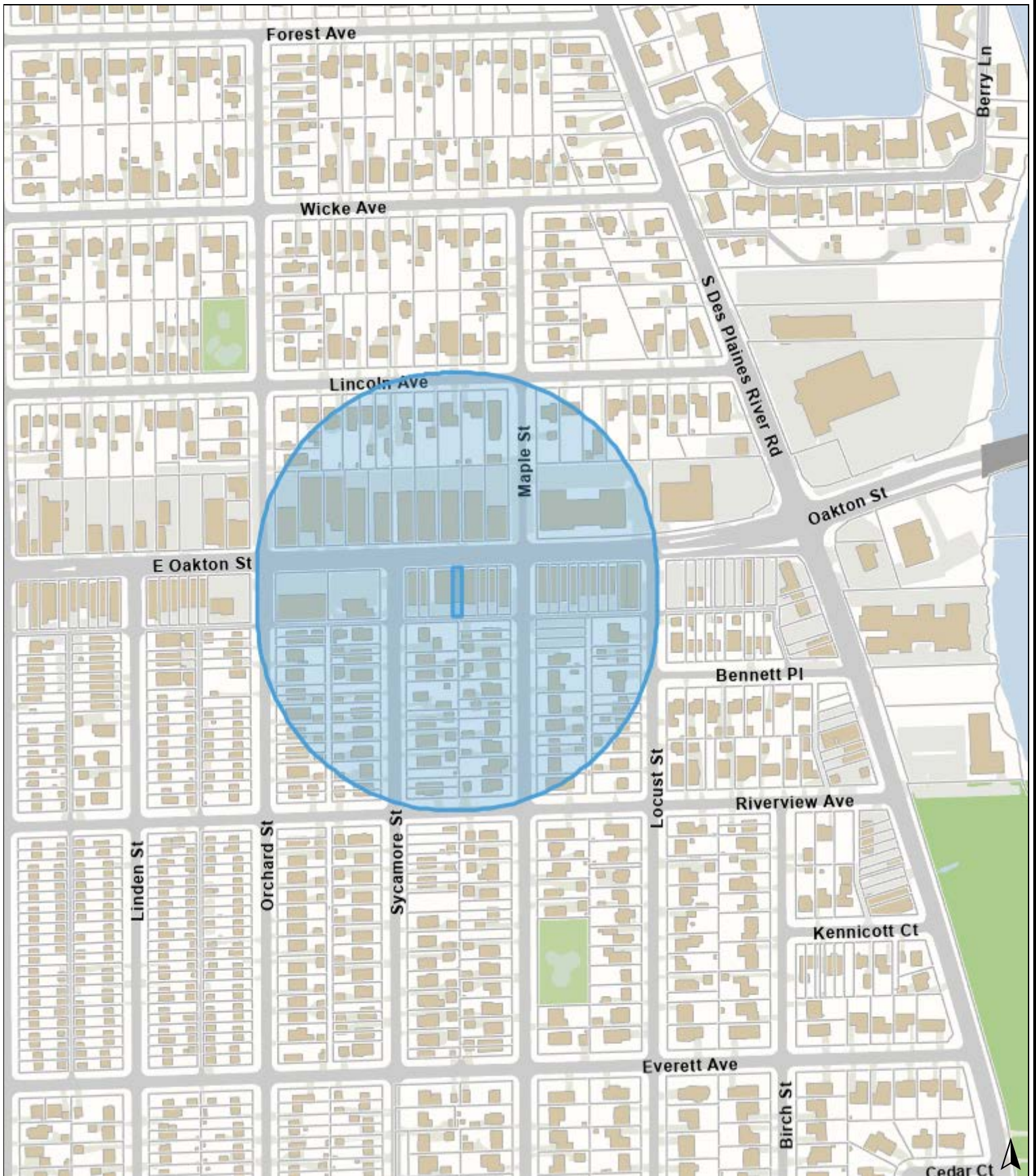
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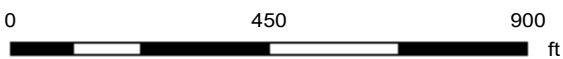
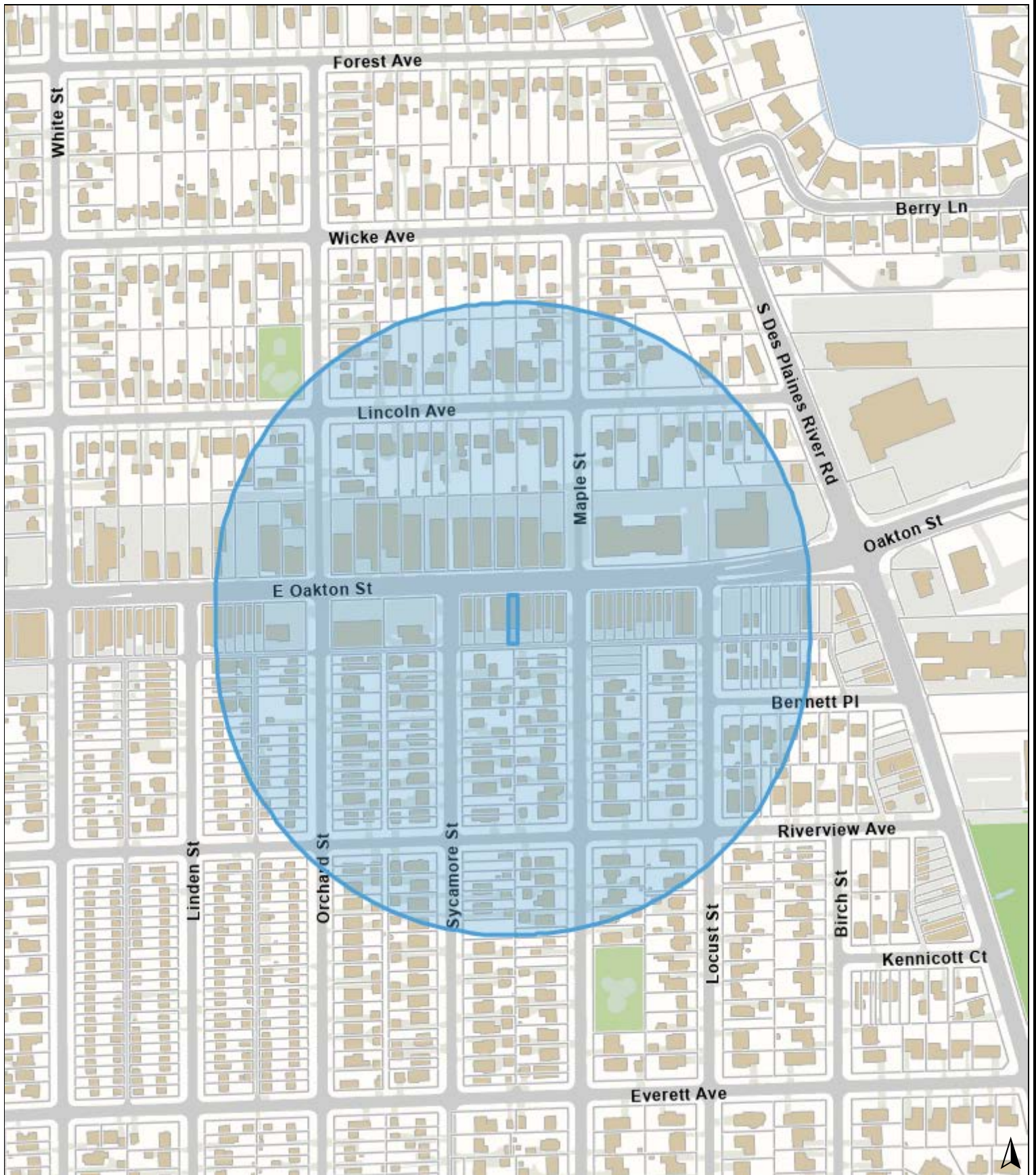
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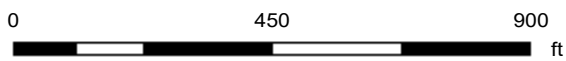
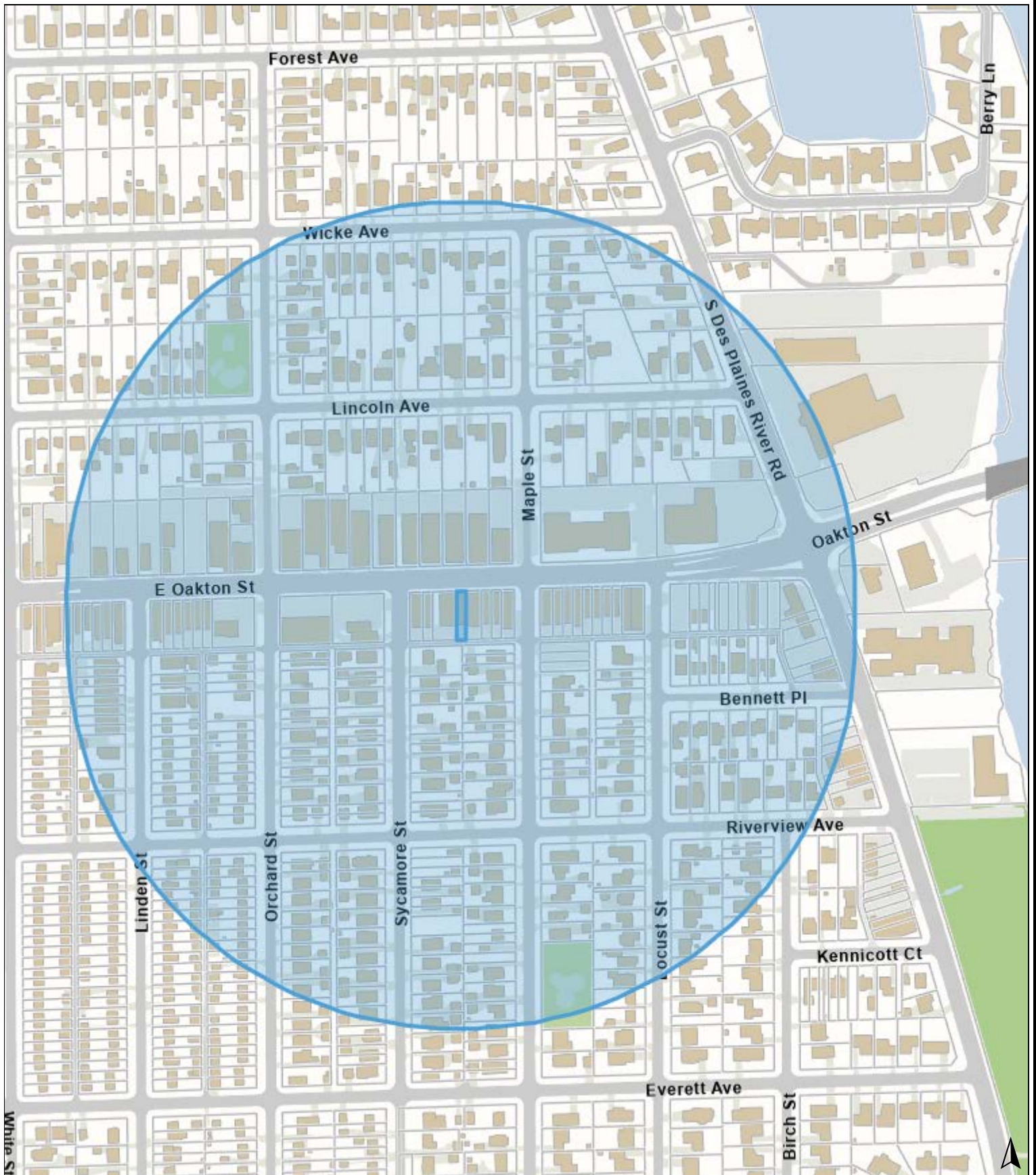
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CITY OF DES PLAINES

ORDINANCE Z - 5 - 22

AN ORDINANCE AMENDING THE TEXT OF SECTIONS 12-3-1 AND 12-3-10 OF THE DES PLAINES ZONING ORDINANCE REGARDING PUBLIC NOTICE AND RECOVERY OF CITY COSTS.

WHEREAS, the City is a home rule municipal corporation in accordance with Article VII, Section 6(a) of the Constitution of the State of Illinois of 1970; and

WHEREAS, the "Des Plaines Zoning Ordinance of 1998," as amended ("**Zoning Ordinance**"), is codified as Title 12 of the City Code of the City of Des Plaines ("**City Code**"); and

WHEREAS, Section 12-3-1 of the Zoning Ordinance establishes the application and hearing process for all development review applications; and

WHEREAS, Section 12-3-10 of the Zoning Ordinance provides that the City may recover certain costs incurred by the City during the review and processing of a development review application; and

WHEREAS, after a review by City staff, the City Council desires to amend the Zoning Ordinance to: (i) amend Section 12-3-1 of the Zoning Ordinance to update the information required to be included in the published notice and increase the radius within which notice is required to be mailed for non-residentially zoned properties; and (ii) amend Section 12-3-10 to allow the City to recover costs incurred when preparing, publishing, and mailing required notices on behalf of petitioners (collectively, "**Text Amendments**"); and

WHEREAS, on March 7, 2022, the City Council held a public hearing to consider the Text Amendments, which hearing was duly advertised in the *Des Plaines Journal* on February 16, 2022; and

WHEREAS, the City Council has considered the factors set forth in Section 12-3-7.E, titled "Standards for Amendments," of the Zoning Ordinance; and

WHEREAS, the City Council has determined that it is in the best interest of the City to adopt the Text Amendments and amend the Zoning Ordinance as set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof.

{00125166.2}

Additions are bold and double-underlined; ~~deletions are struck through.~~

SECTION 2. FINDING OF COMPLIANCE. The City Council finds that consideration of the Text Amendments has complied with the provisions of Section 12-3-7 of the Zoning Ordinance.

SECTION 3. APPLICATIONS AND HEARINGS REGULATIONS. Subsection C., titled "Notice," of Section 12-3-1, titled "Applications and Hearings," of the Zoning Ordinance is hereby amended to read as follows:

"12-3-1: APPLICATIONS AND HEARINGS:

* * *

"C: Notice:

1. Notice Of Public Hearing In Newspaper: For any development review procedure that requires a public hearing, the City shall arrange for the publication of a public notice in a newspaper of general circulation in the Des Plaines jurisdictional area. The notice shall include the date, time and place of such hearing or meeting, a description of the matter to be heard or considered, the address or particular location of the subject property, **and the property index number(s) for subject property. If there is no available street address or property index number for the subject property, then a legal description of the subject property must be included.**, ~~and, in the case of a public hearing for an amendment, a legal description of the subject property.~~ The notice shall run at least one time, not more than thirty (30) days nor less than fifteen (15) days prior to the public hearing.
2. Notice Of Public Hearing Through Posted Sign: In addition to the newspaper notice provision required above, not more than thirty (30) days nor less than fifteen (15) days prior to any public hearing on a development review procedure the zoning administrator shall cause to be posted on the **subject** property ~~affected~~ a notice sign stating that a hearing will be held and including the date, time and place of such hearing or meeting, and a description of the matter to be heard or considered.
3. Notice To Proximate Property Owners: ~~For~~ any public hearing regarding a map amendment, conditional use, or major variation, **notice by U.S. mail** the ~~petitioner shall be required to notify~~ **sent to owners of properties** property owners ~~by U.S. mail~~ within **the following distances measured from the** perimeter of the subject **property** ~~lot of record~~:
 - a. ~~within three hundred feet (300~~ **feet for subject properties located entirely within residential zoning districts**
 - b. **500 feet for all other properties, including properties located only partially in a residential district.** ~~of the perimeter of the subject lot of record.~~

{00125166.2}

Additions are bold and double-underlined; ~~deletions are struck through.~~

~~Petitioner shall sign an affidavit verifying said mailing occurred attaching the copy of the document.~~

* * *

SECTION 4. RECOVERY OF CITY COSTS AND FEES. Section 12-3-10, titled "Recovery of City Costs and Fees," of the Zoning Ordinance is hereby amended to read as follows:

"12-13-10: RECOVERY OF CITY COSTS AND FEES:

- A. Established: Except for costs for variations to one- and two- family dwellings, every petition filed and processed pursuant to this zoning code that requires the city to incur ~~third party~~ costs or expenses **associated with the review of the petition**, ~~including, without limitation, legal fees incurred by the office of the city attorney or any attorney or firm retained by the city,~~ shall be subject to the requirements set forth in this section. The recovery of city costs and fees shall be in addition to any and all other filing fees and other charges established by the city. For purposes of this section, the word "petition" is deemed to include and refer to any and all petitions and applications filed or processed pursuant to this zoning code.

* * *

- C. Recoverable Costs: The recoverable costs and fees incurred by the city in processing a petition shall include, but not be limited to, the following items:
1. **Preparation, publication, and mailing of notices, including fees charged by the local newspaper of record and costs incurred for postage and printing, plus an administrative fee of \$1.00 for each mailed notice;**
 2. Court reporter, including the cost of two (2) transcripts, or any subsequent transcription of audio/video recordings;
 3. Professional and technical consultant services and fees;
 4. The fees and costs of a hearing officer, if any;
 5. Cost of the city attorney and assistant city attorney measured by their time expended and multiplied by their hourly rate of pay. The costs of any city retained attorney or law firm, for consultation, meeting attendance, document preparation, advice and review;
 6. Copy reproduction;
 7. Costs of document recordation by the county plus an additional fee for recording of fifty dollars (\$50.00);
 8. Mailing costs, **exclusive of required notices;** and
 9. Proof of ownership or title searches.

{00125166.2}

Additions are bold and double-underlined; ~~deletions are struck through.~~

* * *

SECTION 5. SEVERABILITY. If any paragraph, section, clause or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

SECTION 6. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form according to law.

PASSED this _____ day of _____, 2022

APPROVED this _____ day of _____, 2022.

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
____ day of _____, 2022.

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Ordinance Amending the Zoning Ordinance Regarding Public Notice and Recovery of City Costs and Fees

{00125166.2}

Additions are bold and double-underlined; ~~deletions are struck through.~~



MEDIA SERVICES

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5312
desplaines.org

MEMORANDUM

Date: February 22, 2022
To: Michael G. Bartholomew, MCP, LEED-AP, City Manager
From: Jennie Vana, Media Services Director JV
Subject: Approval of City of Des Plaines Strategic Plan 2022 - 2026

Issue: City Council adopts a five-year Strategic Plan that serves as the City's Roadmap to the Future. This important plan influences all policy and budget decisions, sets direction and aligns the City team, maintains focus on priorities and enhances accountability. This proposed plan for adoption builds on the achievements of previous plans and recommends new strategies that shape our future.

Analysis: City Council met in October 2021 for a Strategic Planning session to review the 2022 Strategic Plan and provide input and recommended edits. City staff also met to review the plan and provide updates.

The recommended 2022 – 2026 Strategic Plan defines the City Council's Vision, identifies four High-Level Strategic Goals that the City aims to achieve, along with the strategies and actions that the City team will execute, in partnership with City Council.

Recommendation: I recommend City Council approval of the City of Des Plaines Strategic Plan 2022-2026.

Attachments:

Resolution R-55-22

Exhibit A - City of Des Plaines Strategic Plan 2022 - 2026

CITY OF DES PLAINES

RESOLUTION R - 55 - 22

**A RESOLUTION ADOPTING THE CITY OF DES PLAINES
STRATEGIC PLAN FOR 2022 - 2026.**

WHEREAS, strategic planning is a method to optimize the use of an organization's resources by defining the organization's goals, developing effective strategies to accomplish those goals, and allocating resources in support of those strategies; and

WHEREAS, the City Council engaged in strategic planning through which it updated the "Strategic Plan for 2022-2026" ("*Strategic Plan*"), which identifies four goals and several strategies and actions to achieve those goals; and

WHEREAS, City staff recommends that the City adopt the Strategic Plan to inform the development of annual budgets and the performance of activities by the City; and

WHEREAS, the City Council has determined that is in the best interest of the City to adopt the Strategic Plan;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF DES PLAINES, COOK COUNTY, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: ADOPTION OF STRATEGIC PLAN. The City Council hereby adopts the Strategic Plan in the form attached to this Resolution as **Exhibit A**.

SECTION 3: IMPLEMENTATION OF STRATEGIC PLAN. The City Council hereby authorizes and directs the City Manager to take appropriate action to implement the Strategic Plan.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

[SIGNATURE PAGE FOLLOWS]

PASSED this ___ day of _____, 2022.

APPROVED this ___ day of _____, 2022.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

STRATEGIC PLAN 2022 - 2026



*The City of Des Plaines'
Roadmap to the Future*



CONTENTS

- 1 | About Des Plaines
- 2 | 2022-2026 Strategic Plan
- 3 | Guiding Principles
- 4 | Our Mission and Vision
- 5 | High Level Goals
- 6 | Goal 1: Community Character
- 10 | Goal 2: Re-Imagined Growth
- 14 | Goal 3: Infrastructure and Mobility
- 18 | Goal 4: Municipal Excellence





ABOUT DES PLAINES

The City of Des Plaines is a beautiful suburban Chicago community encompassing 15 square miles and home to 60,675 residents.

Des Plaines is a growing, vibrant, diverse community, brimming with assets and potential in its quality of life, downtown theatre, parks, library and schools.

The City, with its proximity to O'Hare International Airport, is at the center of commerce and transportation with abundant access and connections to air, rail, transit, a network of expressways, as well as bike and pedways.

The City of Des Plaines is a top ranked community for residents and businesses. Our City has been recognized as a Better Business Town (2021), a Best Place to Live (35 out of 100, 2017) and a Best Place to Retire (one of 8 in the U.S., 2018).

The City Council consists of a mayor elected at-large and eight aldermen who represent wards. They set direction and policy for the City which is carried out by the City Manager, his leadership team and a dedicated team of 300+ employees. There is also a city-wide elected clerk.

The City operates under a Council-Manager form of government.

CITY OF DES PLAINES

2022-2026 STRATEGIC PLAN

This Strategic Plan continues to serve as the City's Roadmap to the Future, building on the achievements of previous plans and new strategies that shape our future.

The Plan defines the City Council's Vision – or where we aspire to be in five years – it identifies goals that the City aims to achieve, as well as the strategies and actions that the City team will execute, in partnership with City Council.

Guiding the City's efforts at every level, this important plan influences all present and future decisions, sets direction and aligns the City team, maintains focus on priorities and enhances accountability. It provides a means to track and measure our success in the priority areas of:



COMMUNITY CHARACTER



RE-IMAGINED GROWTH



INFRASTRUCTURE AND MOBILITY



MUNICIPAL EXCELLENCE





DES PLAINES CITY COUNCIL GUIDING PRINCIPLES

The Des Plaines City Council subscribes to these shared values regarding our conduct and the quality of our interactions.

- Focus on the interests and success of the City as a whole.
- Be respectful of others and their perspectives.
- Actively listen and maintain open-mindedness.
- Foster a collaborative environment to achieve our shared goals.

OUR VISION

Des Plaines is a diverse, safe and vibrant community with a thriving economy.

OUR MISSION

Enhance quality of life of our community and economic vibrancy through effective, efficient and reliable services.





HIGH LEVEL GOALS

These four Goals establish the Strategic Plan framework. Achievement of these Goals facilitates attainment of our Vision for 2026. No prioritization is implied by the order in which they are listed.

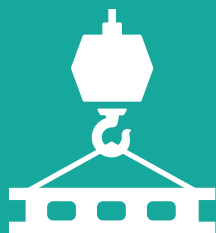
COMMUNITY CHARACTER

Further strengthen Des Plaines as a friendly, diverse, vibrant and thriving city.



RE-IMAGINED GROWTH

Capitalize on our City's assets and opportunities to attract economic investment.



INFRASTRUCTURE & MOBILITY

Enhance our infrastructure systems and maximize our transportation options.



MUNICIPAL EXCELLENCE

Deliver the highest standards of public service that strengthen the City as an organization and the community we serve.



Goal 1: Community Character

Further strengthen Des Plaines as a friendly, diverse, vibrant and thriving city.

Strategy 1: Sense of Community

Engage with residents, stakeholders and partners to enrich community and personal well-being.

Action 1. Embrace and celebrate our rich cultural, generational and socioeconomic diversity through community outreach, engagement and events.

Action 2. Actively engage residents and neighborhood groups (both in-person and online) to share information and promote public health, safety and well-being, as well as build public trust and cultivate community pride.

Action 3. Plan and enhance the City's existing events and consider new events using data and trends to promote community connections and togetherness.

Action 4. Collaborate and engage with other governmental agencies and organizations to cultivate stronger partnerships and maximize communications and community outreach efforts.

Action 5. Explore and leverage partnership opportunities and continue our partnership with the Senior Center and Food Pantry.



Goal 1: Community Character

Further strengthen Des Plaines as a friendly, diverse, vibrant and thriving city.

Strategy 2: Sense of Place

Enhance social spaces, connections and neighborhood vibrancy through infrastructure investments and other programs.

Action 1. Explore opportunities for expanding outdoor gathering places across the city.

Action 2. Maximize opportunities to create more green spaces by reclaiming underutilized properties.

Action 3. Expand walkway networks for neighborhood connection, outdoor activity and social interaction.

Action 4. Explore and evaluate City tree programs in neighborhoods to restore beauty and the benefits of connection with the natural environment.



Goal 1: Community Character

Further strengthen Des Plaines as a friendly, diverse, vibrant and thriving city.

Strategy 3: Spotlight on Des Plaines

Build our brand image and reputation through strategic marketing, storytelling and communications.

Action 1. Implement a marketing campaign that promotes Des Plaines as a desirable destination to live, play and do business.

Action 2. Continue to invest in multi-media communications and engagement to enhance transparency and strengthen public attitudes, knowledge, trust and confidence.

Action 3. Build satisfaction, pride and awareness in our city as a whole, and the City's brand and services through consistent marketing, communications and media coverage.

Action 4. Garner community input and collect data through surveys, polls and other means to help drive decisions and shape communications plans that achieve the City's objectives.

Action 5. Utilize new and traditional communication tools and technologies to meet the needs of residents (including in different languages) as feasible.



HISTORIC DES PLAINES THEATRE • LIVE MUSIC • DINING



The City of Des Plaines welcomes **ALL** who live, work, and play here.



GOAL 2



DES PLAINES

116 AMY GRANT

SHOWS NOW ON SALE
WWW.OSHOWS.COM

RE-IMAGINED
GROWTH



Exhibit A

Goal 2: Re-Imagined Growth

Capitalize on our City's assets and opportunities to attract economic investment.

Strategy 1: Downtown

Develop Downtown as a desirable destination for shopping, entertainment, dining and living.

Action 1. Build on plans to energize and modernize the experience and feel of the downtown, making it an entertainment, shopping and dining destination.

Action 2. Engage existing restaurants to better accommodate evening visitors, and actively recruit new restaurants to locate downtown.

Action 3. Continue to attract higher density and mixed-use development, including those with first floor retail and dining.

Action 4. Explore the feasibility of enhancing Metropolitan Square to create a gathering place for families and friends to eat, drink, shop and play.

Action 5. Explore options for outdoor experiences and public gathering places (dining and other).

Action 6. Encourage the Theatre, downtown restaurants and businesses to develop and market creative packages and incentives to attract visitors and patrons.



Goal 2: Re-Imagined Growth

Capitalize on our City's assets and opportunities to attract economic investment.

Strategy 2: Revitalization

Continue to maximize opportunities and implement strategies to advance economic development.

Action 1. Focus on Oakton corridor improvements by leveraging the TIF district and pursue adding a new train station at Oakton.

Action 2. Encourage entertainment and hotel expansion to enhance the Casino corridor.

Action 3. Explore feasibility of corridors focusing on education, science and technology.

Action 4. Foster relationships with potential developers and businesses to identify viable locations.

Action 5. Capitalize on underutilized properties, acquire strategic new properties, restore visual aesthetics and facilitate future development.



A CATALYTIC INVESTMENT: THE DES PLAINES THEATRE



The City Council made the decision to purchase the theatre for \$1.3 million in 2018 after it sat vacant for many years. To make the project feasible, Rivers Casino agreed to provide financial support to assist with the property's purchase and renovation. The City invested \$7 million in the renovation. **The City recognized that the theatre's restoration could drive transformational downtown revitalization and economic development.**

The theatre is located in the heart of downtown Des Plaines across the street from the Metra Train station. It has the capacity for nearly 1,000 and includes two restaurants—Bourbon 'N Brass, a Speakeasy featuring a 1920s decor that reflects the Prohibition Era origins of the legendary venue—and Des Pizza, a wood-fired pizza and Rock 'n Roll experience.

"I'm extremely proud of this theatre's rebirth and appreciate the partnerships that made it happen – including our current and former elected officials, our community that we represent, Rivers Casino and Ron Onesti. A big thank you also goes to our extraordinary City team who worked behind the scenes for the last several years to bring this local gem (back) to life. I invite everyone from near and far to come for a show, and stay to eat, drink and discover Des Plaines."

*-Des Plaines Mayor
Andrew Goczkowski*



Des Plaines Theatre Opening | October 2021

GOAL 3

INFRASTRUCTURE & MOBILITY



Exhibit A



Goal 3: Infrastructure & Mobility

Enhance our infrastructure systems and maximize our transportation options.

Strategy 1: Infrastructure

Strategically plan and invest in capital improvements.

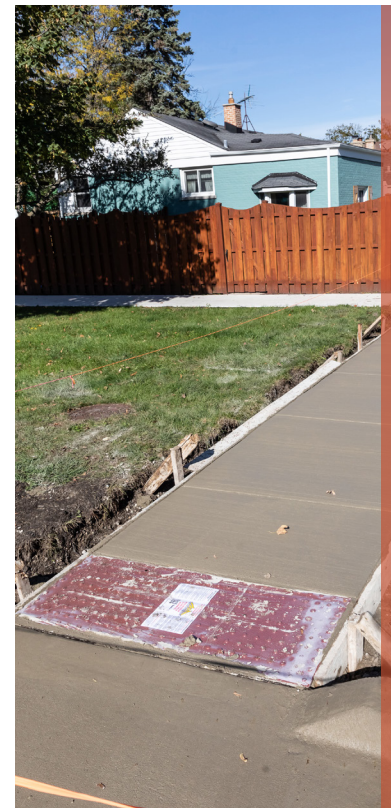
Action 1. Develop and utilize the Five-Year Capital Improvement Plan to prioritize our capital investments.

Action 2. Accelerate street and sidewalk replacement, maintaining a focus on filling sidewalk gaps.

Action 3. Continue to invest in water and sewer systems, including replacement and upgrades.

Action 4. Expand green infrastructure to support stormwater management objectives.

Action 5. Continue implementation of the Five-Year Stormwater Management Plan.



Goal 3: Infrastructure & Mobility

Enhance our infrastructure systems and maximize our transportation options.

Strategy 2: City Facilities

Invest in municipal facilities to support and advance service delivery and performance.

Action 1. Continually conduct needs assessments of municipal facilities and uses to maximize the effectiveness and efficiency of operations.

Action 2. Strategically plan and invest in municipal facilities based on needs assessments.

Action 3. Provide and maintain essential public facilities, utilities and capital equipment.



Goal 3: Infrastructure & Mobility

Enhance our infrastructure systems and maximize our transportation options.

Strategy 3: Transportation

Enhance connections, reduce congestion and improve safety.

Action 1. Pursue plans to build the Algonquin Road Bridge Project. This priority project will replace the existing at-grade railroad crossing with an overpass to improve traffic flow and response times for emergency vehicles, as well as reduce vehicle emissions.

Action 2. Explore the elimination of one-way streets to improve traffic flow.

Action 3. Continue to enhance walkability and bikeability across the city so that it is a viable and popular means of transportation.

Action 4. Enhance wayfinding signs to bring awareness to Des Plaines attractions and connect people to downtown, the theatre and shopping.



Algonquin Road Bridge Conceptual Drawing



GOAL 4

MUNICIPAL
EXCELLENCE



Exhibit A

A large white water tower stands against a clear blue sky. The tower has a spherical top section with a green logo consisting of two overlapping leaf-like shapes. To the right of the logo, the words "DES PLAINES" are written in a dark blue, serif font. The tower is supported by several white columns and has a metal ladder on its left side. Some green tree branches are visible on the right side of the frame.

DES
PLAINES

Goal 4: Municipal Excellence

Deliver the highest standards of public service that strengthen the City as an organization and the community we serve.

Strategy 1: Strategic Leadership

Work as a team to effectively deliver on our mission, and position the City as a municipal leader.

Action 1. Utilize the Strategic Plan and City Council Guiding Principles to focus our direction.

Action 2. Partner with City employees as essential assets and ambassadors in fulfillment of the Strategic Plan.

Action 3. Engage employees around the City's values and expectations to drive exceptional customer service, innovation, performance and success.

Action 4. Engage with professional associations through speaking engagements and networking events to strengthen the City's reputation as a highly professional, high-performing, values-driven organization.

Action 5. Invest in emerging leaders in the organization through training and professional development.



Goal 4: Municipal Excellence

Deliver the highest standards of public service that strengthen the City as an organization and the community we serve.

Strategy 2: Financial Stability

Continue to maintain focus and commitment to long-term fiscal planning and budgeting best practices.

Action 1. Adhere to financial best practices.

Action 2. Continue to focus on minimizing financial risk **through proactive measures.**

Action 3. Prioritize police and fire pension funding.

Action 4. Focus and prioritize grant opportunities, as feasible.

Action 5. Continually evaluate and assess financial tools (TIF districts, property purchases, incentives).

Action 6. Maintain financial stability and sufficient financial capacity for present and future needs.

Action 7. Support planning for long-term needs and organizational sustainability.

Action 8. Provide the financial stability needed to navigate through economic downturns.



**2021 Triple
Crown Award!**

*1 of only 200 Triple Crown
winners in the country*



Goal 4: Municipal Excellence

Deliver the highest standards of public service that strengthen the City as an organization and the community we serve.

Strategy 3: Municipal Services

Deliver reliable, responsive, effective and efficient public services.

Action 1. Commit to a high standard of performance by continued integration of best practices across departments, collaboration and innovation to produce optimal results.

Action 2. Optimize the efficiency and effectiveness of services to reduce costs and improve service quality.

Action 3. Continue to focus on the most efficient and effective public safety response through inter-agency cooperation, enhanced dispatch service and interoperability, or unified radio system.

Action 4. Enhance transparency to build public trust in the City and services through tools and technology (police body cams, website).





Des Plaines Elected Officials



Andrew Goczkowski
Mayor



Mark Lysakowski
Alderman
Ward 1



Colt Moylan
Alderman
Ward 2



Sean Oskerka
Alderman
Ward 3



Artur Zadrozny
Alderman
Ward 4



Jessica Mastalski
City Clerk



Carla Brookman
Alderman
Ward 5



Malcolm Chester
Alderman
Ward 6



Patsy Smith
Alderman
Ward 7



Shamoan Ebrahimi
Alderman
Ward 8

City Manager

Michael G. Bartholomew



Exhibit A

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016
847.391.5300
desplaines.org



FIRE DEPARTMENT

405 S. River Road
 Des Plaines, IL 60016
 P: 847.391.5333
 desplaines.org

MEMORANDUM

Date: February 14, 2022

To: Michael G. Bartholomew, City Manager
 Daniel Anderson, Fire Chief

From: Sam Foster, Deputy Chief *SF*

Subject: Approval of On-Going Uniform Purchases under the Fire Department's Quartermaster Program from On-Time Embroidery, Inc.

Issue: The Fire Department has utilized a quartermaster system for uniform issuance and replacement since 2016 and it continues to be an efficient and effective process. Approval of the 2022 expenditures for new employee uniforms and continued replacements of needed items is requested.

Analysis: The Fire Department initiated the quartermaster system in 2016 and at the same time the City Council approved the use of On-Time Embroidery, Inc. of Elk Grove Village as the vendor for the Fire Department's quartermaster system.

On-Time Embroidery has a proven track record with the City and provides a great, effective and efficient service. Uniform orders have been timely, accurate and consistent with the only exception being manufacturer delays that disrupt the supply chain. On-Time Embroidery maintains a robust web-based system that allows for individualized accounts per employee, on-line approval by the quartermaster, Fire Department management of the process, and detailed reporting. On-Time Embroidery does not have a formal retail operation and "showroom", however does accommodate in person sizing when necessary.

In order to provide new and replacement uniforms to personnel, staff is requesting continued use of the Fire Department's quartermaster system for an amount not to exceed \$50,000. Uniform purchases are included in the 2022 Fire Department budget for all four divisions, commodities-7300-uniforms.

Recommendation: I recommend that the Resolution be approved, authorizing continued purchasing under the quartermaster system with On-Time Embroidery for an amount not to exceed \$50,000.

Attachment:

Resolution R - 47 - 22

CITY OF DES PLAINES

RESOLUTION R - 47 - 22

**A RESOLUTION AUTHORIZING THE PURCHASE OF
FIRE DEPARTMENT UNIFORMS FROM ON TIME
EMBROIDERY, INC.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, the City's Fire Department purchases uniforms for use by Fire Department personnel ("*Uniforms*") through a quartermaster system, under which Fire Department personnel, subject to approval by a Fire Department quartermaster, are allowed to replace uniform items through a web-based City account established with the designated vendor; and

WHEREAS, the Fire Department researched uniform vendors and determined that only On Time Embroidery, Inc. ("*Vendor*") has established and maintains a web-based purchasing system that supports the quartermaster system by allowing: (i) each Fire Department employee to establish an online account for the purpose of purchasing Uniforms; (ii) the Fire Department quartermaster to review and approve orders placed by employees; and (iii) the generation of detailed reports regarding purchases and expenditures; and

WHEREAS, in 2016, at the start of the quartermaster system, the City sought competitive quotes from qualified vendors for the purchase of the Uniforms, and Vendor submitted the low-price quote; and

WHEREAS, pursuant to Chapter 10 of Title 1 of the City Code and the City's purchasing policy, the City has determined that the purchase of Uniforms from Vendor is a special requirements purchase and therefore does not require competitive bidding because only Vendor can provide the Uniforms within the special parameters required by the City for, and the overall plan for procurement through, the quartermaster system, which will achieve improved public service and long-term operational efficiencies for the City; and

WHEREAS, the City Council desires to purchase the Uniforms from Vendor in the total not-to-exceed amount of \$50,000; and

WHEREAS, the City Council has determined that it is in the best interest of the City to purchase Uniforms from the Vendor in an amount not to exceed \$50,000;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF PURCHASE. The City Council hereby approves the purchase by the City of Uniforms from Vendor in the not-to-exceed amount of \$50,000.

SECTION 3: AUTHORIZATION OF PURCHASE. The City Council authorizes and directs the City Manager and the City Clerk to execute and seal documents approved by the General Counsel, and the City Manager to make payments, on behalf of the City, that are necessary to complete the purchase of the Uniforms from the Vendor in a total not-to-exceed amount of \$50,000.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2022.

APPROVED this ____ day of _____, 2022.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Approving Purchase of Uniforms from On Time Embroidery Inc (2022)



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1111 Joseph J. Schwab Road
Des Plaines, IL 60016
P: 847.391.5464
desplaines.org

MEMORANDUM

Date: February 24, 2022

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: Robert Greenfield, Superintendent of Utility Services *RG*

Cc: Timothy Watkins, Assistant Director of Public Works and Engineering
Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering

Subject: Task Order #19 - Construction Services related to the Water System Separation Project

Issue: The 2022 Budget includes funding for the construction of improvements to separate the City's water system into two pressure zones.

Analysis: Construction engineering services for this project consists of:

- Review of material and equipment submittals for conformance with the project requirements.
- Make periodic site visits to verify that the work is performed in accordance with the plans and specifications (approximately 50% on site). The contract scope of work assumes 8 weeks of construction duration.
- Respond to Contractor Requests for Information as necessary.
- Record quantities and initiate payment requests.
- Generate punch list and perform punch list inspection.

Trotter and Associates, the design engineers for the project, provided Task Order #19 for engineering services.

The City has a Master Consultant Agreement with Trotter and Associates and they have provided a proposal to perform the construction engineering services. Their proposal is in the amount of \$44,176.00.

Recommendation: We recommend approval of Task Order #19 with Trotter and Associates, 40W201 Wasco Rd., Suite D St. Charles, IL 60175 in the amount of \$44,176.00. Funding source will be Water Fund, Professional Services, 500-00-580-0000.6000.

Attachments:

Resolution R-48-22
Exhibit A – Task Order #19

CITY OF DES PLAINES

RESOLUTION R - 48 - 22

**A RESOLUTION APPROVING TASK ORDER NO. 19
UNDER A MASTER CONTRACT WITH TROTTER &
ASSOCIATES, INC. FOR PROFESSIONAL ENGINEERING
SERVICES.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, the City's 2022 Budget includes funding for design of improvements necessary to separate the City's water system into two pressure zones at the Maple Street Pump Station (collectively, "*Water System Separation Project*"); and

WHEREAS, the City desires to procure professional engineering services, including, without limitation, review of submittals, site visits, request for information, record quantities and payments requests, and to generate a punch list and perform punch list inspections for the Water System Separation Project ("*Engineering Services*"); and

WHEREAS, on January 21, 2020, the City Council approved Resolution R-16-20, which authorized the City to enter into a master contract ("*Master Contract*") with Trotter & Associates, Inc. ("*Consultant*") for the performance of engineering services for the City as such services are needed over time; and

WHEREAS, in accordance with Section 1-10-14 of the City Code of the City of Des Plaines, City staff has determined that the procurement of the Engineering Services is not adapted to award by competitive bidding because the Engineering Services require a high degree of professional skill where the ability or fitness of the individual plays an important part; and

WHEREAS, the City has a positive existing relationship with the Consultant, which has satisfactorily performed engineering services for the City in the past; and

WHEREAS, Consultant submitted a proposal in the not-to-exceed amount of \$44,176 to perform the Engineering Services; and

WHEREAS, the City has sufficient funds in the Professional Services Water Fund for the procurement of the Engineering Services from Consultant; and

WHEREAS, the City desires to enter into Task Order No. 19 under the Master Contract for the procurement of the Engineering Services from Consultant in the not-to-exceed amount of \$44,176 ("*Task Order No. 19*"); and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into Task Order No. 19 with Consultant;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. The requirement that competitive bids be solicited for the procurement of the Engineering Services is hereby waived.

SECTION 3: APPROVAL OF TASK ORDER NO. 19. The City Council hereby approves Task Order No. 19 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE TASK ORDER NO. 19. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, final Task Order No. 19.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ___ day of _____, 2022.

APPROVED this ___ day of _____, 2022.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

TASK ORDER 19
Construction Phase Services for
Water System Separation

In accordance with Section 1.2 of the Master Contract dated January 21, 2020 between the City of Des Plaines (the “*City*”) and Trotter and Associates, Inc. (the “*Consultant*”), the Parties agree to the following Task Number 19:

1. Contracted Services: Construction Phase Services related to the Water System Separation project.

Construction Services consist of:

- Review submittals for conformance with the project requirements.
- Make periodic site visits to verify that the work is performed in accordance with the plans and specifications (approximately 50% on site, City to perform remaining 50%). The contract amount assumes 8 weeks construction duration.
- Respond to Contractor Requests for Information as necessary.
- Record quantities and payment requests.
- Generate punch list and perform punch list inspection.

2. Project Schedule: Services to proceed immediately.

3. Project Completion Duration:

The construction contract has completion time of 90 days.

4. Project Specific Pricing (if applicable):

- Construction: For Construction Phase Services our compensation shall be Time and Material with an estimate of \$44,176.00.
- Reimbursables: Per the master contract schedule.

5. Additional Changes to the Master Contract (if applicable):

Outside services, if any, will be passed through to the City without markup.

ALL OTHER TERMS AND CONDITIONS REMAIN UNCHANGED.

[Signature Page Follows]

CITY

CONSULTANT

Signature
Director of Public Works
And Engineering

Mark R. Sikora

Signature
Mark R Sikora, P.E.

_____, 20____
Date

February 15, 2022

If greater than, \$[2,500], the City Manager's signature is required.

Signature
City Manager

_____, 20____
Date

If compensation greater than \$[20,000], then the City Council must approve the Services Change Order in advance and the City Manager or Mayor's signature is required.

Signature
City Manager

_____, 20____
Date

Trotter and Associates, Inc.
2022 Schedule of Hourly Rates - Exhibit A

Classification	2022 Billing Rate
Engineering Intern	\$ 66.00
Engineer Level I	\$ 118.00
Engineer Level II	\$ 129.00
Engineer Level III	\$ 138.00
Engineer Level IV	\$ 153.00
Engineer Level V	\$ 173.00
Engineer Level VI	\$ 198.00
Engineer VII	\$ 208.00
Engineer VIII	\$ 239.00
Principal Engineer	\$ 245.00
Technician Level I	\$ 98.00
Technician Level II	\$ 119.00
Technician Level III	\$ 139.00
Technician Level IV	\$ 151.00
Senior Technician	\$ 167.00
GIS Specialist I	\$ 98.00
GIS Specialist II	\$ 129.00
GIS Specialist III	\$ 155.00
Clerical Level I	\$ 66.00
Clerical Level II	\$ 78.00
Clerical Level III	\$ 95.00
Survey Technician Level I	\$ 66.00
Survey Technician Level II	\$ 81.00
Survey Crew Chief	\$ 166.00
Professional Land Surveyor	\$ 200.00
Department Director	\$ 198.00

Sub Consultants

Reimbursable Expenses

*** Rates will be escalated for Overtime & Holiday Pay to adjust for Premium Time based on the current Illinois Department of Labor Rules*

Note: On January 1, and yearly thereafter, the fees and hourly rates may be escalated by an amount not to exceed five (5) percent.

Trotter and Associates, Inc.
2022 Schedule of Reimbursable Expenses- Exhibit A-1

Item	Unit	Unit Price
Engineering Copies 1- 249 Sq. Ft.	Sq. Ft.	\$ 0.29
Engineering Copies 250-999 Sq. Ft.	Sq. Ft.	\$ 0.27
Engineering Copies 1000-3999 Sq. Ft.	Sq. Ft.	\$ 0.25
Engineering Copies 3999 Sq. Ft. & Up	Sq. Ft.	\$ 0.23
Engineering Copies up to 24" by 36"	Each	\$ 8.00
Presentation Grade Large Format Print	Sq. Ft.	\$ 5.15
Comb Binding > 120 Sheets	Each	\$ 4.75
Comb Binding < 120 Sheets	Each	\$ 3.50
Binding Strips (Engineering Plans)	Each	\$ 1.00
5 Mil Laminating	Each	\$ 1.25
Copy 11" x 17" - Color	Each	\$ 0.50
Copy 11" x 17" - Black and White	Each	\$ 0.25
Copy 8.5" x 11" - Color	Each	\$ 0.25
Copy 8.5" x 11" - Black and White	Each	\$ 0.12
Recorded Documents	Each	\$ 25.00
Plat Research		Time and Material
Per Diem	Each	\$ 30.00
Field / Survey Truck	Each	\$ 45.00
Postage and Freight		Cost

Note: Prices may be periodically increased by an amount not to exceed increases incurred by TAI.



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: February 24, 2022

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: Jon Duddles, P.E., CFM, Assistant Director of Public Works and Engineering *ASD*

Cc: Timothy P. Oakley, P.E., CFM, Director of Public Works & Engineering

Subject: 2022 Capital Improvement Program (CIP) - Contract A - Construction Engineering Services for Area #4 Drainage Improvements and Forest and Cindy Drainage Improvements

Issue: The 2022 City budget includes funding for Construction Engineering 2022 Capital Improvement Program (CIP) - Contract A - Area #4 Drainage Improvements and Forest and Cindy Drainage Improvements.

Analysis: In October 2021, CBBEL was selected to provide professional design engineering services related to the preparation of plans, specifications and permits for the construction of the proposed improvements to alleviate the street and below-grade garage flooding within Area #4 and the Forest / Cindy area.

Due to their familiarity with the project, we have requested a proposal from CBBEL for professional construction engineering services for the construction of the 2022 Capital Improvement Program (CIP) - Contract A - project. CBBEL submitted a proposal in the amount of \$400,190 for the professional engineering services. Work will include Resident Engineering, pay estimate preparation, project closeout documentation, punch list preparation and other construction engineering related items, as requested. The consultant will perform all construction engineering services on behalf of the City.

Recommendation: We recommend approval of Task Order #1 to the Master Contract with CBBEL, 9575 West Higgins Road, Suite 600, Rosemont, Illinois 60018 in the amount of \$400,190. Source of funding would be the Capital Projects Fund.

Attachments:
Resolution R-49-22
Exhibit A - Contract

CITY OF DES PLAINES

RESOLUTION R - 49 - 22

**A RESOLUTION APPROVING TASK ORDER NO. 1
UNDER A MASTER CONTRACT WITH CHRISTOPHER B.
BURKE ENGINEERING, LTD. FOR PROFESSIONAL
ENGINEERING SERVICES.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, the City has appropriated funds in the Capital Projects Fund for use by the Department of Public Works and Engineering during the 2022 fiscal year for the 2022 Capital Improvement Program - Contract A, Area #4 Drainage Improvements and the Forest and Cindy Drainage Improvements projects (collectively, "**Projects**"); and

WHEREAS, on December 21, 2021, the City Council approved Resolution R-210-21, which authorized the City to enter into a master contract ("**Master Contract**") with Christopher B. Burke Engineering, Ltd. ("**Consultant**") for the performance of engineering services for the City as such services are needed over time; and

WHEREAS, the City desires to procure professional engineering services related to construction engineering for the Projects ("**Engineering Services**"); and

WHEREAS, in accordance with Section 1-10-14 of the City Code of the City of Des Plaines, City staff has determined that the procurement of the Engineering Services is not adapted to award by competitive bidding because the Engineering Services require a high degree of professional skill where the ability or fitness of the individual plays an important part; and

WHEREAS, the City has a positive existing relationship with the Consultant, which has satisfactorily performed engineering services for the City in the past; and

WHEREAS, Consultant submitted a proposal in the not-to-exceed amount of \$400,190 to perform the Engineering Services; and

WHEREAS, the City has sufficient funds in the Capital Projects Fund for the procurement of the Engineering Services from Consultant; and

WHEREAS, the City desires to enter into Task Order No. 1 under the Master Contract for the procurement of the Engineering Services from Consultant in the not-to-exceed amount of \$400,190 ("**Task Order No. 1**"); and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into Task Order No. 1 with Consultant;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. The requirement that competitive bids be solicited for the procurement of the Engineering Services is hereby waived.

SECTION 3: APPROVAL OF TASK ORDER NO. 1. The City Council hereby approves Task Order No. 1 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE TASK ORDER NO. 1. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, final Task Order No. 1 only after receipt by the City Clerk of at least one executed copy of final Task Order No. 1 from Consultant; provided, however, that if the City Clerk does not receive one executed copy of final Task Order No. 1 from Consultant within 60 days after the date of adoption of this Resolution, then this authority to execute and seal final Task Order No. 1 shall, at the option of the City Council, be null and void.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ___ day of _____, 2022.

APPROVED this ___ day of _____, 2022.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

TASK ORDER NO. 1
TO MASTER CONTRACT BETWEEN THE CITY OF DES PLAINES
AND CHRISTOPHER B. BURKE ENGINEERING, LTD.
FOR DESIGN ENGINEERING SERVICES

In accordance with Section 1.2 of the Master Contract dated January 1, 2022 between the City of Des Plaines (the “City”) and Christopher B. Burke Engineering, Ltd., 9575 West Higgins Road, Suite 600, Rosemont, Illinois 60018 (the “Consultant”), the Parties agree to the following Task Number 1:

1. Contracted Services:

The Consultant will perform the services described in the "Scope of Services" set forth in the “Area 4 Drainage Improvements, Forest and Cindy Drainage Improvements, Proposal for Phase III Engineering Services” prepared by the Consultant submitted to the City, and dated January 19, 2022 (“Proposal”).

2. Project Schedule:

Schedule attached.

3. Project Completion Date:

The Consultant will diligently and continuously prosecute the Services until their completion.

4. Project Specific Pricing (if applicable):

In exchange for the Contracted Services, the Consultant will receive compensation on a time and materials basis in the amounts set forth in the Pricing Schedule attached to the Master Contract as Attachment B, but in no event will the compensation paid to the Consultant exceed \$400,190 as set forth in the Proposal under the section titled "Estimate of Fee”.

5. Additional Changes to the Master Contract (if applicable):

In the event of a conflict between any provisions of the Proposal and this Task Order No. 1 of the Master Contract, this Task Order No. 1 and the Master Contract will control.

ALL OTHER TERMS AND CONDITIONS OF THE MASTER CONTRACT REMAIN UNCHANGED.

[SIGNATURE PAGE FOLLOWS]

CITY

CONSULTANT

Signature
Director of Public Works & Engineering

_____, 2022

Date

Signature

Name (Printed or Typed)

_____, 2022

Date

If greater than, \$2,500, the City Manager's signature is required.

Signature
City Manager

_____, 2022

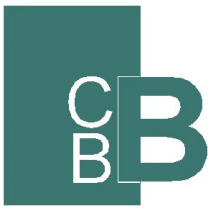
Date

If greater than \$20,000, the City Council must approve the Task Order in advance and the City Manager's signature is required.

Signature
City Manager

_____, 2022

Date



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

January 19, 2022

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

Attention: Jon Duddles, PE, CFM
Assistant Director of Public Works and Engineering

Subject: Area 4 Drainage Improvements
Forest and Cindy Drainage Improvements
Proposal for Phase III Engineering Services

Dear Mr. Duddles:

At your request, Christopher B. Burke Engineering, Ltd. (CBBEL) is pleased to provide this proposal for professional engineering services related to construction engineering for the construction of the Area 4 Drainage Improvements Forest and Cindy Drainage Improvements. Included below you will find our Understanding of the Assignment, Scope of Services and Estimate of Fee.

UNDERSTANDING OF THE ASSIGNMENT

CBBEL understands that the City of Des Plaines requests construction observation services for the Area 4 Drainage Improvements Forest and Cindy Drainage Improvements. We understand that this work is presently being designed by CBBEL staff.

SCOPE OF SERVICES

Task 1 – Construction Observation and Documentation: CBBEL will provide two full-time Engineer's for the duration of construction observation for the Area 4 Drainage Improvements Forest and Cindy Drainage Improvements. This includes the following tasks:

- Observe the progress and quality of the executed work and determine if the work is proceeding in accordance with the Contract Documents. The Engineer will keep the City informed of the progress of the work, guard the City against defects and deficiencies in the work, advise the City of all observed deficiencies of the work, and advise when the City should disapprove or reject all work failing to conform to the Contract Documents.
- Serve as the City's liaison with the Contractor working principally through the City's Resident Engineer
- Assist Contractors coordinating with any outside agencies.
- Attend all construction conferences. Arrange a schedule of progress meetings and other job conferences as required. Maintain and circulate copies of records of the meetings.

- Review the Contractor's schedule on a weekly basis. Compare actual progress to Contractor's approved schedule. If the project falls behind schedule, work with the Contractor to determine the appropriate course of action to get back on schedule.
- Maintain orderly files for correspondence, reports of job conferences, shop drawings and other submissions, reproductions or original contract documents including all addenda, change orders, and additional drawings issued subsequent to the award of the contract. Obtain and document all material inspections received from the Contractor as outlined in the Project Procedures Guide of IDOT's Construction Manual.
- Assist in verification if the project has been completed in accordance with the Contract Documents and that the Contractor has fulfilled all of his obligations.
- Record the names, addresses and phone numbers of all Contractors, subcontractors and major material suppliers in the diary.
- Keep an inspector's daily report book as outlined in the IDOT Project Procedures Guide, which shall contain a daily report and quantity of hours on the job site, weather conditions, list of visiting officials, daily activities, job decisions and observations as well as general and specific observations and job progress.

Task 2 – Record Drawings:

- Assist in preparing record drawings.

Task 3 – Post Construction: CBBEL will perform the following tasks once construction is complete:

- Prior to final inspection, submit to the Resident Engineer a list of observed items requiring correction and verify that each correction has been made.
- Attend the final walk through.
- Verify that all the items on the final punchlist have been corrected and make recommendations to the Resident Engineer concerning acceptance.

CBBEL shall not have control over or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work since these are solely the Contractor's responsibility under the contract for construction.

ESTIMATE OF FEE

CBBEL estimates the following fees for each of the tasks described above:

Task	Fee
Task 1 – Construction Observation and Documentation	\$ 352,600
Task 2 – Record Drawings	\$ 8,620
Task 3 – Post Construction	\$ 20,770
Direct Cost	\$ 18,200
Total	\$ \$400,190

We will bill you in accordance with the City's previously approved Master Agreement between the City of Des Plaines and Christopher B. Burke Engineering, Ltd. (CBBEL). Direct costs for mileage, blueprints, photocopying, postage, overnight delivery, messenger services, and report binding are included in the Fee.

Sincerely,



Michael E. Kerr, PE
President

Encl: Staff Hours/Cost Summary
Resumes – Bobby Dunn, Vince Tursi

N:\PROPOSALS\ADMIN\2022\Des Plaines Forest and Cindy Drainage Improvements\Des Plaines.Area 4 Drainage Improvements.011722.docx



CITY MANAGER'S OFFICE

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5488
desplaines.org

MEMORANDUM

Date: February 18, 2022
To: Mayor Goczkowski and Aldermen of the City Council
From: Michael G. Bartholomew, City Manager *MB*
Subject: Amended and Restated Agreement with Midwest Gaming

Attached for your consideration is an amended and restated business development agreement with Midwest Gaming.

Attachments:
Resolution R-50-22
Exhibit A – Amended and Restated Business Development Agreement

CITY OF DES PLAINES

RESOLUTION R - 50 - 22

A RESOLUTION APPROVING AND AUTHORIZING THE EXECUTION OF AN AMENDED AND RESTATED BUSINESS DEVELOPMENT AGREEMENT BETWEEN THE CITY OF DES PLAINES AND MIDWEST GAMING & ENTERTAINMENT, LLC.

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations and corporations, in any manner not prohibited by law or ordinance; and

WHEREAS, the City and Midwest Gaming & Entertainment, LLC, a Delaware limited liability company (together with its permitted successors and assigns, "*Midwest*"), entered into a Business Development agreement dated as of December 11, 2008 and amended on August 6, 2012 (together, "*Agreement*"), pursuant to which the City and Midwest agreed to certain terms and conditions related to the development and operation of a gaming facility located in the City; and

WHEREAS, the Agreement was drafted with the assumption that no more than 10 casino licenses would be issued by the State of Illinois; and

WHEREAS, the City and Midwest desire to restate and amend the Agreement to reflect the fact that the Illinois General Assembly passed, and the Governor signed into law, statutory amendments authorizing additional casino licenses ("*Amended and Restated Agreement*"); and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into the Amended and Restated Agreement;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF AMENDED AND RESTATED AGREEMENT. The Amended and Restated Agreement, in substantially the form attached to this Resolution as **Exhibit A** and in a final form to be approved by the General Counsel, is approved.

SECTION 3. AUTHORIZATION TO EXECUTE THE AMENDED AND RESTATED AGREEMENT. The City Manager is authorized and directed to execute, on behalf of the City, the final Amended and Restated Agreement.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2022.

APPROVED this ____ day of _____, 2022.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

#69659373_v2

AMENDED AND RESTATED BUSINESS DEVELOPMENT AGREEMENT

This Amended and Restated Business Development Agreement (the “*Agreement*”) is made and entered into this 14 day of February, 2022, by and between the CITY OF DES PLAINES, Cook County, Illinois, an Illinois home rule municipal corporation duly organized and existing under the laws of the State of Illinois (“*Des Plaines*”), and MIDWEST GAMING & ENTERTAINMENT, LLC, a Delaware limited liability company (together with its permitted successors and assigns, “*Midwest*”).

WHEREAS, Des Plaines and Midwest entered into a Business Development Agreement dated as of December 11, 2008 (“*Original Agreement*”), pursuant to which Des Plaines and Midwest agreed to certain terms and conditions relating to the development and operation of a gaming facility located in the City of Des Plaines, Illinois authorized by the 10th casino license issued by the State of Illinois (“*State*”); and

WHEREAS, under the Agreement, Des Plaines agreed to share a portion of the Gaming Tax Revenues (as defined in the Original Agreement) with the State (“*Authorized Payments*”) and an additional portion of the Gaming Tax Revenues with certain other Illinois communities; and

WHEREAS, pursuant to the “First Amendment to Business Development Agreement” dated August 6, 2012 (“*First Amendment*”) Des Plaines and Midwest modified the Original Agreement relating to, among other things, the schedule for payment of the Authorized Payments by Des Plaines to the State; and

WHEREAS, the Original Agreement as amended by the First Amendment is referred to as the “*Agreement*”; and

WHEREAS, the original intent of the Parties under the Agreement was that Des Plaines’ obligations were always based on no more than 10 State casino licenses having been issued; and

WHEREAS, in 2019 and 2020, the Illinois General Assembly passed and the Governor signed into law statutory amendments authorizing gaming expansion including additional Illinois casinos; and

WHEREAS, Des Plaines and Midwest now desire to further amend the Agreement to reflect the facts set forth above and to restate the enter Agreement as set forth herein; and

WHEREAS, the powers exercised hereunder are found to be in furtherance of a public use and essential to the public interest.

NOW, THEREFORE, in consideration of the premises and mutual promises and agreements contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree that the Agreement, as further amended shall be restated in its entirety as follows:

1. **Recitals**: The recitals set forth above are incorporated herein by reference, as if fully set forth herein.

2. **Legislative Authority**: Pursuant to the authority granted by the Illinois Constitution Article VII 6(a) and 10(a), Des Plaines represents and warrants that the adoption and performance of this Agreement is within its scope of authority as a home rule unit of local government; that it is duly authorized and empowered to enter into and carry out the terms of this Agreement; that it has taken all requisite action to approve and adopt this Agreement; and that this Agreement constitutes the legal, valid and binding obligation of Des Plaines, enforceable against it in accordance with its terms, and that this Agreement does not conflict with or breach any other obligation of Des Plaines.

3. **Establishment of Facilities**: Based upon representations and covenants of Des Plaines, including the representations and covenants set forth herein, Midwest Intends to locate a gaming facility in Des Plaines if it is able to obtain the 10th Illinois casino license.

4. **Contribution:**

(a) In order to induce Midwest to establish a gaming facility in Des Plaines and to enhance the amount of Midwest's bid for the 10th Illinois casino license to the State of Illinois, Des Plaines agrees to share Ten Million Dollars (\$10,000,000) of the Gaming Tax Revenues per year for thirty (30) years ("*Authorized Payments*") to be paid to the State of Illinois pursuant to the following schedule:

(i) For the period of time representing July 15, 2011 through December 31, 2011 Des Plaines shall remit to the State on or before August 15, 2012, the amount of \$4,657,534.25, representing 170/365 of the first annual payment obligation of \$10,000,000.00;

(ii) To the extent available from receipt of Gaming Tax Revenues, for the period of time representing January 1, 2012 through December 31, 2012 and for each calendar year thereafter through and including December 31, 2040, Des Plaines shall remit to the State on or before March 1 of each year, beginning March 1, 2013, the annual amount of \$10,000,000.00; and

(iii) To the extent available from receipt of Gaming Tax Revenues, for the period of time representing January 1, 2041 through July 14, 2041 Des Plaines shall remit to the State on or before September 30, 2041, the amount of \$5,342,465.75, representing 195/365 of the final annual payment obligation of \$10,000,000.00; and

(iv) Except as limited pursuant to the first sentence of Subsection 5(a) of this Agreement, the Disadvantaged Communities shall be paid on the same schedule as set forth in subsection (ii) above.

Under no circumstances shall Des Plaines be liable for paying the Authorized Payments from any source of funds other than the Gaming Tax Revenues. The parties acknowledge and agree that under no circumstances shall Midwest be liable for any portion of the Authorized

Payments or any portion of the amounts payable to the Benefitting Communities as provided for pursuant to Section 5(a) of the Agreement (“*Benefitting Communities Contribution*”).

(b) Further, in lieu thereof, as an alternative to the Authorized Payments being made to the State of Illinois, if the Illinois Gaming Board or any instrumentality of the State of Illinois formally designated by the Illinois Gaming Board (a “*State Designee*”) so elects (and if permissible by law) and as more fully described below, Des Plaines shall authorize the issuance of a Municipal Revenue Bond (“*Bond*”) subject to customary provisions from which 100% of the Bond proceeds (net of issuance fees, including legal fees incurred by Des Plaines) would be paid to the State of Illinois. In this circumstance, instead of the Authorized Payments being made to the State of Illinois, the applicable portion of the Authorized Payments would be paid to the Bond holders (on a semi-annual basis as is customary in the municipal bond market). If the amount necessary to service the Bond on a semi-annual basis is less than half of an Authorized Payment on an annual basis, then the difference (up to half of an Authorized Payment) would be paid to the State of Illinois by Des Plaines from Gaming Tax Revenues. If the Illinois Gaming Board or a State Designee elects to pursue the Bond Issuance, then the Illinois Gaming Board or a State Designee may select the date of the Bond issuance, the amount of the Bond Issuance (up to the maximum that the bond market will permit based on the Authorized Payments that remain to be paid), as well as the investment bank(s) and/or financial advisor(s) to be utilized to execute the Bond Issuance, subject to the reasonable approval of Des Plaines.

(c) Under no circumstances shall Des Plaines be liable for paying the principal and interest on the Bond from any source of funds other than the Gaming Tax Revenues. Further, under no circumstances shall Midwest be liable for any portion of the principal and interest on the Bond or any other payments hereunder. In addition, under no circumstances would Des Plaines or Midwest be obligated to grant a security interest in any real or personal property, or be obligated

to provide any form of additional security for the benefit of the State of Illinois and/or any instrumentalities thereof (including the Illinois Gaming Board) and/or holders of the Bond.

(d) The Authorized Payments (whether made to the State of Illinois or a designee or Bond holders) shall have the highest priority of all payments to be made out of the Gaming Tax Revenues, and therefore, will be senior to all payments to other communities (as described in Section 5) or the portion of Gaming Tax Revenues reserved by Des Plaines for its own use. However, at any time prior to the issuance of the Bond, or if permitted by the Bond documents, the Illinois Gaming Board or a State Designee, may elect that Des Plaines redirect all or a portion of the Authorized Payments which would have been payable to the State of Illinois to be paid to the Benefitting Communities (as defined below).

5. **Sharing of Gaming Tax Revenues:**

(a) Only through and including the 15th full calendar year during which Authorized Payments are required, Des Plaines hereby commits to share forty percent (40%) for public and other governmental purposes with not less than ten (10) and not greater than twenty-five (25) of the most economically distressed communities in the State of Illinois (collectively “***Benefitting Communities***”). The Benefitting Communities shall be determined by Des Plaines, subject to the reasonable approval of the Illinois Gaming Board or the State Designee, according to objective criteria and based upon U.S. census data or other objective 3rd party data sources. Notwithstanding the criteria to be utilized in the future, Des Plaines shall include the following communities among the initial Benefitting Communities Dixmoor, Ford Heights, Hodgkins, Phoenix, Robbins, Harvey, Markham, Riverdale, Summit, and Chicago Heights. All Benefitting Communities shall be subject to an annual review of their respective economic conditions, and the amount to be shared among all Benefitting Communities will be allocated proportionally based on the relative population of each community.

(b) It is currently contemplated that the City of Chicago (“**Chicago**”) will not be a Benefitting Community because its large population would result in a disproportionate amount of the Gaming Tax Revenues being allocated to Chicago to the detriment of the other Benefitting Communities. However, Des Plaines may, in the future, decide to allocate Gaming Tax Revenue to Chicago based on the suggestion of the Illinois Gaming Board or the State Designee. If such a decision were made, any such allocation would be targeted to economically distressed neighborhoods or zip codes within Chicago according to objective criteria and based upon U.S. census data or other objective 3rd party data sources.

6. **Review of Book 1 and Records**: If permitted under applicable law, Midwest shall provide to Des Plaines a State of Illinois Gaming Revenue Report reflecting Midwest’s receipts as reported to the Illinois Gaming Board. Additionally, to the extent permitted under applicable law and subject to any applicable obligations of confidentiality and/or attorney client privilege, Midwest shall make available for Inspection by representatives of Des Plaines, during normal business hours, upon reasonable notice and at Des Plaines’ expense, copies of relevant reports, books and records, or any other information filed with the State or Illinois or other appropriate governmental entity. Des Plaines shall maintain the confidentiality of the information contained in such reports but shall be permitted to disclose such information and documents to employees and consultants as Des Plaines, in its reasonable judgment, deems necessary; provided that such employees and consultants shall be bound by the same obligation of confidentiality.

7. **Changed Conditions**: In the event that it is finally determined by any court of competent jurisdiction (after exhaustion of all regular appeals) that any of the covenants of this Agreement cannot legally be performed by Des Plaines or are not within the constitutional authority conferred upon Des Plaines as a home rule unit of local government, notwithstanding such judicial determination, and without limiting any rights or remedies of Midwest in respect

thereof, Des Plaines agrees to make every reasonable effort within its lawful authority to carry out the intention of the parties as hereinabove agreed.

8. **Mutual Assistance**: Des Plaines and Midwest agree to take all commercially reasonable actions which are necessary or appropriate to carry out the terms and provisions of this Agreement.

9. **Limit of Liability**: Des Plaines and Midwest specifically agree and understand that the receipt of Gaming Tax Revenues shall be a condition precedent to any obligation of Des Plaines to pay monies under Sections 4 and 5 hereof, and no obligation from Des Plaines to the State of Illinois, the holders of the Bond, or the Benefitting Communities shall exist unless Des Plaines has first received, during any year, sufficient Gaming Tax Revenues to meet its obligations as described herein. Under no circumstances, shall Des Plaines be liable for paying any sums as set forth herein other than from Gaming Tax Revenues. Additionally, the parties acknowledge and agree that Midwest has no control over whether it is awarded the 10th Illinois casino license and therefore Midwest shall have no liability under the terms of this Agreement or otherwise if it is not awarded the 10th Illinois casino license.

10. **Notices**: Any notices required in this Agreement shall be effective when in writing, received by the other party via certified mail, return receipt requested, or by delivering the same in person or to an officer of such party or by receipted facsimile or private overnight courier, addressed to the party to be notified.

All notices to Des Plaines shall be sent to:

City Manager
City of Des Plaines
1420 Miner Street – 6th Floor
Des Plaines, Illinois 60016
Facsimile: 847-391-5378

With a copy to:

{00122938.3}

City Attorney
City of Des Plaines
1420 Miner Street – 4th Floor
Des Plaines, Illinois 60016
Facsimile: 847-391-5003

All notices to Midwest shall be sent to:

Mr. Neil Bluhm
Midwest Gaming & Entertainment, LLC
900 North Michigan Avenue, Suite 1900
Chicago, IL 60611
Facsimile: 312-915-3053

or to such other parties or addresses as may be designated by a notice sent in accordance with the foregoing.

11. **Force Majeure**: Neither party to this Agreement shall be liable for any delays or failure to perform due to unforeseen causes beyond the reasonable control and without the fault or negligence of the parties, including, but not limited to Acts of God, or of the public enemy, acts of any government (other than the City of Des Plaines), fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather.

12. **Breach**: Upon a breach of this Agreement, either of the parties, by any action or proceeding at law or in equity, may, without the posting of any bond or undertaking therefore, seek and secure the specific performance of the covenants and agreements herein contained, may be awarded damages for failure of performance, and/or both. Prior to the institution of any legal action by either party, both parties must conduct at least one mediation session with an impartial mediator chosen by the parties.

13. **Termination**: The obligations of Des Plaines and Midwest under this Agreement shall immediately terminate upon (i) the failure of Midwest to obtain the 10th Illinois casino license or (ii) on the date on which Des Plaines is no longer obligated to make the Authorized Payments under Section 4 of this Agreement and payments to Benefitting Communities under

{00122938.3}

Section 5 of this Agreement. Des Plaines hereby agrees that it has no right and will assert no right to terminate this Agreement for convenience or similar grounds.

14. **Indemnification**: Des Plaines agrees to indemnify and hold harmless Midwest and its affiliated entities and their respective officers, directors, members, managers, shareholders, employees, attorneys, financial advisors, representatives and agents, and each of their successors and assigns (the "Casino Indemnified Parties") from and against any and all expenses (including without limitation reasonable attorney fees and costs), liabilities, obligations, damages, fines and losses incurred by any Casino Indemnified Party in any way related to, arising out of, or in connection with, whether in whole or in part, the Benefitting Communities Contribution or the Authorized Payments, or the termination thereof, as provided in this Agreement.

15. **Regulatory Compliance**: Des Plaines agrees that Midwest may immediately terminate this Agreement, in whole or in part, without liability on the part of Midwest or any qualified party to this Agreement or any related agreement, if the Illinois Gaming Board ("**IGB**") disapproves of this Agreement, any Amendment thereto, or any part hereof, or if Midwest determines, in its good faith opinion, that Des Plaines is not suitable or eligible to conduct business with an Illinois gaming company.

16. **Other Mutual Covenants**: The parties agree to the following other mutual covenants:

(a) *Entire Agreement*: This Agreement, together with the resolutions passed by the City Council of Des Plaines and currently in effect relating to Midwest, contain the entire agreement between the parties with respect to the transaction contemplated in this Agreement.

(b) *Severability*: Each section of this Agreement and each sentence, clause or phrase contained in such section shall be considered severable and, if for any reason, any section or sentence, clause or phrase contained in such section is determined to be invalid or contrary to any

existing or future laws, or is contrary to any direction provided by the IGB, such invalidity shall not impair the operation of or affect that portion of this Agreement which is valid.

(c) *Amendment:* This Agreement may not be amended, altered or revoked at any time, in whole or in part, other than by a written instrument setting forth such changes signed by all of the parties to this Agreement.

(d) *Assignment:* Midwest shall not assign this Agreement to any person or entity without the prior written consent of Des Plaines, which consent shall not be unreasonably withheld, conditioned or delayed; provided, however, that no such consent shall be required in connection with an assignment to an affiliate of Midwest; and provided further, that Des Plaines hereby acknowledges that Midwest may assign its rights and remedies under this Agreement as collateral security to one or more financial institutions, trusts or other entities providing financing, and in connection therewith, Des Plaines hereby agrees that such financial institutions, trusts or other entities, or their assignees shall be entitled to all rights and remedies hereunder upon their succession to the interests of Midwest upon any foreclosure, or exercise of other remedy available to a secured creditor under law.

(e) *Binding On:* This Agreement shall be binding on the parties, and their respective successors, assigns, heirs and legal representatives.

(f) *Section and Other Headings:* Section or other headings contained in this Agreement are for reference purposes only and shall not affect in any way the meaning or interpretation of this Agreement.

(g) *Governing Law and Waiver:* This Agreement shall be governed by the laws of the State of Illinois, and the sole and exclusive venue for any disputes arising out of this Agreement shall be any state or federal court located within Cook County, Illinois. A waiver of any part of

this Agreement shall be limited to that specific event and shall not be a waiver of the entire agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first above written.

City of Des Plaines

By: _____
Name: Michael G. Bartholomew
Its: City Manager

Attest:
By: _____
Name: _____
Its: _____

Approved as to form:
By: *Peter M. Friedman*
Name: Peter M. Friedman
Its: General Counsel

Midwest Gaming & Entertainment, LLC

By: *Greg Earlin*
Name: Greg Earlin
Its: Chief Executive Officer

Attest:
By: *Christine Larkin*
Name: Christine Larkin
Its: Executive Assistant



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: February 24, 2022
To: Michael G. Bartholomew, MCP, LEED-AP, City Manager
From: Jon Duddles, P.E., CFM, Assistant Director of Public Works and Engineering ASD
cc: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Subject: IEMA Intergovernmental Grant Agreement (EMC-2018-PC-0005) Extension

Issue: The Illinois Emergency Management Agency (IEMA) is extending the period of performance for the EMC-2018-PC-0005 grant. As a result, a revised and updated grant agreement for this project is required.

Analysis: IEMA administers the EMC-2018-PC-0005 grant and is extending the Period of Performance to March 22, 2023. This will allow the agency to disperse funds to the City in order to acquire and demolish the remaining 5 homes in the grant. Two properties are currently under contract and are scheduled to close later this year. Three properties are currently in the appraisal process.

Recommendation: We recommend approval of the Intergovernmental Grant Agreement between the State of Illinois, Illinois Emergency Management Agency and the City of Des Plaines.

Attachments:

Resolution R-51-22
Exhibit A – Intergovernmental Agreement

CITY OF DES PLAINES

RESOLUTION R - 51 - 22

A RESOLUTION APPROVING AN AMEMDMENT TO THE GRANT AGREEMENT WITH THE ILLINOIS EMERGENCY MANAGEMENT AGENCY.

WHEREAS, the Federal Emergency Management Agency ("*FEMA*") provides Hazard Mitigation Assistance ("*HMA*") grant funding through the Illinois Emergency Management Agency ("*IEMA*"); and

WHEREAS, IEMA has awarded a HMA grant to the City ("*Grant*") for the acquisition and demolition of thirteen structures located within the flood plain that have been repeatedly damaged by flooding ("*Project*") as outlined under the grant agreement between the City and IEMA ("*Grant Agreement*"), which Grant Agreement was approved by City Council by Resolution R-58-20 and extended for a period of one year by Resolution R-68-21; and

WHEREAS, the City and IEMA desire to amend the Grant Agreement to extend the time to complete the Project to March 22, 2023 ("*Amendment*") in order to provide additional time for the demolition of the four remaining structures; and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into the Amendment to the Grant Agreement with IEMA;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF AMENDMENT TO GRANT AGREEMENT. The City Council hereby approves the Amendment to the Grant Agreement in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 3: AUTHORIZATION TO EXECUTE AMENDMENT TO GRANT AGREEMENT. The City Council hereby authorizes and directs the Mayor and the City Clerk to execute and seal, on behalf of the City, the final Amendment to the Grant Agreement.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

[SIGNATURE PAGE FOLLOWS]

PASSED this __ day of _____, 2022.

APPROVED this __ day of _____, 2022.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Approving an Amended and Restated Grant Agreement with IEMA for Demolition of Property



ILLINOIS EMERGENCY MANAGEMENT AGENCY

JB Pritzker
Governor

Alicia Tate-Nadeau
Director

ILLINOIS EMERGENCY MANAGEMENT AGENCY
STATE-LOCAL HAZARD MITIGATION GRANT PROGRAM
SUBRECIPIENT AGREEMENT AMENDMENT
(FEMA PDM 2017 Agreement EMC-2018-PC-0005)
Fiscal Years 2017– 2023 (08/14/17 – 3/22/23)
Obligation PDMI8DESP3

This Grant Agreement Amendment between the Illinois Emergency Management Agency (Recipient) and the City of Des Plaines (Subrecipient), Federal Taxpayer Identification Number 36-6005849, shall extend its terms to March 22, 2023, for FEMA Pre Disaster Mitigation Agreement EMC-2018-PC-0005. All other provisions contained within the original Grant Agreement and any subsequent Amendments remain in effect. This time extension is effective upon the signatures of all parties.

Obligations of the State may cease immediately without penalty of further payment being required if, in any fiscal year, (i) sufficient funds for the Agreement have not been appropriated or otherwise made available to the Recipient by the State or the Federal funding source, (ii) the Governor or Recipient reserves funds, or (iii) the Governor or Recipient determines that funds will not or may not be available for payment.

Signature of Subrecipient’s Authorized Representative:

_____ Date Signed: _____

Name Typed: Andrew Goczkowski Title: Mayor

Subrecipient Jurisdiction: City of Des Plaines

Mailing Address for Disbursements: 1420 Miner Street
Des Plaines, IL 60016-6771

Signature(s) of the Recipient (Illinois Emergency Management Agency):

_____ Date Signed: _____

Alicia Tate-Nadeau, Director

By: _____



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: February 24, 2022
To: Michael G. Bartholomew, MCP, LEED-AP, City Manager
From: Jon Duddles, P.E., CFM, Assistant Director of Public Works and Engineering ASD
Cc: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Subject: Construction Engineering Services
AECOM Technical Services, Inc. - Task Order No. 1

Issue: Due to staff turnover, we have a reduction in civil engineering staffing in the Engineering Division. This reduction requires temporary on-site construction engineering assistance from one of our engineering consultants.

Analysis: We requested proposals from four of our consultants that are currently under master contracts with the City and only two were able to provide staffing. The proposal received from AECOM Technical Services, Inc. (AECOM) in an amount not-to-exceed \$267,552 best fits the needs of the Engineering Division as the most qualified resident engineer proposed for this work. This determination is based on the engineer's related experience, qualifications, and the City's past positive experience in working with the engineer and the company.

The scope of work will include Resident Engineer services, pay estimate preparation, project closeout documentation, punch list preparation and other construction engineering related items on at least two projects, as requested.

The other consultant proposal will be presented at the next City Council meeting.

Recommendation: We recommend acceptance of Task Order No. 1 from AECOM Technical Services, Inc., 303 East Wacker Drive, Suite 1400, Chicago, Illinois 60601 for construction engineering services in an amount not to exceed \$267,552. Source of funding would be the Capital Projects Fund.

Attachments:

Resolution R-52-22
Exhibit A - Task Order No. 1

CITY OF DES PLAINES

RESOLUTION R - 52 - 22

**A RESOLUTION APPROVING TASK ORDER NO. 1 WITH
AECOM TECHNICAL SERVICES, INC. FOR
PROFESSIONAL ENGINEERING SERVICES.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, on December 20, 2021, the City Council approved Resolution R-209-21, authorizing the City to enter into a master contract ("**Master Contract**") with AECOM Technical Services, Inc. ("**Consultant**") for the performance of professional engineering services for the City as such services are needed over time; and

WHEREAS, due to staff turnover in the Public Works and Engineering Department, the City has identified the need to procure temporary on-site construction engineering services, including resident engineer services, pay estimate preparation, project closeout documentation, punch list preparation, and other construction engineering related services requested by the City (collectively, "**Engineering Services**"); and

WHEREAS, pursuant to Chapter 10 of Title 1 of the City Code of the City of Des Plaines and the City's purchasing policy, City staff has determined that the procurement of the Engineering Services is not adapted to award by competitive bidding because the Engineering Services require a high degree of professional skill where the ability or fitness of the individual plays an important part; and

WHEREAS, the City has a positive existing relationship with the Consultant, which has satisfactorily performed engineering services for the City in the past; and

WHEREAS, the City requested a proposal from Consultant to perform the Engineering Services; and

WHEREAS, Consultant submitted a proposal in the not-to-exceed amount of \$267,552 to perform the Engineering Services; and

WHEREAS, the City has sufficient funds in the Capital Projects Fund for the procurement of the Engineering Services from Consultant; and

WHEREAS, the City desires to enter into Task Order No. 1 under the Master Contract for the procurement of the Engineering Services from Consultant in the not-to-exceed amount of \$267,552 ("**Task Order No. 1**"); and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into Task Order No. 1 with Consultant;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. The requirement that competitive bids be solicited for the procurement of the Engineering Services is hereby waived.

SECTION 3: APPROVAL OF TASK ORDER NO. 1. The City Council hereby approves Task Order No. 1 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE TASK ORDER NO. 1. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, final Task Order No. 1 only after receipt by the City Clerk of at least one executed copy of Task Order No. 1 from Consultant; provided, however, that if the City Clerk does not receive one executed copy of Task Order No. 1 from Consultant within 60 days after the date of adoption of this Resolution, then this authority to execute and seal Task Order No. 1 will, at the option of the City Council, be null and void.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2022.

APPROVED this ____ day of _____, 2022.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

TASK ORDER NO. 1
TO MASTER CONTRACT BETWEEN THE CITY OF DES PLAINES
AND AECOM TECHNICAL SERVICES, INC.
FOR PROFESSIONAL ENGINEERING SERVICES

In accordance with Section 1.2 of the Master Contract dated January 1, 2022 between the City of Des Plaines (the “City”) and AECOM Technical Services, Inc., 303 East Wacker Drive, Suite 1400, Chicago, Illinois 60601 (the “Consultant”), the Parties agree to the following Task Order Number 1:

1. Contracted Services:

The Consultant will perform the services described in the “Construction Engineering and Management Services Cost Proposal – Request for a Resident Engineer and Construction Engineer” prepared by the Consultant, submitted to the City, and dated February 16, 2022 (“Proposal”).

2. Project Term:

The Consultant will perform the services on an as-needed basis for a term commencing upon notice from the City and ending on December 31, 2022 (“Task Order No. 1 Term”).

3. Project Completion Date:

The Consultant will diligently and continuously prosecute the Services during the Task Order No. 1 Term until their completion.

4. Project Specific Pricing:

In exchange for the Contracted Services, the Consultant will receive compensation on a time and materials basis in the amounts as set forth in the Proposal under the sections titled “Requested Construction Staffing” of the Proposal, but in no event will the compensation paid to the Consultant exceed \$267,552.

5. Additional Changes to the Master Contract (if applicable):

In the event of a conflict between any provisions of the Proposal and this Task Order No. 1 of the Master Contract, this Task Order No. 1 and the Master Contract will control.

ALL OTHER TERMS AND CONDITIONS OF THE MASTER CONTRACT REMAIN UNCHANGED.

CITY

CONSULTANT

Signature
Director of Public Works & Engineering

_____, 2022

Date

Signature

Name (Printed or Typed)

_____, 2022

Date

If greater than, \$2,500, the City Manager's signature is required.

Signature
City Manager

_____, 2022

Date

If greater than \$20,000, the City Council must approve the Task Order in advance and the City Manager's signature is required.

Signature
City Manager

_____, 2022

Date

February 16, 2022

Jon Duddles, P.E., CFM
Assistant Director of Public Works and Engineering
City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

**Re: Construction Engineering and Management Services Cost Proposal –
Request for a Resident Engineer and Construction Engineer**

Dear Mr. Duddles:

AECOM Technical Services, Inc. (AECOM) thanks you for the opportunity to submit a cost proposal for providing a Resident Engineer and an entry level Construction Engineer to support your Department for managing construction projects within the City of Des Plaines. The City of Des Plaines Engineering and Public Works Department continues to improve the City's infrastructure and we are excited to support your Department by providing the following staff;

John Spencer, PE brings 24 years of construction engineering and management experience with a record of delivering multiple projects for the City of Des Plaines since 2015. The City will directly benefit from John's experience and knowledge about City's infrastructure program.

Madeline Karlson is a talented construction engineer certified in IDOT Documentation of Contract Quantities. She has been working in the City of Des Plaines with John Spencer since June 2021 for the final close-out of Des Plaines River Road project, and she was the lead inspector for the removal of two dams in Des Plaines River for Illinois Department of Natural Resources (IDNR).

We trust that the enclosed information meets all submittal requirements. If you have any questions regarding this submittal or require any additional information, please contact Naveed Sarwar at Naveed.sarwar@aecom or 773-318-7120.

Sincerely,

Timothy Whalen, PE
Vice President
AECOM Technical Services, Inc.
Illinois Operations Manager

Naveed Sarwar, PE
Associate Vice President
Project Manager

**City of Des Plaines Construction Management Services
Resident Engineer Request**

REQUESTED CONSTRUCTION STAFFING

TECHNICAL STAFF	TOTAL MANHOURS	April-22	May	June	July	Aug	Sep
John Spencer, PE	964	108	168	176	160	184	168
VEHICLE DAYS	120	13	21	22	20	23	21

Labor \$ 70.00 /hr
 Overhead @ 107.10% \$ 74.97
 Subtotal \$ 144.97
 Profit @ 10% \$ 14.50
 Labor Total \$ **159.47 /hr**

Vehicle 120 days
 x \$ 65.00 /day
 \$ 7,800.00
 / 964 hrs
 Direct Total \$ **8.09 /hr**

Total Proposed Hourly Rate = \$ 168 /hr

**City of Des Plaines Construction Management Services
Construction Engineer Request**

REQUESTED CONSTRUCTION STAFFING

TECHNICAL STAFF	TOTAL MANHOURS	April-22	May	June	July	Aug	Sep
Madeline Karlson	1200	200	200	200	200	200	200
VEHICLE DAYS	150	25	25	25	25	25	25

Labor \$ 35.00 /hr
 Overhead @ 107.10% \$ 37.49
 Subtotal \$ 72.49
 Profit @ 10% \$ 7.25
Labor Total \$ 79.73 /hr

Vehicle 150 days
 x \$ 65.00 /day
 \$ 9,750.00
 / 1200 hrs
Direct Total \$ 8.13 /hr

Total Proposed Hourly Rate = \$ 88 /hr



POLICE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5400
desplaines.org

MEMORANDUM

Date: February 18, 2022

To: Michael G. Bartholomew, City Manager

From: Deputy Chief Dan Shanahan *643

Subject: City Code Amendments to Section 6-2-6-1 (Possession of Cannabis) and 6-2-6-2 (Public Display and Sale of Drug Paraphernalia)

Issue: For the City Council to approve amendments to City Code Section 6-2-6-1 (Possession of Cannabis) and 6-2-6-2 (Public Display and Sale of Drug Paraphernalia) to comport with State Law due to the legalization of adult use cannabis.

Analysis: In 2020, the State of Illinois passed the Cannabis Regulation and Tax Act, ultimately legalizing the personal possession and consumption of cannabis for persons 21 years of age or older. The statute allows an individual to lawfully possess up to 30 grams of cannabis flower (bud), 5 grams of cannabis concentrate, and no more than 500 mg of THC contained in a cannabis-infused product (edibles). In addition, the Illinois statute allows for individuals over the age of 21 to lawfully purchase and possess drug paraphernalia intended for the ingestion of cannabis. The proposed Ordinance changes bring the City Code in alignment with State Law regarding cannabis.

Recommendation: Staff recommends that the City Council amend its current ordinances regarding the possession of cannabis and the sale and possession of cannabis paraphernalia to bring the City Code in alignment with State Law.

Attachments:

Ordinance M-8-22 – Ordinance Amending Chapter 2 “General Offenses” of Title 6 of the City of Des Plaines City Code

CITY OF DES PLAINES

ORDINANCE M – 8 - 22

AN ORDINANCE AMENDING SECTIONS 6-2-6-1 AND 6-2-6-2 OF THE DES PLAINES CITY CODE REGARDING CANNABIS.

WHEREAS, the City is a home rule municipal corporation in accordance with Article VII, Section 6(a) of the Constitution of the State of Illinois of 1970; and

WHEREAS, the State of Illinois adopted the Cannabis Regulation and Tax Act, 410 ILCS 705 (“*Act*”), which legalized the possession, use, cultivation, transportation, and sale of recreational cannabis; and

WHEREAS, the Act’s legalization of the possession and use of cannabis for recreational purposes by adults over the age of 21 supplements existing state law allowing the sale to, and use of cannabis in for registered patients with qualifying medical conditions (“*Medical Cannabis Act*”); and

WHEREAS, the Act prohibits units of local governments, including home rule units, from regulating the use of cannabis for recreational purposes by adults in a manner more restrictive than the regulations provided in the Act; and

WHEREAS, in order to avoid any ambiguity or confusion, the City desires to amend the City Code to regulate the use of cannabis and related paraphernalia in a manner that is consistent with the requirements of the Act and the Medical Cannabis Act; and

WHEREAS, the City Council has determined that it is in the best interest of the City to amend the Des Plaines City Code (“*City Code*”) to regulate cannabis in the manner set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof.

SECTION 2. AMENDMENTS TO SECTION 6-2-6-1. Section 6-2-6-1, titled “Possession of Cannabis,” of Chapter 2, titled “General Offenses,” of Title 6, titled “Police Regulations,” of the City Code is hereby amended to read as follows:

“6-2-6-1: POSSESSION, USE, SALE, PURCHASE, AND TRANSPORTATION OF CANNABIS:

A. Possession, Use, Sale, Purchase, and Transportation; Definition:

1. It shall be unlawful for any person knowingly to possess, consume, use, purchase, obtain, transport, or sell any quantity of any substance containing cannabis, except in compliance with the Cannabis Regulation and Tax Act, 410 ILCS 705/1 et seq. or the Compassionate Use of Medical Cannabis Program Act, 410 ILCS 130/1 et seq., as each may be amended. ~~amount not exceeding thirty (30) grams.~~

2. It shall be a violation of this section for any person knowingly to use or consume, or allow someone else to use or consume, cannabis on the premises of any privately owned commercial facility that is open to members of the general public, including, without limitation, retail stores, restaurants, taverns, theatres, and other recreational facilities, except as otherwise specifically permitted pursuant to the Cannabis Regulation and Tax Act and the Compassionate Use of Medical Cannabis Program Act.

3. It shall be a violation of this section for any person to smoke cannabis in any place where smoking is prohibited pursuant to the Smoke Free Illinois Act, 410 ILCS 82/1 et seq.

24. As used in this section cannabis includes marijuana, hashish and other substances ~~that which~~ are identified as including any parts of the plant cannabis sativa and including derivatives or subspecies, such as indica, of all strains of cannabis, whether growing or not; the seeds thereof, the resin extracted from any part of ~~the such~~ plant; and any compound, manufacture, salt derivative, mixture, or preparation of such plant, its seeds, or resin, including tetrahydrocannabinol (THC) and all other naturally produced cannabinol derivatives, ~~including its naturally occurring or synthetically produced ingredients, whether produced directly or indirectly by extraction, or independently by means of chemical synthesis or by a combination of extraction and chemical synthesis;~~ however, "cannabis" does not but shall not include the mature stalks of such plant, fiber produced from such the stalks, oil or cake made from the seeds of such the plant, any other compound, manufacture, salt, derivative, mixture, or preparation of such the mature stalks (except the resin extracted from it therefrom), fiber, oil or cake, or the sterilized seed of the such plant which is incapable of germination. "Cannabis" does not include industrial hemp as defined and authorized under the Industrial Hemp Act. "Cannabis" also means concentrate and cannabis-infused products.

B. Unlawful Assembly By Minors: It shall be unlawful for any person under the age of twenty one (21) years to remain in any motor vehicle, watercraft, room, dwelling, shed, garage, yard or other area when said person knows, or has reason to know, that one or more other persons under the age of twenty one (21) years located in such motor vehicle, watercraft, room, dwelling, shed, garage, yard or other area are in possession of ~~any cannabis or other~~ controlled substance prohibited by either 720 Illinois Compiled Statutes 550/1 et seq., or 570/1 et seq. (Ord. M-68-94, 10-17-1994)

C. Responsibility Of Owner Or Occupant For Unlawful Assembly By Minors: It shall be unlawful for any person who has ownership or control of any motor vehicle, watercraft, room, dwelling, shed, garage, yard or other area to knowingly permit or allow one or more persons under the age of twenty one (21) years to assemble or be assembled on or in such motor vehicle, watercraft, room, dwelling, shed, garage, yard or other area when said persons are in possession of ~~a~~~~any~~ ~~cannabis~~ ~~or~~ ~~other~~ controlled substance prohibited by either 720 Illinois Compiled Statutes 550/1 et seq., or 570/1 et seq.

D. Violation: Any person found guilty of a violation of any provision of this section shall be subject to a fine as provided in the general penalty in section 1-4-1 of this code for each and every offense.”

SECTION 3. AMENDMENTS TO SECTION 6-2-6-2. Section 6-2-6-2, titled “Public Display and Sale of Drug Paraphernalia,” of Chapter 2, titled “General Offenses,” of Title 6, titled “Police Regulations,” of the City Code is hereby amended to read as follows:

“6-2-6-2: PUBLIC DISPLAY AND SALE OF DRUG PARAPHERNALIA:

A. Definitions:

~~CONTROLLED SUBSTANCE OR CANNABIS:~~ Any drug or controlled substance ~~or cannabis~~ as defined in 720 Illinois Compiled Statutes.

CANNABIS: as defined in Section 6-2-6-1 of this Code.

DRUG PARAPHERNALIA: (Also articles or equipment commonly used in the consumption or ingestion of controlled substances or cannabis.) Includes, but is not limited to, the following enumerated articles: cocaine spoons, pot pipes, water pipes, hypodermic needles, syringes, roach clips and literature devoted wholly or substantially to describing or illustrating explicitly the consumption or ingestion of a controlled substance ~~or cannabis~~ which tends to promote the use of a controlled substance ~~or cannabis~~.

B. Displays And Exhibits: It is unlawful for any person publicly to exhibit or display for sale any drug paraphernalia, articles or equipment commonly used in the consumption or ingestion of controlled substances ~~or cannabis~~ except where such articles or equipment are prescribed for strictly medical purposes and are used as such.

C. Sale To Minors: It is unlawful for any person to sell or offer to sell any paraphernalia, articles or equipment commonly used in the consumption or ingestion of controlled substances or cannabis to any person under the age of

~~21~~^{eighteen} (18) years except where such articles or equipment are prescribed for strictly medical purposes and are used as such. (Ord. M-5-79, 2-19-1979)

D. Unlawful To Possess: It shall be unlawful for anyone to knowingly possess an item of drug paraphernalia with the intent to use it in ingesting, inhaling or otherwise introducing cannabis or a controlled substance into the human body or in preparing ~~cannabis~~ or controlled substance for that use.

E. Exception: This section shall not apply to items used solely for the authorized consumption of cannabis pursuant to the Cannabis Regulation and Tax Act, 410 ILCS 705/1 or the Illinois Compassionate Use of Medical Cannabis Pilot Program Act, 410 ILCS 130/1 et seq.

SECTION 4. EFFECTIVE DATE. This Ordinance shall be in full force and effect 10 days after its passage, approval and publication in pamphlet form according to law.

PASSED this _____ day of _____, 2022.

APPROVED this _____ day of _____, 2022.

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this _____ day of _____, 2022

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel



FINANCE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5300
desplaines.org

MEMORANDUM

Date: February 2, 2022
To: Michael G. Bartholomew, City Manager
From: Dorothy Wisniewski, Assistant City Manager / Director of Finance
Subject: 2022 Appropriation Ordinance

Issue: In accordance with the Illinois Compiled Statutes (ILCS), the City is required to pass an annual appropriation ordinance within the first quarter of its fiscal year. This appropriation ordinance specifies the sums of money deemed necessary to defray all expenses and liabilities for the calendar year 2022.

Analysis: Per 65 ILCS 5/8-2-9, a public notice of a public hearing regarding the Appropriation Ordinance is required and must be published at least 10 days prior to the adoption of the Appropriation Ordinance. In addition, the public notice must be published in a newspaper of general circulation within the municipality. The public notice will be published in the Journal and Topics newspaper on Wednesday, February 9, 2022, thus satisfying both requirements (a copy of the notice is attached).

Requirements of the Appropriation Ordinance: The appropriation ordinance serves as a limit on what may be spent during the current fiscal year. The purpose of the appropriation ordinance is to appropriate such sums of money as the municipality deems necessary to defray all of its necessary expenses and liabilities. The ordinance is to be set up by objects and purposes for which each line item of the appropriation is made, and each appropriation must be for a specific dollar amount.

The purpose for the required specificity in the appropriation ordinance is to inform the taxpayers of the purposes for which the municipal revenues are to be expended since no fund can legally be expended for any purpose other than that for which it was appropriated. The Supreme Court has indicated that this right of the taxpayer is a substantial right of which the taxpayer may not be deprived. However, the courts have also indicated that municipalities are not required to specify every conceivable item on which they may spend money as long as the purposes indicated are sufficiently specific to advise the taxpayer of the type of expenditure to be made so that the taxpayer can make further specific inquiries with regard thereto if desired.

Once the appropriation ordinance has been adopted, the Illinois Municipal Code provides that no contract shall be made or expense incurred unless an appropriation previously has been made concerning that contract or expense. The Code further provides that any contract made or expense incurred in violation of this provision is absolutely void (not merely voidable) and that no money of the municipality can be spent on account thereof (65 ILCS 5/8-1-7). This provision has been adhered to strictly by the courts.

There are exceptions to this previous appropriation rule, and these are briefly outlined below:

1. Special Petition/Referendum - Appropriations may be made by special petition or referendum (See 65 ILCS 5/8-2-9).
2. Before Passage – Authorizes expenditures to be made pending the passage of the Appropriation Ordinance (See 65 ILCS 5/8-1-7).
3. Supplemental Appropriation - A municipality may adopt without further hearing a supplemental appropriation ordinance in an amount not to exceed the aggregate of any additional revenue that becomes available to the municipality or is estimated to be received by the municipality after the adoption of the appropriation ordinance. Also fund balances available when the annual appropriation ordinance was adopted but that were not appropriated at that time may also be included within a supplemental appropriation ordinance. However, the supplemental appropriation ordinance can apply only to the new revenues.
4. Transfer - By a two-thirds vote of all the corporate authorities, a municipality may make transfers of any amounts appropriated for one object or purpose to another object or purpose. No approval is necessary, however, for transferring appropriations for different line items within categories of objects and purposes. No such transfer may be made that would reduce the balance of the appropriation below an amount sufficient to cover “all obligations incurred or to be incurred against the appropriation” (See 65 ILCS 5/8-2-9).
5. Court Order - As a general exception, a municipality may separately appropriate to pay a judgment ordered by a court of competent jurisdiction.
6. Emergency - The Illinois Municipal Code provides one additional manner in which a municipality that has underestimated its needed appropriations may respond to community needs. In the event of an extreme emergency, the corporate authorities by a two-thirds vote may make additional appropriations for the purpose of making improvements or restoration as a result of any accident or casualty that took place after the annual appropriation ordinance was passed or to meet an unforeseen emergency after passage of the appropriation ordinance. “Emergency” is specifically defined as “a condition requiring immediate action to suppress or prevent the spread of disease, or to prevent or remove imminent danger to persons or property.” This Section has limited application and cannot be used to correct errors or mere oversight made in the appropriation ordinance and process (See 65 ILCS 5/8-1-6).
7. Bond Issue - Expenditures from a bond issue or special assessment can be made because the authorizing ordinances themselves are considered “appropriations.”

Finally, in order to avoid the problem of accurately forecasting 100 percent, even in general, the various items on which funds may be expended for the entire fiscal year, the courts have approved the use of an appropriation for contingencies. Thus, the corporate authorities need not follow the cumbersome route of first transferring from the contingency fund to another line item before paying out for unforeseen expenses. However, there is a limitation in that the contingency appropriation cannot exceed ten percent (10%) of the total budget. While this rule applies specifically to Budget-Officer municipalities, it is recommended that non-budget officer municipalities (such as the City) not exceed this rule as well.

The 2022 Appropriation Ordinance for the City of Des Plaines is \$209.0 million, whereas the 2022 Budget for the City of Des Plaines is \$171.2 million. The difference of \$37.8 million is comprised of the following items:

- \$5.7 million related to Interdepartmental transfers of which is included in the budget document as a separate column and not included in the \$171.2 million total above.

- \$5.9 million for a Contingency Reserve on the General Fund, Capital Projects Fund, Equipment Replacement Fund, Information Technology Replacement Fund, Facilities Replacement Fund and the Water/Sewer Fund. The \$5.9 million was arrived at by taking 5% of each of the respective expenditure totals per Fund. As mentioned previously, 10% of the total Budget is allowed in terms of a contingency appropriation, (i.e., a maximum of \$17.1 million for the City of Des Plaines), however, staff believes 5% of the above mentioned funds should be sufficient to cover any unforeseen flood or storm events, as well as be able to expend any unanticipated Grant revenues received in the upcoming year.
- \$7.6 million for the Des Plaines Public Library, which the City is required to appropriate funds for and that have not been included within the 2022 Budget total.
- \$16.3 million for Police and Fire Pensions (\$8.3 million for the Police Pension and \$8.0 million for the Fire Pension). This item is included within the General Fund expenditures of the Appropriation Ordinance to be in line with the audit. In addition, per the Appropriation Ordinance guidelines, the Police and Fire Pension expenditures need to be listed separately as indicated on the attached Ordinance therefore creating a double counting effect.
- \$2.3 million of additional expenditure requests and carry-over items included in the 2022 Appropriation partly comprised of \$1.4 million for additional funding towards property acquisition, \$600K for additional alley improvements in the Motor Fuel Tax Fund, \$242K for additional alley improvements in the Grant Projects Fund due to the receipt of a grant from the Metropolitan Water Reclamation District, \$30K for radio programming, \$16k for personal protective equipment and hoses, and \$11K for electric ventilation fans.

Recommendation: I recommend the City Council pass and adopt the 2022 Appropriation Ordinance.

Attachment:

Attachment 1: Copy of Public Notice

M – 6 – 22: 2022 Appropriation Ordinance

**NOTICE OF PUBLIC HEARING FOR
PROPOSED 2022 APPROPRIATIONS ORDINANCE
FOR THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS**

The City of Des Plaines will conduct a public hearing on its 2022 Appropriations Ordinance for its fiscal year beginning January 1, 2022. This hearing will be held at 7:00 PM on Tuesday, February 22, 2022 at Des Plaines City Hall – Room 102, 1420 Miner Street, Des Plaines, Illinois 60016.

A copy of the 2022 Appropriations Ordinance is available for public inspection at the Des Plaines City Clerk's Office, 1420 Miner Street, Des Plaines, Illinois 60016, during regular business hours.

Questions may be directed to Dorothy Wisniewski, Assistant City Manager / Director of Finance at 847-391-5317.

The City of Des Plaines, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in the meeting(s), or have questions about the accessibility of the meeting(s) or facilities, contact the ADA coordinator at 847-391-5486 to allow the City to make reasonable accommodations for those persons.

CITY OF DES PLAINES

ORDINANCE M - 6 - 22

AN ORDINANCE MAKING APPROPRIATIONS TO DEFRAY THE EXPENSES OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS FOR MUNICIPAL PURPOSES DESIGNATED AS THE “ANNUAL APPROPRIATION ORDINANCE” FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2022 AND ENDING DECEMBER 31, 2022.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS IN THE EXERCISE OF ITS HOME RULE POWER, AS FOLLOWS:

SECTION 1: That the following sums or so much thereof as hereby may be authorized by law, be and the same are hereby appropriated to pay all necessary expenses and liabilities of the City of Des Plaines, Cook County, Illinois, for the fiscal year beginning January 1, 2022 and ending December 31, 2022. Such appropriations are hereby made for the following objects and purposes:

Appropriations

Fund 100 - General Fund
Elected Office Department - Department 10
Legislative Division - Division 110

Salaries	33,600
FICA Contribution	3,862
PPO Insurance Contribution	150,646
Dental Insurance Contribution	8,382
Life Insurance Contribution	297
Workers Compensation	84
Mayoral Expenses	2,400
Aldermanic Expenses	14,400
Membership Dues	40,850
Conferences	250
Travel Expenses	200
Property & Liability Insurance	1,780
Professional Services	150,000
Communication Services	7,500
Printing Services	1,500
Office Supplies	300
Gasoline	100
Other Supplies	700
Publications	500
Equipment < \$5,000	500
Postage & Parcel	100
Total Divisional Request	417,951

Elected Office Department - Department 10
City Clerk Division - Division 120

Salaries	165,018
Temporary Wages	19,820
FICA Contribution	14,141
IMRF Contribution	12,451
PPO Insurance Contribution	38,461
HMO Insurance Contribution	24,179
Dental Insurance Contribution	4,037
Vision Insurance Contribution	258
Life Insurance Contribution	187
Workers Compensation	314
Membership Dues	645
Conferences	1,500
Training	500
Travel Expenses	50
Property & Liability Insurance	1,360
Professional Services	8,700
Communication Services	720
Publication of Notices	6,500
Printing Services	6,000
Licensing/Titles	125
Recording Fees	4,000
Miscellaneous Contractual Services	1,200
R&M Software	6,410
Office Supplies	1,500

	<u>Appropriations</u>
Other Supplies	2,500
Uniforms	300
Publications	75
Equipment < \$5,000	250
Postage & Parcel	600
Miscellaneous Expenses	100
Total Divisional Request	321,901
Total Departmental Request	739,852

City Administration Department - Department 20

City Manager Division - Division 210

Salaries	487,159
Temporary Wages	31,200
FICA Contribution	30,324
IMRF Contribution	40,588
PPO Insurance Contribution	47,693
HMO Insurance Contribution	16,705
Dental Insurance Contribution	3,596
Vision Insurance Contribution	289
Life Insurance Contribution	288
Workers Compensation	881
RHS Plan Payout	13,350
Membership Dues	2,200
Conferences	1,500
Training	1,250
Travel Expenses	100
Property & Liability Insurance	2,810
Professional Services	20,000
Legal Fees	390,000
Legal Fees - Admin Hearings/Prosecutions	55,500
Legal Fees - Labor & Employment	150,000
Communication Services	775
Printing Services	150
Miscellaneous Contractual Services	1,250
Office Supplies	1,400
Other Supplies	600
Uniforms	500
Publications	750
Postage & Parcel	400
Miscellaneous Expenses	750
Total Divisional Request	1,302,008

City Administration Department - Department 20

Legal Division - Division 220

Total Divisional Request -

City Administration Department - Department 20

Information Technology Division - Division 230

Salaries	533,522
Temporary Wages	28,182
Overtime - Non Supervisory	17,000
FICA Contribution	42,959

	<u>Appropriations</u>
IMRF Contribution	41,775
PPO Insurance Contribution	67,291
HMO Insurance Contribution	16,384
Dental Insurance Contribution	4,522
Vision Insurance Contribution	375
Life Insurance Contribution	475
Workers Compensation	955
RHS Plan Payout	4,800
Membership Dues	119
Conferences	1,500
Training	3,500
Property & Liability Insurance	4,750
Professional Services	361,764
Communication Services	11,792
Records Preservation	25,000
Miscellaneous Contractual Services	6,711
R&M Software	378,057
R&M Equipment	109,995
Office Supplies	600
Printer Supplies	15,000
Supplies - Equipment R&M	1,000
Equipment < \$5,000	21,000
Postage & Parcel	100
Furniture & Fixtures	20,000
Total Divisional Request	1,719,128

City Administration Department - Department 20

Media Services Division - Division 240

Salaries	421,040
Temporary Wages	130,189
Overtime - Non Supervisory	1,500
FICA Contribution	42,170
IMRF Contribution	32,968
PPO Insurance Contribution	68,673
HMO Insurance Contribution	24,179
Dental Insurance Contribution	5,793
Vision Insurance Contribution	295
Life Insurance Contribution	499
Workers Compensation	936
Membership Dues	1,647
Conferences	3,000
Training	1,000
Travel Expenses	500
Property & Liability Insurance	2,600
Professional Services	23,000
Communication Services	2,500
Public Relations & Communications	10,500
Printing Services	25,000
Licensing/Titles	5,600
Miscellaneous Contractual Services	73,598
R&M Equipment	55,963
Subsidy - Youth Commission	15,000

	<u>Appropriations</u>
Office Supplies	400
Other Supplies	400
Uniforms	500
Publications	1,400
Equipment < \$5,000	5,000
Postage & Parcel	14,000
Miscellaneous Expenses	7,500
Furniture & Fixtures	750
Total Divisional Request	978,100

City Administration Department - Department 20

Human Resources Division - Division 250

Salaries	361,933
FICA Contribution	27,688
IMRF Contribution	28,339
PPO Insurance Contribution	59,144
HMO Insurance Contribution	16,705
Dental Insurance Contribution	3,199
Vision Insurance Contribution	332
Life Insurance Contribution	374
Workers Compensation	615
Membership Dues	1,474
Tuition Reimbursements	15,000
Conferences	1,530
Training	2,185
Travel Expenses	1,200
Pre-Employment Testing	13,275
Post-Employment Testing	4,120
Property & Liability Insurance	3,220
Unemployment Claims	30,000
Professional Services	36,500
Communication Services	540
Publication of Notices	5,500
Printing Services	170
Miscellaneous Contractual Services	1,100
Office Supplies	1,400
Other Supplies	500
Uniforms	400
Publications	640
Equipment < \$5,000	250
Postage & Parcel	50
Miscellaneous Expenses	17,400
Total Divisional Request	634,783

City Administration Department - Department 20

Health & Human Services Division - Division 260

Salaries	61,818
FICA Contribution	4,729
IMRF Contribution	4,840
Workers Compensation	105
Membership Dues	240
Training	500

	<u>Appropriations</u>
Property & Liability Insurance	1,550
Subsidy - Community Outreach	12,000
Subsidy - Senior Center	136,500
Subsidy - Social Service Agency	160,000
Subsidy - Senior Citizen Cab Service	10,000
Office Supplies	200
Other Supplies	250
Uniforms	100
Postage & Parcel	25
Total Divisional Request	392,857
Total Departmental Request	5,026,876

Finance Department - Department 30

Salaries	962,777
Temporary Wages	17,550
Overtime - Non Supervisory	6,500
FICA Contribution	71,556
IMRF Contribution	76,633
PPO Insurance Contribution	154,093
HMO Insurance Contribution	24,179
Dental Insurance Contribution	9,345
Vision Insurance Contribution	775
Life Insurance Contribution	1,042
Workers Compensation	1,667
RHS Plan Payout	7,875
Membership Dues	3,465
Conferences	500
Training	4,380
Travel Expenses	150
Property & Liability Insurance	5,480
Professional Services	77,013
Communication Services	2,450
Printing Services	6,750
Licensing/Titles	200
Office Supplies	5,000
Other Supplies	2,050
Uniforms	2,000
Publications	300
Equipment < \$5,000	450
Postage & Parcel	3,500
Miscellaneous Expenses	250
Furniture & Fixtures	2,500
Total Departmental Request	1,450,430

Community Development Department - Department 40

Building & Code Enforcement Division - Division 410

Salaries	1,019,704
Temporary Wages	60,268
Overtime - Non Supervisory	27,500
FICA Contribution	82,658
IMRF Contribution	79,840

	<u>Appropriations</u>
PPO Insurance Contribution	194,587
HMO Insurance Contribution	48,358
Dental Insurance Contribution	13,604
Vision Insurance Contribution	1,100
Life Insurance Contribution	1,047
Workers Compensation	32,679
Uniform Allowance	500
RHS Plan Payout	9,000
Membership Dues	865
Training	3,075
Property & Liability Insurance	17,760
Professional Services	222,000
Legal Fees	50,000
Communication Services	8,500
Administrative Services	250
Printing Services	3,000
Miscellaneous Contractual Services	40,000
R&M Vehicles	150
Office Supplies	2,000
Other Supplies	1,200
Uniforms	2,000
Publications	500
Equipment < \$5,000	1,000
Postage & Parcel	250
Miscellaneous Expenses	100
Furniture & Fixtures	15,000
Total Divisional Request	1,938,495

Community Development Department - Department 40

Planning & Zoning Division - Division 420

Salaries	330,489
Overtime - Non Supervisory	5,500
FICA Contribution	28,311
IMRF Contribution	29,986
PPO Insurance Contribution	18,614
HMO Insurance Contribution	8,192
Dental Insurance Contribution	1,323
Vision Insurance Contribution	123
Life Insurance Contribution	375
Workers Compensation	670
Membership Dues	2,000
Conferences	1,500
Training	1,000
Travel Expenses	500
Property & Liability Insurance	3,550
Professional Services	10,000
Legal Fees	7,500
Communication Services	900
Publication of Notices	2,000
Printing Services	500
Miscellaneous Contractual Services	3,000
Office Supplies	1,500

	<u>Appropriations</u>
Uniforms	500
Equipment < \$5,000	250
Postage & Parcel	200
Furniture & Fixtures	500
Total Divisional Request	458,983

Community Development Department - Department 40

Economic Development Division - Division 430

Salaries	92,700
FICA Contribution	7,091
IMRF Contribution	7,258
HMO Insurance Contribution	24,179
Dental Insurance Contribution	1,805
Vision Insurance Contribution	129
Life Insurance Contribution	110
Workers Compensation	158
Membership Dues	600
Conferences	600
Training	200
Travel Expenses	250
Property & Liability Insurance	1,630
Professional Services	20,000
Legal Fees	2,500
Communication Services	800
Printing Services	1,000
Incentive - Business Assistance	250,000
Office Supplies	100
Other Supplies	5,000
Equipment < \$5,000	250
Total Divisional Request	416,360
Total Departmental Request	2,813,838

Public Works & Engineering Department - Department 50

Administration Division - Division 100

Salaries	194,148
Overtime - Non Supervisory	900
FICA Contribution	14,458
IMRF Contribution	15,202
PPO Insurance Contribution	48,616
Dental Insurance Contribution	2,940
Vision Insurance Contribution	216
Life Insurance Contribution	171
Workers Compensation	330
RHS Plan Payout	8,325
Membership Dues	2,630
Conferences	1,500
Training	3,000
Travel Expenses	100
Property & Liability Insurance	16,340
Communication Services	1,600
Waste Hauling & Debris Removal	30,000

	<u>Appropriations</u>
Printing Services	1,000
Miscellaneous Contractual Services	3,000
R&M Software	7,900
R&M Equipment	2,200
Office Supplies	1,000
Other Supplies	3,000
Uniforms	350
Publications	100
Postage & Parcel	1,000
Miscellaneous Expenses	200
Total Divisional Request	360,226

Public Works & Engineering Department - Department 50

Engineering Division - Division 510

Salaries	402,776
Overtime - Non Supervisory	10,000
FICA Contribution	29,656
IMRF Contribution	31,537
PPO Insurance Contribution	67,896
HMO Insurance Contribution	8,353
Dental Insurance Contribution	3,651
Vision Insurance Contribution	323
Life Insurance Contribution	387
Workers Compensation	2,041
Uniform Allowance	200
Excess Sick Hour Payout	3,305
RHS Plan Payout	7,350
Membership Dues	1,200
Conferences	500
Training	1,000
Travel Expenses	50
Property & Liability Insurance	16,670
Professional Services	2,500
Communication Services	5,000
Printing Services	750
Licensing/Titles	260
R&M Equipment	2,300
Office Supplies	2,000
Other Supplies	1,000
Uniforms	1,000
Publications	250
Postage & Parcel	150
Total Divisional Request	602,105

Public Works & Engineering Department - Department 50

Geographic Information Systems Division - Division 520

Training	250
Miscellaneous Contractual Services	261,700
R&M Software	8,000
Office Supplies	100
Other Supplies	100
Total Divisional Request	270,150

Appropriations

Public Works & Engineering Department - Department 50
Street Maintenance Division - Division 530

Salaries	1,250,135
Temporary Wages	96,200
Overtime - Non Supervisory	162,000
Acting Out of Class & Night Premium	1,500
FICA Contribution	103,492
IMRF Contribution	93,558
PPO Insurance Contribution	155,476
HMO Insurance Contribution	177,445
Dental Insurance Contribution	22,104
Vision Insurance Contribution	1,628
Life Insurance Contribution	1,322
Workers Compensation	146,648
Uniform Allowance	6,500
Membership Dues	925
Training	4,750
Travel Expenses	200
Property & Liability Insurance	84,020
Professional Services	60,250
Communication Services	5,600
Waste Hauling & Debris Removal	45,000
Utility Locate Services	4,000
Printing Services	500
Licensing/Titles	200
Rentals - Equipment	7,500
Tree Maintenance	500,000
Tree Plantings	240,000
Tow/Storage/Abandoned Fees	250
Miscellaneous Contractual Services	935,020
R&M Equipment	10,500
R&M Street Lights	65,000
Office Supplies	600
Supplies - Safety	3,500
Supplies - Tools & Hardware	3,500
Supplies - Equipment R&M	6,500
Supplies - Streetscape	57,000
Supplies - Street R&M	125,000
Street Light Supplies	3,000
Street Sign Supplies	20,000
Traffic Equipment & Material	8,200
Graffiti Removal Supplies	4,000
Other Supplies	2,500
Ice Control	15,000
Other Supplies	30,875
Uniforms	1,100
Equipment < \$5,000	11,300
Postage & Parcel	50
Miscellaneous Expenses	300
Equipment	20,000
Total Divisional Request	4,494,148

Public Works & Engineering Department - Department 50
Facilities & Grounds Maintenance Division - Division 535

Salaries	723,192
Temporary Wages	32,500
Overtime - Non Supervisory	25,000
Acting Out of Class & Night Premium	15,000
FICA Contribution	58,116
IMRF Contribution	56,626
PPO Insurance Contribution	184,369
HMO Insurance Contribution	32,371
Dental Insurance Contribution	12,205
Vision Insurance Contribution	934
Life Insurance Contribution	827
Workers Compensation	82,351
Uniform Allowance	4,000
Conferences	1,500
Training	3,500
Travel Expenses	75
Property & Liability Insurance	15,150
Communication Services	2,700
Printing Services	250
Licensing/Titles	200
Rentals - Equipment	250
Custodial Services	110,000
Miscellaneous Contractual Services	76,000
R&M Equipment	500
City Hall	289,000
Public Works	35,000
Police	23,000
Fire Station #61	74,000
Fire Station #62	5,900
Fire Station #63	7,000
Library	5,000
EMA	2,000
Civic Center Parking Deck	5,000
Historical Society	5,000
Food Pantry	5,000
Theater	20,000
Other	65,000
Office Supplies	600
Supplies - Safety	3,000
Supplies - Custodial	50,000
Supplies - Tools & Hardware	4,500
Supplies - Equipment R&M	500
City Hall	33,000
Public Works	35,000
Police	10,000
Fire Station #61	2,200
Fire Station #62	2,200
Fire Station #63	2,200
Library	700

	<u>Appropriations</u>
EMA	500
Civic Center Parking Deck	500
Historical Society	1,000
Food Pantry	1,000
Theater	3,000
Other	1,000
Electricity	140,000
Other Supplies	1,125
Uniforms	575
Equipment < \$5,000	8,000
Postage & Parcel	50
Miscellaneous Expenses	300
Furniture & Fixtures	7,500
Total Divisional Request	<u>2,286,966</u>

Public Works & Engineering Department - Department 50

Vehicle Maintenance Division - Division 540

Salaries	448,842
Temporary Wages	23,400
Overtime - Non Supervisory	15,750
Acting Out of Class & Night Premium	9,000
FICA Contribution	36,150
IMRF Contribution	35,145
PPO Insurance Contribution	78,323
HMO Insurance Contribution	48,358
Dental Insurance Contribution	8,151
Vision Insurance Contribution	596
Life Insurance Contribution	418
Workers Compensation	21,548
Uniform Allowance	320
RHS Plan Payout	5,400
Membership Dues	30
Training	9,000
Travel Expenses	100
Property & Liability Insurance	20,650
Communication Services	1,600
Waste Hauling & Debris Removal	4,500
Licensing/Titles	2,950
Rentals - Uniforms	9,000
Tow/Storage/Abandoned Fees	1,250
Miscellaneous Contractual Services	38,700
R&M Software	4,995
R&M Equipment	20,000
R&M Vehicles	85,000
Office Supplies	200
Supplies - Safety	1,350
Supplies - Tools & Hardware	5,200
Supplies - Equipment R&M	15,000
Supplies - Vehicle R&M	280,000
Gasoline	215,000
Diesel	120,000
Other Supplies	650

	<u>Appropriations</u>
Uniforms	650
Equipment < \$5,000	19,400
Equipment	30,000
Total Divisional Request	1,616,626
Total Departmental Request	9,630,221

Police Department - Department 60
Administration Division - Division 100

Salaries	234,029
Overtime - Non Supervisory	900
FICA Contribution	16,723
IMRF Contribution	5,636
ICMA 401 Pension Contribution	8,146
PPO Insurance Contribution	57,786
Dental Insurance Contribution	3,610
Vision Insurance Contribution	258
Life Insurance Contribution	187
Workers Compensation	4,521
Uniform Allowance	875
Membership Dues	1,825
Conferences	1,500
Training	500
Property & Liability Insurance	3,280
Communication Services	2,000
Office Supplies	100
Other Supplies	100
Postage & Parcel	100
Total Divisional Request	342,076

Police Department - Department 60
Uniformed Patrol Division - Division 610

Salaries	7,639,119
Overtime - Supervisory	52,200
Overtime - Non Supervisory	310,000
Court Pay	60,000
Acting Out of Class & Night Premium	43,000
FICA Contribution	111,689
Police Pension Contribution	5,977,053
PPO Insurance Contribution	1,112,556
HMO Insurance Contribution	212,688
Dental Insurance Contribution	78,054
Vision Insurance Contribution	5,923
Life Insurance Contribution	5,843
Workers Compensation	207,979
Uniform Allowance	39,725
RHS Plan Payout	89,775
Membership Dues	210
Conferences	1,500
Training	58,700
Travel Expenses	200
Property & Liability Insurance	122,230
Communication Services	27,900

	<u>Appropriations</u>
Printing Services	100
Miscellaneous Contractual Services	2,800
R&M Software	2,000
Office Supplies	500
Other Supplies	2,100
Uniforms	12,000
Equipment < \$5,000	1,400
Postage & Parcel	200
Total Divisional Request	16,177,444

Police Department - Department 60

Criminal Investigation Division - Division 620

Salaries	2,194,850
Overtime - Supervisory	17,500
Overtime - Non Supervisory	185,000
Court Pay	30,000
FICA Contribution	38,060
IMRF Contribution	10,282
Police Pension Contribution	1,743,307
PPO Insurance Contribution	307,991
HMO Insurance Contribution	113,421
Dental Insurance Contribution	25,615
Vision Insurance Contribution	1,948
Life Insurance Contribution	1,677
Workers Compensation	57,098
Uniform Allowance	11,625
RHS Plan Payout	56,100
Membership Dues	3,600
Training	8,525
Travel Expenses	1,000
Property & Liability Insurance	42,550
Communication Services	18,000
Miscellaneous Contractual Services	23,600
R&M Equipment	250
Office Supplies	500
Other Supplies	500
Uniforms	200
Equipment < \$5,000	500
Postage & Parcel	250
Total Divisional Request	4,893,949

Police Department - Department 60

Support Services Division - Division 630

Salaries	1,759,378
Temporary Wages	225,000
Overtime - Supervisory	900
Overtime - Non Supervisory	58,000
Court Pay	2,500
Acting Out of Class & Night Premium	5,000
FICA Contribution	89,796
IMRF Contribution	87,680
Police Pension Contribution	581,102

	<u>Appropriations</u>
PPO Insurance Contribution	301,144
HMO Insurance Contribution	113,421
Dental Insurance Contribution	24,878
Vision Insurance Contribution	1,905
Life Insurance Contribution	1,764
Workers Compensation	48,652
Uniform Allowance	9,650
RHS Plan Payout	37,050
Membership Dues	10,525
Conferences	1,500
Training	24,200
Travel Expenses	150
Property & Liability Insurance	46,570
Professional Services	30,000
Communication Services	109,200
Dispatch Services	1,071,231
Printing Services	10,000
Animal Control	53,000
Tow/Storage/Abandoned Fees	1,500
Miscellaneous Contractual Services	26,550
R&M Software	27,146
R&M Equipment	10,050
R&M Vehicles	2,000
R&M Police Range	16,800
Office Supplies	11,000
Supplies - Community Relations	3,000
Supplies - Police Range	57,730
Street Sign Supplies	200
Other Supplies	13,800
Uniforms	4,900
Publications	500
Equipment < \$5,000	6,000
Postage & Parcel	500
Meals	1,200
Miscellaneous Expenses	1,100
	<u>4,888,172</u>
Total Divisional Request	4,888,172
Total Departmental Request	26,301,641

Fire Department - Department 70

Administration Division - Division 100

Salaries	814,060
FICA Contribution	34,357
IMRF Contribution	6,120
Fire Pension Contribution	399,875
ICMA 401 Pension Contribution	8,204
PPO Insurance Contribution	116,316
HMO Insurance Contribution	24,179
Dental Insurance Contribution	9,025
Vision Insurance Contribution	645
Life Insurance Contribution	627
Workers Compensation	77,035
RHS Plan Payout	16,200

	<u>Appropriations</u>
Membership Dues	11,649
Conferences	1,500
Training	1,500
Travel Expenses	150
Property & Liability Insurance	13,740
Professional Services	500
Communication Services	3,900
Miscellaneous Contractual Services	1,240
R&M Vehicles	100
Office Supplies	1,000
Other Supplies	250
Uniforms	2,950
Publications	560
Equipment < \$5,000	500
Postage & Parcel	50
Miscellaneous Expenses	700
Total Divisional Request	1,546,932

Fire Department - Department 70

Emergency Services Division - Division 710

Salaries	9,435,450
Overtime - Supervisory	175,000
Overtime - Non Supervisory	315,000
Acting Out of Class & Night Premium	30,000
FICA Contribution	136,817
Fire Pension Contribution	7,357,691
PPO Insurance Contribution	1,802,893
HMO Insurance Contribution	178,163
Dental Insurance Contribution	116,850
Vision Insurance Contribution	8,527
Life Insurance Contribution	7,346
Workers Compensation	986,005
RHS Plan Payout	166,500
Membership Dues	1,085
Training	98,300
In-Service Training	7,900
Travel Expenses	175
Post-Employment Testing	28,500
Property & Liability Insurance	127,920
Professional Services	2,175
Communication Services	18,470
Dispatch Services	892,200
Printing Services	1,150
Licensing/Titles	1,168
Rentals - Equipment	1,200
Miscellaneous Contractual Services	2,500
R&M Software	32,300
R&M Equipment	40,606
R&M Vehicles	100
Fire Station #61	10,000
Fire Station #62	10,000
Fire Station #63	10,000

	<u>Appropriations</u>
Office Supplies	2,500
Supplies - Custodial	23,000
Supplies - Equipment R&M	13,000
Supplies - Vehicle R&M	300
Supplies - Building R&M	1,000
Fire Station #61	5,000
Fire Station #62	5,000
Fire Station #63	5,000
Other Supplies	40,550
Uniforms	40,600
Publications	100
Equipment < \$5,000	171,944
Postage & Parcel	1,000
Miscellaneous Expenses	1,000
Computer Software	25,000
Equipment	167,000
Total Divisional Request	22,503,985

Fire Department - Department 70

Fire Prevention Division - Division 720

Salaries	396,651
Overtime - Non Supervisory	16,500
FICA Contribution	15,066
IMRF Contribution	4,343
Fire Pension Contribution	239,925
PPO Insurance Contribution	57,972
Dental Insurance Contribution	3,610
Vision Insurance Contribution	258
Life Insurance Contribution	187
Workers Compensation	32,132
RHS Plan Payout	5,700
Membership Dues	640
Training	5,000
Property & Liability Insurance	10,250
Communication Services	1,950
Printing Services	350
Licensing/Titles	1,125
Rentals - Equipment	250
R&M Vehicles	50
Office Supplies	775
Other Supplies	4,850
Uniforms	1,570
Publications	1,800
Equipment < \$5,000	6,346
Miscellaneous Expenses	750
Total Divisional Request	808,050

Fire Department - Department 70

Emergency Management Agency Division - Division 730

Salaries	63,320
Temporary Wages	20,606
FICA Contribution	6,421

	<u>Appropriations</u>
IMRF Contribution	4,958
PPO Insurance Contribution	28,893
Dental Insurance Contribution	1,805
Vision Insurance Contribution	129
Life Insurance Contribution	77
Workers Compensation	143
Membership Dues	65
Training	1,000
Travel Expenses	100
Property & Liability Insurance	9,210
Communication Services	11,800
Printing Services	500
R&M Software	6,500
R&M Equipment	13,300
Office Supplies	600
Supplies - Equipment R&M	225
Other Supplies	1,000
Uniforms	1,000
Equipment < \$5,000	6,000
Postage & Parcel	100
Miscellaneous Expenses	1,250
Total Divisional Request	179,002
Total Departmental Request	25,037,969

Fire & Police Commission Department - Department 75

Membership Dues	400
Training	1,500
Pre-Employment Testing	39,220
Professional Services	28,500
Legal Fees - Labor & Employment	40,000
Publication of Notices	1,750
Office Supplies	300
Publications	300
Miscellaneous Expenses	600
Total Departmental Request	112,570

Overhead Department - Department 90

Membership Dues	50
Communication Services	481,900
Administrative Services	35,000
AMB Fee Processing Services	98,000
Bank & CC Fees	50,000
Leases	4,150
Miscellaneous Contractual Services	3,000
R&M Equipment	1,000
Subsidy - Historical Museum	50,000
Subsidy - City Sponsored Events	150,000
Incentive - Warehouse Direct	30,000
Incentive - Mariano's	130,000
Office Supplies	2,000
Supplies - Equipment R&M	1,600
Equipment < \$5,000	1,000

	<u>Appropriations</u>
Postage & Parcel	36,000
Miscellaneous Expenses	25,000
Transfer to Equipment Replacement Fund	1,500,000
Transfer to IT Replacement Fund	400,000
Total Departmental Request	2,998,700
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Total General Fund	74,112,097
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5% Contingency	3,702,718
Total General Fund Request	77,814,815

Fund 201 - TIF #1 Downtown Fund

Property & Liability Insurance	-
Professional Services	-
Legal Fees	-
Improvements	-
Principal	-
Interest Charges	-
Bank/Trust/Agency Fees	-
Total TIF #1 Downtown Fund Request	-

Fund 203 - TIF #3 Wille Road Fund

Property & Liability Insurance	60
Professional Services	400
Miscellaneous Contractual Services	10,000
Subsidy - Economic Development	1,000
Principal	1,550,000
Interest Charges	303,566
Bank/Trust/Agency Fees	738
Total TIF #3 Wille Road Fund Request	1,865,764

Fund 205 - TIF #5 Perry/Lee Fund

Professional Services	400
Total TIF #5 Perry/Lee Fund Request	400

Fund 206 - TIF #6 Mannheim/Higgins Fund

Property & Liability Insurance	40
Professional Services	3,000
Legal Fees	5,000
Subsidy - Economic Development	1,000
Postage & Parcel	52
Principal	1,575,000
Interest Charges	-
Bank/Trust/Agency Fees	350
Total TIF #6 Mannheim/Higgins Fund Request	1,584,442

Fund 207 - TIF #7 Mannheim/Higgins South Fund

Property & Liability Insurance	160
Professional Services	3,000
Legal Fees	25,000
Subsidy - Economic Development	10,000
Total TIF #7 Mannheim/Higgins South Fund Request	38,160

Appropriations

Fund 208 - TIF #8 Oakton Fund

Professional Services	200,000
Subsidy - Economic Development	36,000
Land	2,150,000
Improvements	211,500
Total TIF #8 Oakton Fund Request	2,597,500

Fund 230 - Motor Fuel Tax Fund

Professional Services	40,000
Sidewalk Improvements	300,000
Street Crack Filling	100,000
Street Pavement Markings	65,000
R&M Traffic Signals	44,000
Electricity	255,000
Ice Control	400,000
Improvements	3,000,000
Total Motor Fuel Tax Fund Request	4,204,000

Fund 240 - CDBG Fund

Salaries	52,475
FICA Contribution	4,657
IMRF Contribution	6,456
Life Insurance Contribution	46
Workers Compensation	78
Subsidy - Emergency Shelter for Homeless Youth	6,000
Subsidy - Shared Housing & Homeless Prevention	9,000
Subsidy - Senior Housing and Supportive Services	11,000
Subsidy - Residential Rehab	214,803
Subsidy - Housing Counseling	15,000
Subsidy - Transitional Housing	6,700
CDBG Care Act Program	376,164
Improvements	72,000
Total CDBG Fund Request	774,379

Fund 250 - Grant Projects Fund

Overtime - Non Supervisory	19,372
Professional Services	1,061,788
Legal Fees	17,500
Land	6,525,000
Improvements	11,116,223
Total Grant Projects Fund Request	18,739,883

Fund 270 - Gaming Tax Fund

Cont Obligation - State Payments	10,000,000
Cont Obligation - Municipalities	4,552,400
Transfer to Other Funds	3,700,000
Total Gaming Tax Fund Request	18,252,400

Fund 300 - Debt Service Fund

Principal	-
Interest Charges	-

	Appropriations
Bank/Trust/Agency Fees	-
Total Debt Service Fund Request	-

Fund 400 - Capital Projects Fund

Salaries	368,834
Temporary Wages	24,960
Overtime - Non Supervisory	7,500
FICA Contribution	29,582
IMRF Contribution	28,880
PPO Insurance Contribution	28,893
HMO Insurance Contribution	32,371
Dental Insurance Contribution	4,073
Vision Insurance Contribution	301
Life Insurance Contribution	264
Workers Compensation	2,183
Uniform Allowance	200
RHS Plan Payout	14,025
Conferences	1,500
Training	1,000
Travel Expenses	100
Property & Liability Insurance	20,990
Professional Services	2,766,028
Legal Fees	1,000
Communication Services	3,600
Records Preservation	5,000
Printing Services	200
Licensing/Titles	200
Leases	1,545
R&M Software	8,000
R&M Equipment	1,100
R&M Buildings & Structures	100,000
Street Sign Supplies	625
Postage & Parcel	3,000
Improvements	5,000,000
Transfer to Grant Projects Fund	54,406
5% Contingency	425,518
Total Capital Projects Fund Request	8,935,878

Fund 410 - Equipment Replacement Fund

Equipment	179,000
Vehicles	607,000
Equipment	55,000
Vehicles	152,000
Equipment	69,500
Vehicles	2,153,930
5% Contingency	160,822
Total Equipment Replacement Fund Request	3,377,252

Fund 420 - IT Replacement Fund

Leases	87,647
Computer Software	31,660
Computer Hardware	257,000

	Appropriations
5% Contingency	18,815
Total IT Replacement Fund Request	395,122

Fund 430 - Facilities Replacement Fund

Professional Services	1,195,000
City Hall	1,045,000
Public Works	177,000
Police	1,140,000
Fire Station #61	500,000
Fire Station #63	27,940
City Hall	80,000
Police	477,500
Fire Station #61	300,000
Improvements	6,600,000
5% Contingency	577,122
Total Facilities Replacement Fund Request	12,119,562

Fund 500 - Water/Sewer Fund

Engineering Division - Division 510

Salaries	184,388
Overtime - Non Supervisory	2,500
FICA Contribution	12,935
IMRF Contribution	16,959
PPO Insurance Contribution	10,366
HMO Insurance Contribution	8,352
Dental Insurance Contribution	929
Vision Insurance Contribution	83
Life Insurance Contribution	132
Workers Compensation	1,070
Uniform Allowance	150
Excess Sick Hour Payout	3,305
Membership Dues	570
Training	1,625
Travel Expenses	100
Property & Liability Insurance	2,800
Professional Services	1,500
Communication Services	1,100
Printing Services	100
Licensing/Titles	65
Office Supplies	250
Other Supplies	500
Publications	200
Postage & Parcel	50
Total Divisional Request	250,029

Fund 500 - Water/Sewer Fund

Water Systems Division - Division 550

Salaries	1,889,004
Temporary Wages	65,000
Overtime - Non Supervisory	185,000
Acting Out of Class & Night Premium	60,000
FICA Contribution	149,823

	<u>Appropriations</u>
IMRF Contribution	149,644
PPO Insurance Contribution	309,276
HMO Insurance Contribution	137,279
Dental Insurance Contribution	26,986
Vision Insurance Contribution	2,057
Life Insurance Contribution	1,900
Workers Compensation	85,268
Uniform Allowance	9,580
RHS Plan Payout	22,125
Membership Dues	3,500
Conferences	3,000
Training	5,650
Travel Expenses	50
Property & Liability Insurance	69,360
Communication Services	31,440
Waste Hauling & Debris Removal	115,000
Utility Locate Services	4,000
Printing Services	1,700
Licensing/Titles	600
Rentals - Equipment	250
Leases	850
Water Sample Testing	20,000
Miscellaneous Contractual Services	530,000
R&M Software	28,000
R&M Equipment	13,900
R&M Vehicles	4,000
Public Works	35,440
R&M Water Distribution System	30,000
Subsidy - Lead Service Line Replacement	100,000
Office Supplies	500
Supplies - Safety	10,000
Supplies - Tools & Hardware	4,500
Supplies - Equipment R&M	6,500
Supplies - Vehicle R&M	20,000
Supplies - Building R&M	1,500
Supplies - Streetscape	3,000
Other Supplies	500
Water Meters	550,000
Other	216,000
Wholesale Water - Chicago	2,200,000
Wholesale Water - NWWC	3,675,000
Gasoline	40,000
Diesel	10,000
Electricity	135,000
Water Treatment Chemicals	8,000
Other Supplies	250
Uniforms	1,100
Equipment < \$5,000	10,600
Postage & Parcel	500
Miscellaneous Expenses	200
Computer Hardware	22,000
Equipment	105,000

Fund 500 - Water/Sewer Fund
Sewer Systems Division - Division 560

Salaries	746,820
Temporary Wages	18,200
Overtime - Non Supervisory	46,800
Acting Out of Class & Night Premium	2,000
FICA Contribution	58,794
IMRF Contribution	59,965
PPO Insurance Contribution	130,191
HMO Insurance Contribution	65,063
Dental Insurance Contribution	11,700
Vision Insurance Contribution	815
Life Insurance Contribution	906
Workers Compensation	85,046
Uniform Allowance	3,500
RHS Plan Payout	7,725
Membership Dues	370
Conferences	1,600
Training	3,175
Travel Expenses	50
Property & Liability Insurance	27,650
Communication Services	10,000
Waste Hauling & Debris Removal	12,500
Utility Locate Services	4,000
Printing Services	500
Licensing/Titles	300
Rentals - Equipment	250
Miscellaneous Contractual Services	30,500
R&M Software	2,850
R&M Equipment	10,000
R&M Vehicles	15,000
R&M Sewer System	50,000
Subsidy - Sewer Lateral Program	60,000
Subsidy - Flood Assistance	100,000
Office Supplies	250
Supplies - Safety	4,600
Supplies - Tools & Hardware	1,500
Supplies - Equipment R&M	5,500
Supplies - Vehicle R&M	14,000
Supplies - Streetscape	250
Supplies - Sewer System Maintenance	50,000
Gasoline	15,000
Diesel	9,000
Electricity	30,000
Other Supplies	300
Uniforms	600
Publications	100
Equipment < \$5,000	6,500
Postage & Parcel	750
Miscellaneous Expenses	350

	<u>Appropriations</u>
Equipment	25,000
Total Divisional Request	1,729,970

Fund 500 - Water/Sewer Fund

Equipment Replacement Division - Division 570

Equipment	130,000
Vehicles	598,000
Total Divisional Request	728,000

Fund 500 - Water/Sewer Fund

CIP Water/Sewer - Division 580

Professional Services	515,000
Improvements	4,995,000
Total Divisional Request	5,510,000

Fund 500 - Water/Sewer Fund

Finance Department - Department 30

Salaries	284,907
Temporary Wages	10,730
Overtime - Non Supervisory	2,000
FICA Contribution	22,616
IMRF Contribution	22,307
PPO Insurance Contribution	54,430
HMO Insurance Contribution	8,192
Dental Insurance Contribution	3,428
Vision Insurance Contribution	277
Life Insurance Contribution	380
Workers Compensation	504
Conferences	1,500
Training	500
Property & Liability Insurance	2,220
Professional Services	15,638
Communication Services	900
Administrative Services	18,000
Printing Services	1,500
Bank & CC Fees	105,000
Office Supplies	1,000
Equipment < \$5,000	500
Postage & Parcel	35,600
Total Departmental Request	592,129

Total Water Fund 19,919,960

5% Contingency 995,998

Total Water Fund Request 20,915,958

Fund 510 - City Owned Parking Fund

Property & Liability Insurance	1,450
Professional Services	20,000
Communication Services	12,500
Administrative Services	2,300
Bank & CC Fees	5,100

	<u>Appropriations</u>
Custodial Services	15,500
Miscellaneous Contractual Services	13,050
R&M Equipment	750
R&M Buildings & Structures	200,000
R&M Parking Lots	47,000
Supplies - Tools & Hardware	100
Supplies - Equipment R&M	250
Supplies - Parking Lots	6,000
Electricity	75,000
Total City Owned Parking Fund Request	399,000

Fund 520 - Metra Leased Parking Fund

Property & Liability Insurance	390
Communication Services	600
Administrative Services	1,500
Bank & CC Fees	12,500
Miscellaneous Contractual Services	3,360
R&M Equipment	500
R&M Parking Lots	3,500
Supplies - Parking Lots	2,000
Electricity	4,000
Land Lease	18,500
Transfer to General Fund	5,000
Transfer to Water/Sewer Fund	5,000
Total Metra Leased Parking Fund Request	56,850

Fund 600 - Risk Management Fund

Membership Dues	1,067
Conferences	500
Training	20,000
Travel Expenses	500
Pre-Employment Testing	1,500
Post-Employment Testing	22,000
MICA Premium	2,209,917
MICA Deductible	50,000
Excess Insurance	17,325
Workers' Comp Expense	25,000
Claims Administration Fee	2,500
Self Insured P&L Expense	75,000
Professional Services	62,500
Legal Fees	30,000
Miscellaneous Contractual Services	5,000
Miscellaneous Expenses	30,000
Total Risk Management Fund Request	2,552,809

Fund 610 - Health Benefits Fund

PPO Insurance Premiums	6,078,053
PPO Insurance Premiums - Retiree	1,188,329
HMO Insurance Premiums	1,465,286
HMO Insurance Premiums - Retiree	184,268
Dental Insurance Premiums	471,841
Dental Insurance Premiums - Retiree	168,068

	<u>Appropriations</u>
Vision Insurance Premiums	38,124
Vision Insurance Premiums - Retiree	5,283
Life Insurance Premiums	161,157
Early Retirement Incentive	476,339
Employee Assistance Program	3,200
Professional Services	22,500
Miscellaneous Contractual Services	34,500
Subsidy - Transfer to PSEBA	198,353
Total Health Benefits Fund Request	10,495,301

Fund 900 - Library Fund

Salaries	3,269,230
Unemployment Compensation	15,000
FICA Contribution	248,109
IMRF Contribution	223,448
Life Insurance Contribution	1,886
PPO Insurance Contribution	425,000
HMO Insurance Contribution	190,000
Dental Insurance Contribution	20,000
Workers Compensation	14,000
Legal Fees	20,000
Professional Services	445,348
Communication Services	48,840
Integrated Library System	88,450
Conferences	-
Training	-
Marketing	53,000
Membership Dues	6,400
Property/Liability Insurance	57,000
R&M Equipment	77,316
R&M Buildings/Structures	110,960
R&M Vehicles	2,000
Equipment Rental	890
Custodial Services	87,575
Waste Hauling Debris & Removal	6,000
Pre-Employment Physicals	3,000
Bank/CC Fees	300
Mileage	500
Special Events	51,850
Misc. Contractual Services	114,835
Office Supplies	94,600
Meals	2,000
Other Supplies	-
Custodial Supplies	18,600
Postage & Parcel	11,000
Water Purchase	10,000
eBooks/Books	369,850
eAudio/Audio	72,500
eSubscriptions/Subscriptions	58,430
Visual Materials	185,100
Databases	178,000
Natural Gas	22,000

	<u>Appropriations</u>
Gasoline	300
Equipment < \$10,000	2,200
Equipment	6,310
Computer Hardware	8,450
Computer Software	45,170
Furniture & Fixtures	6,500
Transfer to Capital Project Fund	-
Contingency Reserve	70,000
Library Per Capita Grant	75,000
Friends Book Sale Passthrough	5,000
Total Library Fund Budget	6,821,947

Fund 905 - Library Capital Projects Fund

Professional Services	-
Improvements	218,000
Equipment	309,940
Computer Hardware	209,500
Computer Software	10,500
Furniture & Fixtures	3,000
Total Library Capital Projects Fund Budget	750,940

	<u>Appropriations</u>
<u>RECAPITULATION OF APPROPRIATIONS BY FUND</u>	
GENERAL FUND	77,814,815
TIF FUND #1/DOWNTOWN	-
TIF FUND #3/W. WILLE RD	1,865,764
TIF FUND #5/LEE/PERRY	400
TIF FUND #6/MANNHEIM/HIGGINS	1,584,442
TIF FUND #7/MANNHEIM/HIGGINS SOUTH	38,160
TIF FUND #8/OAKTON	2,597,500
MOTOR FUEL TAX FUND	4,204,000
CDBG	774,379
GRANT FUNDED PROJECTS FUND	18,739,883
GAMING TAX FUND	18,252,400
DEBT SERVICE FUND	-
CAPITAL PROJECTS FUND	8,935,878
EQUIPMENT REPLACEMENT FUND	3,377,252
IT REPLACEMENT FUND	395,122
FACILITIES REPLACEMENT FUND	12,119,562
WATER/SEWER FUND	20,915,958
CITY-OWNED PARKING LOTS	399,000
METRA-LEASED PARKING LOTS	56,850
RISK MANAGEMENT	2,552,809
HEALTH BENEFITS	10,495,301
POLICE PENSION FUND	8,301,462
FIRE PENSION FUND	7,997,491
LIBRARY FUND	6,821,947
LIBRARY CAPITAL PROJECTS	750,940
TOTAL APPROPRIATION	<u>208,991,315</u>

SECTION 2: It is hereby provided that any funds remaining on hand shall be construed with and classified with the miscellaneous revenue anticipated during the coming year and covered by the appropriation from such miscellaneous revenue.

SECTION 3: That this Appropriation Ordinance is adopted pursuant to procedures set forth in the Illinois Municipal Code.

SECTION 4: That the City Clerk be and hereby is authorized and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect upon its adoption, approval, and publication as provided by law.

SECTION 5: That if any section, subdivision, or sentence of this Ordinance shall for any reason be held invalid or unconstitutional, such decision shall not affect the validity of the remaining portion and provisions of this Ordinance.

PASSED this _____ day of _____, 2022

APPROVED this _____ day of _____, 2022

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
___ day of _____, 2022.

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Appropriation Ordinance - 2022

{00124910.1}

MINUTES OF THE REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF DES PLAINES, ILLINOIS HELD IN THE ELEANOR ROHRBACH MEMORIAL COUNCIL CHAMBERS, DES PLAINES CIVIC CENTER, TUESDAY, FEBRUARY 22, 2022

CALL TO ORDER

The regular meeting of the City Council of the City of Des Plaines, Illinois, was called to order by Mayor Goczkowski at 6:30 p.m. in the Eleanor Rohrbach Memorial Council Chambers, Des Plaines Civic Center on Tuesday, February 22, 2022.

ROLL CALL

Roll call indicated the following Aldermen present: Lysakowski, Moylan, Oskerka, Zadrozny, Brookman, Chester, Smith, Ebrahimi. A quorum was present.

CLOSED SESSION

Moved by Brookman, seconded by Oskerka to enter into Closed Session under the following sections of the Open Meetings Act – Collective Bargaining, Personnel, Purchase of Property, and Probable or Imminent Litigation.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared unanimously carried.

The City Council recessed at 6:30 p.m.

The City Council reconvened at 7:04 p.m.

Roll call indicated the following Alderman present: Lysakowski, Moylan, Oskerka, Zadrozny, Brookman, Chester, Smith, Ebrahimi. A quorum was present.

Also present were: City Manager Bartholomew, Assistant City Manager/Director of Finance Wisniewski, Director of Public Works and Engineering Oakley, Director of Community and Economic Development Carlisle, Fire Chief Anderson, Police Chief Anderson, and General Counsel Friedman.

PRAYER AND PLEDGE

The prayer and the Pledge of Allegiance to the Flag of the United States of America were offered by Alderman Brookman.

RECOGNITION

Department Commendations were presented by Mayor Goczkowski and Police Chief Anderson to Sergeant Rochotte and Officer Galvan for their dedication and work ethic attributed to the apprehension, extradition and successful prosecution of the offender for a homicide that occurred 21 years prior.

MINUTES OF THE PUBLIC HEARING HELD IN THE ELEANOR ROHRBACH MEMORIAL COUNCIL CHAMBERS DES PLAINES CIVIC CENTER, TUESDAY, FEBRUARY 22, 2022

PUBLIC HEARING/ 2022

APPROPRIATION ORDINANCE

Ordinance

M-6-22

Mayor Goczkowski called the Public Hearing for reconsideration of Ordinance M-6-22, an Ordinance making appropriations to defray the expenses of the City of Des Plaines, Cook County, Illinois for municipal purposes designated as the “annual appropriation ordinance” for the fiscal year beginning January 1, 2022 and ending December 31, 2022 to order at 7:11 p.m.

Assistant City Manager/Director of Finance Wisniewski reviewed a memorandum dated February 2, 2022.

In accordance with the Illinois Compiled Statutes (ILCS), the City is required to pass an annual appropriation ordinance within the first quarter of its fiscal year. This appropriation ordinance

specifies the sums of money deemed necessary to defray all expenses and liabilities for the calendar year 2022.

The appropriation ordinance serves as a limit on what may be spent during the current fiscal year. The purpose of the appropriation ordinance is to appropriate such sums of money as the municipality deems necessary to defray all of its necessary expenses and liabilities. The ordinance is to be set up by objects and purposes for which each line item of the appropriation is made, and each appropriation must be for a specific dollar amount.

The 2022 Appropriation Ordinance for the City of Des Plaines is \$209.0 million, whereas the 2022 Budget for the City of Des Plaines is \$171.2 million.

Staff recommends the City Council pass and adopt the 2022 Appropriation Ordinance.

Moved by Brookman, seconded by Chester, to Approve the Ordinance M-6-22, AN ORDINANCE MAKING APPROPRIATIONS TO DEFRAY THE EXPENSES OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS FOR MUNICIPAL PURPOSES DESIGNATED AS THE “ANNUAL APPROPRIATION ORDINANCE” FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2022 AND ENDING DECEMBER 31, 2022.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny, Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Mayor Goczkowski adjourned the Public Hearing at 7:26 p.m.

MINUTES OF THE PUBLIC HEARING HELD IN THE ELEANOR ROHRBACH MEMORIAL COUNCIL CHAMBERS DES PLAINES CIVIC CENTER, TUESDAY, FEBRUARY 22, 2022

**PUBLIC HEARING/
ZONING TEXT
AMENDMENTS
Ordinance
Z-3-22**

Mayor Goczkowski called the Public Hearing for reconsideration of Ordinances Z-3-22, an Ordinance amending the text of the Des Plaines zoning ordinance regarding restaurant uses in the institutional districts to order at 7:13 p.m.

Director of Community and Economic Development Carlisle reviewed a memorandum dated February 10, 2022.

The City of Des Plaines is proposing amending the Zoning Ordinance to expand the permitted uses in the I-1 Institutional District to add restaurants when they are located on the same zoning lot as a lawfully established commercial indoor or outdoor recreation center, college/university, or park. Further, because the current Ordinance can be interpreted to restrict all off-street parking and loading activity from occurring in the required front or side yards, the proposed amendments clarify the intent to prevent a new parking lot from being built in the required front or side yard but to allow an existing nonconforming parking lot to continue to be used. Finally, the City proposes expanding the Ordinance’s existing exclusion, under the definition of “Restaurant” in the Terms section, such that cafeterias and small food establishments commonly intrinsic to certain types of uses extend to educational and medical buildings.

The full proposed amendments are summarized below.

- Section 12-7-5, Special Districts: Amend the Site Plan Review Standards for I-1 Institutional zoning lots to add “areas” after the first reference to off-street parking and loading. This change would clarify the intent to require new parking lots on

institutionally zoning lots not to encroach into the required front or side yards. It would, however, allow an existing parking lot that encroaches, for example, into the required front yard (a 50-foot distance from the front lot line) to continue to be used under the Nonconforming Structures allowance of Section 12-5-6.B.

- Section 12-7-5, Special Districts: Amend the I-1 Use Table to add restaurants; however, a footnote is added to limit restaurants to I-1 zoning lots that contain indoor or outdoor recreation, a park, or a college/university.
- Section 12-13-3, Definition of Terms: Amend the definition of “Restaurant,” specifically the language excluding small food establishments within educational and medical uses.

New restaurants will be required to obtain building permits through the Community and Economic Development Department, and be subject to both upfront and ongoing health inspections. The typical business registration process will be required, as will remission of all local food and beverage tax.

The Planning and Zoning Board (PZB) typically holds public hearings and votes on recommendations to the City Council regarding zoning amendments. However, because of the time sensitivity of the imminent project proposed by Foxtail and the Des Plaines Park District, with all permitting and construction yet to occur, and in the spirit of partnership with the District, the City Council is directly considering these amendments.

Moved by Brookman, seconded by Chester, to Approve the Ordinance Z-3-22, AN ORDINANCE AMENDING THE TEXT OF THE DES PLAINES ZONING ORDINANCE REGARDING RESTAURANT USES IN THE INSTITUTIONAL DISTRICTS.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Advanced to Second Reading by Brookman, seconded by Chester, to Adopt the Ordinance Z-3-22, AN ORDINANCE AMENDING THE TEXT OF THE DES PLAINES ZONING ORDINANCE REGARDING RESTAURANT USES IN THE INSTITUTIONAL DISTRICTS.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Mayor Goczkowski adjourned the Public Hearing at 7:26 p.m.

**ALDERMAN
ANNOUNCEMENTS**

Alderman Smith mentioned St. Zachary Parish is hosting a St. Patrick’s Day Celebration this Saturday, February 26, 2022.

**MAYORAL
ANNOUNCEMENTS**

On May 3, 2021, a Declaration of Civil Emergency for the City of Des Plaines related to the COVID-19 emergency was authorized. The Declaration provided that: (1) the City may enter into contracts for the emergency purchase of goods and services; (2) the City Manager may implement emergency staffing protocols pursuant to the City’s respective collective bargaining agreements; and (3) directed City officials and employees to cooperate with other government agencies.

In accordance with Illinois statutes, the Mayor’s Declaration lasted only for a period of seven days, unless it was extended by action of the City Council. At each subsequent City Council meeting, the City Council, by motion, extended the Declaration until the next adjournment of the next special or City Council meeting. This extension of the Declaration includes the Supplemental Order dated January 3, 2022.

Mayor Goczkowski presented an extension to the Declaration of Civil Emergency.

Moved by Brookman, seconded by Oskerka, to extend the May 3, 2021 Declaration of Civil Emergency until the adjournment of the next regular, special, or emergency meeting of the City Council including the Supplement Order dated January 3, 2022.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Mayor Goczkowski allowed public comment for items not on the agenda.

Resident Michael Smith complained about the noise disturbance from Union Pacific Railroad, and the continued use of the horn.

Director of Public Works and Engineering Oakley stated the City has filed a complaint with the Illinois Commerce Commission and the Federal Railroad Administration. He said the railroad has a short in the signaling system, and the gates do not lower until the train is within fifty feet of the crossing. The City has not yet received a response from the Federal Railroad Administration.

Resident Sandra Sender complained about the extensive horn use, and the frequency of the horn use; she asked for the City to help with this issue.

CONSENT AGENDA

Moved by Brookman, seconded by Chester, to establish the Consent Agenda.

Upon voice vote, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Moved by Brookman, seconded by Lysakowski, to Approve the Consent Agenda.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Minutes were approved; Resolutions R-34-22, R-35-22, R-36-22, R-37-22, R-38-22, R-39-22, R-40-22, R-41-22, R-42-22, R-43-22, R-44-22, R-45-22 were adopted.

**AUTH PURCH/
CHIPPER BODY
TRK/ NW TRKS INC
Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-34-22, A RESOLUTION AUTHORIZING THE PURCHASE OF A CHIPPER BODY TRUCK FROM NORTHWEST TRUCKS, INC. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-34-22**

**APPROVE AGRMT/
TREE INVT &
ASSMT/ DAVEY
RES GRP**
Consent Agenda

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-35-22, A RESOLUTION APPROVING AN AGREEMENT WITH DAVEY RESOURCE GROUP, INC FOR STREET AND PUBLIC PROPERTY TREE INVENTORY AND ASSESSMENT. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-35-22**

**APPROVE AGRMT/
WATER SYS SEP/
JOHN NERI CONST**
Consent Agenda

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-36-22, A RESOLUTION APPROVING AN AGREEMENT WITH JOHN NERI CONSTRUCTION, INC FOR THE WATER SYSTEM SEPARATION PROJECT. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-36-22**

**APPROVE TASK
ORD NO 1/ FIRE
HYDRANTS MAINT
& TEST/ M.E.
SIMPSON CO**
Consent Agenda

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-37-22, A RESOLUTION APPROVING TASK ORDER NO. 1 WITH M.E. SIMPSON COMPANY, INC FOR FIRE HYDRANT MAINTENANCE AND FLOW TESTING. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-37-22**

**APPROVE AGRMT/
VACTOR SEWER
CLEAN TRK/
STANDARD EQUIP
CO**
Consent Agenda

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-38-22, A RESOLUTION APPROVING AN AGREEMENT WITH STANDARD EQUIPMENT COMPANY FOR THE PURCHASE OF A VACTOR COMBINATION SEWER CLEANING TRUCK. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-38-22**

**APPROVE SUPPL
NO 1 TO TASK ORD
NO 3/ PROF ENGR
SVCS/ AECOM
TECH SVCS**
Consent Agenda

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-39-22, A RESOLUTION APPROVING SUPPLEMENT NO. 1 TO TASK ORDER NO. 3 WITH AECOM TECHNICAL SERVICES, INC FOR PROFESSIONAL ENGINEERING SERVICES. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-39-22**

**APPROVE CHG
ORD NO 2/ DES
PLAINES RIVER RD
RECONST/ ALL
CONTRS, INC**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-40-22, A RESOLUTION APPROVING CHANGE ORDER NO. 2 TO THE DES PLAINES RIVER ROAD RECONSTRUCTION CONTRACT WITH ALLIANCE CONTRACTORS, INC. Motion declared carried as approved unanimously under Consent Agenda.

Consent Agenda**Resolution****R-40-22****AUTH EXPND/
MAINT/IL HWY
CODE****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-41-22, A RESOLUTION FOR MAINTENANCE UNDER THE ILLINOIS HIGHWAY CODE (22-00226-00-RS). Motion declared carried as approved unanimously under Consent Agenda.

Resolution**R-41-22****APPROVE AGRMT/
WELCOME SIGN/
MWRD****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-42-22, A RESOLUTION APPROVING A PERMIT AGREEMENT BETWEEN THE CITY OF DES PLAINES AND THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO TO ALLOW A CITY WELCOME SIGN ON DISTRICT PROPERTY. Motion declared carried as approved unanimously under Consent Agenda.

Resolution**R-42-22****AUTH PURCH/
INTCP POLICE
SUVS/ CURRIE
MOTORS****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-43-22, A RESOLUTION AUTHORIZING THE PURCHASE OF FOUR FORD POLICE INTERCEPTOR SUVS FROM CURRIE MOTORS OF FRANKFORT, ILLINOIS. Motion declared carried as approved unanimously under Consent Agenda.

Resolution**R-43-22****APPROVE AGRMT/
MICROSOFT O365/
SENTINEL TECH
INC****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-44-22, A RESOLUTION APPROVING AN AGREEMENT WITH SENTINEL TECHNOLOGIES INC TO CONFIGURE AND IMPLEMENT MICROSOFT'S O365 PRODUCTS. Motion declared carried as approved unanimously under Consent Agenda.

Resolution**R-44-22****APPROVE CNTRCT/
ST BR REPR/ PATH
CONSTR CO, INC****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve Resolution R-45-22, A RESOLUTION APPROVING A CONTRACT WITH PATH CONSTRUCTION COMPANY, INC FOR REPAIRS TO THE ALGONQUIN ROAD AND WASHINGTON STREET BRIDGES. Motion declared carried as approved unanimously under Consent Agenda.

Resolution**R-45-22****APPROVE
MINUTES****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve the Minutes of the City Council meeting of February 7, 2022, as published. Motion declared carried as approved unanimously under Consent Agenda.

**APPROVE
MINUTES****Consent Agenda**

Moved by Brookman, seconded by Lysakowski, to Approve the Closed Session Minutes of the City Council meeting of February 7, 2022, as published. Motion declared carried as approved unanimously under Consent Agenda.

NEW BUSINESS

FINANCE & ADMINISTRATION – Alderman Zadrozny, Chair

WARRANT REGISTER
Resolution R-46-22

Alderman Zadrozny presented the Warrant Register.

Moved by Zadrozny, seconded by Moylan, to Approve the Warrant Register of February 22, 2022 in the Amount of \$20,433,368.30 and Approve Resolution R-46-22.

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny, Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

COMMUNITY DEVELOPMENT- Alderman Chester, Chair

CONSIDER APPROVING A MAJOR VARIATION FOR A DRIVE AISLE WIDTH AT 2410 S RIVER RD
Ordinance Z-4-22

Director of Community and Economic Development Carlisle reviewed a memorandum dated January 26, 2022.

The petitioner, George Nellamattahil, is requesting a major variation to allow for a 13.86-foot-wide drive aisle width for two-way travel where a minimum of 22 feet is required. The subject property is located in the C-3 General Commercial District at 2410 S. River Road. The property consists of three parcels totaling 28,999 square feet (0.67 acres) and currently consists of a 7,358-square foot, one-story commercial building, paved parking area, cell tower, and billboard.

The petitioner is proposing to locate a medical office use in the existing building and utilize the rear paved portion of the property for additional parking. The proposal includes an interior remodel of the building to retrofit it for the new medical office use as well as some site improvements such as striping for 90-degree parking spaces, new landscaping, and a new dumpster enclosure. There are no proposed exterior alterations to the existing building. The petitioner is requesting the variation for drive aisle width because the proposed medical office use requires more parking spaces than the number of parking spaces that can be accommodated at the front of the building. This requires employees, customers, and visitors to utilize the existing 13.86-foot drive aisle alongside the building, which does not provide enough width for two-way vehicular travel. While Section 12-5-6 of the Zoning Ordinance (Nonconforming Structures) allows for nonconformities to continue in some circumstances, in this case it is likely the degree of the nonconformity would increase, requiring a variation. Parking lots are structures, and for this parking lot, in its existing deteriorated state, it is not possible to determine how many striped spaces are located in the rear. Therefore, it must be assumed that the striping is creating additional spaces and will lead to additional use and activity through the nonconforming, narrow drive aisle.

Pursuant to Section 12-9-6 of the Zoning Ordinance, one parking space is required for every 250 square feet of gross floor area. Floor area includes all space devoted to the proposed office use and any portion of the total proposed storage area greater than 10 percent of the entire combined floor area of the building. Based on the Proposed Floor Plans, the proposed office space and portions of intended storage over 10 percent of the entire combined floor area equates to a total of 15 required parking spaces. The Proposed Site Plan shows 23 parking spaces, including two handicap accessible spaces, that are proposed, which meets the minimum requirement. Pursuant to Section 12-9-6 of the Zoning Ordinance, the minimum drive aisle width for two-way travel lanes in 90- degree parking areas is 22 feet. Since the existing building is set back only 13.86 feet from the east property line, the proposed drive aisle width does not meet the necessary minimum drive aisle width, requiring a major variation.

The PZB recommended (7-0) that the City Council approve the major variation for drive aisle width with the condition found in the staff report. If the City Council chooses to approve these requests via Ordinance Z-4-22, staff and the PZB recommend the following condition:

1. All appropriate building permit documents and details are submitted as necessary for the commercial building. All permit documents shall be sealed and signed by a design professional licensed in the State of Illinois and must comply with all City of Des Plaines building codes.

Moved by Chester, seconded by Brookman, to Approve the Ordinance Z-4-22, AN ORDINANCE APPROVING A MAJOR VARIATION FOR DRIVE AISLE WIDTH AT 2410 S RIVER ROAD (CASE #22-004-V).

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

Advanced to second reading by Chester, seconded by Brookman, to Adopt the Ordinance Z-4-22, AN ORDINANCE APPROVING A MAJOR VARIATION FOR DRIVE AISLE WIDTH AT 2410 S RIVER ROAD (CASE #22-004-V).

Upon roll call, the vote was:

AYES: 8 - Lysakowski, Moylan, Oskerka, Zadrozny,
Brookman, Chester, Smith, Ebrahimi

NAYS: 0 - None

ABSENT: 0 - None

Motion declared carried.

PUBLIC WORKS - Alderman Moylan, Chair

**DISCUSSION OF
SIDEWALK SNOW
REMOVAL – TIF #8**

Director of Public Works and Engineering Oakley reviewed a memorandum dated February 10, 2022.

After the January 1, 2022 snowfall, the Police Department began enforcement of City Code 8-1-11, Snow and Ice on Public Rights-of-Way and Handicapped Parking Spaces, for the public sidewalk along Lee Street from the Canadian National Railroad (CN) tracks to Oakton Street. The code requires the removal of two or more inches of snow and/or any ice from adjacent public sidewalks within 24 hours after the weather event ends. For commercial properties, the code further provides for fines (up to \$250 for first offense, up to \$500 for second offense, up to \$750 for third offense), recovery of costs if the City clears the snow, as well as a 25% administrative fee.

To date, there have been four snowfall events with the sidewalk clearing enforcement summarized below:

Snowfall Date (2022)	Snowfall Depth	Compliance (of 49 Properties)	# of Citations Issued	# of PW Sidewalk Clearings
Jan. 1	4.5"	63%	12	
Jan. 23/24	5.5"	80%	10	
Jan. 28	4"	84%	8	3
Feb. 2	5"	82%	9	5

The TIF 8 sidewalks along Lee Street (CN tracks to Mannheim Road) and Oakton Street (Webster Lane to CN tracks) include 2.49 miles of sidewalk in commercially zoned areas. If the City were to add these sidewalks, the City would budget an additional \$100,000 in annual contractual sidewalk snow/ice removal services. This estimate is based on a cost of \$500 per

mile for salting and \$500 per mile for plowing (per push) from the current contractor and the snow removal experience of the 2020/2021 season.

Alderman Chester believes if the business does not remove the snow from their sidewalks, then the City should remove the snow and charge the business owner.

Alderman Smith strongly believes the business should plow their own sidewalks.

Alderman Brookman stated the immense safety issue brought by the businesses who do not remove snow from their sidewalks; the businesses should not be allowed to ignore City code.

Mayor Goczkowski stated if the City decides to act on snow removal for businesses, it should be consistent for all businesses across the City.

Alderman Lysakowski does not believe the fines are enough incentive for some of the business to follow through with their own snow removal. He would like to establish zones where the City contracts the snow removal and bills the businesses. He also recommended an ordinance where the City will complete the plowing, but the business will have to pay for it.

Mayor Goczkowski built on Alderman Lysakowski’s idea adding the business could be automatically entered into a such program if they have a snow removal violation.

The City Council had consensus for the staff to take more of an aggressive approach with enforcing snow removal for businesses that do not comply with the City Ordinance.

The City Council also had consensus for staff to bring an ordinance increasing the administrative fees to City Council for review.

**OTHER MAYOR/
ALDERMAN
COMMENTS FOR
THE GOOD OF THE
ORDER**

Alderman Oskerka would like to address residential snow routes at a future meeting; addressing ticketing, towing, and length of time vehicles can be on the street.

Alderman Chester stated there is a crisis of available parking in his ward; City streets are clogged with vehicles. He would like to establish a policy limiting the number of cars that can be parked on the street - possibly using permits or passes.

Police Chief Anderson stated a parking pass policy would be an administrative challenge to enforce and manage; he would like to first consider other alternatives.

ADJOURNMENT

Moved by Brookman, seconded by Chester, to adjourn the meeting. The meeting adjourned at 8:08 p.m.

Jessica M. Mastalski – City Clerk

APPROVED BY ME THIS _____

DAY OF _____, 2022

Andrew Goczkowski, MAYOR



FINANCE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5300
desplaines.org

MEMORANDUM

Date: February 23, 2022
To: Michael G. Bartholomew, City Manager
From: Dorothy Wisniewski, Assistant City Manager/Director of Finance
Subject: Resolution R-53-22, March 7, 2022 Warrant Register

Recommendation: I recommend that the City Council approve the March 7, 2022 Warrant Register Resolution R-53-22.

Warrant Register.....\$3,047,860.36

<u>Estimated General Fund Balance</u>	
Balance as of 01/31/2022:	<u>\$25,747,383</u>
<i>Please use caution when evaluating this number as revenues fluctuate dramatically from month to month due to delays in receiving sales tax revenue from the State and 1st & 2nd installments of property tax revenue.</i>	

CITY OF DES PLAINES

RESOLUTION

R-53-22

Be it resolved by the City Council of the City of Des Plaines that the following bills are due and payable and that the Mayor and City Clerk be and are hereby authorized to make payment for same.

March 7, 2022

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 100 - General Fund						
Department: 00 - Non Departmental						
1	4320	Business Licenses	8576 Quick Service Auto Center	Refund 02/14/22	License Fee Refund - License #1484 and #771	70.00
2	4630	Resident Ambulance Fees	1459 Blue Cross Blue Shield of Illinois	DPIL-2134962:1	Medical Reimbursement DOS 08/28/2021	87.67
3	4630	Resident Ambulance Fees	1459 Blue Cross Blue Shield of Illinois	DPIL-2138631:1	Medical Reimbursement DOS 09/21/2021	1,260.00
4	4631	Nonresident Ambulance Fees	1459 Blue Cross Blue Shield of Illinois	DPIL-210013187:1	Medical Reimbursement DOS 04/09/2021	98.52
5	4631	Nonresident Ambulance Fees	8579 Roiniotis, Edward	DPIL-210017667:1	Medical Reimbursement DOS 05/11/2021	734.44
Total 00 - Non Departmental					2,250.63	

Elected Office						
Division: 120 - City Clerk						
6	5310	Membership Dues	1453 International Institute of Municipal Clerks	ID#31338-FY2022	2022 Dues Deputy Clerk	115.00
7	5310	Membership Dues	1453 International Institute of Municipal Clerks	ID#38624-FY2022	2022 Dues FOIA Officer	115.00
8	6100	Publication of Notices	1050 Journal & Topics Newspapers	187254	Legal Notice - BFPC Rules and Regulations 01/26/2022	60.59
9	6100	Publication of Notices	1050 Journal & Topics Newspapers	187324	Legal Notice - Fuel Dispenser Removal and Install 02/09/2022	77.90
10	6100	Publication of Notices	1050 Journal & Topics Newspapers	187325	Legal Notice - Appropriations Ordinance 02/09/2022	95.21
11	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8000942884	Shredding Services 01/14-01/28/2022	55.77
12	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022	8.00
Total 120 - City Clerk					527.47	

Total 10 - Elected Office					527.47
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City Administration						
Division: 210 - City Manager						
13	6005	Legal Fees	8133 Elrod Friedman LLP	7252	1-22 Non-Retainer Matters	269.50
14	6005	Legal Fees	8133 Elrod Friedman LLP	7257	1-22 Non-Retainer Matters	1,886.50
15	6005	Legal Fees	8133 Elrod Friedman LLP	7266	1-22 Non-Retainer Matters	5,679.50
16	6005	Legal Fees	8133 Elrod Friedman LLP	7275	1-22 Non-Retainer Litigation	1,511.00
17	6005	Legal Fees	8133 Elrod Friedman LLP	JAN 2022 RET	January 2022 Retainer	18,500.00
18	6009	Legal Fees - Admin Hearings/Prosecutions	1073 Bartel, Raymond	22-03	Traffic Court 1/31/22; February Administrative Hearings	970.00
19	6010	Legal Fees - Labor & Employment	1127 Clark Baird Smith LLP	14955	Legal Fees January 2022	7,356.25
20	7000	Office Supplies	1644 Warehouse Direct Inc	5171844-0	Rubberbands and Notebook	30.61
21	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022	69.40
Total 210 - City Manager					36,272.76	

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount
Division: 230 - Information Technology					
22	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022 33.93
23	7320	Equipment < \$5,000	1026 CDW LLC	S009486	220 Tripp Patch Cables 743.60
24	7320	Equipment < \$5,000	1026 CDW LLC	S073913	40 Tripp Patch Cables 135.20
25	7320	Equipment < \$5,000	1026 CDW LLC	S082347	40 Tripp Patch Cables 135.20
Total 230 - Information Technology					1,047.93

Division: 240 - Media Services					
26	7000	Office Supplies	1644 Warehouse Direct Inc	5168051-0	Two 3-Tier Magazine Holders 79.76
Total 240 - Media Services					79.76

Division: 250 - Human Resources					
27	6100	Publication of Notices	1485 ILCMA - IL City/County Management Assoc	3353	Job Posting - Public Works Mechanic 2/2 - 3/9/2022 50.00
28	6100	Publication of Notices	1485 ILCMA - IL City/County Management Assoc	3356	Job Posting - Public Works Superintendent 2/3 - 3/9/2022 50.00
29	6100	Publication of Notices	1485 ILCMA - IL City/County Management Assoc	3366	Job Posting - Public Works Water Operator 2/9 - 3/4/2022 50.00
30	6100	Publication of Notices	1485 ILCMA - IL City/County Management Assoc	3370	Job Ad for CED Associate Planner 2/10 - 3/2/2022 50.00
31	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8000942884	Shredding Services 01/14-01/28/2022 55.77
32	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022 2.00
Total 250 - Human Resources					257.77

Total 20 - City Administration					37,658.22
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Department: 30 - Finance					
33	6110	Printing Services	1665 Classic Graphic Ind Inc	88313	2K AP Laser Checks 02/05/2022 679.40
34	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8000942884	Shredding Services 01/14-01/28/2022 55.77
35	7000	Office Supplies	1644 Warehouse Direct Inc	5174806-0	1 Box of Hanging Folders, 1 Box of Envelopes, Etc. 137.36
36	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022 85.89
Total 30 - Finance					958.42

Community Development					
Division: 410 - Building & Code Enforcement					
37	5310	Membership Dues	7709 Illinois Plumbing Inspectors Association	2022-2023	IPIA 2022 Annual Dues Membership Plumbing Insp-3/2/22-3/1/23 70.00
38	5325	Training	7709 Illinois Plumbing Inspectors Association	05/20/2022	IPIA Continue Education-Plumbing Inspector - 05/20/2022 125.00
39	6005	Legal Fees	8133 Elrod Friedman LLP	7259	1-22 Non-Retainer Matters 240.00
40	6005	Legal Fees	8133 Elrod Friedman LLP	7267	1-22 Non-Retainer Matters 519.00
41	6005	Legal Fees	8133 Elrod Friedman LLP	7268	1-22 Non-Retainer Litigation 313.50

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
42	6025	Administrative Services	7961 BridgePay Network Solutions LLC	9365	Utility Web & Business License Transaction Fee for Jan 2022	61.60
43	6195	Miscellaneous Contractual Services	8354 Backflow Solutions Inc	6832	Backflow Administration Services for 2022 (Annual Fee)	1,090.00
44	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022	85.89
Total 410 - Building & Code Enforcement					2,504.99	

Division: 420 - Planning & Zoning						
45	6005	Legal Fees	8133 Elrod Friedman LLP	7276	1-22 Non-Retainer Matters	114.00
46	6100	Publication of Notices	1050 Journal & Topics Newspapers	187285	Public Hearing Legal Notice 02/02/2022	95.21
47	7200	Other Supplies	2016 Signarama	42708	1 Nameplate- PZB Member	28.75
Total 420 - Planning & Zoning					237.96	

Division: 430 - Economic Development						
48	6000	Professional Services	5215 CoStar Realty Information Inc	115359561-1	January 2022 Available Properties Database	398.79
49	6000	Professional Services	5215 CoStar Realty Information Inc	115611912-1	February 2022 Available Database	398.79
Total 430 - Economic Development					797.58	

Total 40 - Community Development					3,540.53
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Public Works & Engineering						
Division: 530 - Street Maintenance						
50	6040	Waste Hauling & Debris Removal	6988 Lighting Resources LLC	53-13216	Lightbulb Recycling - 01/18/2022	1,520.00
51	6040	Waste Hauling & Debris Removal	6988 Lighting Resources LLC	53-13497	Lightbulb Recycling - 01/31/2022	1,098.00
52	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	13679-3	16 Tree Removals - 01/03/2022	8,781.50
53	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	15415	26 Parkway Tree Removals - 02/02/2022, R-168-19	14,029.66
54	6195	Miscellaneous Contractual Services	1328 John Neri Construction Company Inc	020922	Operator Labor - 02/02/2022	2,167.40
55	6195	Miscellaneous Contractual Services	3595 TraffTech Inc	1900	Sign Printing Program Maintenance - 02/04/2022	1,350.00
56	6195	Miscellaneous Contractual Services	1559 Continental Weather Svc	194225	Weather Forecasting - February 2022	150.00
57	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210137	Sidewalk Snow Removal - 02/02/2022, R-137-21	3,800.00
58	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210138	Sidewalk Snow Removal - 02/02/2022, R-137-21	1,900.00
59	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210139	Sidewalk Snow Removal - 02/02/2022, R-137-21	3,800.00
60	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210140	Sidewalk Snow Removal - 02/03/2022, R-137-21	3,800.00
61	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210141	Sidewalk Snow Removal - 02/04/2022, R-137-21	1,900.00

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount
62	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210142 Sidewalk Snow Removal - Theater - 02/02-02/04/2022, R-137-21	800.00
63	6195	Miscellaneous Contractual Services	7050 DGO Premium Services Company	210143 Sidewalk Snow Removal - 02/11/2022	1,900.00
64	6325	R&M Street Lights	1044 H&H Electric Co	38156 Streetlight & Outlet Repairs - 12/01/2021	2,942.50
65	6325	R&M Street Lights	1044 H&H Electric Co	38291 Streetlight Repairs - 12/21/2021 & 12/29/2021	1,226.62
66	7020	Supplies - Safety	1670 Arlington Power Equipment Inc	107026 Safety Fuel Tank - Truck #273	82.99
67	7020	Supplies - Safety	1703 Prosafety Inc	2/884880 150 Imprinted Safety Vests	386.88
68	7020	Supplies - Safety	2067 Cutler Workwear	PS-INV001285 Carhartt Bibs - 3 Facilities & 5 Streets	288.87
69	7030	Supplies - Tools & Hardware	1047 Home Depot Credit Svcs	2021739 Hardware & Tools	62.09
70	7030	Supplies - Tools & Hardware	1520 Russo Power Equipment	SPI10967203 Snow Shovel	28.99
71	7035	Supplies - Equipment R&M	1424 Bushnell Inc	0017954200 Chloride Sprayer Repair Parts	153.22
72	7035	Supplies - Equipment R&M	8244 Des Plaines Ace Hardware	1645 Chain Saw Air Filters	50.36
73	7055	Supplies - Street R&M	1047 Home Depot Credit Svcs	9070597 Duct Tape - Sign Shop	47.90
74	7055	Supplies - Street R&M	1174 3M Company	9414803397 4 Rolls Transfer Tape - Sign Fabrication	702.20
75	7055	Supplies - Street R&M	1174 3M Company	9414902039 Reflective Sheeting - Sign Fabrication	1,763.25
76	7055	Supplies - Street R&M	1174 3M Company	9414902046 ElectroCut Film - Sign Fabrication	655.66
77	7160	Ice Control	1194 Sicalco LTD	72952 2,000 Gals Liquid Calcium Chloride - 01/26/2022	1,680.00
78	7160	Ice Control	1194 Sicalco LTD	73031 Calcium Chloride - 02/04/2022	1,675.80
79	7200	Other Supplies	4177 Uline Inc	144871364 Burlap Roll - Metro Square Tree Lighting	378.83
80	7550	Miscellaneous Expenses	1076 Sam's Club Direct	4856 Meeting Supplies	73.80
Total 530 - Street Maintenance					59,196.52

Division: 535 - Facilities & Grounds Maintenance					
81	6135	Rentals	1047 Home Depot Credit Svcs	1900811 Deposit Return for Rental 01/25/2022	(250.00)
82	6135	Rentals	1047 Home Depot Credit Svcs	2900712 Rental Deposit - 01/25/2022	250.00
83	6195	Miscellaneous Contractual Services	6420 International Exterminator Company Inc	02-2899 Exterior Pest Control - City Hall & Police Station - 02/01/2022	80.00
84	6195	Miscellaneous Contractual Services	6420 International Exterminator Company Inc	02-2900 Interior Pest Control - City Hall & Police Station - 02/01/2021	193.00
85	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4108331578 Mat Service - Metra Train Station - 01/19/2022	35.00
86	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4109548272 Mat Service - Metra Train Station - 02/02/2022	35.00

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
87	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4110230070	Mat Service - Police Station - 02/09/2021	122.24
88	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4110230197	Mat Service - Metra Train Station - 02/09/2021	35.00
89	6195	Miscellaneous Contractual Services	5214 State Industrial Products	902324483	Drain Maintenance Program 02/08/2022 - City Hall	109.27
90	6195	Miscellaneous Contractual Services	1544 Fox Valley Fire & Safety Company Inc	IN00499405	Quarterly Fire Alarm Radio Monitoring - February 2022	210.00
91	6195	Miscellaneous Contractual Services	6041 ChargePoint Inc	IN130972	Software Fees - Electric Charging Station 04/12/22-01/28/23	550.00
92	6315	R&M Buildings & Structures	1025 Bedco Inc	097669	PM & Thermostat Check - Food Pantry - 01/31/2022	120.00
93	6315	R&M Buildings & Structures	8534 Peerless Fence	105348	EMA Building Chain Link Fence Extensions - 01/28/2022	5,526.00
94	6315	R&M Buildings & Structures	8262 Automatic Fire Systems Inc	2705	Backflow Repair - City Hall - 02/10/2022	593.00
95	6315	R&M Buildings & Structures	7717 Oak Brook Mechanical Services Inc	28864	HVAC Maintenance - 1486 Miner - 02/01/2022	840.00
96	6315	R&M Buildings & Structures	7717 Oak Brook Mechanical Services Inc	28865	HVAC Maintenance - Theater - 02/01/2022	2,449.00
97	6315	R&M Buildings & Structures	1237 Pro-Line Door Systems Inc	92265	Overhead Door Repair - PW - 02/04/2021	1,562.00
98	6315	R&M Buildings & Structures	1311 Hill/Ahern Fire Protection LLC	9587	Fire System Repairs 01/30/2022 - Fire Station #63	322.80
99	6315	R&M Buildings & Structures	1311 Hill/Ahern Fire Protection LLC	9589	Fire System Repairs - City Hall - 01/31/2022	707.00
100	6315	R&M Buildings & Structures	2350 Anderson Elevator Co	INV-52968-G7C8	Elevator Maintenance - 02/01/2022	500.00
101	6315	R&M Buildings & Structures	2350 Anderson Elevator Co	INV-52968-G7C8	Elevator Maintenance - 02/01/2022	210.00
102	6315	R&M Buildings & Structures	2350 Anderson Elevator Co	INV-52968-G7C8	Elevator Maintenance - 02/01/2022	210.00
103	7020	Supplies - Safety	1703 Prosafety Inc	2/884880	150 Imprinted Safety Vests	386.88
104	7020	Supplies - Safety	2067 Cutler Workwear	PS-INV001285	Carhartt Bibs - 3 Facilities & 5 Streets	489.55
105	7025	Supplies - Custodial	1029 Cintas Corporation	4109548201	Cleaners, Paper Towels, Soap, Mat, & Scrubs - PW	143.87
106	7025	Supplies - Custodial	1029 Cintas Corporation	4110230215	Cleaners, Paper Towels, Soap, Mat, & Scrubs - PW	254.45
107	7030	Supplies - Tools & Hardware	1047 Home Depot Credit Svcs	6021246	Saw Blades, Hole Saws, Drill Bits	144.88
108	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1084536	Saddle Threshold - City Hall 5th Floor	38.61
109	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1084659	New Cylinder & Keyed - City Hall 5th Floor	57.00
110	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1085213	Handicap Push Button - Metra Train Station	89.00
111	7045	Supplies - Building R&M	1666 Des Plaines Glass Company	12203	Holding Cell Glass - Police Station	1,200.00
112	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	2452708	EZ Sand, Corner Bead, Compound, Etc. - PW Crew Leader Office	243.42
113	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	2452709	Electric Box Rings - PW	8.48

City of Des Plaines

Warrant Register 03/07/2022

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
114	7045	Supplies - Building R&M	1527 Sherwin-Williams Company, The	5754-7	Paint - City Hall	195.90
115	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	6021207	Drywall - PW Crew Leader Office	372.30
116	7045	Supplies - Building R&M	1057 Menard Incorporated	93161	Plumbing Supplies - PW Crew Leader Office	297.34
117	7045	Supplies - Building R&M	1057 Menard Incorporated	93172	Aspen Board, Anchors, & Screws - City Hall 5th Floor	58.47
118	7045	Supplies - Building R&M	1057 Menard Incorporated	93619	Bolts & Washers - City Hall	8.25
119	7045	Supplies - Building R&M	1057 Menard Incorporated	93874	GFCI Outlets Fire Station 61	97.72
120	7045	Supplies - Building R&M	1550 Addison Building Material Co	965631	Anchors & Magnetic Nut Driver - City Hall	104.95
121	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	C045366	Returned Door Hinges - City Hall 5th Floor	(96.63)
Total 535 - Facilities & Grounds Maintenance					18,503.75	

Division: 540 - Vehicle Maintenance						
122	6135	Rentals	1029 Cintas Corporation	4109520324	Mechanic's Uniform Rental - 02/02/2022	158.65
123	6135	Rentals	1029 Cintas Corporation	4110176153	Mechanic's Uniform Rental - 02/09/2021	158.65
124	6310	R&M Vehicles	6014 Jean Ross Company, The	6083	Repair Rear Heat Control Valves 01/17/2022 - Fire 7702	651.25
125	6310	R&M Vehicles	8104 MacQueen Emergency Group	W01595	Service Call 12/23/2021 - Fire 7801	652.50
126	7000	Office Supplies	5035 Northwest Trucks Inc	X101060122:01	M2 Service Manual Thumb Drive	204.14
127	7000	Office Supplies	5035 Northwest Trucks Inc	X101060273:01	Returned M2 Service Manual Thumb Drive	(204.14)
128	7000	Office Supplies	5035 Northwest Trucks Inc	X101060274:01	M2 Service Manual - Fire Department	171.05
129	7030	Supplies - Tools & Hardware	8454 NAPA Auto Parts	819154	Battery & Charger	174.54
130	7035	Supplies - Equipment R&M	6244 Valvoline LLC	133463382	Engine Oil & Hydraulic Oil	230.10
131	7035	Supplies - Equipment R&M	8454 NAPA Auto Parts	819226	48 Quarts Motor Oil - PW 5033	124.32
132	7035	Supplies - Equipment R&M	8454 NAPA Auto Parts	819318	Air & Fuel Filters - PW 5021	15.45
133	7035	Supplies - Equipment R&M	1088 Atlas Bobcat LLC	BS9148	Antifreeze & Two Take Off Wheel Sets - PW Stock	722.76
134	7035	Supplies - Equipment R&M	1154 West Side Tractor Sales	W97564	Cylinder & Seal Kit - PW 5033	1,075.36
135	7040	Supplies - Vehicle R&M	1677 Wholesale Direct Inc	000255431	LED Lights - PW Stock	416.66
136	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0254769	Ignition Coils, Spark Plugs, & Filters - Police Stock	787.26
137	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0255082	Brake Pads - Police Stock	199.46
138	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0255255	Wheel Sensors & Purge Valves - Police Stock	125.56
139	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0255706	6 Batteries & 6 Core - PW Stock	606.06

City of Des Plaines

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
140	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0255972	Brake Rotors & Pads - Police Stock	1,400.99
141	7040	Supplies - Vehicle R&M	1045 Havey Communications	11323	Traffic Controllers - Police Stock	613.95
142	7040	Supplies - Vehicle R&M	1045 Havey Communications	11394	Dual Color Rail Light - Police 6034	631.60
143	7040	Supplies - Vehicle R&M	1674 Spring-Align of Palatine, Inc	120294	2 Plow Blades - PW 5043 & PW 8022	155.00
144	7040	Supplies - Vehicle R&M	6244 Valvoline LLC	133463382	Engine Oil & Hydraulic Oil	1,035.45
145	7040	Supplies - Vehicle R&M	2028 Northwest Electrical Supply	17525989	Electrical Supplies - Fire 7522	781.68
146	7040	Supplies - Vehicle R&M	1080 Air One Equipment Inc	175547	Quick Release Hooks - Fire Stock	303.00
147	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1CR0044022	Battery Core Credit	(66.00)
148	7040	Supplies - Vehicle R&M	1354 MPC Communications & Lighting Inc	22-1030	QuadraFlare Lighting - Fire 7522	312.00
149	7040	Supplies - Vehicle R&M	1354 MPC Communications & Lighting Inc	22-1033	QuadraFlare Lighting - Fire 7522	238.95
150	7040	Supplies - Vehicle R&M	1501 Foster Coach Sales Inc	23478	Lock & Handle - Fire 7707	397.13
151	7040	Supplies - Vehicle R&M	1501 Foster Coach Sales Inc	23499	Electric Water Valve - Fire 7702	152.48
152	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-106143	Manifold Gasket - Police 6091	14.11
153	7040	Supplies - Vehicle R&M	1071 Pomp's Tire Service Inc	280130480	16 Tires - Police Stock	2,228.04
154	7040	Supplies - Vehicle R&M	1071 Pomp's Tire Service Inc	280130481	14 Tires - Police Stock	2,001.58
155	7040	Supplies - Vehicle R&M	4280 Rush Truck Centers of Illinois Inc	3026463792	22 Filters - Fire & PW	128.52
156	7040	Supplies - Vehicle R&M	4280 Rush Truck Centers of Illinois Inc	3026574016	6 Oil Filters - Fire Stock	42.84
157	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	517652P	Window Switch - Fire 7512	102.54
158	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	521274P	3 Gaskets - Police Stock	51.18
159	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	521641P	Wheels & Sensors - Police Stock	627.32
160	7040	Supplies - Vehicle R&M	5193 Fast MRO Supplies Inc	6290	Brake Cleaner - PW Stock	251.26
161	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	813954	Core Deposit Return - Police Stock	(18.00)
162	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819150	Head Lamp - PW 5090	738.70
163	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819225	Diesel Exhaust Fluid - PW Stock	363.36
164	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819227	Snow Plow Fluid - PW Stock	47.40
165	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819354	Oil Stabilizer - PW 5077	13.58

City of Des Plaines

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
166	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819369	Air & Oil Filters - PW Stock	65.06
167	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819905	Serpentine Belt - Fire 6918	20.00
168	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819906	Serpentine Belt - Police Stock	20.00
169	7040	Supplies - Vehicle R&M	1053 Kimball Midwest	9507156	Stainless Steel Hardware & Tape - Fire Stock	306.09
170	7040	Supplies - Vehicle R&M	1053 Kimball Midwest	9601504	Plow Bolts & Lock Nuts - PW Stock	956.94
171	7040	Supplies - Vehicle R&M	1053 Kimball Midwest	9615478	Heat Shrink, Electrical Connectors, & Tape - Fire 7522	386.70
172	7040	Supplies - Vehicle R&M	8104 MacQueen Emergency Group	P13640	Returned Exhaust Parts - Fire 7603	(563.14)
173	7040	Supplies - Vehicle R&M	4328 Batteries Plus Bulbs (#490)	P48292909	9 Batteries - Fire Stock, PW Stock, Police Stock	1,017.90
174	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101052210:01	Bolt/Strap Kit & Center Bearing - PW 5111 & PW Stock	143.38
175	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101059125:02	Rocker Switch - Fire Stock	37.86
176	7120	Gasoline	8331 Avalon Petroleum Company Inc	571912	4,200 Gals Unleaded - 02/03/2022, R-163-20	9,416.34
177	7120	Gasoline	8331 Avalon Petroleum Company Inc	580252	5,000 Gals Unleaded Gasoline - 01/21/2022, R-163-20	11,546.52
178	7120	Gasoline	7349 Wex Inc	78069957	Fuel Purchases - 01/06-01/31/2022	610.76
179	7130	Diesel	8331 Avalon Petroleum Company Inc	023473	2,600 Gals Diesel Fuel - 02/03/2022, R-163-20	7,804.13
180	7130	Diesel	8331 Avalon Petroleum Company Inc	023874	1,999 Gals Diesel Fuel - 01/21/2022, R-163-20	4,665.85
181	7130	Diesel	7349 Wex Inc	78069957	Fuel Purchases - 01/06-01/31/2022	1,408.48
Total 540 - Vehicle Maintenance						56,661.16

Total 50 - Public Works & Engineering	134,361.43
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Police Department						
Division: 620 - Criminal Investigation						
182	6195	Miscellaneous Contractual Services	1572 LexisNexis Risk Solutions	1037713-20220131	Investigations Database 1/1-1/31/2022	159.55
183	6195	Miscellaneous Contractual Services	1683 Thomson Reuters	845807258	Investigations Database 1/1-1/31/2022	333.87
Total 620 - Criminal Investigation					493.42	

Division: 630 - Support Services						
184	5320	Conferences	1522 IL Association of Chiefs of Police	10412	IL Assoc. of Chiefs of Police Conf. (1 Chf, 2 DC) 4/27-4/29/2022	897.00
185	5325	Training	6618 Police Law Institute Inc	14569	2022 Online Training & Documented Testing (2nd of 3 Yr)	11,210.00
186	6000	Professional Services	5975 Aero Removals Trisons Inc	21743ACR	Removal and Transport of 3 Deceased January 2022	1,200.00
187	6195	Miscellaneous Contractual Services	8566 Andy Frain Services Inc	314881	2022 Crossing Guard Services 1/1-1/31/2022	25,581.77

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
188	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8000942884	Shredding Services 01/14-01/28/2022	278.97
189	6195	Miscellaneous Contractual Services	2514 Lexipol LLC	INVLEX8425	Annual Policy Update For 2022 (3/1/2022-2/28/2023)	6,207.38
190	6300	R&M Software	4913 Trittech Software Systems	338536	RMS & FBR Software R & M Annual Fee 1/11/2022-1/10/2023	12,281.32
191	7525	Meals	1076 Sam's Club Direct	3105	Prisoner Meals, Juice (8), Hot Pocket (8)	142.56
Total 630 - Support Services					57,799.00	

Total 60 - Police Department	58,292.42
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Fire Department						
Division: 100 - Administration						
192	5310	Membership Dues	1349 MABAS Mutual Aid Box Alarm System Division 3	AD2201	2022 Annual MABAS Division 3 Dues	5,000.00
Total 100 - Administration					5,000.00	

Division: 710 - Emergency Services						
193	5325	Training	1743 IL Fire Chiefs Association	3684	Incident Safety Officer Training 09/19/22-09/23/22-Engineer	300.00
194	6035	Dispatch Services	5067 Regional Emergency Dispatch Center	164-22-01	R-141-13 Monthly Dispatch Service January 2022	66,642.00
195	6035	Dispatch Services	5067 Regional Emergency Dispatch Center	164-22-02	R-141-13 Monthly Dispatch Service February 2022 (+True-Up Chrgs)	77,750.00
196	6035	Dispatch Services	5973 Emergency Twenty Four Inc	44766	Elevator Alarm Dispatch - January 2022	2,208.00
197	6195	Miscellaneous Contractual Services	1580 Mighty Mites Awards Inc	16287	2 Engraving Retirement Badges - 2 Paramedics - 2/10/22	56.80
198	6305	R&M Equipment	1747 Murphy's Contractors Equipment Inc	218850	Parts and Service Call for K970 Saw - 01/27/22	337.80
199	6305	R&M Equipment	1660 Safety-Kleen Systems Inc	88037972	Part Washer Solvent - Station 61 - Service 01/24/22	174.13
200	7200	Other Supplies	1644 Warehouse Direct Inc	5163712-0	1 Pack of Stationary, 3 Packs of Document Covers, 2 Award Frames	146.66
201	7200	Other Supplies	3297 Bound Tree Medical LLC	84392490	3 Soft Stretchers	629.97
202	7200	Other Supplies	3297 Bound Tree Medical LLC	84392491	28 Toggle Kits, 30 Toggle & Pin Sets, Video Laryngoscope	1,538.39
203	7200	Other Supplies	1571 Welding Industrial Supply	R02828810	16 Cylinders, 1 Balloon Filler - January 2022	177.99
204	7320	Equipment < \$5,000	1148 WS Darley & Co	17455012	3 Pairs Dexpro Gloves	276.00
205	7320	Equipment < \$5,000	1148 WS Darley & Co	17455355	10 Helmet Lights	750.00
206	7320	Equipment < \$5,000	1080 Air One Equipment Inc	176978	9 G1 Facepieces with Harness	2,355.00
207	7320	Equipment < \$5,000	1080 Air One Equipment Inc	176979	Regulators, Retainer Kits, Housing Assembly, O-Rings, Etc.	1,785.30

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
208	7320	Equipment < \$5,000	1747 Murphy's Contractors Equipment Inc	218858	Muffler, Gasket Brackets and Screws for Cutters Edge Saw	97.24
Total 710 - Emergency Services					155,225.28	

Division: 720 - Fire Prevention						
209	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022	43.42
210	7200	Other Supplies	1644 Warehouse Direct Inc	5133330-3	1 Box of Forks	4.06
Total 720 - Fire Prevention					47.48	

Division: 730 - Emergency Management Agency						
211	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 021022	Water Delivery 02/03/2022	7.93
Total 730 - Emergency Management Agency					7.93	

Total 70 - Fire Department					160,280.69
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Department: 75 - Fire & Police Commission						
212	6010	Legal Fees - Labor & Employment	8133 Elrod Friedman LLP	7277	1-22 Non-Retainer Matters	4,795.00
213	6100	Publication of Notices	3399 Blue Line, The	42792	Firefighter/Paramedic Recruitment Listing 2/10 - 3/17/2022	348.00
Total 75 - Fire & Police Commission					5,143.00	

Department: 90 - Overhead						
214	6030	AMB Fee Processing Services	3640 Andres Medical Billing Ltd	254017	Collections for Services Jan 2022 - Ambulance Fees	12,160.32
215	7000	Office Supplies	3827 Pitney Bowes Inc	1020080990	Two Cartridges of Red Ink for Postage Machine	468.32
Total 90 - Overhead					12,628.64	

Total 100 - General Fund					415,641.45
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Fund: 207 - TIF #7 Mannheim/Higgins South						
216	6000	Professional Services	1332 Kane McKenna & Associates	18420	Research Analysis TIF 7 1/14/22-1/28/22	262.50
Total 207 - TIF #7 Mannheim/Higgins South					262.50	

Fund: 208 - TIF #8 Oakton						
217	6000	Professional Services	3338 Gabriel Environmental Services	0222L0040	Environmental Site Assessment 01/18-01/31/2022 - 1392 - 1396 East Oakton	2,450.00
218	6000	Professional Services	1398 Gremley & Biedermann	149926	Provide 2021 ALTA/NSPS Land Title Survey 02/02/2022 for 1374-84 Oakton	2,450.00
219	6005	Legal Fees	8133 Elrod Friedman LLP	7264	1-22 Non-Retainer Matters	667.00
Total 208 - TIF #8 Oakton					5,567.00	

Fund: 230 - Motor Fuel Tax Fund						
220	6330	R&M Traffic Signals	1139 Cook County of Illinois	2021-4	Traffic Signal Main-Dempster & Potter 10/01-12/31/2021	1,253.25

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
221	6330	R&M Traffic Signals	1206 Illinois, State of	61480	Traffic Signal Maintenance 10/01-12/31/2021	10,818.19
222	7160	Ice Control	6461 Compass Minerals America Inc	943418	Bulk Rock Salt - 02/02/2022	8,248.67
Total 230 - Motor Fuel Tax Fund					20,320.11	

Fund: 250 - Grant Projects Fund						
Program: 2520 - Capital Grants						
223	6000	Professional Services	1123 Christopher B Burke Engineering LTD	172207	R-157-21 Engr Svcs for Area #4 Flood Imp Proj 01/01-01/29/2022	34,946.20
224	6000	Professional Services	1123 Christopher B Burke Engineering LTD	172208	R-184-21 Task Order 7 Professional Eng Svcs 01/01-01/29/2022	11,422.28
225	6000	Professional Services	1126 Civiltech Engineering Inc	3556-10-A	R-164-14 & R-111-19 Engr Svcs-Rand Rd Sidepath 01/01-01/28/2022	18,249.68
226	6000	Professional Services	1126 Civiltech Engineering Inc	3556-10-B	R-26-21 Engr Svcs - Rand Rd Sidepath 01/01-01/28/2022	18,761.98
227	6005	Legal Fees	6997 Walker Wilcox Matousek LLP	189710-0L60001	Legal Fees-Ballard Rd Sidepath 2250 Ballard Rd 11/03-11/30/2021	1,760.00
228	6005	Legal Fees	1733 Burke Burns & Pinelli Ltd	29346-0LN0006	Legal Fees-Lee & Forest TL 1387 Lee St 11/02-11/30/2021	63.82
229	6005	Legal Fees	1733 Burke Burns & Pinelli Ltd	29347-0LN0007	Legal Fees-Lee & Forest TL 1365 Lee St 11/09-11/30/2021	619.40
230	6005	Legal Fees	8133 Elrod Friedman LLP	7251	1-22 Non-Retainer IEMA & FEMA Review Phase 5	69.00
231	6005	Legal Fees	8519 Wolin Law Group LLC	866-0LN0016	Legal Fees-Lee & Forest TL 1286 Lee St 11/01-11/24/2021	400.00
Total 2520 - Capital Grants					86,292.36	
Total 250 - Grant Projects Fund					86,292.36	

Fund: 260 - Asset Seizure Fund						
Program: 2610 - Customs						
232	5310	Membership Dues	1265 NIPAS Northern Illinois Police Alarm Sys	14147	NIPAS Membership Assessment Dues 5/1/2022-4/30/2023	400.00
233	5310	Membership Dues	1265 NIPAS Northern Illinois Police Alarm Sys	14148	NIPAS EST Assessment 5/1/2022-4/30/2023	4,800.00
234	5310	Membership Dues	1265 NIPAS Northern Illinois Police Alarm Sys	14149	NIPAS Mobile Fld Force Dues 5/1/2022-4/30/2022 & 1 Ofcr Assess	1,005.00
Total 2610 - Customs					6,205.00	

Program: 2620 - DEA						
235	7300	Uniforms	1164 Uniform Den East Inc	77851	3 Ethos II Level II Ballistic Vests-3 Officers	1,815.00
Total 2620 - DEA					1,815.00	

Total 260 - Asset Seizure Fund					8,020.00
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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 400 - Capital Projects Fund						
236	6000	Professional Services	3337 HR Green Inc	150154	TO#4 Bridge Repair Contract Documents - 11/20-12/17/2021	5,627.50
237	6000	Professional Services	1079 AECOM Technical Services Inc	2000591260	R-126-21 Prof Engr Svcs-Task Order #4 01/01-02/04/2022	16,153.94
238	6000	Professional Services	7564 Terra Consulting Group Ltd	INV010494	Small Cell Plan Review @ 309 Ardmore 02/03/2022	150.00
239	6000	Professional Services	7564 Terra Consulting Group Ltd	INV010536	Small Cell Plan Review @ 600 Berkshire 02/07/2022	150.00
240	6000	Professional Services	7564 Terra Consulting Group Ltd	INV010537	Small Cell Plan Review @ 765 East Golf Road 02/07/2022	150.00
241	6005	Legal Fees	8133 Elrod Friedman LLP	7273	1-22 Non-Retainer Matters	57.00
242	6140	Leases	1165 Union Pacific Railroad Company	318057197	Parking Lot Lease US 14 & Broadway 03/01/2022-02/28/2023	1,738.91
Total 400 - Capital Projects Fund					24,027.35	

Fund: 420 - IT Replacement Fund						
243	8005	Computer Hardware	1035 Dell Marketing LP	10557935856	25 Dell Micro Desktop Computers	19,193.75
244	8005	Computer Hardware	1035 Dell Marketing LP	10558150402	43" Monitors for CED	5,775.00
245	8005	Computer Hardware	7168 Dexon Computer Inc	111335	Cisco 24 Port Switch for Media Department	3,975.00
Total 420 - IT Replacement Fund					28,943.75	

Fund: 430 - Facilities Replacement Fund						
246	6000	Professional Services	2436 Haeger Engineering LLC	88627	Civic Deck Utility as Built/Project Closeout 01/04-02/01/2022	658.75
247	7045	Supplies - Building R&M	1540 Reinke Interior Supply Company Inc	40047486	Black Ceiling Tiles for 2nd Floor Remodel	163.84
248	7045	Supplies - Building R&M	1540 Reinke Interior Supply Company Inc	60047709	Ceiling Grid for 2nd Floor Remodel	973.63
249	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	7452676	Supplies for 2nd Floor City Hall Remodel	100.79
250	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	9020869	Supplies for 5th Floor and 2nd Floor Remodel	186.55
251	7045	Supplies - Building R&M	1057 Menard Incorporated	93597	PVC Conduit for 2nd Floor Remodel	33.80
252	7045	Supplies - Building R&M	1057 Menard Incorporated	93599	6" X 9" Access Panels for 2nd Floor Remodel	21.04
253	7045	Supplies - Building R&M	1057 Menard Incorporated	93694	Building Supplies for City Hall 2nd Floor	9.89
254	7045	Supplies - Building R&M	2313 City Electric Supply Company (CES)	DEP/055239	2 x 2 Lights for 2nd Floor Remodel	900.00
Total 430 - Facilities Replacement Fund					3,048.29	

Fund: 500 - Water/Sewer Fund						
Non Departmental						
Division: 550 - Water Systems						
255	6195	Miscellaneous Contractual Services	5995 Wunderlich-Malec Services Inc	19341	TO#5 Panel Mods - O'Hare Lake - 12/10/2021-01/27/2022, R-121-20	15,200.00

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Line #	Account	Vendor	Invoice	Invoice Description	Amount
256	6195	Miscellaneous Contractual Services	4583 Argon Electric Company, Inc	9524 TO#4 Air Fiber Dish - Dulles Tower - 11/20-12/11/2021, R-174-21	19,871.00
257	6195	Miscellaneous Contractual Services	8573 Katco Development Inc	9963 Main Break Emergency Call Out - 2222 Birch St - 01/27/2022	1,087.00
258	7020	Supplies - Safety	1703 Prosafety Inc	2/884880 150 Imprinted Safety Vests	386.88
259	7020	Supplies - Safety	4093 White Cap LP	50017933328 2 Pairs Yellow Slush Boots	68.48
260	7020	Supplies - Safety	1192 Sherwin Industries Inc	SS092181 10 Cone Bars	241.50
261	7035	Supplies - Equipment R&M	6244 Valvoline LLC	133463382 Engine Oil & Hydraulic Oil	345.15
262	7040	Supplies - Vehicle R&M	6244 Valvoline LLC	133463382 Engine Oil & Hydraulic Oil	345.15
263	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-106824 Bed Liner - PW 9062	140.24
264	7045	Supplies - Building R&M	8244 Des Plaines Ace Hardware	1713 Batteries, Velcro, & Odor Eliminator	48.57
265	7070	Supplies - Water System Maintenance	1328 John Neri Construction Company Inc	121421A Aggregate Materials & Spoils Disposal-01/25-01/26/2022, R-175-20	8,175.93
266	7070	Supplies - Water System Maintenance	8547 Healy Asphalt Company LLC	30358 2.51 Tons Asphalt - Street Repair - 12/17/2021	351.40
267	7070	Supplies - Water System Maintenance	8547 Healy Asphalt Company LLC	30371 2.20 Tons Asphalt - 12/22/2021	308.00
268	7070	Supplies - Water System Maintenance	8547 Healy Asphalt Company LLC	30404 3.22 Tons Asphalt - Street Repair - 01/04/2022	450.80
269	7070	Supplies - Water System Maintenance	8547 Healy Asphalt Company LLC	30463 1.13 Tons Asphalt - 01/27/2022	158.20
270	7070	Supplies - Water System Maintenance	8547 Healy Asphalt Company LLC	30466 2.65 Tons Asphalt - 01/28/2022	371.00
271	7070	Supplies - Water System Maintenance	1057 Menard Incorporated	92283 Lumber, Hook Blades, Utility Knife at Howard	102.73
272	7070	Supplies - Water System Maintenance	1057 Menard Incorporated	92295 Sliding Nails	30.58
273	7070	Supplies - Water System Maintenance	1057 Menard Incorporated	93656 Discharge Hose, Nipples, Elbows, Hose Clamp - Central	229.15
274	7070	Supplies - Water System Maintenance	6992 Core & Main LP	Q332168 5 Repair Clamps	965.00
275	7070	Supplies - Water System Maintenance	6992 Core & Main LP	Q333623 Repair Sleeves	380.50
276	7105	Wholesale Water - NWWC	2901 Northwest Water Commission	01022022 Wholesale Water Purchase-Jan 2022 01/04/2022, R-183-14	341,484.00
277	7120	Gasoline	8331 Avalon Petroleum Company Inc	571912 4,200 Gals Unleaded - 02/03/2022, R-163-20	2,000.50
278	7120	Gasoline	8331 Avalon Petroleum Company Inc	580252 5,000 Gals Unleaded Gasoline - 01/21/2022, R-163-20	1,767.93
279	7130	Diesel	8331 Avalon Petroleum Company Inc	023473 2,600 Gals Diesel Fuel - 02/03/2022, R-163-20	520.61
280	7130	Diesel	8331 Avalon Petroleum Company Inc	023874 1,999 Gals Diesel Fuel - 01/21/2022, R-163-20	715.77
281	7300	Uniforms	2067 Cutler Workwear	PS-INV001737 Uniform Jacket - Water Foreman	80.99
282	7320	Equipment < \$5,000	2053 USA Bluebook	874802 Locator	776.41
Total 550 - Water Systems					396,603.47

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Line #	Account	Vendor	Invoice	Invoice Description	Amount
Division: 560 - Sewer Systems					
283	6195	Miscellaneous Contractual Services	4583 Argon Electric Company, Inc	9535 TO5 PLC Panel Install-Fargo/Lee LS - 11/13-11/20/2021, R-174-21	5,285.00
284	6505	Subsidy - Sewer Lateral Program	8574 Murphy, Brian	SLP22-003 Sewer Rebate 02/07/2022	435.00
285	7020	Supplies - Safety	1703 Prosafety Inc	2/884880 150 Imprinted Safety Vests	386.88
286	7030	Supplies - Tools & Hardware	8244 Des Plaines Ace Hardware	1704 Nylon Rope, Electrical Tape, Fish Tape - Sewer	53.07
287	7040	Supplies - Vehicle R&M	1674 Spring-Align of Palatine, Inc	120294 2 Plow Blades - PW 5043 & PW 8022	155.00
288	7040	Supplies - Vehicle R&M	6244 Valvoline LLC	133463382 Engine Oil & Hydraulic Oil	345.15
289	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	819887 Light Bulbs - PW 8036	21.24
290	7120	Gasoline	8331 Avalon Petroleum Company Inc	571912 4,200 Gals Unleaded - 02/03/2022, R-163-20	744.26
291	7120	Gasoline	8331 Avalon Petroleum Company Inc	580252 5,000 Gals Unleaded Gasoline - 01/21/2022, R-163-20	433.05
292	7130	Diesel	8331 Avalon Petroleum Company Inc	023473 2,600 Gals Diesel Fuel - 02/03/2022, R-163-20	168.16
293	7130	Diesel	8331 Avalon Petroleum Company Inc	023874 1,999 Gals Diesel Fuel - 01/21/2022, R-163-20	826.27
Total 560 - Sewer Systems					8,853.08

Division: 570 - Equipment Replacement					
294	8020	Vehicles	8342 Sutton Ford, Incorporated	02/07/2022 2022 Ford F550 Repl Vehicle - PW 9034 - 02/07/2022, R-20-21	40,088.00
295	8020	Vehicles	4280 Rush Truck Centers of Illinois Inc	3026640139 Truck Refurbishment - PW 9032 - 02/15/2022 R-153-21	44,660.63
Total 570 - Equipment Replacement					84,748.63

Division: 580 - CIP - Water/Sewer					
296	6000	Professional Services	2506 Trotter & Associates Inc	19547 TO#11.1 Water Sys Separation Bidding - 01/01-01/31/2022, R-16-20	787.10
297	6000	Professional Services	2506 Trotter & Associates Inc	19549 TO#13 Con Phase Fill Imp - Maple - 01/01-01/31/2022, R-145	2,987.50
298	6000	Professional Services	2506 Trotter & Associates Inc	19550 TO#14 Supp Svc Wtr Sys Model & Other - 01/01-01/31/2022, R-16-20	1,659.75
299	6000	Professional Services	2506 Trotter & Associates Inc	19551 TO#15 Survey - Central - 01/01-01/31/2022, R-16-20	348.40
300	6000	Professional Services	2506 Trotter & Associates Inc	19552 TO#16 Emergency Power Improvements - 01/01-01/31/2022, R-16-20	2,579.00
301	6000	Professional Services	2506 Trotter & Associates Inc	19553 Replacement Eng Services - Maple - 01/01-01/31/2022, R-176-21	9,918.50
302	6000	Professional Services	1647 RJN Group Inc	35460701 TO#7 2021 MWRD Annual Report - 01/01-01/28/2022, R-18-20	1,057.50
303	6000	Professional Services	4022 M E Simpson Co Inc	38164 2021 Leak Detection Survey - 01/03-01/31/2022, R-136-21	16,038.75

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
304	6000	Professional Services	4022 M E Simpson Co Inc	38189	TO#16 Water Audit Services - 12/05/2021-01/31/2022	9,900.00
Total 580 - CIP - Water/Sewer					45,276.50	

Total 00 - Non Departmental					535,481.68
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Department: 30 - Finance						
305	6025	Administrative Services	7961 BridgePay Network Solutions LLC	9365	Utility Web & Business License Transaction Fee for Jan 2022	253.10
Total 30 - Finance					253.10	

Total 500 - Water/Sewer Fund					535,734.78
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Fund: 510 - City Owned Parking Fund						
306	6025	Administrative Services	7960 Passport Labs Inc	INV-1028119	Mobile Pay Parking Transaction Fees Jan 2022	1.48
307	6320	R&M Parking Lots	2350 Anderson Elevator Co	INV-52968-G7C8	Elevator Maintenance - 02/01/2022	480.00
308	7060	Supplies - Parking Lots	1057 Menard Incorporated	93849	Library Parking Deck Covers	34.41
Total 510 - City Owned Parking Fund					515.89	

Fund: 520 - Metra Leased Parking Fund						
309	6025	Administrative Services	7960 Passport Labs Inc	INV-1028119	Mobile Pay Parking Transaction Fees Jan 2022	84.36
Total 520 - Metra Leased Parking Fund					84.36	

Fund: 600 - Risk Management Fund						
310	6000	Professional Services	8074 Thomas Group Solutions LLC	DP TO6 (2021) Q1	TO#6 Risk Management Services - 01/01-03/28/2021, R-9-20	4,875.00
311	6000	Professional Services	8074 Thomas Group Solutions LLC	DP TO6 (2021) Q3	TO#6 Risk Management Services - 07/01-09/30/2021, R-9-20	4,875.00
312	6000	Professional Services	8074 Thomas Group Solutions LLC	DP TO6 (2021) Q4	TO#6 2021 Risk Management Services - 10/01-12/21/2021, R-9-20	4,875.00
313	6005	Legal Fees	8133 Elrod Friedman LLP	7270	1-22 Non-Retainer PSEBA Proceedings	808.50
Total 600 - Risk Management Fund					15,433.50	

Fund: 610 - Health Benefits Fund						
314	6195	Miscellaneous Contractual Services	8374 Wex Health Incorporated	0001471704-IN	Commuter, FSA, and COBRA Monthly Admin Fees January 2022	820.00
Total 610 - Health Benefits Fund					820.00	

Fund: 700 - Escrow Fund						
315	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	187286	Public Hearing Legal Notice 02/02/2022	95.21
316	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	187286	Public Hearing Legal Notice 02/02/2022	95.21
317	2493	Escrow - CED Development	8133 Elrod Friedman LLP	7258	1-22 Reimb Redevelopment	280.00

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
318	2493	Escrow - CED Development	8133 Elrod Friedman LLP	7260	1-22 Reimb Redevelopment	126.00
319	2493	Escrow - CED Development	8133 Elrod Friedman LLP	7261	1-22 Reimb Redevelopment	84.00
320	2493	Escrow - CED Development	8133 Elrod Friedman LLP	7263	1-22 Reimb Redevelopment	1,368.00
321	2493	Escrow - CED Development	8133 Elrod Friedman LLP	7276A	1-22 Reimb Redevelopment	883.50
322	2493	Escrow - CED Development	8577 Churak, Jason	Refund 02/07/22	Escrow Refund 21-004-CU CED-4504	413.45
Total 700 - Escrow Fund					3,345.37	
Grand Total					1,148,056.68	

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Manual Payments

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 100 - General Fund						
Community Development						
Division: 430 - Economic Development						
323	6000	Professional Services	5215 CoStar Realty Information Inc	115359561-1A	December 2021 Available Properties Database	398.79
Total 430 - Economic Development					398.79	
Total 40 - Community Development					398.79	
Police Department						
Division: 630 - Support Services						
324	6015	Communication Services	1032 Comcast	02/06/22 x7069	Internet/Cable Service 02/10-03/09/2022	89.95
325	6015	Communication Services	1009 AT&T	847R18054601-22	Communications Services 01/28-02/27/2022	63.68
Total 630 - Support Services					153.63	
Total 60 - Police Department					153.63	
Department: 90 - Overhead						
326	6500	Subsidy - Historical Museum	1717 Des Plaines Historical Society	2022	2022 Subsidy for the Historical Society R-31-22	50,000.00
Total 90 - Overhead					50,000.00	
Total 100 - General Fund					50,552.42	
Fund: 260 - Asset Seizure Fund						
Program: 2620 - DEA						
327	5325	Training	3713 Niznik, Richard	Reimb 9/28-10/1R	Meals for Training Event 9/28-10/01/2021 IL Crisis Neg Conf	82.80
Total 2620 - DEA					82.80	
Total 260 - Asset Seizure Fund					82.80	
Fund: 400 - Capital Projects Fund						
328	6105	Records Preservation	1370 Microsystems Inc	I000122921R	Records Preservation- Document Scanning 12/14-12/28/2021	5,000.00
Total 400 - Capital Projects Fund					5,000.00	
Grand Total					55,635.22	

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JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 100 - General Fund						
329	2478	DUI Fines	1518 Intoximeters Inc	PC - 33777	1 Dry Gas Canister	230.50
Elected Office						
Division: 110 - Legislative						
330	7310	Publications	1050 Journal & Topics Newspapers	PC - 33740	January 2022 Online Newspaper Subscription - Mayor's Office	5.99
Total 110 - Legislative					5.99	
Division: 120 - City Clerk						
331	7200	Other Supplies	4348 Amazon.Com	PC - 33767	Office Chair Mat	52.63
Total 120 - City Clerk					52.63	
Total 10 - Elected Office					58.62	
City Administration						
Division: 210 - City Manager						
332	6195	Miscellaneous Contractual Services	8153 Zoom Video Communications Inc	PC - 33776	Zoom Subscription 1/26/22-2/25/22 - City Manager	14.99
Total 210 - City Manager					14.99	
Division: 230 - Information Technology						
333	6195	Miscellaneous Contractual Services	6008 Network Solutions LLC	PC - 33819	Monthly Secure Express Renewal 1/10/22 - 2/8/22	7.99
334	6195	Miscellaneous Contractual Services	5940 GoDaddy.Com LLC	PC - 33831	Premium SAN SSL Wildcard desplaines.org 1/26/22 - 1/25/24	799.98
335	6195	Miscellaneous Contractual Services	5940 GoDaddy.Com LLC	PC - 33832	Premium SAN SSL Wildcard desplaines.org 1/26/22 - 1/25/24	60.00
336	6195	Miscellaneous Contractual Services	5940 GoDaddy.Com LLC	PC - 33833	Website Security desplaines.org 1/26/22 - 1/25/25	53.64
337	7000	Office Supplies	4348 Amazon.Com	PC - 33814	Energizer EN91 Industrial Batteries for City Use	26.10
338	7000	Office Supplies	4348 Amazon.Com	PC - 33815	Energizer AAA Alkaline Batteries for City Use	26.98
339	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33816	Klein Tool Sniper, Scraper for IT Department	25.83
340	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33817	6' iPhone Charging Cables for City Use	77.74
341	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33818	Louisville 8 Foot Ladder for IT Department	263.50

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
342	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33820	4 Port USB Hub Adapter with Charging Port for City Use	41.10
343	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33826	Logitech Wireless Mouse / Keyboard for City Use	483.14
344	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33827	DoubleLock Cable Tie for IT Department	35.04
345	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33829	Refund for Louisville 8' Ladder	(263.50)
346	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33830	iPad Cases for CED Department	151.26
347	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33834	Louisville 8' Ladder for City Use	230.34
Total 230 - Information Technology					2,019.14	

Division: 240 - Media Services						
348	7200	Other Supplies	4633 Walgreen Co	PC - 33749	Batteries for Multibox at Press Conference 01/14/2022	20.99
349	7310	Publications	1456 Chicago Tribune	PC - 33773	Online Newspaper Subscription 01/19/22-02/18/22 - City Manager	15.96
350	7310	Publications	1456 Chicago Tribune	PC - 33774	Online Newspaper Subscription 01/20/22-02/19/22-Mayor's Office	15.96
351	7310	Publications	1456 Chicago Tribune	PC - 33775	Online Newspaper Subscription 01/21/22-02/19/22 Media Services	7.96
352	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33792	2 Samsung 65 Commercial Monitors-Council Chambers PO 2022-70	2,870.40
Total 240 - Media Services					2,931.27	

Division: 250 - Human Resources						
353	6100	Publication of Notices	1753 American Public Works Association - APWA	PC - 33764	Mgmt Analyst for Engineering Job Posting 01/24-02/14/2022	325.00
Total 250 - Human Resources					325.00	

Total 20 - City Administration					5,290.40
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Department: 30 - Finance						
354	5310	Membership Dues	1440 IGFOA IL Government Finance Officers Assoc	PC - 33766	2022 Dues/Membership for 2 Finance Directors and 1 Manager	600.00

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
355	6000	Professional Services	1737 GFOA Government Finance Officers Association	PC - 33835	Application Fee for the 2022 GFOA Budget Award Review	575.00
356	7000	Office Supplies	4348 Amazon.Com	PC - 33836	Desk Organizer, 2 Paper Clip Holders	34.97
357	7000	Office Supplies	4348 Amazon.Com	PC - 33838	3 Staplers	59.79
358	7000	Office Supplies	4248 Bush, Steven John	PC - 33840	10 Pack of Gel Fingertip Grips	10.04
359	7000	Office Supplies	4348 Amazon.Com	PC - 33842	12 Bankers Boxes	49.29
360	7000	Office Supplies	4348 Amazon.Com	PC - 33843	K-Cups, Step Stool, Pocket Expanding File, Pens	61.67
361	7200	Other Supplies	4348 Amazon.Com	PC - 33839	500 Paper Cups	67.50
362	7200	Other Supplies	4348 Amazon.Com	PC - 33841	Keyboard and Mouse Wrist Rest, 3 Desk Paper Clip Organizers	34.15
363	7300	Uniforms	1538 Lands' End Business Outfitters	PC - 33852	Uniforms for Finance	536.48
364	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33837	2 Calculators and 12-Pack of Calculator Ribbons	165.55
Total 30 - Finance					2,194.44	

Community Development						
Division: 410 - Building & Code Enforcement						
365	5310	Membership Dues	1452 IACE - IL Association of Code Enforcement	PC - 33779	2022 Code Enforcement Membership for 1 Inspector (1 Year)	44.06
366	5310	Membership Dues	1452 IACE - IL Association of Code Enforcement	PC - 33780	2022 Code Enforcement Membership for 1 Inspector (1 Year)	44.06
367	5310	Membership Dues	1452 IACE - IL Association of Code Enforcement	PC - 33781	2022 Code Enforcement Membership for 1 Inspector (1 Year)	44.06
368	5310	Membership Dues	1447 International Code Council Inc	PC - 33783	Electrical Inspector 2022-2025 Inspector Certificate Renewal	132.00
369	5310	Membership Dues	1447 International Code Council Inc	PC - 33784	Elec Inspector Bldg and Safety Membership 2022 Renewal (1 Year)	185.00
370	5325	Training	5331 IL Plumbing Heating Cooling Contractors Assoc	PC - 33787	IL PHCC Educational Day-03/18/22 -for Plumbing Inspector	35.00
371	7000	Office Supplies	4348 Amazon.Com	PC - 33782	Two Desk Supply Organizers and One Power Surge Protector	38.91
372	7200	Other Supplies	4348 Amazon.Com	PC - 33785	Inspectors Waterproof Shoe Coverings	150.99

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
373	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33786	Code Inspector Equipment- Digital Light Meter	45.49
Total 410 - Building & Code Enforcement					719.57	

Division: 420 - Planning & Zoning						
374	5310	Membership Dues	2489 American Planning Association	PC - 33788	AICP/APA Prof Membership IL Chapter Membership 2022- 2023	724.00
Total 420 - Planning & Zoning					724.00	

Total 40 - Community Development					1,443.57
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Public Works & Engineering						
Division: 510 - Engineering						
375	5310	Membership Dues	7664 IL Assoc for Floodplain & Stormwater Mgmt (IAFSM)	PC - 33755	Asst Dir - 2022 Conference 03/08-03/09/2022 and 2022 Dues	430.00
Total 510 - Engineering					430.00	

Division: 535 - Facilities & Grounds Maintenance						
376	6315	R&M Buildings & Structures	7689 Ambius	PC - 33750	Monthly Bill for January 2022 Plant Maintenance	365.94
377	7045	Supplies - Building R&M	1939 Northern Tool & Equipment	PC - 33741	Air Line Master Kit, Outlet, Marker and Elbows	299.25
378	7045	Supplies - Building R&M	1939 Northern Tool & Equipment	PC - 33742	Air Line Couplers and Elbow	39.97
379	7045	Supplies - Building R&M	1939 Northern Tool & Equipment	PC - 33743	Return - Air Line Outlet	(39.99)
380	7045	Supplies - Building R&M	4444 Misc Vendor for Procurement Card	PC - 33763	Cisco VOIP Adapter - City Hall	160.00
381	7045	Supplies - Building R&M	4633 Walgreen Co	PC - 33844	Lubrication for Switchgear	12.98
382	7045	Supplies - Building R&M	4348 Amazon.Com	PC - 33845	Water Cooler - Fire Station #63	251.52
383	7045	Supplies - Building R&M	4348 Amazon.Com	PC - 33846	Door System Connectors	29.25
384	7045	Supplies - Building R&M	4444 Misc Vendor for Procurement Card	PC - 33847	Elevator Boxes and Key - Civic Deck	177.25
385	7045	Supplies - Building R&M	1091 B&H Photo-Video	PC - 33848	Video Equip-Ceiling Plate and Ext Columns for Council Chambers	429.22
Total 535 - Facilities & Grounds Maintenance					1,725.39	

Division: 540 - Vehicle Maintenance						
386	7030	Supplies - Tools & Hardware	4348 Amazon.Com	PC - 33754	Terminal Removal Kit and Test Lead Kit	184.98

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
387	7040	Supplies - Vehicle R&M	4348 Amazon.Com	PC - 33737	Dash Cams for PW Vehicles	646.38
388	7040	Supplies - Vehicle R&M	4348 Amazon.Com	PC - 33738	Dash Cam Memory Cards for PW Vehicles	2,213.56
389	7040	Supplies - Vehicle R&M	4348 Amazon.Com	PC - 33739	Wire Harnesses for PW Vehicles	264.21
390	7040	Supplies - Vehicle R&M	4928 Motion Industries Inc	PC - 33753	Flow Dividers	425.60
391	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33751	Car Battery Jumper Pack	351.22
Total 540 - Vehicle Maintenance					4,085.95	

Total 50 - Public Works & Engineering	6,241.34
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Police Department						
Division: 610 - Uniformed Patrol						
392	7200	Other Supplies	2509 Lynn Peavey Co	PC - 33744	Nitrile Gloves, Police Tape, Tweezers, Swabs, Tubes, Envelopes	648.18
393	7200	Other Supplies	2508 Doje's Forensic Supplies	PC - 33745	3 Blood Detection Kits	121.42
394	7200	Other Supplies	4444 Misc Vendor for Procurement Card	PC - 33746	Refund for Cotton Swabs	(24.29)
395	7200	Other Supplies	2508 Doje's Forensic Supplies	PC - 33747	Print Powder, JAFL Pad, Photo Scales	163.12
396	7200	Other Supplies	2509 Lynn Peavey Co	PC - 33748	900 Evidence Bags	220.00
Total 610 - Uniformed Patrol					1,128.43	

Division: 620 - Criminal Investigation						
397	5310	Membership Dues	7003 Intl Assoc for Property & Evidence Inc (IAPE)	PC - 33806	IAPE Membership Renewal 1/1-12/31/2022	65.00
Total 620 - Criminal Investigation					65.00	

Division: 630 - Support Services						
398	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33756	Fuel for Transportation to Staff And Command 1/5/2022 Squad 80	57.26
399	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33757	Fuel for Transportation to Staff and Command 1/12/2022 Squad 80	50.01
400	7000	Office Supplies	4348 Amazon.Com	PC - 33803	2 Three Ring Binders	37.09
401	7000	Office Supplies	4348 Amazon.Com	PC - 33807	CD/DVD Envelopes	106.50
402	7000	Office Supplies	4348 Amazon.Com	PC - 33812	Envelopes, Batteries	208.83
403	7015	Supplies - Police Range	4444 Misc Vendor for Procurement Card	PC - 33811	4 Boxes of 9MM Blank Ammunition	114.94
404	7200	Other Supplies	4348 Amazon.Com	PC - 33809	5 Flashlights	310.25

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
405	7200	Other Supplies	4348 Amazon.Com	PC - 33810	Rifle Sling	53.77
406	7200	Other Supplies	4348 Amazon.Com	PC - 33813	White Board	59.99
407	7550	Miscellaneous Expenses	2318 Jewel Food Stores	PC - 33760	Cake for Retirement Function 1/14/2022	67.99
408	7550	Miscellaneous Expenses	2318 Jewel Food Stores	PC - 33808	Cake for Retirement Function 1/6/2022	29.99
Total 630 - Support Services					1,096.62	

Total 60 - Police Department	2,290.05
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Fire Department						
Division: 100 - Administration						
409	5325	Training	1546 IPELRA	PC - 33765	IPELRA Supv Training 2/8-2/15/22 2 Fire DCs and 1 Asst Finance Dr	657.00
Total 100 - Administration					657.00	

Division: 710 - Emergency Services						
410	6115	Licensing/Titles	1472 IL Department of Public Health	PC - 33794	Paramedic Renewal - 01/31/22-01/31/26 - 1 Paramedic/Engineer	41.00
411	7000	Office Supplies	4348 Amazon.Com	PC - 33770	Two 3 Packs of SanDisk USB Flash Drives	43.98
412	7000	Office Supplies	4348 Amazon.Com	PC - 33798	Expanding File Folder	8.89
413	7200	Other Supplies	4348 Amazon.Com	PC - 33768	Number Stencils - Hose Labeling 15 Piece	18.66
414	7200	Other Supplies	4348 Amazon.Com	PC - 33795	10 iPad Cases	389.90
415	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33769	2 Petzl Anti-Share Locks	643.56
416	7320	Equipment < \$5,000	1018 Anderson Lock Company LTD	PC - 33793	4 Key Blanks, 2 Special Cut Keys, 2 Magnetic Key Holders	93.50
417	7320	Equipment < \$5,000	4444 Misc Vendor for Procurement Card	PC - 33796	8, 10 & 12 Inch Reusable Zip Ties, Firefighter Rescue Tool	108.16
418	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33799	Aluminum Pipe Strap Wrench	100.50
419	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33800	2 Safety Harnesses, Sound Meter, Tab Dividers, 7 Roof Brackets	340.80
420	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33801	4 Safety Harnesses	291.96
421	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 33802	Mesh Duffle Bag	47.95
Total 710 - Emergency Services					2,128.86	

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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Division: 720 - Fire Prevention						
422	5310	Membership Dues	1551 IL Fire Inspectors Assoc	PC - 33778	IL Fire Inspectors Assoc. Dues-Fire Prev. Bureau 1/1-12/31/22	100.00
Total 720 - Fire Prevention					100.00	

Total 70 - Fire Department	2,885.86
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Total 100 - General Fund	20,634.78
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Fund: 260 - Asset Seizure Fund						
Program: 2610 - Customs						
423	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33758	Shotgun Breaching Class 6/13/2022 (1 TRT Ofc.)	384.00
424	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33759	Refund for Shotgun Breaching Class 6/13/2022 (1 TRT Ofc.)	(384.00)
425	5325	Training	1470 IL Tactical Officers Assoc	PC - 33761	Immediate Trauma Care Class 3/28-3/30/2022 (1 TRT Ofc.)	500.00
Total 2610 - Customs					500.00	

Program: 2620 - DEA						
426	5325	Training	3551 IL Crisis Negotiators Association	PC - 33762	IL Crisis Negotiator Training Conf 4/25-4/29/22-6 Ofcrs, 1 Sgt	2,485.00
427	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33804	Basic Crisis Negotiator Class 2/7-2/11/2022 (1 Ofc)	750.00
428	5325	Training	4444 Misc Vendor for Procurement Card	PC - 33805	Basic Crisis Negotiator Class 2/7-2/11/2022 (1 Ofc)	750.00
Total 2620 - DEA					3,985.00	

Program: 2640 - Forfeit						
429	6195	Miscellaneous Contractual Services	7186 Bentley's Pet Stuff-SC	PC - 33772	Dog Wash for K9 Jager 1/23/2022	56.24
430	7200	Other Supplies	5065 Pet Supplies Plus	PC - 33771	Food for K9 Jager 1/17/2022	95.96
Total 2640 - Forfeit					152.20	

Total 260 - Asset Seizure Fund	4,637.20
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Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 420 - IT Replacement Fund						
431	8000	Computer Software	3875 Apple Inc	PC - 33824	Apple Refund for Good Notes 5 Time Base Tech Ltd Purchase	(0.50)
432	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 33821	Ubiquiti Switches for City Use PO 2022-110	2,796.00
433	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 33822	Ubiquiti Cameras for City Use	897.00
434	8005	Computer Hardware	4348 Amazon.Com	PC - 33823	Western Digital 500GB Hard Drive for City Use	1,099.80
435	8005	Computer Hardware	4348 Amazon.Com	PC - 33825	APC UPS Battery Backup Surge Protector for City Use	499.90
436	8005	Computer Hardware	4348 Amazon.Com	PC - 33828	Vibe Electronic Whiteboard with Stand for City Use PO 2022-109	3,646.67
Total 420 - IT Replacement Fund					8,938.87	

Fund: 500 - Water/Sewer Fund						
Division: 550 - Water Systems						
437	6300	R&M Software	6540 SyTech Inc	PC - 33789	2022 Annual Renewal for SCADA Reporting Software License	300.00
438	7040	Supplies - Vehicle R&M	5877 Utilimaster Corporation	PC - 33752	HVAC Air Filter	195.65
Total 550 - Water Systems					495.65	

Division: 560 - Sewer Systems						
439	5310	Membership Dues	3414 Water Environment Federation	PC - 33791	Annual Membership 3/01/2022-2/28/2023 - Utility Superintendent	105.00
440	5325	Training	7306 NASSCO Inc	PC - 33790	Pipeline Assessment Training 1/13/2022 - Utility Superintendent	325.00
Total 560 - Sewer Systems					430.00	

Total 500 - Water/Sewer Fund					925.65
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Grand Total					35,136.50
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City of Des Plaines

Warrant Register 03/07/2022

Summary

	<u>Amount</u>	<u>Transfer Date</u>
Automated Accounts Payable	\$ 1,148,056.68 **	3/7/2022
Manual Checks	\$ 55,635.22 **	2/18/2022
Payroll	\$ 1,254,936.27	2/25/2022
RHS Payout		
Electronic Transfer Activity:		
JPMorgan Chase Credit Card	\$ 35,136.50 **	2/25/2022
Chicago Water Bill ACH	\$ 56,807.55	2/28/2022
Postage Meter Direct Debits	\$ -	
Utility Billing Refunds	\$ -	
Debt Interest Payment	\$ -	
RHS Payout	\$ 497,288.14	2/11/2022
Property Purchase	\$ -	
IMRF Payments	\$ -	
Employee Medical Trust	\$ -	
Total Cash Disbursements:	<u>\$ 3,047,860.36</u>	

* Multiple transfers processed on and/or before date shown

** See attached report

Adopted by the City Council of Des Plaines

This Seventh Day of March 2022

Ayes _____ Nays _____ Absent _____

Jessica M. Mastalski, City Clerk

Andrew Goczkowski, Mayor




FINANCE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5300
desplaines.org

MEMORANDUM

Date: February 23, 2022

To: Michael G. Bartholomew, City Manager

From: Dorothy Wisniewski, Assistant City Manager / Director of Finance 

Subject: Amendments to Chapter 7 “Real Estate Transfer Tax” of Title 15 of the City Code

Issue: For the City Council to approve an Ordinance amending Chapter 7 “Real Estate Transfer Tax” of Title 15 of the City Code.

Analysis: The City of Des Plaines has a tax on transfer of title on real estate or transfer of beneficial interest in real estate located within the corporate limits of the City. The rate is \$2 per \$1,000 of the selling price and is paid by the seller. All proceeds of the tax are deposited into the City’s General Fund to help pay for the City’s day-to-day operations.

The real estate transfer tax ordinance was last updated on October 7, 2013 and as such some of the language is currently out of date. Staff has reviewed the ordinance and is proposing amendments to enhance and clarify the language used throughout the ordinance. Additionally, the suggested revisions and changes will make it easier for staff to administer real estate transfer tax stamps and provide a clearer understanding of the process to City residents and businesses. Attached to this document is the revised ordinance with the proposed amendments along with a copy of the original ordinance. The substantive amendments are summarized below.

➤ **15-7-7 Exemptions**

- Added an exemption for transactions involving deeds issued to holder of a mortgage pursuant to a mortgage foreclosure proceeding or pursuant to a transfer in lieu of foreclosure. Including this exemption is consistent with neighboring communities and the Illinois Real Estate Transfer Tax Law, 35 ILCS 200.

➤ **15-7-8 Issuance of Real Estate Transfer Tax Stamps or Exemption Mark**

- Clarified that no transfer tax stamp will be issued or exemption approved unless the applicant first pays in full (i) a final utility bill for any delinquent charges and penalties for the provision of water, refuse collection, storm sewer, and sanitary sewer services, including facility charges and capital fees, and (ii) any unpaid liens, judgments, or other sums due and owing to the City.
- Added wording to state that each tax stamp is nontransferable and unused stamps must be returned to the City.

➤ **15-7-12 Civil Liability for Tax**

- Clarified tax amount for consistency with the City code.

- ***15-7-13 Real Estate Transfer Tax Refunds; Return of Unused Stamps***
 - Simplified the requirements for a refund to be issued by clarifying that the taxpayer may have purchased as their principal residence another dwelling within the corporate limits of the City either within one year after or before the date the transfer tax was paid.
 - Added that the City must be notified of all failed sales for which a tax stamp had been issued and the timeline of when stamps must be returned to be eligible for a full tax refund.
- ***15-7-16 Inspection of Nonowner Occupied Property Prior to Sale or Transfer; Order of Compliance***
 - Reduced the number of days an inspection will be completed from within 21 days to within 10 business days.
- ***15-7-17 Penalty for Violation***
 - Added new section to clarify penalty amount for consistency with the City code.

Recommendation: I recommend that the City Council adopt the amendments to Chapter 7 “Real Estate Transfer Tax” of Title 15 of the City Code as set forth in the attached Ordinance.

Attachments:

Attachment 1: Ordinance M-7-22 Amending the City of Des Plaines City Code Regarding the Real Estate Transfer Tax

Exhibit A: Chapter 7, titled “Real Estate Transfer Tax,” of Title 15, titled “Municipal Taxes”

Attachment 2: Original Title 15, Chapter 7 of the City Code (With Changes)

CITY OF DES PLAINES

ORDINANCE M - 7 - 22

**AN ORDINANCE AMENDING THE CITY OF DES PLAINES
CITY CODE REGARDING THE REAL ESTATE TRANSFER
TAX.**

WHEREAS, the City is a home rule municipal corporation in accordance with Article VII, Section 6(a) of the Constitution of the State of Illinois of 1970; and

WHEREAS, Chapter 7 of Title 15 of the Des Plaines City Code, as amended ("*City Code*"), establishes and imposes a real estate transfer tax ("*Real Estate Transfer Tax Regulations*"); and

WHEREAS, the City desires to amend the Real Estate Transfer Tax Regulations to: (i) update and clarify the transfer tax stamp and exemption stamp issuance process, when refunds will be issued, and the pre-sale property inspection process; and (ii) add a penalty provision for failing to comply with the Real Estate Transfer Tax Regulations (collectively, "*Amendments*"); and

WHEREAS, the City Council has determined that it is in the best interest of the City to adopt the Amendments as set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof.

SECTION 2. REAL ESTATE TRANSFER TAX. Chapter 7, titled "Real Estate Transfer Tax," of Title 15, titled "Municipal Taxes," of the City Code is hereby amended to hereafter read as set forth on **Exhibit A** attached to and, by this reference, made a part of this Ordinance.

SECTION 3. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after 10 days after its passage, approval and publication in pamphlet form according to law.

[SIGNATURE PAGE FOLLOWS]

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PASSED this _____ day of _____, 2022.

APPROVED this _____ day of _____, 2022.

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
_____ day of _____, 2022

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

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EXHIBIT A

CHAPTER 7 REAL ESTATE TRANSFER TAX

15-7-1: DEFINITIONS:

For the purpose of this chapter, whenever any of the following words, terms or definitions are used herein, they shall have the meanings ascribed to them in this section:

BENEFICIAL INTEREST: Any interest, regardless of how small or minimal such interest may be, in a land trust, held by a trustee for the beneficiaries of such land trust.

PERSON: Any natural individual, firm, partnership, association, joint stock company, joint venture, public or private corporation, or a receiver, executor, trustee, conservator or other representative appointed by order of any court.

RECORDATION: The recording of deeds with the office of the Cook County Clerk, Illinois.

VALUE: The amount of the full actual consideration for any transfer covered hereunder, including the amount of any lien or liens assumed by the grantee or purchaser. (Ord. M-19-13, 10-7-2013)

15-7-2: TAX IMPOSED:

A tax is imposed on the privilege of transferring title to real estate located within the corporate limits of the city as evidenced by the recordation of a deed by any person and a tax is imposed on the privilege of transferring the beneficial interest in real estate located within the corporate limits of the city at the rate of two dollars (\$2.00) per one thousand dollar (\$1,000.00) value of the property, for each transfer. The tax herein levied shall be in addition to any and all other taxes and shall be paid by the seller. (Ord. M-19-13, 10-7-2013)

15-7-3: LIABILITY FOR TAX:

The ultimate incidence and liability for payment of the tax imposed by this chapter shall be borne by the seller, the grantor of any deed subject to this chapter or by the grantor, assignor or transferor of any instrument conveying the beneficial interest in real estate within the corporate limits of the city. (Ord. M-19-13, 10-7-2013)

15-7-4: COLLECTION OF TAX; PURCHASE OF STAMPS:

The tax levied by this chapter shall be paid by the purchase of tax stamps from the director of finance or their designee. The tax stamp must be affixed to the face of the deed to demonstrate that the tax has been paid prior to recordation of the deed or document transferring beneficial interest. (Ord. M-19-13, 10-7-2013)

15-7-5: FILING OF DECLARATION:

At such time as the tax levied by this chapter is paid there shall be filed with the director of finance a fully executed and completed copy of the real estate transfer declaration required by section 3 of the real estate transfer tax of the state of Illinois, or a declaration of the full

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consideration paid for the transfer of beneficial interest which declaration shall be on a form provided by the director of finance. Such declaration shall be deemed as a confidential record. (Ord. M-19-13, 10-7-2013)

15-7-6: SUBDIVISION VIOLATIONS:

The director of community and economic development, or their designee, shall review the determination filed pursuant to section 15-7-5 of this code and determine if the real estate to be transferred has been subdivided in accordance with the subdivision regulations of section 13-1-2 of this code. The director of community and economic development may require the seller or grantor to provide documentation to substantiate that the property has been subdivided in accordance with section 13-1-2 of this code. If the director of community and economic development determines that the property has not been subdivided in accordance with section 13-1-2 of this code, the transfer tax stamps shall not be issued until the property has been subdivided. This section does not apply to any real estate transferred in the same lot or portion thereof prior to August 1, 1979. (Ord. M-19-13, 10-7-2013)

15-7-7: EXEMPTIONS:

An application for exemption from the transfer tax may be made by submitting the deed and a certificate justifying an exemption to the City in accordance with this section. The tax imposed by this chapter shall not apply to the following transactions:

- A. Transactions involving property acquired by or from any governmental body or by any corporation, society, association, foundation or institution organized and operated exclusively for charitable, religious or educational purposes.
- B. Transactions which secure debt or other obligation.
- C. Transactions in which deeds, without additional consideration, confirm, correct, modify or supplement deeds previously recorded.
- D. Transactions in which the actual consideration is less than one hundred dollars (\$100.00).
- E. Transactions in which the deeds are tax deeds.
- F. Transactions which are releases of property which is security for a debt or other obligation.
- G. Transactions of partitions.
- H. Transactions made pursuant to merges, consolidations or transfers or sales of substantially all of the assets of a corporation pursuant to plans of reorganization.
- I. Transactions between subsidiary corporations and their parents for no consideration other than the cancellation or surrender of the subsidiary corporation's stock.
- J. Transactions wherein there is an actual exchange of real property except that the money difference or money's worth paid from one to the other shall not be exempt from the tax.
- K. Transactions representing transfers subject to the imposition of a documentary stamp tax imposed by the government of the United States.
- L. Transactions involving deeds issued to holder of a mortgage pursuant to a mortgage foreclosure proceeding or pursuant to a transfer in lieu of foreclosure.

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Every deed or other instrument which is tax exempt pursuant to this section shall be presented to the director of finance so as to be appropriately marked by said director as an exempt deed or instrument eligible for recordation without the payment of tax. At such time as a deed or instrument is presented to the director, a certificate setting forth the facts which justify exemption shall be presented. (Ord. M-19-13, 10-7-2013)

15-7-8: ISSUANCE OF REAL ESTATE TRANSFER TAX STAMPS OR EXEMPTION MARK:

A. The City shall not issue transfer tax stamps or approve an exemption from the transfer tax pursuant to Section 15-7-7 of this Chapter unless the applicant first (i) pays in full a final bill for any delinquent charges and penalties for the provision of water, refuse collection, storm sewer, and sanitary sewer services, including facility charges and capital fees; (ii) pays in full any unpaid liens, judgments, or other sums due and owing to the City; and (iii) either obtains a determination from the City that the property is in compliance with the city code or signs a compliance order, prepared by the City, in accordance with 15-7-16.B. The transfer tax stamps or exemption mark shall be issued only during the regular business hours of the city offices and the offices of such agent as the city may designate.

B. For the purpose of reviewing a request for the stamps or an exemption, the city shall process a complete application request within five business days.

C. Upon issuance of any tax stamp, the issuer must be canceled and defaced it so as to render it unfit for reuse by marking it with their initials, the day, month and year when the affixing occurs, and the address of the property being transferred. Upon placement of any exemption mark on a deed or other instrument of conveyance, the issuer must cancel and deface it so as to render it unfit for reuse by marking it with their initials and the day, month, and year when the mark is made. Such defacement shall be made by writing or stamping in indelible ink; provided, however, the stamp or exemption mark shall not be so defaced as to prevent ready determination of its genuineness. (Ord. M-19-13, 10-7-2013)

D. Non-transferable: Each tax stamp is issued for a specific property conveyance or transfer and is intended to be affixed to a particular deed or other document of conveyance. The tax stamp is nontransferable and may not be applied to any other deed or conveyance document for the property listed on the stamp or any other property. Unused stamps must be returned to the City pursuant to Section 15-7-13 of this chapter.

15-7-9: RECORDATION OF DEEDS:

No deed conveying real property within the corporate limits of the city shall be entitled to recordation by the recorder of deeds or the registrar of titles of Cook County, Illinois, unless such deed shall bear either a city real estate transfer tax stamp or an exemption mark from the director of finance. (Ord. M-19-13, 10-7-2013)

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15-7-10: DUTY OF TRUSTEE:

No trustee of real estate shall accept an assignment of beneficial interest in real estate located in the city unless such instrument shall bear either a city real estate transfer tax stamp or an exemption mark from the director of finance. (Ord. M-19-13, 10-7-2013)

15-7-11: PROCEEDS OF TAX:

All proceeds resulting from the collection of the tax imposed by this chapter, including interest and penalties assessed pursuant to this chapter, shall be paid into the city treasury and shall be credited to and deposited in the general fund of the city. (Ord. M-19-13, 10-7-2013)

15-7-12: CIVIL LIABILITY FOR TAX:

In the event of failure by any person to pay to the director of finance the tax required hereunder when the same shall be due, interest will accumulate and be due upon the transfer tax at the rate of one percent per month commencing on the first day following the day when the transfer tax becomes due. The city may bring an action to collect such tax, interest and penalties in any court of competent jurisdiction. (Ord. M-19-13, 10-7-2013)

15-7-13: REAL ESTATE TRANSFER TAX REFUNDS; RETURN OF UNUSED STAMPS:

A. A grantor, assignor, transferor, or seller (hereinafter referred to as "Taxpayer") who has paid to the director of finance the tax provided for herein shall be entitled to a refund of two dollars for every \$1,000 value or fraction thereof as paid as stated in the declaration; provided such Taxpayer meets all of the following requirements with regard to the real property for which such transfer tax was paid (hereinafter referred to as "Sale Dwelling Unit"):

1. The Taxpayer has occupied the Sale Dwelling Unit as their principal residence prior to sale;
2. The Taxpayer has not rented or leased to anyone any portion(s) of the Sale Dwelling Unit or the real property upon which such Sale Dwelling Unit is located: and
3. Either:
 - a. The Taxpayer has purchased and occupied as their principal residence another dwelling (hereinafter referred to as the "Purchase Dwelling Unit") within the corporate limits of the City of Des Plaines within one year after the date that the transfer tax was paid on the transfer of title to the Sale Dwelling Unit;
 - b. The Taxpayer has purchased and occupied as their principal residence the Purchase Dwelling Unit within the corporate limits of the City of Des Plaines within one year before the date that the transfer tax was paid on the transfer of title to the Sale Dwelling Unit; or
 - c. The grantor or seller applies for the refund within 60 days after the second transfer as described in subsections (a) and (b) above.

B. Return of Unused Stamps and Tax Refunds: The City must be notified of all failed sales and other conveyance transactions for which a tax stamp had been issued. Unused transfer stamps must be returned to the City. Tax stamps returned within 90 days of purchase will be eligible for

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full tax refund. Tax stamps returned 90 to 180 days after purchase are eligible for a 50 percent tax refund. No tax refund will be issued for tax stamps returned more than 180 days after purchase.

15-7-14: EXEMPTION PROCESSING FEE:

A processing fee of \$10.00 shall be charged for processing and issuing an exemption mark for any deed for which a claim is made pursuant to section 15-7-7 of this chapter for an exemption from the tax imposed by this chapter. (Ord. M-19-13, 10-7-2013)

15-7-15: RESERVED.

**15-7-16: INSPECTION OF NONOWNER OCCUPIED PROPERTY PRIOR TO SALE OR TRANSFER;
ORDER OF COMPLIANCE:**

No transfer tax stamp or exemption mark will be issued for nonowner occupied residential real estate unless and until the department of community and economic development has inspected the structure(s) on the property and either determined the property is in compliance with the city code or has obtained a compliance order, prepared by the City, signed by the purchaser/grantee in accordance with this section.

A. Notice Of Transfer Required: Any person owning nonowner occupied real estate improved with a building or structure, within the city, or agent acting on behalf of any person owning nonowner occupied, improved real estate within the city, shall notify the finance department, in writing, of any proposed sale, once property is listed or offered for sale, or once a closing date has been established, or other transfer of the legal or beneficial interest of said improved real estate.

B. Inspection; Multiple Dwelling Units, Single-Family Nonowner Occupied: Upon receipt of the notice provided for in subsection A of this section, the department of community and economic development shall, as soon as practical but no later than 10 business days after such notice, cause an inspection to be made of the structure located on said real estate to determine (i) the status of any open permits or open complaints, and (ii) if the structure is in compliance with all City ordinances. If after the inspection, the department of community and economic development determines that there are outstanding violations of the city code or uncompleted work under an open permit, the department will prepare a compliance order setting forth the work that must be completed in order to bring the property into compliance with the city code.

C. Notice, Correction Of Deficiency; Multiple Dwelling Units, Single-Family Nonowner Occupied: Upon making the inspection required under this chapter, the department of community and economic development shall, if defects are found in said building or structure or if work remains uncompleted under an open permit, notify the owner thereof of such defects. No transfer stamp or exemption mark shall be issued until all defects are corrected; provided, however, that, in lieu of compliance the department of community and economic development may accept a compliance order, prepared by the city and signed by the purchaser or grantee, accepting responsibility for the defects and the work that must be completed in order to bring the property into compliance, and agreeing to bring the property into compliance by a specific deadline.

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D. Violations:

1. It shall be unlawful for any person owning any nonowner occupied, improved real estate within the city to offer to sell or to transfer title of such real estate for sale or other transfer without complying with the provisions of this code.

2. All persons acquiring an ownership interest in such real property become responsible for the correction of all violations existing on such property.

E. City Liability:

1. The city does not guarantee the condition of the subject property and is not responsible for any claims arising out of the subject property of the condition thereof. The city does not warrant that all deficiencies are listed in the compliance order and does not warrant anything as to the condition of the property or liability thereof.

2. The issuance of a transfer stamp or exemption mark is not a waiver of a right to prosecute violations of this code.

F. Fee for Inspection: The following fee shall be paid for each inspection made in connection with the issuance of a transfer stamp:

1. Existing nonowner occupied, single-family property, apartments, condominiums, townhouses, and any other form of multiple-family units, per unit: \$25.00. (Ord. M-19-13, 10-7-2013)

15-7-17: PENALTY FOR VIOLATION

Any person who makes a late payment of the tax required by this chapter, fails to pay the tax required by this chapter, willfully falsifies the full value of the property transfer on the real estate transfer declaration, willfully omits any other information required by this chapter, willfully and falsely claims a transaction to be exempt under Section 15-7-7, or violates any other provision of this Chapter shall be subject to a minimum penalty of \$250 and a maximum penalty of \$750.

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CHAPTER 7
REAL ESTATE TRANSFER TAX

~~SECTION:~~

15-7-1: DEFINITIONS:

For the purpose of this chapter, whenever any of the following words, terms or definitions are used herein, they shall have the meanings ascribed to them in this section:

BENEFICIAL INTEREST: Any interest, regardless of how small or minimal such interest may be, in a land trust, held by a trustee for the beneficiaries of such land trust.

PERSON: Any natural individual, firm, partnership, association, joint stock company, joint venture, public or private corporation, or a receiver, executor, trustee, conservator or other representative appointed by order of any court.

RECORDATION: The recording of deeds with the office of ~~recorder of deeds or the registration of deeds with the registrar of titles of~~ the Cook County Clerk, Illinois.

VALUE: The amount of the full actual consideration for any transfer covered hereunder, including the amount of any lien or liens assumed by the grantee or purchaser. (Ord. M-19-13, 10-7-2013)

15-7-2: TAX IMPOSED:

A tax is imposed on the privilege of transferring title to real estate located within the corporate limits of the city as evidenced by the recordation of a deed by any person and a tax is imposed on the privilege of transferring the beneficial interest in real estate located within the corporate limits of the city at the rate of two dollars (\$2.00) per one thousand dollar (\$1,000.00) value of the property, for each transfer. The tax herein levied shall be in addition to any and all other taxes and shall be paid by the seller. (Ord. M-19-13, 10-7-2013)

15-7-3: LIABILITY FOR TAX:

The ultimate incidence and liability for payment of the tax imposed by this chapter shall be borne by the seller, the grantor of any deed subject to this chapter or by the grantor, assignor or transferor of any instrument conveying the beneficial interest in real estate within the corporate limits of the city. (Ord. M-19-13, 10-7-2013)

15-7-4: COLLECTION OF TAX; PURCHASE OF STAMPS:

The tax levied by this chapter shall be paid by the purchase of tax stamps from the director of finance ~~and administrative services or a designated agent or their designee~~. The ~~payment of such tax shall be denoted by an adhesive tax stamp or stamps~~ must be affixed to the face of the deed ~~or instrument~~ to demonstrate that the

tax has been paid prior to recordation of the deed or document transferring ~~the~~ beneficial interest. (Ord. M-19-13, 10-7-2013)

15-7-5: FILING OF DECLARATION:

At such time as the tax levied by this chapter is paid there shall be filed with the director of finance ~~and administrative services~~ a fully executed and completed copy of the real estate transfer declaration required by section 3 of the real estate transfer tax of the state of Illinois, or a declaration of the full consideration paid for the transfer of beneficial interest which declaration shall be on a form provided by the director of finance ~~and administrative services~~. Such declaration shall be deemed as a confidential record. (Ord. M-19-13, 10-7-2013)

15-7-6: SUBDIVISION VIOLATIONS:

The ~~declaration to be filed shall first be presented to the~~ director of community and economic development, or ~~his agent who shall~~ their designee, shall review the determination filed pursuant to section 15-7-5 of this code and determine if the real estate to be transferred has been subdivided in accordance with the subdivision regulations of section 13-1-2 of this code. The director of community and economic development ~~shall have the authority to may~~ require the seller or grantor to provide documentation to substantiate that the property has been subdivided in accordance with section 13-1-2 of this code. If the director of community and economic development determines that the property has not been subdivided in accordance with section 13-1-2 of this code, the transfer tax stamps shall not be issued until the property has been subdivided. This section ~~shall~~ does not apply to any real estate transferred in the same lot or portion thereof prior to August 1, 1979. (Ord. M-19-13, 10-7-2013)

15-7-7: EXEMPTIONS:

An application for exemption from the transfer tax may be made by submitting the deed and a certificate justifying an exemption to the City in accordance with this section. The tax imposed by this chapter shall not apply to the following transactions:

- A. Transactions involving property acquired by or from any governmental body or by any corporation, society, association, foundation or institution organized and operated exclusively for charitable, religious or educational purposes.
- B. Transactions which secure debt or other obligation.
- C. Transactions in which deeds, without additional consideration, confirm, correct, modify or supplement deeds previously recorded.
- D. Transactions in which the actual consideration is less than one hundred dollars (\$100.00).
- E. Transactions in which the deeds are tax deeds.

F. Transactions which are releases of property which is security for a debt or other obligation.

G. Transactions of partitions.

H. Transactions made pursuant to merges, consolidations or transfers or sales of substantially all of the assets of a corporation pursuant to plans of reorganization.

I. Transactions between subsidiary corporations and their parents for no consideration other than the cancellation or surrender of the subsidiary corporation's stock.

J. Transactions wherein there is an actual exchange of real property except that the money difference or money's worth paid from one to the other shall not be exempt from the tax.

K. Transactions representing transfers subject to the imposition of a documentary stamp tax imposed by the government of the United States.

[L. Transactions involving deeds issued to holder of a mortgage pursuant to a mortgage foreclosure proceeding or pursuant to a transfer in lieu of foreclosure.](#)

Every deed or other instrument which is tax exempt pursuant to this section shall be presented to the director of finance ~~and administrative services~~ so as to be appropriately marked by said director as an exempt deed or instrument eligible for recordation without the payment of tax. At such time as a deed or instrument is presented to the director, a certificate setting forth the facts which justify exemption shall be presented. (Ord. M-19-13, 10-7-2013)

15-7-8: [ISSUANCE OF REAL ESTATE TRANSFER TAX STAMPS REQUIRED OR EXEMPTION MARK:](#)

~~The tax herein levied and imposed shall be collected by the director of finance and administrative services of the city through the sale of real estate transfer tax stamps, which shall be caused to be prepared by said director in such quantities as said director may from time to time prescribe. Such stamps shall be substantially in the following design:~~



~~Such~~

A. The City shall not issue transfer tax stamps or approve an exemption from the transfer tax pursuant to Section 15-7-7 of this Chapter unless the applicant first (i) pays in full a final bill for any delinquent charges and penalties for the provision of water, refuse collection, storm sewer, and sanitary sewer services, including facility charges and capital fees; (ii) pays in full any unpaid liens, judgments, or other sums due and owing to the City; and (iii) either obtains a determination from the City that the property is in compliance with the city code or signs a compliance order, prepared by the City, in accordance with 15-7-16.B. The transfer tax stamps or exemption mark shall be issued only after payment of the final water/refuse (utility) bill and any other fine or fee owed to the city, and during the regular business hours of the city offices and the offices of such agent as the city may designate.

C. For the purpose of reviewing a request for the stamps or an exemption, the city shall process a complete application request within forty eight (48) hours of working time five business days.

D. Upon payment issuance of the any tax herein levied and imposed, the stamps so purchased shall be affixed to the deed or other instrument of conveyance. Any person so using and affixing a stamp shall cancel stamp, the issuer must be canceled and defaced it and so deface it as to render it unfit for reuse by marking it with his their initials and, the day, month and year when the affixing occurs. Such marking, and the address of the property being transferred. Upon placement of any exemption mark on a deed or other instrument of conveyance, the issuer must cancel and deface it so as to render it unfit for reuse by marking it with their initials and the day, month, and year when the mark is made. Such defacement shall be made by writing or stamping in indelible ink or by perforating with a machine or punch; provided, however, the stamp or exemption mark shall not be so defaced as to prevent ready determination of its genuineness. (Ord. M-19-13, 10-7-2013)

E. Non-transferable: Each tax stamp is issued for a specific property conveyance or transfer and is intended to be affixed to a particular deed or other document of conveyance. The tax stamp is nontransferable and may not be applied to any other deed or conveyance document for the property listed on the stamp or any other property. Unused stamps must be returned to the City pursuant to Section 15-7-13 of this chapter.

15-7-9: RECORDATION OF DEEDS:

No deed conveying real property within the corporate limits of the city shall be entitled to recordation by the recorder of deeds or the registrar of titles of Cook County, Illinois, unless such deed shall bear either a city real estate transfer tax stamp or an exemption mark from the director of finance and administrative services. (Ord. M-19-13, 10-7-2013)

15-7-10: DUTY OF TRUSTEE:

No trustee of real estate shall accept an assignment of beneficial interest in real estate located in the city unless such instrument shall bear either a city real estate transfer tax stamp or an exemption mark from the director of finance ~~and administrative services~~. (Ord. M-19-13, 10-7-2013)

15-7-11: PROCEEDS OF TAX:

All proceeds resulting from the collection of the tax imposed by this chapter, including interest and penalties assessed pursuant to this chapter, shall be paid into the city treasury and shall be credited to and deposited in the general fund of the city. (Ord. M-19-13, 10-7-2013)

15-7-12: CIVIL LIABILITY FOR TAX:

In the event of failure by any person to pay to the director of finance ~~and administrative services~~ the tax required hereunder when the same shall be due, ~~said person shall be liable to the city for such tax, together with~~ interest will accumulate and ~~penalties~~ be due upon the transfer tax at the rate of one percent per month commencing on the first day following the day when the transfer tax becomes due. The city may bring an action to collect such tax, interest and penalties in any court of competent jurisdiction. (Ord. M-19-13, 10-7-2013)

15-7-13: REAL ESTATE TRANSFER TAX REFUNDS; RETURN OF UNUSED STAMPS:

A. A grantor, assignor, transferor, or seller (hereinafter referred to as "Taxpayer") who has paid to the director of finance ~~and administrative services~~ the tax provided for herein shall be entitled to a refund of two dollars (~~\$2.00~~) for every ~~one thousand dollar (\$1,000.00)~~ \$1,000 value or fraction thereof as paid ~~and~~ as stated in the declaration; ~~;~~ provided ~~any~~ such ~~grantor or seller~~ Taxpayer meets all of the following requirements with regard to the real property for which such transfer tax was paid (hereinafter referred to as "Sale Dwelling Unit"):

- ~~—A1.— He owned and~~ The Taxpayer has occupied the ~~dwelling on the~~ Sale Dwelling Unit as their principal residence prior to sale;
2. The Taxpayer has not rented or leased to anyone any portion(s) of the Sale Dwelling Unit or the real property ~~for~~ upon which such ~~tax was paid~~ Sale Dwelling Unit is located: and
3. Either:
 - a. The Taxpayer has purchased and occupied as ~~his~~ their principal residence;

- ~~—B. He did not rent or lease any portion(s) of the dwelling or real property sold to another person or persons;~~
- ~~—C. He buys or builds a single-family dwelling or condominium unit (hereinafter referred to as the "Purchase Dwelling Unit") within the city corporate limits of the City of Des Plaines within one year from after the payment of date that the transfer tax sought to be refunded was paid on the transfer of title to the Sale Dwelling Unit; and~~
- ~~—D. He owns and occupies said single-family dwelling or condominium unit as his principal residence. (Ord. M-19-13, 10-7-2013)~~

b. The Taxpayer has purchased and occupied as their principal residence the Purchase Dwelling Unit within the corporate limits of the City of Des Plaines within one year before the date that the transfer tax was paid on the transfer of title to the Sale Dwelling Unit; or

c. The grantor or seller applies for the refund within 60 days after the second transfer as described in subsections (a) and (b) above.

B. Return of Unused Stamps and Tax Refunds: The City must be notified of all failed sales and other conveyance transactions for which a tax stamp had been issued. Unused transfer stamps must be returned to the City. Tax stamps returned within 90 days of purchase will be eligible for full tax refund. Tax stamps returned 90 to 180 days after purchase are eligible for a 50 percent tax refund. No tax refund will be issued for tax stamps returned more than 180 days after purchase.

15-7-14: EXEMPTION PROCESSING FEE:

A processing fee of ~~ten dollars (\$10.00)~~ shall be charged for ~~the~~ processing and ~~affixing of transfer stamps to~~ issuing an exemption mark for any deed for which a claim is made pursuant to section 15-7-7 of this chapter; for ~~one an~~ exemption from the tax imposed ~~under section 15-7-2 of by~~ this chapter. (Ord. M-19-13, 10-7-2013)

15-7-15: RESERVED.

15-7-16: INSPECTION OF ~~DWELLING RENTAL UNITS AND ALL~~ NONOWNER OCCUPIED ~~PROPERTIES~~ PROPERTY PRIOR TO ~~RESALE/SALE OR~~ TRANSFER; ORDER OF OWNERSHIP COMPLIANCE:

~~All dwelling rental units, and~~ No transfer tax stamp or exemption mark will be issued for nonowner occupied ~~properties prior to sale/transfer of ownership, shall be inspected by~~ residential real estate unless and until the department of community and economic development ~~to determine if such units/properties are in compliance with this code. The inspection shall be required to be completed before the finance department affixes the real estate transfer tax stamp~~ has inspected the structure(s) on the property and either determined the property is in compliance with the city code or has obtained a compliance order, prepared by the City, signed by the purchaser/grantee in accordance with this section.

~~Any person having a legal or equitable interest in any such property being inspected shall be notified of any and all existing code violations and shall be required to correct said violations prior to issuance of a certificate of inspection and occupancy. (Ord. M-19-13, 10-7-2013)~~

~~15-7-16: CERTIFICATE OF INSPECTION AND OCCUPANCY PERMIT WHEN NONOWNER OCCUPIED PROPERTY TRANSFERRED:~~

A. Notice Of Transfer Required: Any person owning nonowner occupied real estate improved with a building or structure, within the city, or agent acting on behalf of any person owning nonowner occupied, improved real estate within the city, shall notify the finance department ~~of community and economic development~~, in writing, of any proposed sale, once property is listed or offered for sale, or once a closing date has been established, or other transfer of the legal or beneficial interest of said improved real estate.

B. Inspection; Multiple Dwelling Units, Single-Family Nonowner Occupied: Upon receipt of the notice provided for in subsection A of this section, the department of community and economic development shall, as soon as practical but no later than ~~twenty one (21)~~ 10 business days after such notice, cause an inspection to be made of the structure located on said real estate ~~and said~~ to determine (i) the status of any open permits or open complaints, and (ii) if the structure is in compliance with all City ordinances. If after the inspection, the department of community and economic development ~~shall, if said premises are found to~~ determines that there are outstanding violations of the city code or uncompleted work under an open permit, the department will prepare a compliance order setting forth the work that must be completed in order to bring the property into compliance with ~~all ordinances of the city relating to building and all other structures, issue a certificate of inspection and occupancy to the purchaser of said real estate~~ code.

C. Notice, Correction Of Deficiency; Multiple Dwelling Units, Single-Family Nonowner Occupied: Upon making the inspection required under this chapter, the department of community and economic development shall, if defects are found in said building or structure or if work remains uncompleted under an open permit, notify the owner thereof of such defects. No ~~certificate of inspection and occupancy~~ transfer stamp or exemption mark shall be issued until all defects are corrected; provided, however, that, in lieu of compliance the department of community and economic development may accept a compliance order, prepared by the city and signed by the purchaser or grantee, accepting responsibility for the defects and the work that must be completed in order to bring the property into compliance, and agreeing to bring the property into compliance by a specific deadline.

D. Violations:

1. It shall be unlawful for any person owning any nonowner occupied, improved real estate within the city to offer to sell or to transfer title of such real estate for sale or other transfer without complying with the provisions of this code.

2. All persons acquiring an ownership interest in such real property become responsible for the correction of all violations existing on such property.

E. City Liability:

1. The city does not guarantee the condition of the subject property and is not responsible for any claims arising out of the subject property of the condition thereof. The city does not warrant that all deficiencies are listed in the ~~certificate of inspection and occupancy compliance order~~ and does not warrant anything as to the condition of the property or liability thereof.

2. The issuance of a ~~certificate of inspection and occupancy~~ transfer stamp or exemption mark is not a waiver of a right to prosecute violations of this code.

F. Fee ~~For Certificate Of Occupancy Permit~~ for Inspection: The following fee shall be paid for each inspection made in connection with the issuance of a ~~certificate of inspection and occupancy~~ transfer stamp:

1. Existing nonowner occupied, single-family property, apartments, condominiums, townhouses, and any other form of multiple-family units, per unit: ~~Twenty five dollars (\$25.00)~~. (Ord. M-19-13, 10-7-2013)

15-7-17: PENALTY FOR VIOLATION

Any person who makes a late payment of the tax required by this chapter, fails to pay the tax required by this chapter, willfully falsifies the full value of the property transfer on the real estate transfer declaration, willfully omits any other information required by this chapter, willfully and falsely claims a transaction to be exempt under Section 15-7-7, or violates any other provision of this Chapter shall be subject to a minimum penalty of \$250 and a maximum penalty of \$750.



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: February 24, 2022

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: John T. Carlisle, AICP, Director of Community & Economic Development Department *JTC*
Jonathan Stytz, Planner *JS*

Subject: **Mannheim and Pratt Redevelopment – Case #22-003-FPLAT**
Approval of a Final Plat of Subdivision, with Subdivision Variations for Lot Depth and Frontage, for a Commercial Development and Two Billboards at 2805-2845 Mannheim Road

Issue: Petitioner GW Properties is requesting a Final Plat of Subdivision under Section 13-2-8 of the Subdivision Regulations to allow a commercial development with two billboards, one existing and one new. The petitioner requested and was approved for a Tentative Plat of Subdivision by the Planning and Zoning Board (PZB) on September 28, 2021 per Section 13-2-2 of the Subdivision Regulations. This approval was reinforced by the City Council via Ordinance Z-51-21, approved October 18, 2021.

Addresses: 2805-2845 Mannheim Road

Petitioner: GW Properties, 2211 N. Elston Ave., Suite 400, Chicago, IL 60614

Owners: GW Mannheim Pratt LLC and 1828 West Foster LLC, 2211 N. Elston Ave., Suite 400, Chicago, IL 60614; Image Des Plaines LLC, 5101 Darmstadt Road, Hillside, IL 60162

Case Number: 22-003-FPLAT

PINs: 09-33-300-001-0000; 09-33-300-002-0000; 09-33-300-003-0000; 09-33-300-004-0000; 09-33-300-005-0000; 09-33-300-006-0000; 09-33-300-007-0000; 09-33-300-008-0000; 09-33-300-009-0000; 09-33-301-008-0000; 09-33-301-014-0000; 09-33-301-015-0000

Ward: #6, Alderman Malcolm Chester

Existing Zoning: C-3 General Commercial District

Surrounding Zoning: North: C-3, General Commercial District
South: C-3, General Commercial District
East: C-3, General Commercial District
West: Commercial (Village of Rosemont)

Surrounding Land Use: North: Commercial (banquet hall)
South: Tollway; Orchards at O’Hare commercial development
East: Railroad; ComEd facility
West: Commercial (hotel)

Street Classification: Mannheim Road is an arterial road, and Pratt Avenue is a local road.

Comprehensive Plan : Commercial is the recommended use of the property.

Project Summary: GW Mannheim Pratt LLC and 1828 Foster LLC (both managed by developer and petitioner GW Properties), as well as billboard company Image Des Plaines LLC, are owners of the approximately 4-acre site at the southeast corner of Mannheim Road and Pratt Avenue, roughly bordered by the Canadian National rail line on the east and I-90/Tollway on the south. Aside from an existing billboard in the southwest corner, the site is currently vacant. The petitioner proposes a full redevelopment with the following elements:

- The existing billboard;
- A 5,000-square-foot building, currently envisioned as a Class A restaurant;
- An 11,000-square-foot multi-tenant commercial building (shopping center) containing a mix of restaurants and retail;
- 207 surface parking spaces, including seven mobility impaired accessible spaces;
- A 19,000-square-foot above-ground basin for stormwater; and
- A new electronic message board billboard, with an access drive in the southeast corner of the site (a separate application [Case 21-042-TA-V] was filed and approved on December 6, 2021 via Ordinances Z-52-21 and Z-53-21).

The Final Engineering drawings submitted as part of this application are based on a slightly different site plan than that approved by Ordinance Z-51-21. The changes are (a) an 11,000-square-foot multi-tenant building instead of a 10,500-square-foot one; and (b) 207 total parking spaces instead of 212. Section 7 of the approving ordinance allows the Director of Community and Economic Development to approve minor changes and site work in accordance with applicable City codes, ordinances, and standards. These two changes do not affect the basis of the PZB’s recommendation or the City Council’s approval of major variation for number of principal buildings (two buildings are approved). Further, the estimated required parking for a Class A restaurant (50 spaces, based on estimated 4,000 square feet of net area and 30 employees) and a shopping center (33 spaces for 11,000 square feet of gross floor area) would amount to 83 spaces. The 207 proposed far exceed the minimum requirements. The arrangement of buildings and parking follow the same layout and circulation pattern as the original. Therefore, based on Director approval of these minor changes, the petitioner has designed the final submittal accordingly.

The Final Plat of Subdivision shows the land being delineated into four lots of record:

- Lot 1 (northernmost): standalone restaurant with parking;
- Lot 2: multi-tenant restaurant-retail development with parking and the stormwater basin;
- Lot 3: existing billboard to remain; and
- Lot 4: new billboard

Lot 3 will not meet the minimum 125-foot lot depth set forth by Section 13-2-5.R of the Subdivision Regulations (proposed at 58.65 feet), and Lot 4 will not front on a dedicated public street, required by Section 13-2-5.V. Note that the C-3 zoning district does not have a minimum lot area or depth, nor does it require lots to front on a public street. Therefore, the variations required are strictly from the Subdivision Regulations, not from the Zoning Ordinance.

Public Works and Engineering (PWE) is requiring the existing public sanitary sewer connection that utilizes the site to be maintained via an easement, which is indicated on the Final Plat. Other on-site, underground public infrastructure may be abandoned and removed, as the previous Alger Street and Railroad Avenue were vacated years ago. In addition, public improvements are required by the City Engineer per 13-2-4 of the Subdivision Regulations. The petitioner collaborated with PWE to establish an agreed-upon list and cost estimates. In summary, key improvements (a) reconstructing the sanitary sewer, (b) replacing the water main in the Mannheim Road right-of-way, (c) reconstructing a widened sidewalk (multiuse side path) in the Pratt Avenue right-of-way, and (d) reconstructing curbs and gutters as necessary. Prior to recording the approved final plat, the petitioner will be required to post a performance security based on the cost estimates agreed to by the City Engineer for the completion of the public improvements. The amounts are included with the attached Final Engineering plans.

PZB Recommendation and Condition: The PZB met on February 8, 2022 to consider the Final Plat of Subdivision request to create four new lots of record in the C-3 zoning district at 2805-2845 Mannheim Road. The PZB *recommended* (7-0) that the City Council *approve* the request as presented, including subdivision variations for lot depth (Lot 3) and not fronting a public street (Lot 4). The Board's rationale for variation is included in the attached excerpt from the draft meeting minutes. The recommendation includes one condition, which is stated below. The PZB review is also summarized in the attached Chairman Szabo memo.

If the City Council chooses to approve these requests via Resolution R-54-22, staff and the PZB recommend the following condition:

1. Prior to signatures and recording, all easement and drawing language and labels on the Final Plat of Subdivision and Final Engineering drawings shall be clear and aligned with the site plan.

Attachments:

Attachment 1: Project Narrative

Attachment 2: Location/Zoning Map

- Attachment 3: Plat of Survey
- Attachment 4: Select Final Engineering Plans¹
- Attachment 5: Revised Site Plan
- Attachment 6: Site and Context Photos
- Attachment 7: Chairman Szabo Memo
- Attachment 8: Excerpt of Approved Minutes from the February 8, 2022 PZB Meeting

Resolution R-54-22

- Exhibit A: Legal Description
- Exhibit B: Final Plat of Subdivision

¹ Full submittal available upon request to City staff.



September 9, 2021

City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

RE: 2805-2845 Mannheim Road, Des Plaines – Project Narrative

Dear Village of Des Plaines,

GW Properties is proposing a new development on the Southeast corner of Mannheim Road and Pratt Street in Des Plaines, Illinois. The site would include a 5,000sf free standing restaurant, as well as a 10,000sf building that can fit up to an additional three restaurants and/or retail tenants, tenants to be determined. Our complete development application provides the finding of facts with regard to our site plan, variance, and map amendment request.

The proposed project if approved would be designed and constructed per the development site plan as submitted. Upon completion, the project would be subdivided into four lots to allow the proposed buildings and billboards to be on its own legal lots. The contribution to the project by Image Media Des Plaines, LLC, for the billboard is essential to the feasibility and successful development of the property and the development will not proceed without approval of the billboard, which is subject to a tandem zoning application filed in conjunction with this matter.

Furthermore, we have spoken with our traffic consultant, KLOA, although not directly with IDOT, in order to determine where to locate the curb cuts for our development. After various discussions with KLOA, we believe that the access drives as shown would be acceptable to IDOT, but still needs further review. Ultimately, all development activities would be completed in accordance with the City of Des Plaines, IDOT and all other governmental/municipal requirements.

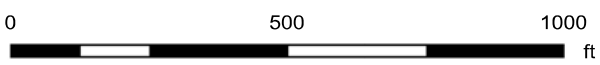
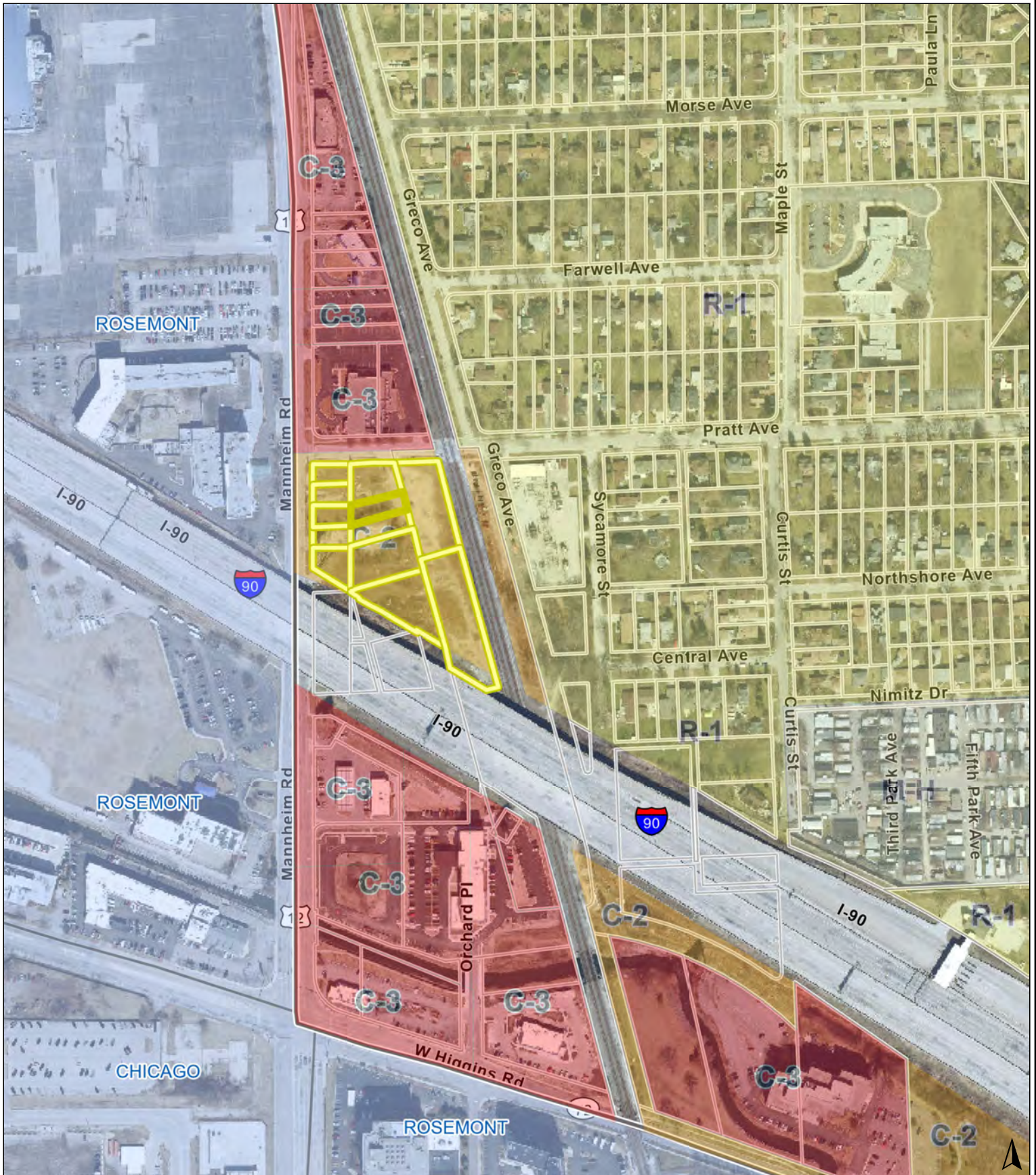
This property would ultimately be transformed from its current state of vacant land into a vibrant development with many new businesses and offerings that will be complementary to the surrounding area. This project would create well over a dozen of new full-time jobs in Des Plaines and generate hundreds of thousands of dollars in property and sales tax for the City on an annual basis that do not exist today. This project entails the highest and best use for the property and is a rare opportunity to create one cohesive development that has been thoughtfully designed and considered.

We look forward to working with the City of Des Plaines on all aspects of the proposed development and welcome the opportunity to discuss it soon. If you have any questions, please feel free to contact me.

Regards,

A handwritten signature in black ink that reads 'Mitch Goltz'.

Mitch Goltz
Principal
GW Properties



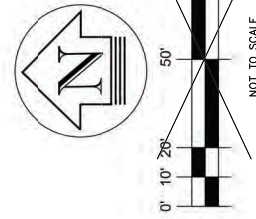
Print Date: 9/21/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

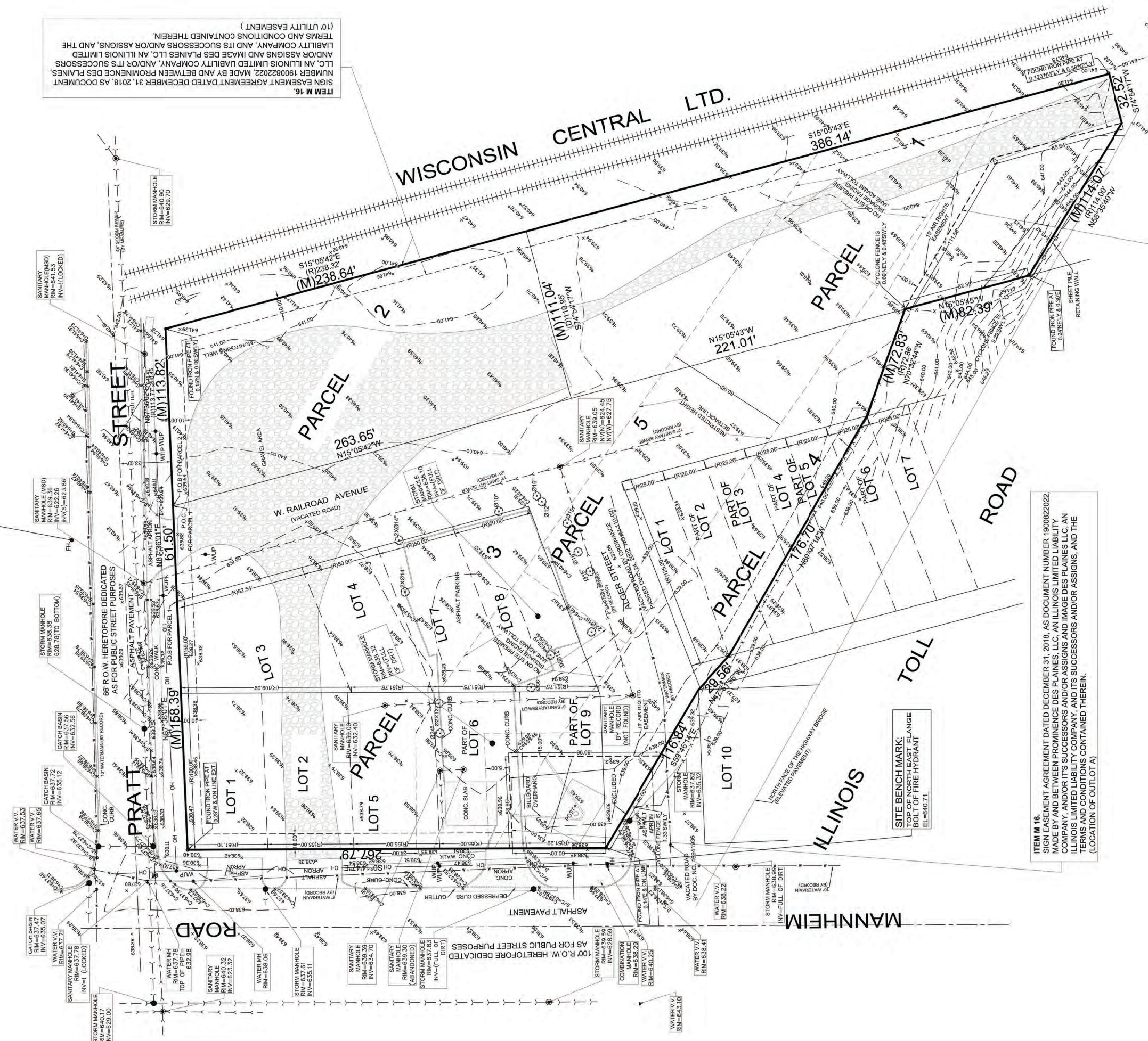
UNITED SURVEY SERVICE, LLC
 CONSTRUCTION AND LAND SURVEYORS
 7710 CENTRAL AVENUE RIVER FOREST, IL 60305
 TEL.: (847) 299-1010 FAX: (847) 299-5887
 E-MAIL: USURVEY@USANDCS.COM

BOUNDARY AND TOPOGRAPHIC SURVEY



SITE BENCH MARK:
 TOP OF NORTH WEST FLANGE
 BOLT OF FIRE HYDRANT
 EL=641.96 (NAVD 1988)

NOT TO SCALE



ITEM M 16.
 SIGN EASEMENT AGREEMENT DATED DECEMBER 31, 2018, AS DOCUMENT NUMBER 1900822022, MADE BY AND BETWEEN PROMINENCE DES PLAINES, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AND ITS SUCCESSORS AND/OR ASSIGNS, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.

SITE BENCH MARK:
 TOP OF NORTH WEST FLANGE
 BOLT OF FIRE HYDRANT
 EL=641.96 (NAVD 1988)

SITE BENCH MARK:
 TOP OF NORTH EAST FLANGE
 BOLT OF FIRE HYDRANT
 EL=640.71

ITEM M 16.
 SIGN EASEMENT AGREEMENT DATED DECEMBER 31, 2018, AS DOCUMENT NUMBER 1900822022, MADE BY AND BETWEEN PROMINENCE DES PLAINES, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AND ITS SUCCESSORS AND/OR ASSIGNS AND IMAGE DES PLAINES LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AND ITS SUCCESSORS AND/OR ASSIGNS, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
 (LOCATION OF OUTLOT B)

ITEM M 16.
 SIGN EASEMENT AGREEMENT DATED DECEMBER 31, 2018, AS DOCUMENT NUMBER 1900822022, MADE BY AND BETWEEN PROMINENCE DES PLAINES, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AND ITS SUCCESSORS AND/OR ASSIGNS AND IMAGE DES PLAINES LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AND ITS SUCCESSORS AND/OR ASSIGNS, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
 (LOCATION OF OUTLOT A)

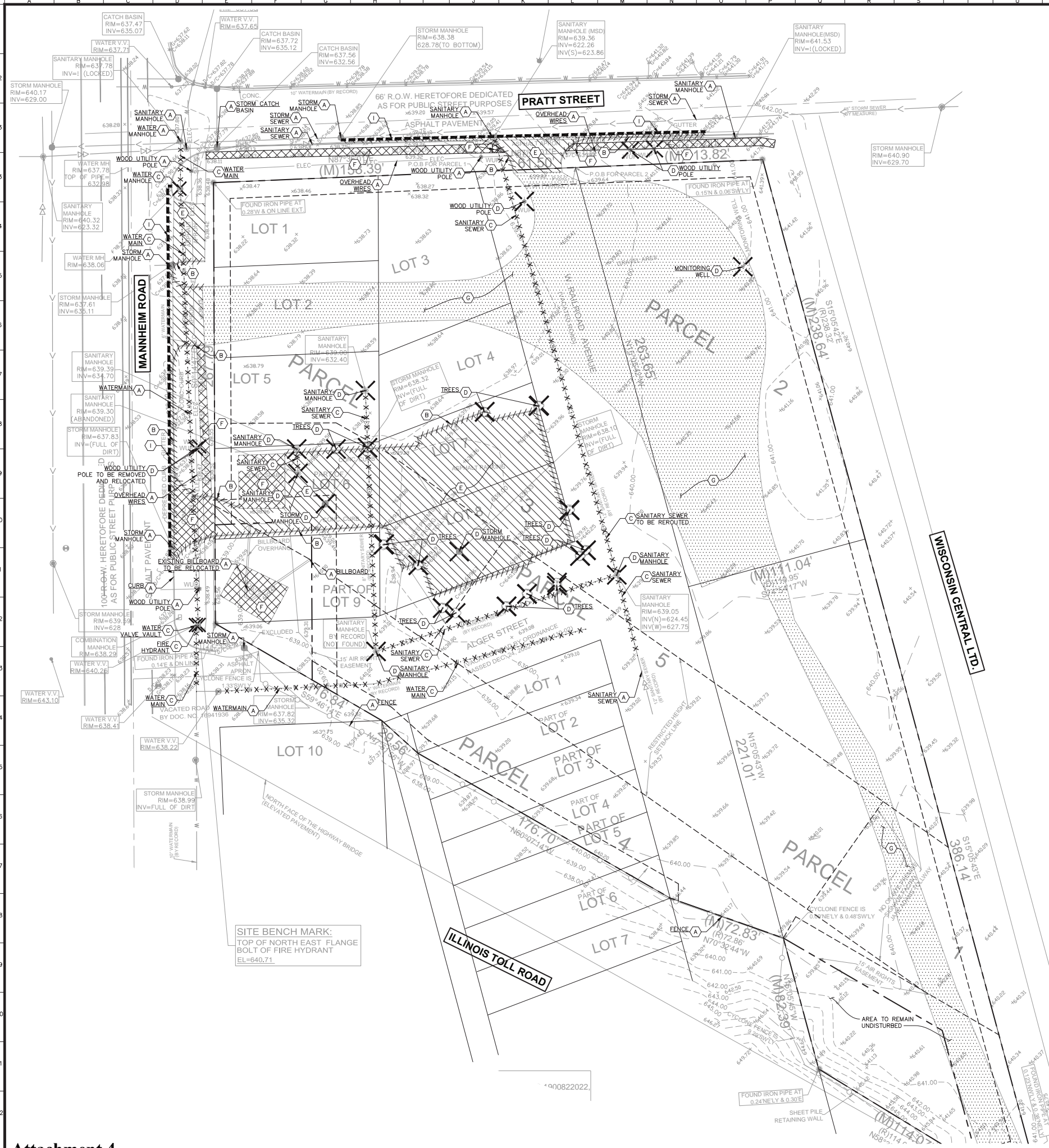
LEGEND ABBREVIATIONS

SMH	SANITARY MANHOLE
SM	STORM MANHOLE
CB	CATCH BASIN
WV	WATER VALVE VAULT
FH	FIRE HYDRANT
LP	LIGHT POLE
WUP	WOOD UTILITY POLE
MH	MANHOLE
TR	TREE
DC	DIC-DEPRESSED CURB
C-TOP	C-TOP OF CURB
G-GUTTER	G-GUTTER

PUBLIC UTILITY NOTE:
 LOCATION OF UNDERGROUND UTILITIES WHERE NOT SHOWN ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.
CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.
 THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.



ORDERED BY:	GW PROPERTIES	DATE	09/11/21	REVISION	
SCALE:	1" = 30'	DATE	AUGUST 24, 2021	TOPO	
FILE No.:	2021 - 29227	DATE		REVISION	



DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL JULIE (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LESTONE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION LEGEND

(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B)	CURB REMOVAL
(C)	UTILITY REMOVAL
(D)	ITEM TO BE REMOVED
(E)	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(F)	CONCRETE REMOVAL
(G)	GRAVEL REMOVAL
(H)	BUILDING REMOVAL
(I)	SAWCUT LINE
(J)	FENCE REMOVAL

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

NO.	REVISIONS	DATE	BY

Kimley-Horn
 4201 WAREFIELD ROAD, SUITE 600
 WARRENERVILLE, IL 62280
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
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 DRAWN BY: INS
 CHECKED BY: LJT

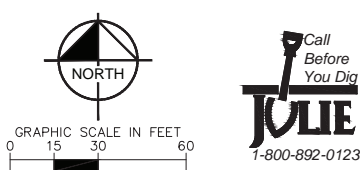
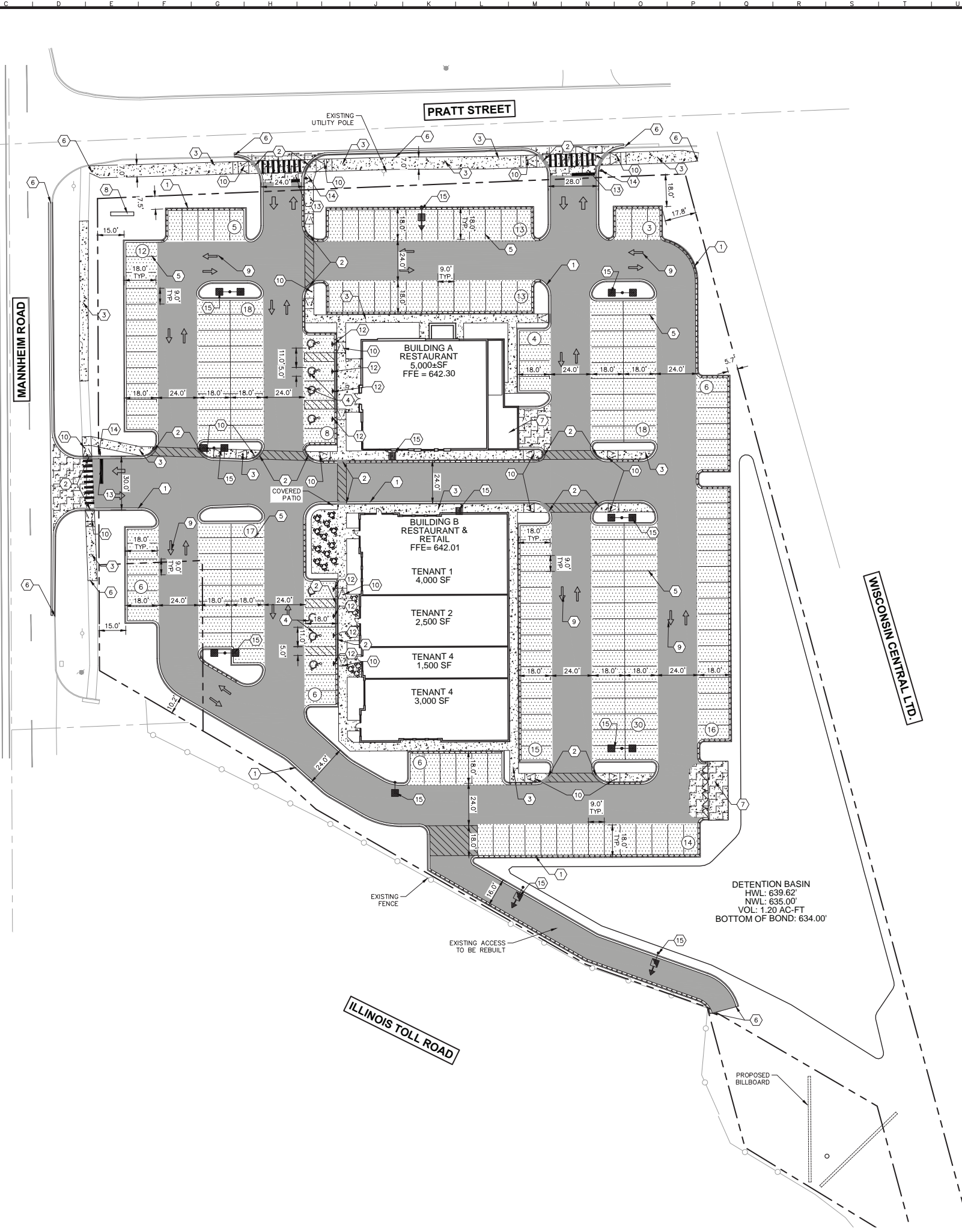
GW PROPERTIES

EXISTING CONDITIONS AND DEMOLITION PLAN

2805 MANNHEIM ROAD
 DES PLAINES, IL 60018

ORIGINAL ISSUE:
 12/16/2021
 KHA PROJECT NO.
 168726018
 SHEET NUMBER

Drawing name: K:\GIS_DEVELOPMENT\168726018_GW Properties\168726018_GW Properties\168726018_Site Plan.dwg
 User: jason.spencer
 Date: 12/16/2021 11:10:00 AM
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GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

KEY NOTES

- B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- DEPRESSED CURB AND GUTTER
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 4" WIDE PAINTED SOLID LINE, TYP.
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- PAVEMENT DIRECTIONAL STRIPING, TYP.
- ACCESSIBLE RAMP (SEE DETAILS)
- 2' WIDE TACTILE WARNING STRIP
- ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- LIGHT POLE, TYP. (SEE PHOTOMETRIC PLAN FOR DETAILS)

PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- STANDARD PITCH CONCRETE CURB AND GUTTER
- REVERSE PITCH CONCRETE CURB AND GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER

PARKING SUMMARY

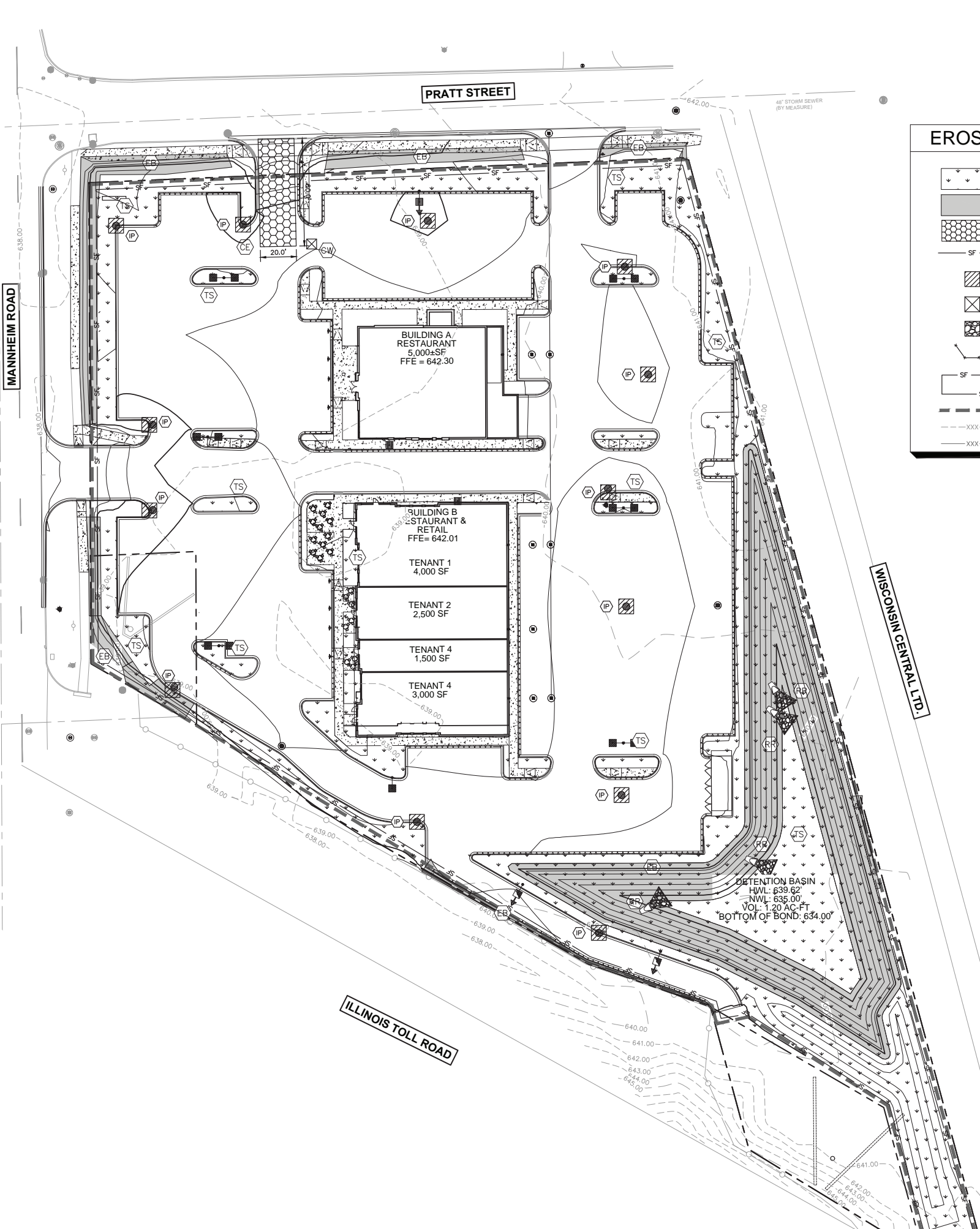
PARKING SPACES REQUIRED (CITY STANDARD)	= 155 SPACES
RESTAURANT CLASS A: 1 SPACE / 100 SF	
PARKING SPACES PROVIDED	= 199 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 8 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 8 SPACES
TOTAL PARKING SPACES PROVIDED	= 207 SPACES

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 17031C0219J, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.

 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARFIELD ROAD, SUITE 600 MANNHEIM, IL 62450 WWW.KIMLEY-HORN.COM	SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: EJT
 SITE PLAN	
GW PROPERTIES DES PLAINES 2805 MANNHEIM ROAD DES PLAINES, IL 60018	
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Drawing name: K:\GIS\DEVA\169726018_GW PROPERTIES_IL 2 Design\CAD\PlanSheets\C3.0 EROSION CONTROL PLAN.dwg C3.0 EROSION CONTROL PLAN.dwg Jan 26, 2022 11:10am by: jon.spencer
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EROSION CONTROL LEGEND

	TS TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS)
	EB TEMPORARY EROSION CONTROL BLANKET (SEE EROSION CONTROL NOTE #7)
	CE CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
	SF SILT FENCE (SEE EROSION CONTROL DETAILS)
	IP INLET PROTECTION (SEE EROSION CONTROL DETAILS)
	CW CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR)
	RR RIP RAP (SEE DETAILS)
	FE FLARED END SECTION PROTECTION (SEE EROSION CONTROL DETAILS)
	SS TEMPORARY SOIL STOCKPILE
	LD LIMITS OF DISTURBANCE
	--- XXXX --- EXISTING CONTOURS
	--- XXX --- PROPOSED CONTOURS

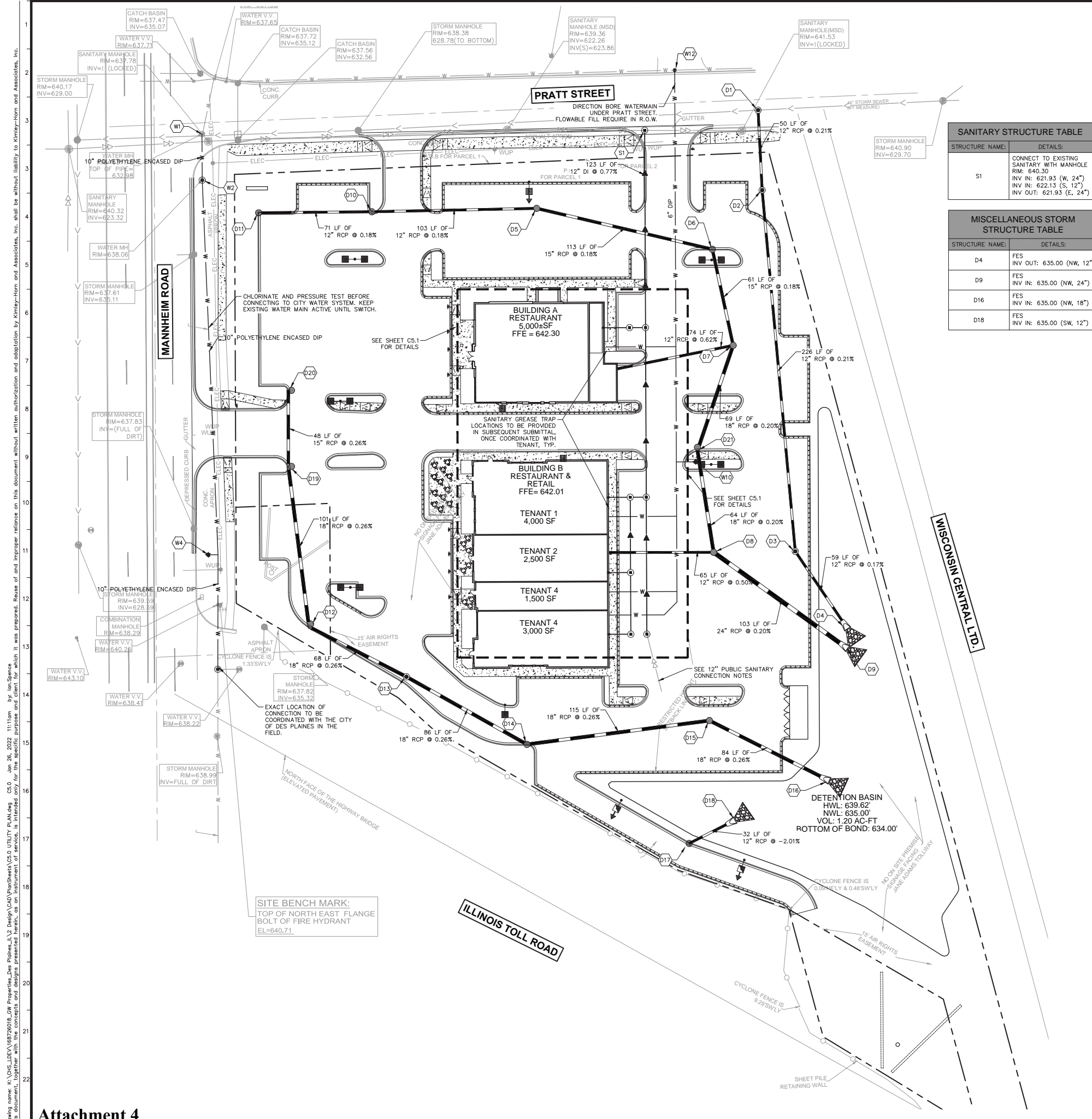
EROSION CONTROL NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO CONCLUDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE AND THE WATERWAY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S158BN OR APPROVED EQUIV.) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL WALES.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE RESTABILIZATION AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE. LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA, CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

EROSION CONTROL SCHEDULE AND SEQUENCING:

I. ROUGH GRADING	CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
II. UTILITY INSTALLATION	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
III. PAVING	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
IV. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING	ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

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SCALE: AS NOTED	DESIGNED BY: INS	DRAWN BY: INS	CHECKED BY: LIT
EROSION CONTROL PLAN			
GW PROPERTIES DES PLAINES 2805 MANNHEIM ROAD DES PLAINES, IL 60018			
ORIGINAL ISSUE: 12/16/2021			
KHA PROJECT NO. 168726018			
SHEET NUMBER			
			C3.0
			Page 12 of 34



WATER STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
W1	CONNECT TO EX. 10" WATERMAIN VALVE VAULT FG ELEV: 637.84
W4	FH FG ELEV: 638.54
W5	10" VALVE IN VAULT FG ELEV: 625.98
W10	FIRE HYDRANT FG ELEV: 641.10
W12	PRESSURE CONNECT TO EX. 10" WATERMAIN IN VALVE VAULT FG ELEV: 641.20

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	CONNECT TO EXISTING SANITARY WITH MANHOLE RIM: 640.30 INV IN: 621.93 (W, 24") INV IN: 622.13 (S, 12") INV OUT: 621.93 (E, 24")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D4	FES INV OUT: 635.00 (NW, 12")
D9	FES INV IN: 635.00 (NW, 24")
D16	FES INV IN: 635.00 (NW, 18")
D18	FES INV IN: 635.00 (SW, 12")

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	STORM MANHOLE CLOSED LID RIM: 641.76 INV IN: 629.41 (S, 12") INV OUT: 629.41 (W, 48") INV OUT: 629.41 (E, 48")
D2	CLOSED LID STORM MH. RIM: 641.86 INV IN: 629.52 (S, 12") INV OUT: 629.52 (N, 12")
D3	STORM MH. OUTLET CONTROL STRUCTURE WITH 2.7" DIAMETER ORIFICE. SEE CONSTRUCTION DETAILS. RIM: 641.31 INV IN: 634.90 (SE, 12") INV OUT: 635.00 (N, 12")
D5	48" STORM CATCH BASIN RIM: 639.75 INV IN: 635.79 (W, 12") INV OUT: 635.79 (E, 15")
D6	48" STORM CATCH BASIN RIM: 639.75 INV IN: 635.58 (W, 15") INV OUT: 635.58 (S, 15")
D7	48" STORM CATCH BASIN RIM: 640.66 INV IN: 635.47 (N, 15") INV IN: 635.47 (W, 12") INV OUT: 635.47 (S, 18")
D8	48" STORM CATCH BASIN RIM: 640.09 INV IN: 635.21 (N, 18") INV IN: 635.21 (W, 12") INV OUT: 635.21 (SE, 24")
D10	48" STORM CATCH BASIN RIM: 639.63 INV IN: 635.97 (W, 12") INV OUT: 635.97 (E, 12")
D11	48" STORM CATCH BASIN RIM: 640.00 INV OUT: 636.10 (E, 12")
D12	48" STORM CATCH BASIN RIM: 640.04 INV IN: 635.92 (N, 18") INV OUT: 635.92 (SE, 18")
D13	STORM MH. CLOSED LID RIM: 641.01 INV IN: 635.74 (NW, 18") INV OUT: 635.74 (SE, 18")
D14	48" STORM CATCH BASIN RIM: 640.14 INV IN: 635.52 (NW, 18") INV OUT: 635.52 (E, 18")
D15	48" STORM CATCH BASIN RIM: 640.37 INV IN: 635.22 (W, 18") INV OUT: 635.22 (SE, 18")
D17	STORM MANHOLE RIM: 640.52 INV OUT: 634.35 (NE, 12")
D19	48" STORM CATCH BASIN RIM: 639.60 INV IN: 636.18 (N, 15") INV OUT: 636.18 (S, 18")
D20	48" STORM CATCH BASIN RIM: 639.60 INV OUT: 636.30 (S, 15")
D21	48" STORM CATCH BASIN RIM: 640.70 INV IN: 635.34 (N, 18") INV OUT: 635.34 (S, 18")

NORTH

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- ### UTILITY NOTES
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
 - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
 - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

UTILITY LEGEND

— W —	EX. WATER LINE
⊕	EX. HYDRANT
⊕	EX. WATER VALVE
— S —	EX. SANITARY SEWER LINE
⊕	EX. SANITARY SEWER MANHOLE
— ELEC —	EX. SANITARY SEWER CLEANOUT
— S —	EX. STORM DRAIN LINE
⊕	EX. STORM MANHOLE
— ELEC —	PROPOSED UNDERGROUND ELECTRIC LINE
— GAS —	GAS LINE (BY GAS COMPANY)
— TEL —	PROPOSED PHONE LINE
— S —	PROPOSED STORM SEWER LINE
⊕	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
⊕	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
⊕	PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)
— S —	PROPOSED SANITARY SEWER LINE
⊕	PROPOSED SANITARY MANHOLE
⊕	PROPOSED STORM/SANITARY CLEANOUT
— W —	PROPOSED WATER LINE
⊕	PROPOSED VALVE VAULT
⊕	PROPOSED VALVE BOX
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED LIGHT POLE
⊕	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
⊕	RIP RAP (SEE DETAILS)

12" PUBLIC SANITARY CONNECTION NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERTS, AND SIZE OF THE EXISTING 12" PUBLIC SANITARY SEWER.
- THE EXISTING 12" PUBLIC SANITARY SEWER SHALL REMAIN ACTIVE AT ALL TIMES UNTIL SWITCH TO THE NEW SEWER.

ADDITIONAL NOTES:

- CALL 48 HOURS BEFORE INSPECTION IS NEEDED
- \$20,000 STREET OPENING BOND
- CITY STANDARDS SUPERCEDE ALL OTHERS

SITE BENCHMARKS:

- TOP OF NORTH EAST FLANGE BOLT OF FIRE HYDRANT ELEV = 640.71
- *SEE SURVEY FOR DETAILS
- TOP OF NORTH WEST FLANGE BOLT OF FIRE HYDRANT ELEV = 641.96 (NAVD 1988)
- *SEE SURVEY FOR DETAILS

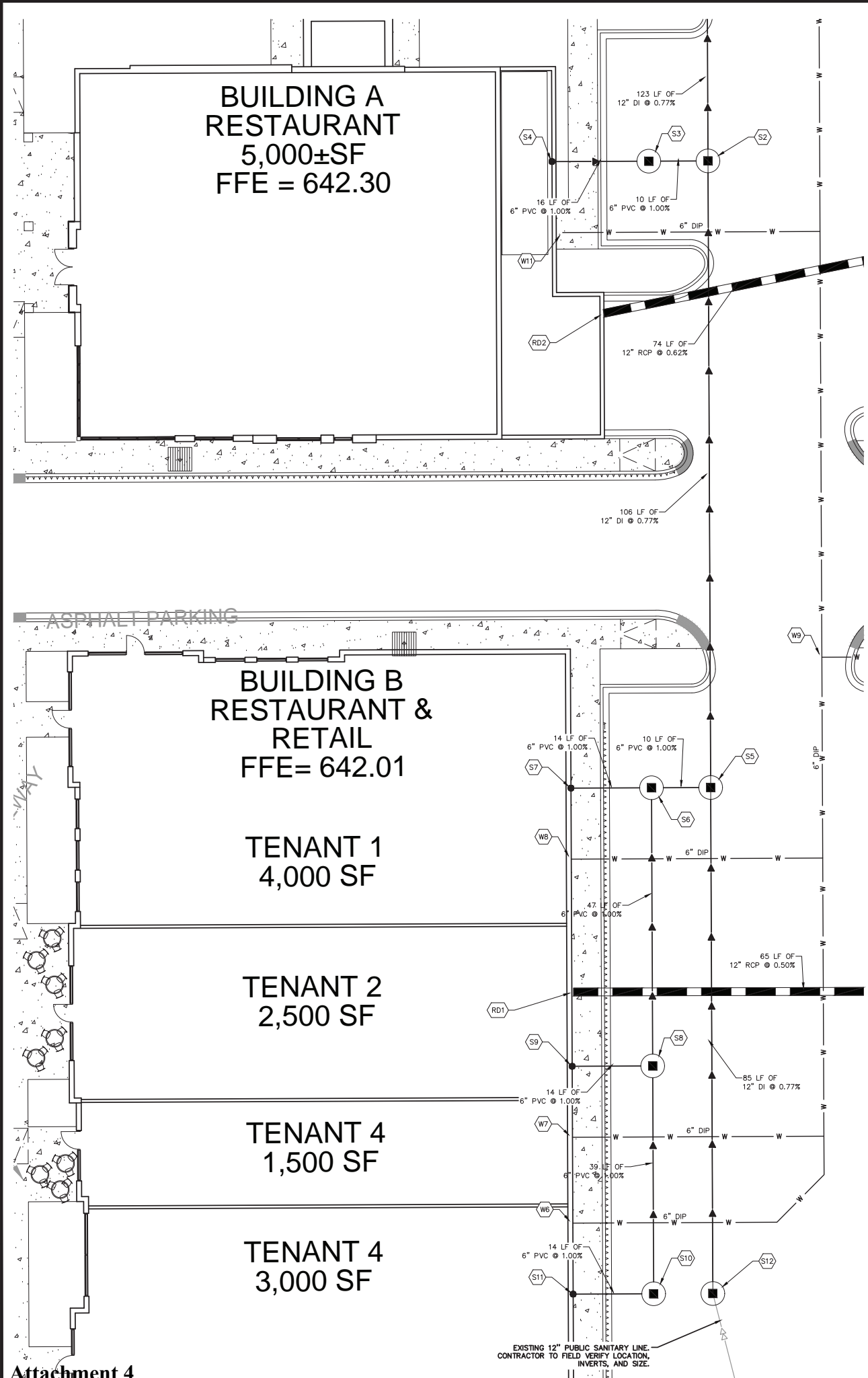
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UTILITY PLAN

GW PROPERTIES
 DES PLAINES
 2805 MANNHEIM ROAD
 DES PLAINES, IL 60018

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Drawing name: K:\GIS_DEV\168726018_GW Properties\12 Design\CAD\PlanSheets\C5.0 UTILITY PLAN.dwg CS:1
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WATER STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
W6	WATER SERVICE FG ELEV: 642.01
W7	WATER SERVICE FG ELEV: 642.01
W8	WATER SERVICE FG ELEV: 642.01
W9	FH TEE FG ELEV: 640.75
W11	WATER SERVICE FG ELEV: 642.29

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S2	SANITARY DROP MH. RIM: 641.35 INV IN: 623.08 (S, 12") INV IN: 636.73 (W, 6") INV OUT: 623.08 (N, 12")
S3	SANITARY MH. RIM: 641.55 INV IN: 637.83 (W, 6") INV OUT: 636.83 (E, 6")
S5	SANITARY DROP MH. RIM: 641.04 INV IN: 623.90 (S, 12") INV IN: 632.28 (W, 6") INV OUT: 623.90 (N, 12")
S6	SANITARY MH. RIM: 641.22 INV IN: 624.24 (W, 6") INV IN: 633.38 (S, 6") INV OUT: 632.38 (E, 6")
S8	SANITARY MH. RIM: 641.17 INV IN: 624.47 (W, 6") INV IN: 634.85 (S, 6") INV OUT: 633.85 (E, 6")
S10	SANITARY MH. RIM: 641.19 INV IN: 636.43 (W, 6") INV OUT: 635.23 (N, 6")
S12	SANITARY MH. RIM: 641.03 INV OUT: 624.56 (N, 12")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
RD1	ROOF DRAIN INV OUT: 635.53 (E, 12")
RD2	ROOF DRAIN INV OUT: 635.93 (E, 12")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S4	SANITARY SERVICE INV OUT: 637.99 (E, 6")
S7	SANITARY SERVICE INV OUT: 624.37 (E, 6")
S9	SANITARY SERVICE INV OUT: 624.61 (E, 6")
S11	SANITARY SERVICE INV OUT: 636.57 (E, 6")

- ### UTILITY NOTES
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND CROSS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
 - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
 - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

UTILITY LEGEND

<p>— W — EX. WATER LINE</p> <p>⊕ EX. HYDRANT</p> <p>⊕ EX. WATER VALVE</p> <p>— S — EX. SANITARY SEWER LINE</p> <p>⊕ EX. SANITARY SEWER MANHOLE</p> <p>— ELEC — EX. SANITARY SEWER CLEANOUT</p> <p>— SD — EX. STORM DRAIN LINE</p> <p>⊕ EX. STORM MANHOLE</p> <p>— ELEC — PROPOSED UNDERGROUND ELECTRIC LINE</p> <p>— GAS — GAS LINE (BY GAS COMPANY)</p> <p>— TEL — PROPOSED PHONE LINE</p> <p>— S — PROPOSED STORM SEWER LINE</p> <p>⊕ PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)</p> <p>⊕ PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)</p> <p>⊕ PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)</p> <p>— S — PROPOSED SANITARY SEWER LINE</p> <p>⊕ PROPOSED SANITARY MANHOLE</p> <p>⊕ PROPOSED STORM/SANITARY CLEANOUT</p> <p>— W — PROPOSED WATER LINE</p> <p>⊕ PROPOSED VALVE VAULT</p> <p>⊕ PROPOSED VALVE BOX</p> <p>⊕ PROPOSED FIRE HYDRANT</p> <p>⊕ PROPOSED LIGHT POLE</p> <p>⊕ PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)</p> <p>⊕ RIP RAP (SEE DETAILS)</p>	<p>— W — EX. WATER LINE</p> <p>⊕ EX. HYDRANT</p> <p>⊕ EX. WATER VALVE</p> <p>— S — EX. SANITARY SEWER LINE</p> <p>⊕ EX. SANITARY SEWER MANHOLE</p> <p>— ELEC — EX. SANITARY SEWER CLEANOUT</p> <p>— SD — EX. STORM DRAIN LINE</p> <p>⊕ EX. STORM MANHOLE</p> <p>— ELEC — PROPOSED UNDERGROUND ELECTRIC LINE</p> <p>— GAS — GAS LINE (BY GAS COMPANY)</p> <p>— TEL — PROPOSED PHONE LINE</p> <p>— S — PROPOSED STORM SEWER LINE</p> <p>⊕ PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)</p> <p>⊕ PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)</p> <p>⊕ PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)</p> <p>— S — PROPOSED SANITARY SEWER LINE</p> <p>⊕ PROPOSED SANITARY MANHOLE</p> <p>⊕ PROPOSED STORM/SANITARY CLEANOUT</p> <p>— W — PROPOSED WATER LINE</p> <p>⊕ PROPOSED VALVE VAULT</p> <p>⊕ PROPOSED VALVE BOX</p> <p>⊕ PROPOSED FIRE HYDRANT</p> <p>⊕ PROPOSED LIGHT POLE</p> <p>⊕ PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)</p> <p>⊕ RIP RAP (SEE DETAILS)</p>
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 4201 WILFELD ROAD, SUITE 600
 MANNING, IL 62550
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: INS
 DRAWN BY: INS
 CHECKED BY: LJT

Kimley-Horn

GW PROPERTIES

UTILITY PLAN

GW PROPERTIES
DES PLAINES
 2805 MANNHEIM ROAD
 DES PLAINES, IL 60018

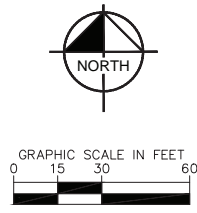
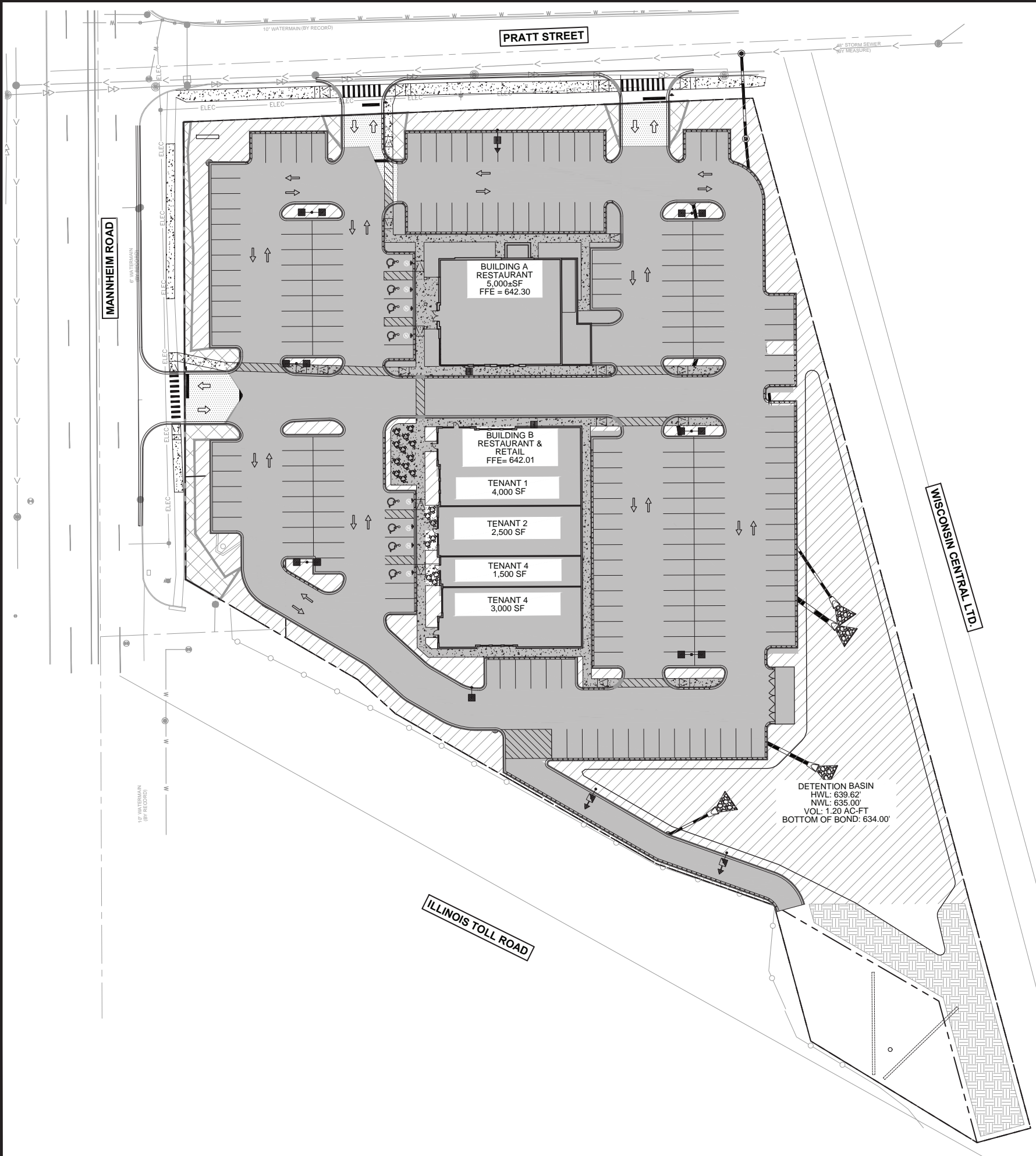
ORIGINAL ISSUE:
 12/16/2021
 KHA PROJECT NO.
 168726018
 SHEET NUMBER

BY: _____
 DATE: _____

NO. _____

REVISIONS

Drawing name: K:\GIS_DEVA\168726018_GW Properties_Les Plaines_V2 Design\CAD\PlanSheets\C7.0 MWRD Plan.dwg Layout Date: 12/16/2021 11:00am by: Ian Spence
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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811
 1-800-892-0123

SITE LEGEND

	PROPOSED PERVIOUS AREA
	PROPOSED IMPERVIOUS AREA
	PROPOSED UNRESTRICTED PERVIOUS AREA
	PROPOSED UNRESTRICTED IMPERVIOUS AREA
	PROPOSED NATIVE PLANTING AREA
	PROPERTY LINE

SITE STATISTICS

TOTAL PROPERTY AREA	= 3.86 AC
TOTAL DISTURBED AREA	= 3.68 AC
PROPOSED PERVIOUS AREA	= 0.90 AC
PROPOSED IMPERVIOUS AREA	= 2.53 AC
PROPOSED UNRESTRICTED IMPERVIOUS AREA	= 0.06 AC
PROPOSED UNRESTRICTED PERVIOUS AREA	= 0.06 AC
NATIVE PLANTING AREA	= 0.13 AC

MWRD DETENTION STATISTICS

DEVELOPED SITE—DETERMINATION OF RESERVOIR SIZE

1. PROPERTY AREA:	3.86 ACRES
SITE (DISTURBED) AREA:	3.68 ACRES
2. INLET TIME OF CONCENTRATION:	10 MINUTES
3. RAINFALL INTENSITY FOR 100-YEAR 24-HR:	8.57 IN/HR
4. ALLOWABLE RELEASE RATE:	0.20 CFS/AC
5. GROSS ALLOWABLE RELEASE RATE:	0.74 CFS
6. UNRESTRICTED RELEASE RATE:	0.11 CFS
7. NET ALLOWABLE RELEASE RATE:	0.63 CFS
8. ACTUAL RELEASE RATE AT HWL:	0.60 CFS
9. HWL:	639.62
10. RESTRICTOR TYPE AND SIZE:	2.7" ORIFICE

 <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARFIELD ROAD, SUITE 600 MANNHEIM, IL 60050 WWW.KIMLEY-HORN.COM</small>	<small>SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: EJT</small>
	MWRD PAN
GW PROPERTIES DES PLAINES <small>2805 MANNHEIM ROAD DES PLAINES, IL 60018</small>	<small>ORIGINAL ISSUE: 12/16/2021 KHA PROJECT NO. 168726018 SHEET NUMBER</small>



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: February 24, 2022
To: John Carlisle, Director of Community and Economic Development
From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Cc: Jon Duddles, P.E., CFM, Assistant Director of Public Works and Engineering
Subject: 2805 Mannheim Rd. GW Subdivision

We approve the attached Engineer's Estimate for the Public Improvement certificate for 2805 Mannheim Rd. GW Subdivision, pursuant to Section 13-2-8B of the City Code:

Recording Conditions: As a condition precedent to the recording of any subdivision final plat, the subdivider shall file with the Director of Community Development a duly completed and executed performance completion bond or irrevocable letter of credit and a ten percent (10%) maintenance warranty. The bond or irrevocable letter of credit shall be in the amount of one hundred twenty five percent (125%) of the approved Director of Engineering and Public Works estimate of cost for the public improvements within the subdivision and certified by the city attorney as good, valid and enforceable by the city, securing the satisfactory completion of all public improvements in strict accordance with the description, plans and specifications submitted by the subdivider and approved by the Director of Engineering and Public Works. The ten percent (10%) maintenance warranty shall be ten percent (10%) of one hundred twenty five percent (125%) of the approved the Director of Engineering and Public Works estimate of costs for the public improvements within the subdivision. The maintenance warranty must be posted as cash, letter of credit or surety, the form of which is certified by the city attorney. Any amount beyond fifty thousand dollars (\$50,000.00) may be posted following acceptance of all public improvements. The ten percent (10%) maintenance warranty shall remain with the city until eighteen (18) months after all improvements are completed and certified by the Director of Engineering and Public Works as completed in strict accordance with the description, plans and specifications submitted by the subdivider and approved by the Director of Engineering and Public Works and accepted by the city council.

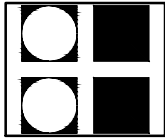
Subdivision Name: GW

Subdivision Address: 2805 Mannheim Road

Engineer's Estimate of Cost for Public Improvements	\$317,200.00 x 125%	\$396,500.00
10% Maintenance Warranty	\$396,500.00 x 10%	<u>\$39,650.00</u>
	Total Amount	\$436,150.00

Public Works and Engineering Review Fee	2%	\$8,273.00
Public Works and Engineering Inspection Fee	3%	\$13,084.50

Should you have any questions, please feel free to contact me.

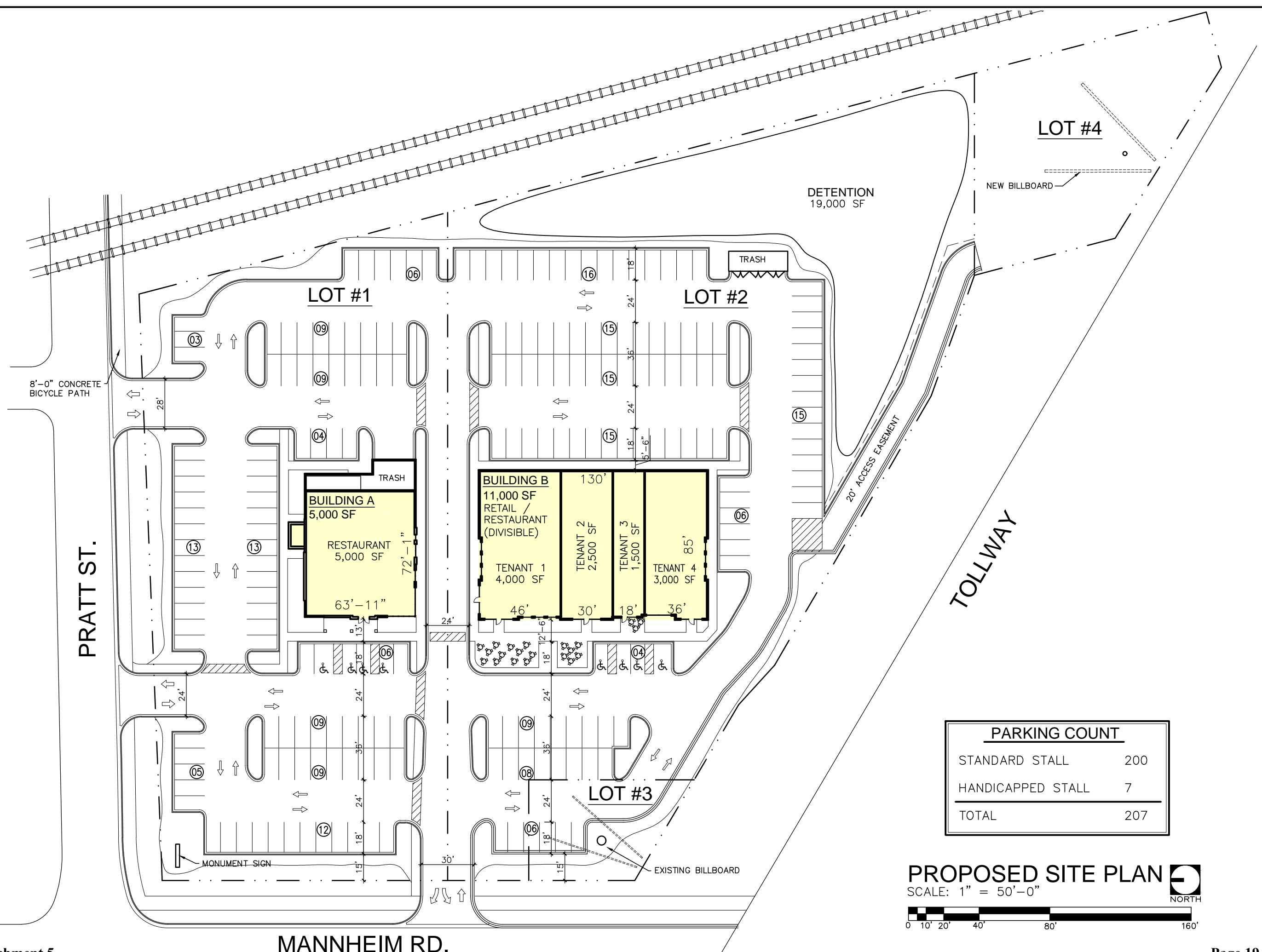


PROPOSED SITE PLAN
DESIGN STUDIO 24, LLC.
 ARCHITECTS - DESIGNERS - PLANNERS
 2211 N. ELSTON AVE., CHICAGO, ILLINOIS 60614
 Tel.: 847.865.7751
 Fax: 847.865.6300

GW PROPERTIES
SITE STUDY
 MANNHEIM RD. AND PRATT ST
 DES PLAINES, IL 60018

DATE: 01.26.2021
 MARK T. DiGANCI
 REG. ARCHITECT

ST1



PARKING COUNT	
STANDARD STALL	200
HANDICAPPED STALL	7
TOTAL	207

PROPOSED SITE PLAN 
 SCALE: 1" = 50'-0"




2805-2845 Mannheim Rd – Public Notice



2805-2845 Mannheim Rd – Looking South at Subject Property



2805-2845 Mannheim Rd – Looking South at Existing Billboard



2805-2845 Mannheim Rd – Looking Northeast at Subject Property



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

February 9, 2022

Mayor Goczkowski and Des Plaines City Council, CITY OF DES PLAINES

Subject: Planning and Zoning Board, 2805-2845 Mannheim Road, Case #22-003-FPLAT (6th Ward)
RE: Consideration of a Final Plat of Subdivision and subdivision variations under Section 13-2 of Subdivision Regulations

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board met on February 8, 2022 to consider the Final Plat of Subdivision request to consolidate twelve lots into four new lots of record in the C-3 zoning district at 2805-2845 Mannheim Road.

1. The petitioner presented a brief overview of the request for the Final Plat of Subdivision reiterating that the proposal includes consolidating the existing lots into four new lots for the new development, which includes a stand-alone building, multi-tenant building, and new billboard. He added that there is an existing billboard located on the proposed Lot 3 that will remain as part of the site.
2. The Planning and Zoning Board (PZB) Members asked who the proposed tenants in the development are; what happened to the proposed cannabis dispensary tenant; and when the petitioner will start construction. The petitioner responded that the stand-alone building is slated for an Outback Steakhouse and the multi-tenant building will include First Watch, Five Guys, Sleep Number Mattress, and Tropical Smoothie establishments; that there was a cannabis dispensary tenant slated at one time but it did not fit into the development; and that they plan to start construction as soon as possible, most-likely around early Spring.
3. The Community and Economic Development Department summarized the staff report and added some background regarding the subdivision variations for lot depth on Lot 3 and lack of lot frontage for Lot 4. Staff recommended that the following condition be added to approval of this request: Prior to signatures and recording, all easement and drawing language and labels on the Final Plat of Subdivision and Final Engineering drawings shall be clear and aligned with the site plan.
4. No members of the public spoke on this request.
5. The Planning and Zoning Board *recommended* (7-0) that the City Council *approve* of the request as presented with the one condition found in the staff report.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'James S. Szabo'.

James Szabo,
Des Plaines Planning and Zoning Board, Chairman
Cc: City Officials/Aldermen

Case 22-003-FPLAT	2805-2845 Mannheim Road	Final Plat of Subdivision
Case 22-005-TA-CU	2514 Ballard Road	Text Amendment/Conditional Use (Public Hearing)

NEW BUSINESS

1. Addresses: 2805-2845 Mannheim Road

Case Number: 22-003-FPLAT

The Petitioner GW Properties is requesting a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to allow a restaurant and retail development. The petitioner requested and was approved for a Tentative Plat of Subdivision by the Planning and Zoning Board (PZB) on September 28, 2021, per Section 13-2-2 of the Subdivision Regulations.

PINs: 09-33-300-001-0000; 09-33-300-002-0000; 09-33-300-003-0000; 09-33-300-004-0000; 09-33-300-005-0000; 09-33-300-006-0000; 09-33-300-007-0000; 09-33-300-008-0000; 09-33-300-009-0000; 09-33-301-008-0000; 09-33-301-014-0000; 09-33-301-015-0000

Petitioner: GW Properties, 2211 N. Elston Ave, Suite 400, Chicago, IL 60614

Owner: GW Properties, 2211 N. Elston Ave, Suite 400, Chicago, IL 60614

Chairman Szabo swore in Bryan Rosenblum, with GW Properties 2211 N. Elston Ave. Chicago, IL. Mr. Rosenblum stated he is proposing a new ground up development at the vacant property at the corner of Mannheim and Pratt. We are proposing a multi-tenant building as well as a free standing single tenant building. We have been working with staff diligently to get this site plan were it is today. The request we are making today is on the final plat.

Jonathan Stytz, Planner for CED gave his staff report.

Issue: The Petitioner GW Properties is requesting a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to allow a commercial development with two billboards, one existing and one new. The petitioner requested and was approved for a Tentative Plat of Subdivision by the Planning and Zoning Board (PZB) on September 28, 2021, per Section 13-2-2 of the Subdivision Regulations. This approval was reinforced by the City Council via Ordinance Z-51-21, approved October 18, 2021.

Address: 2805-2845 Mannheim Road

Owner: GW Mannheim Pratt LLC and 1828 West Foster LLC, 2211 N. Elston Ave., Suite 400, Chicago, IL 60614; Image Des Plaines LLC, 5101 Darmstadt Road, Hillside, IL 60162

Petitioner: GW Properties, 2211 N. Elston Ave., Suite 400, Chicago, IL 60614

Case Number: 22-003-FPLAT

PIN: 09-33-300-001-0000; 09-33-300-002-0000; 09-33-300-003-0000; 09-33-300-004-0000; 09-33-300-005-0000; 09-33-300-006-0000; 09-33-300-007-0000; 09-33-300-008-0000; 09-33-300-009-0000; 09-33-301-008-0000; 09-33-301-

Case 22-003-FPLAT	2805-2845 Mannheim Road	Final Plat of Subdivision
Case 22-005-TA-CU	2514 Ballard Road	Text Amendment/Conditional Use (Public Hearing)

014-0000; 09-33-301-015-0000

Ward: #6, Alderman Malcolm Chester

Existing Zoning: C-3 General Commercial District

Surrounding Zoning: North: C-3, General Commercial District
 South: C-3, General Commercial District
 East: C-3, General Commercial District
 West: Commercial (Village of Rosemont)

Surrounding Land Use: North: Commercial (banquet hall)
 South: Tollway; Orchards at O’Hare commercial development
 East: Railroad; ComEd facility
 West: Commercial (hotel)

Street Classification: Mannheim Road is an arterial road, and Pratt Avenue is a local road.

Comprehensive Plan: Commercial is the recommended use of the property.

Project Summary: GW Mannheim Pratt LLC and 1828 Foster LLC (both managed by developer and petitioner GW Properties), as well as billboard company Image Des Plaines LLC, are owners of the approximately 4-acre site at the southeast corner of Mannheim Road and Pratt Avenue, roughly bordered by the Canadian National rail line on the east and I-90/Tollway on the south. Aside from an existing billboard in the southwest corner, the site is currently vacant. The petitioner proposes a full redevelopment with the following elements:

- The existing billboard;
- A 5,000-square-foot building, currently envisioned as a Class A restaurant;
- An 11,000-square-foot multi-tenant commercial building (shopping center) containing a mix of restaurants and retail;
- 207 surface parking spaces, including seven mobility impaired accessible spaces;
- A 19,000-square-foot above-ground basin for storm water; and
- A new electronic message board billboard, with an easement provided for an access drive, in the southeast corner of the site (a separate application [Case 21-042-TA-V] was filed and approved on December 6, 2021 via Ordinances Z-52-21 and Z-53-21).

The final engineering drawings submitted as part of this application are based on a slightly different site plan than that approved by Ordinance Z-51-21. The changes are a.) An 11,000-square-foot multi-tenant building instead of a 10,500- square-foot one and b.) 207 total parking spaces instead of 212. Section 7 of the approving ordinance allows the Director of Community and Economic Development to approve minor changes and site work in accordance with applicable City codes, ordinances, and standards. These two changes do not affect the basis of the PZB’s recommendation or the City Council’s approval of major variation for number of principal buildings (two buildings are approved.) Further, based on the estimated required parking for a Class A restaurant (50 spaces, based on estimated 4,000 square feet of net area and 30 employees) and a shopping center (33 spaces for 11,000 square feet of gross floor area), 207

Case 22-003-FPLAT	2805-2845 Mannheim Road	Final Plat of Subdivision
Case 22-005-TA-CU	2514 Ballard Road	Text Amendment/Conditional Use (Public Hearing)

spaces would far exceed the minimum requirements. The arrangement of buildings and parking follow the same layout and circulation pattern as the original. Therefore, based on the Director's approval of these minor changes, the petitioner has designed the final submittal accordingly.

The Final Plat of Subdivision shows the land being delineated into four lots of record:

- Lot 1 (northernmost): standalone restaurant with parking;
- Lot 2: multi-tenant restaurant-retail development with parking and the storm water basin;
- Lot 3: existing billboard to remain; and
- Lot 4: new billboard

Lot 3 will not meet minimum the minimum 125-foot lot depth set forth by Section 13-2-5.R of the Subdivision Regulations (proposed at 58.65 feet), and Lot 4 will not front on a dedicated public street, required by Section 13-2-5.V. Note that the C-3 zoning district does not have a minimum lot area or depth, nor does it require lots to front on a public street. Therefore, the variations required are strictly from the Subdivision Regulations, not from the Zoning Ordinance. Comments on the three subdivision variation standards are listed below.

The Public Works and Engineering (PWE) Department is requiring the existing public sanitary sewer connection that utilizes the site to be maintained via an easement indicated on the Final Plat, which is shown. Other on-site, underground public infrastructure may be abandoned and removed, as the previous Alger Street and Railroad Avenue were vacated years ago. In addition, public improvements are required by the City Engineer per 13-2-4 of the Subdivision Regulations. The petitioner collaborated with PWE to establish an agreed-upon list and cost estimates. In summary, key improvements are a.) Reconstructing the sanitary sewer, b.) replacing the water main in the Mannheim Road right-of-way, c.) Constructing a widened sidewalk (multiuse side path) in the Pratt Avenue right-of-way, and d.) Reconstructing curbs and gutters as necessary. Prior to recording the approved final plat, the petitioner will be required to post a performance security, based on the cost estimates agreed to by the City Engineer, for the completion of the public improvements. The petitioner and Engineer have agreed on these amounts, and the details can be found with the attached Final Engineering plans.

PZB Findings for Subdivision Variation: The PZB may recommend variations from the Subdivision Regulations when, in its opinion, undue hardship may result from strict compliance. In recommending any variation, the PZB should prescribe only conditions that it deems necessary to or desirable for the public interest. In making its findings, as listed below, the PZB shall consider the nature of the proposed subdivision and the existing use of land in the vicinity, the number of persons to reside or work in the proposed subdivision, and the probable effect of the proposed subdivision upon traffic conditions in the vicinity. Staff has the following comments, which the PZB may adopt or create its own.

1. **That there are special circumstances or conditions affecting said property such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.**

Comment: The subdivision's lengthy southern boundary with the tollway, as well as the presence of an existing billboard and the approval for a new billboard, makes the variation requests logical. On development sites such as this, billboard land is reasonably expected to exist under separate

ownership from the rest of the development, and the land required for a billboard is substantially less than land (i.e. lot area) required for most structures. It will be impractical and unnecessary to extend a public street to the lot for the new billboard (Lot 4).

2. That the variance is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

Comment: The petitioner has already received zoning entitlements (Ordinances Z-51-21, Z-52-21, and Z-53-21) for the mix of buildings and structures. Approving the lot dimensions and arrangement shown on the Final Plat of Subdivision is necessary to allow those entitlements to be implemented.

3. That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the territory in which said property is situated.

Comment: The City Council’s approval of zoning variations for the number of buildings and the new billboard location, as well as the map and text amendments, already considered public-welfare implications. The Council found that the development overall is not a detriment to the subject property or surrounding properties.

PZB Procedure and Recommended Conditions: Pursuant to Section 13-2-7 of the Subdivision Regulations and recognizing that the City Council has final approval authority, the PZB may vote to recommend approval of the Final Plat of Subdivision with variations for minimum lot depth for Lot 3 and lack of frontage on a public street for Lot 4. If the PZB chooses to recommend approval, the variations should be based on the findings and noted in the transmittal letter to the City Council.

Staff recommends one approval condition: Prior to signatures and recording, all easement and drawing language and labels on the Final Plat of Subdivision and Final Engineering drawings shall be clear and aligned with the site plan.

Member Catalano asked who the tenants are or will be and when do you hope to break ground?

Mr. Rosenblum stated we have Outback Steakhouse, First Watch, Five Guys, Sleep Number Mattresses, and Tropical Smoothie. We would like to break ground as soon as we can most likely spring, once we have all appropriate approvals.

A motion was made by Board Member Catalano, seconded by Board Member Hofherr, to approve a Final Plat of Subdivision under Section 13-2-7 of the Subdivision Regulations to allow a restaurant and retail development with the conditions in the staff report.

AYES: Szabo, Veremis, Saletnik, Hofherr, Catalano, Weaver, Fowler

NAYES: None

ABSTAIN: None

*****MOTION CARRIES UNANIMOUSLY ****

CITY OF DES PLAINES

RESOLUTION R - 54 - 22

A RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION AND VARIATIONS FROM THE SUBDIVISION REGULATIONS FOR THE SUBDIVISION LOCATED AT 2805-2845 MANNHEIM ROAD, DES PLAINES, ILLINOIS.

WHEREAS, 1828 West Foster LLC ("**1828 Foster**") is the owner of that certain 55,684-square-foot parcel of real property legally described on **Exhibit A** attached to this Resolution ("**1828 Foster Parcel**"); and

WHEREAS, GW Mannheim Pratt, LLC ("**GW Mannheim**") is the owner of that certain 94,100-square-foot parcel of real property legally described on Exhibit A ("**GW Mannheim Parcel**"); and

WHEREAS, Image Des Plaines, LLC ("**Image Des Plaines**") is the owner of: (i) that certain 4,592-square-foot parcel of real property legally described on Exhibit A ("**Image Des Plaines Parcel 1**"); and (ii) that certain 13,809-square-foot parcel of real property legally described on Exhibit A ("**Image Des Plaines Parcel 2**") (collectively, the 1828 Foster Parcel, GW Mannheim Parcel, Image Des Plaines Parcel 1, and Image Des Plaines Parcel 2 are the "**Subject Property**"); and

WHEREAS, the Subject Property is located in the C-3 General Commercial District of the City ("**C-3 District**"); and

WHEREAS, G W Properties, Inc. ("**Petitioner**") desires to subdivide the Subject Property into four lots of record as follows: (i) the 1828 Foster Parcel ("**Lot 1**"); (ii) the GW Mannheim Parcel ("**Lot 2**"); (iii) the Image Des Plaines Parcel 1 ("**Lot 3**"); and (iv) the Image Des Plaines Parcel 2 ("**Lot 4**"); and

WHEREAS, pursuant to Title 13 of the City Code of the City of Des Plaines, as amended ("**Subdivision Regulations**"), the Petitioner, on behalf of 1828 Foster and GW Mannheim, submitted an application ("**Application**") to the City of Des Plaines Department of Community and Economic Development ("**Department**") for the approval of a final plat of subdivision for the Subject Property ("**Final Plat**"); and

WHEREAS, Petitioner also applied for variations from the Subdivision Regulations to: (i) reduce the required lot depth set forth in Section 13-2-5.R of the Subdivision Regulations from 125 feet to 58.65 feet for Lot 3; and (ii) waive the dedicated street frontage requirement set forth in Section 13-2-5.V of the Subdivision Regulations for Lot 4 (collectively, the "**Subdivision Variations**"); and

WHEREAS, on February 8, 2022, the Planning and Zoning Board of the City of Des Plaines ("**PZB**") held a public hearing to consider approval of the Final Plat and the Subdivision Variations, and after considering the facts and reviewing the Final Plat, the PZB voted, by a vote of 7-0, to recommend approval of the Final Plat and the Subdivision Variations; and

WHEREAS, pursuant to Section 13-2-8.A and 13-2-6 of the City Code of the City of Des Plaines, the City Council has the power to approve, by resolution duly adopted, the Final Plat, with all improvements, conditions, variations, public ways and recorded easements and documents pertaining to the subdivision platted thereon, and the Subdivision Variations; and

WHEREAS, the City Council has determined it is in the best interest of the City and the public to approve the Final Plat and the Subdivision Variations;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as the findings of the City Council.

SECTION 2: APPROVAL; AUTHORIZATION; RECORDATION OF FINAL PLAT.

A. Approval of Final Plat. The City Council hereby approves the Final Plat of Subdivision for the Subject Property, titled "Final Plat of Subdivision," prepared by United Survey Service LLC, consisting of two sheets, and with a final revision date of January 17, 2022, a copy of which is attached to and made a part of this Resolution as *Exhibit B*.

B. Authorization. The Mayor and City Clerk are, subject to the satisfaction of the Conditions forth in Section 4 below, hereby authorized and directed to execute and seal, on behalf of the City, the Final Plat, following execution by the Petitioner and any other party with an interest in the Subject Property and subject to certification by the Office of the Cook County Clerk that there are no property tax delinquencies, as well as all other certifications as necessary.

C. Recordation. The City Manager is hereby authorized and directed to record the Final Plat with the Office of the Cook County Recorder upon satisfactory completion of all administrative details relating thereto.

SECTION 3: APPROVAL OF SUBDIVISION VARIATIONS. In accordance with Section 13-2-6 of the Subdivision Regulations, and subject to the conditions set forth in Section 4 of this Ordinance, the City Council hereby approves the Subdivision Variations for the Property.

SECTION 4: CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the City Code of the City of Des Plaines, as amended, ("*City Code*") or the Subdivision Regulations or any other rights the Petitioner may have, the approvals granted in Sections 2 and 3 of this Resolution are hereby expressly subject to and contingent upon the conditions, concepts, restrictions, limitations, and provisions set forth in this Section (collectively, the "*Conditions*").

A. Compliance with Regulations. The redevelopment, use, operation, and maintenance of the Subject Property shall comply with all applicable City codes and ordinances as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Resolution.

B. Recording Fees. All fees incurred by the City associated with the recordation of the Final Plat in accordance with Section 2 of this Resolution must be reimbursed by the Petitioner.

C. Fees and Security Guaranteeing Completion of Public Improvements. The Petitioner shall pay/submit all applicable review and inspection fees and the required security guaranteeing completion of public improvements prior to the recording of Final Plat and this Resolution.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2022.

APPROVED this ____ day of _____, 2022.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

EXHIBIT A

LEGAL DESCRIPTIONS

1828 FOSTER PARCEL/LOT 1

THAT PART OF LOTS 1, 2, 3, 4, 5 AND 7 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142; TOGETHER WITH THAT PART OF THE VACATED WEST RAILROAD AVENUE AND THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL TAKEN AS A TRACT AND BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1, THENCE NORTH 87 DEGREES 36 MINUTES 02 SECONDS EAST, A DISTANCE OF 333.71 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 168.34 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 13 SECONDS WEST, A DISTANCE OF 376.62 FEET THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 150.19 FEET; TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PINS: 09-33-300-001-0000; 09-33-300-002-0000; 09-33-300-003-0000 (PARTS OF); 09-33-300-006-0000; 09-33-300-007-0000 (PART OF); 09-33-300-008-0000 (PART OF); 09-33-301-014-0000 (PART OF).

GW MANNHEIM PARCEL/LOT 2

THAT PART OF LOTS 4, 5, 6, 7, 8 AND 9 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142; ALSO THAT PART OF THE VACATED WEST RAILROAD AVENUE TOGETHER WITH PART OF VACATED ALGER STREET AND TOGETHER WITH PART OF A NORTHWESTERLY/SOUTHEASTERLY ALLEY IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN

AND LOT 1 AND THAT PART OF LOTS 2 TO 6, INCLUSIVE IN BLOCK 2 IN BOESCH'S ADDITION TO ORCHARD PLACE IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; ALSO THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL TAKEN AS A TRACT AND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1, THENCE SOUTH 00 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 150.19 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 45 MINUTES 13 SECONDS EAST, A DISTANCE OF 376.62 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 314.33 FEET; THENCE SOUTH 86 DEGREES 37 MINUTES 21 SECONDS WEST, A DISTANCE OF 113.40 FEET; THENCE NORTH 70 DEGREES 32 MINUTES 42 SECONDS WEST, A DISTANCE OF 72.83 FEET; THENCE NORTH 60 DEGREES 07 MINUTES 14 SECONDS WEST, A DISTANCE OF 176.70 FEET; THENCE NORTH 47 DEGREES 51 MINUTES 56 SECONDS WEST, A DISTANCE OF 29.56 FEET; THENCE NORTH 59 DEGREES 46 MINUTES 14 SECONDS WEST, A DISTANCE OF 49.84 FEET; THENCE NORTH 0 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 96.61 FEET; THENCE SOUTH 87 DEGREES 36 MINUTES 01 SECONDS WEST, A DISTANCE OF 58.65 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 57.60 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PINS: 09-33-300-003-0000 (PART OF); 09-33-300-004-0000 (PART OF); 09-33-300-005-0000 (PART OF); 09-33-300-007-0000 (PART OF); 09-33-300-008-0000 (PART OF); 09-33-300-009-0000; 09-33-301-008-0000; 09-33-301-009-0000; 09-33-301-014-0000 (PART OF); 09-33-301-015-0000 (PART OF)

IMAGE DES PLAINES PARCEL 1/LOT 3

THAT PART OF LOTS 6 AND 9 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142 TOGETHER WITH PART OF VACATED ALGER STREET TAKEN AS A TRACT AND BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 9, THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 60.00 FEET; THENCE NORTH 87 DEGREES 36 MINUTES 01 SECONDS WEST, A DISTANCE OF 58.65 FEET, THENCE SOUTH 0 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 96.61 FEET; THENCE NORTH 59 DEGREES 46 MINUTES 14 SECONDS WEST, A DISTANCE OF

68.00 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PINS: 09-33-300-004-0000 (PART OF); 09-33-300-005-0000 (PART OF)

IMAGE DES PLAINES PARCEL 2/LOT 4

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WESTERLY LINE OF THE RIGHT OF WAY OF THE MINNEAPOLIS, ST. PAUL AND SAULT MARIE RAILROAD, NOW THE WISCONSIN CENTRAL LTD. RAILROAD COMPANY, SAID WESTERLY RIGHT OF WAY LINE ALSO BEING THE EASTERLY LINE OF A STREET KNOWN AS ORCHARD PLACE AND THE SOUTH LINE OF PRATT AVENUE, SAID SOUTH LINE BEING 33.0 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 33; THENCE SOUTHERLY ALONG THE WESTERLY RIGHT OF WAY OF SAID RAILROAD COMPANY, A DISTANCE OF 484.66 FEET TO THE POINT OF BEGINNING; THENCE NORTH 86 DEGREES 37 MINUTES 21 SECONDS EAST, A DISTANCE OF 113.40 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 142.10 FEET; THENCE SOUTH 74 DEGREES 54 MINUTES 17 SECONDS WEST, A DISTANCE OF 32.52 FEET; THENCE NORTH 58 DEGREES 35 MINUTES 40 SECONDS WEST, A DISTANCE OF 114.07 FEET; THENCE NORTH 15 DEGREES 05 MINUTES 45 SECONDS WEST, A DISTANCE OF 82.39 FEET; TO THE POINT OF BEGINNING, IN COOK COUNTY ILLINOIS.

PIN: 09-33-301-015-0000 (PART OF)



FINAL PLAT OF GW SUBDIVISION

OF THAT PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

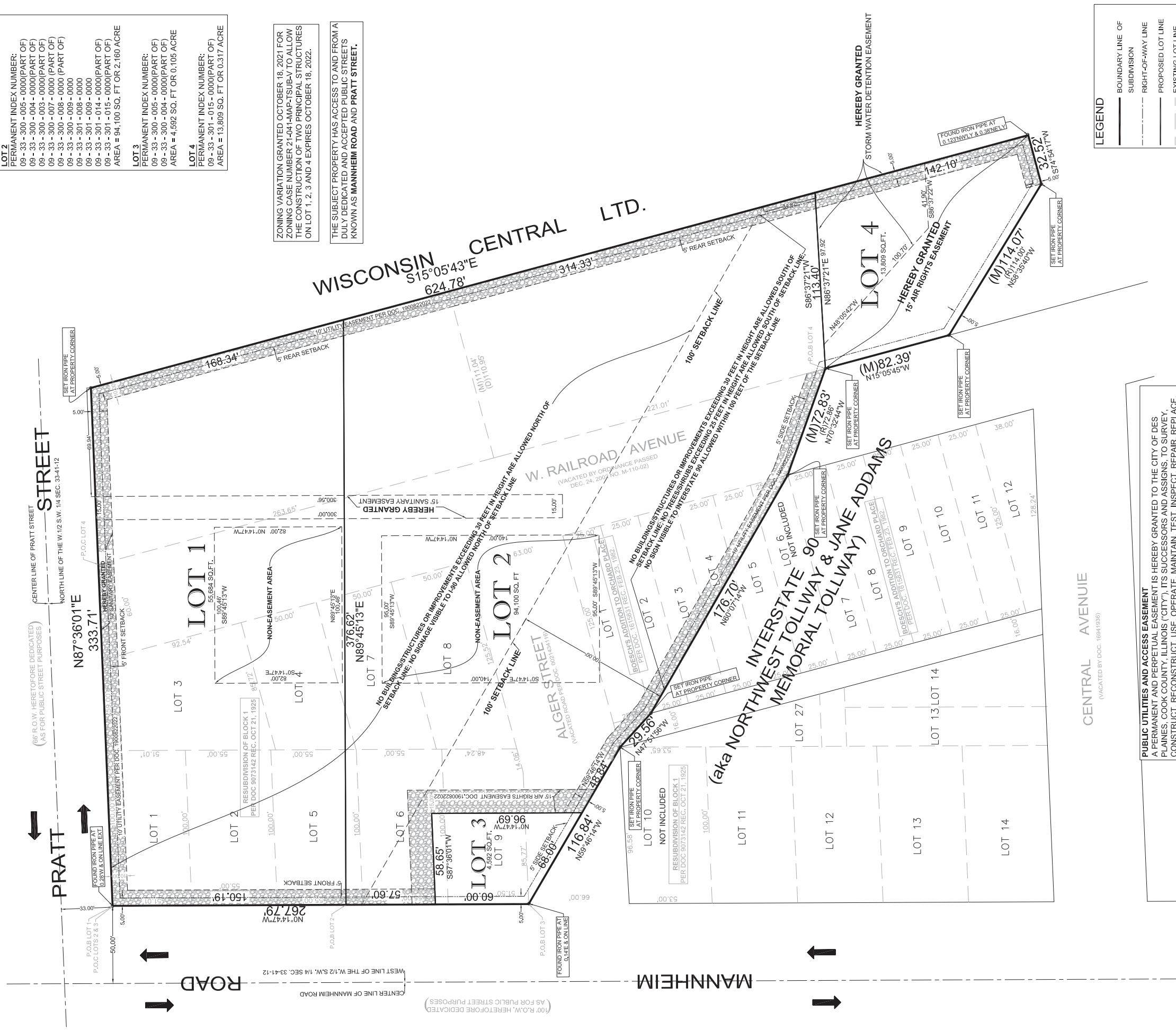
KNOWN AS: 2805-2845 MANNHEIM ROAD, DES PLAINES, ILLINOIS 60018

- 09-33-300-001-0000
- 09-33-300-002-0000
- 09-33-300-003-0000
- 09-33-300-004-0000
- 09-33-300-005-0000
- 09-33-300-006-0000
- 09-33-300-007-0000
- 09-33-300-008-0000
- 09-33-300-009-0000
- 09-33-300-010-0000
- 09-33-300-011-0000
- 09-33-300-012-0000
- 09-33-300-013-0000
- 09-33-300-014-0000
- 09-33-300-015-0000

- LOT 1**
PERMANENT INDEX NUMBER:
09-33-300-001-0000
09-33-300-002-0000
09-33-300-003-0000(PART OF)
09-33-300-003-0000(PART OF)
09-33-300-006-0000
09-33-300-007-0000 (PART OF)
09-33-300-008-0000 (PART OF)
09-33-301-014-0000(PART OF)
09-33-301-014-0000(PART OF)
AREA = 55,684 SQ. FT OR 1.278 ACRE
- LOT 2**
PERMANENT INDEX NUMBER:
09-33-300-005-0000(PART OF)
09-33-300-004-0000(PART OF)
09-33-300-003-0000(PART OF)
09-33-300-007-0000 (PART OF)
09-33-300-008-0000 (PART OF)
09-33-300-009-0000
09-33-301-008-0000
09-33-301-009-0000
09-33-301-014-0000(PART OF)
09-33-301-015-0000(PART OF)
AREA = 94,100 SQ. FT OR 2.160 ACRE
- LOT 3**
PERMANENT INDEX NUMBER:
09-33-300-005-0000(PART OF)
09-33-300-004-0000(PART OF)
AREA = 4,592 SQ. FT OR 0.105 ACRE
- LOT 4**
PERMANENT INDEX NUMBER:
09-33-301-015-0000(PART OF)
AREA = 13,809 SQ. FT OR 0.317 ACRE

ZONING VARIATION GRANTED OCTOBER 18, 2021 FOR ZONING CASE NUMBER 21-041-MAP-TSUB-V TO ALLOW THE CONSTRUCTION OF TWO PRINCIPAL STRUCTURES ON LOT 1, 2, 3, AND 4 EXPIRES OCTOBER 18, 2022.

THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREETS KNOWN AS MANNHEIM ROAD AND PRATT STREET.



LEGEND

- BOUNDARY LINE OF SUBDIVISION
- RIGHT-OF-WAY LINE
- PROPOSED LOT LINE
- EXISTING LOT LINE
- LOT - PROPOSED LOT NUMBER
- LOT - EXISTING LOT NUMBER
- TRAFFIC FLOW DIRECTIONAL'S
- UTILITIES & SIGN EASEMENT AGREEMENT PER DOC. 1900822202 RECORDED JANUARY 06, 2019
- (R) RECORD DATA
- (M) MEASURED DATA
- (D) DEED DATA

PUBLIC UTILITIES AND ACCESS EASEMENT
A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THERETO, IN, UPON, UNDER, ALONG AND ACROSS LOTS 1, 2, 3 AND 4 EXCEPT WHERE BUILDING STRUCTURES WILL LIE IN "NON-EASEMENT AREAS" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR PUBLIC UTILITIES" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

PROJECT No.:	2021-29227-3	PLAT PREPARED BY:	UNITED SURVEY SERVICE, LLC
ISSUE DATE:	12/22/21	CONSTRUCTION AND LAND SURVEYORS	7710 CENTRAL AVENUE, RIVER FOREST, IL 60305
SCALE:	1"=30'	TEL.:	(847) 299-1010 FAX: (847) 299-5887
SHEET NUMBER	1 OF 2	E-MAIL:	USURVEY@USANDCS.COM
NO.	1	REVISIONS	REVISED
NO.	2	NO.	3
NO.	3	NO.	4
NO.	4	NO.	5
NO.	5	NO.	6
NO.	6	DATE	01/17/2022

SEND TAX BILL TO :
-LOT 1: GW MANNHEIM PRATT, LLC
2211 N. ELSTON AVE. SUITE 400, CHICAGO, IL 60614
-LOT 2: 1828 WEST FOSTER, LLC
2211 N. ELSTON AVE. SUITE 400, CHICAGO, IL 60614
- LOTS 3 AND 4: IMAGE DES PLAINES, LLC -
5101 DARMSTADT ROAD, HILLSIDE, IL 60162

OWNER'S CERTIFICATE AS FOR LOT 1:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

GW MANNHEIM PRATT, LLC, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON.

BY: _____ OWNER'S SIGNATURE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

AFORESAID DO HEREBY CERTIFY THAT _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNER OF THE PROPERTY DESCRIBED HEREON, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED THE SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

BY: _____ NOTARY PUBLIC

COMMISSION EXPIRES _____

MAYOR CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, THIS _____ DAY _____ A.D. 20____.

BY: _____ MAYOR

ATTEST: _____ CITY CLERK

PLANNING AND ZONING BOARD:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

APPROVED AND ACCEPTED BY THE PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY _____ A.D. 20____.

BY: _____ CHAIRMAN OF THE PLAN COMMISSION

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

OWNER _____ REGISTERED PROFESSIONAL ENGINEER

NAME: _____ MICH GOLTZ

DATE: _____

DATE: _____ (SEAL)

PROPERTY ENGINEER'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

I, _____, REGISTERED ILLINOIS PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LANDOWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____ A.D. 201____.

REGISTERED ILLINOIS PROFESSIONAL ENGINEER _____ (SEAL)

No. _____

FINAL PLAT OF GW SUBDIVISION

OF THAT PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

KNOWN AS: **2805-2845 MANNHEIM ROAD, DES PLAINES, ILLINOIS 60018**

- 09 - 33 - 300 - 001 - 0000
- 09 - 33 - 300 - 002 - 0000
- 09 - 33 - 300 - 003 - 0000
- 09 - 33 - 300 - 004 - 0000
- 09 - 33 - 300 - 005 - 0000
- 09 - 33 - 300 - 006 - 0000

OWNER'S CERTIFICATE AS FOR LOT 2:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

1828 WEST FOSTER, LLC, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON.

BY: _____ OWNER'S SIGNATURE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

AFORESAID DO HEREBY CERTIFY THAT _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNER OF THE PROPERTY DESCRIBED HEREON, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED THE SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

BY: _____ NOTARY PUBLIC

COMMISSION EXPIRES _____

DIRECTOR OF FINANCE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.

DATED THIS _____ DAY OF _____ A.D. 20____.

BY: _____ DIRECTOR OF FINANCE

DIRECTOR OF PUBLIC WORKS & ENGINEERING:

APPROVED BY THE DIRECTOR OF PUBLIC WORKS & ENGINEERING OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ON THIS _____ DAY _____ A.D. 20____.

BY: _____ DIRECTOR OF PUBLIC WORKS & ENGINEERING

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS, PAVEMENT OF 82 OF 'AN ACT TO REVISE THE LAW IN RELATION TO PLATS,' AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENTS' POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS,' WILL BE REQUIRED BY THE DEPARTMENT.

BY: _____ JOSE RIOS, PE
REGION ONE ENGINEER

RESTRICTIVE COVENANTS AND EASEMENT FOR STORM WATER DETENTION AREA (NO HOA)

1. THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORM WATER DETENTION AREA" SHALL BE CONTINUOUSLY MAINTAINED IN A FIRST RATE MANNER BY OWNERS OF LOTS 1, 2, 3 AND 4 (THE "DETENTION AREA LOTS") AND AN EASEMENT ON, UNDER AND ABOVE THE STORM WATER DETENTION AREA IS HEREBY GRANTED TO, AND FOR THE USE AND WATER DETENTION AND DRAINAGE.
2. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN THE STORM WATER DETENTION AREA, NOR SHALL ANY CONSTRUCTION OF ANY KIND WHATSOEVER BE ERRECTED OR PERMITTED TO EXIST WITHIN THE STORM WATER DETENTION AREA THAT MIGHT MATERIALLY IMPEDE STORM WATER DRAINAGE THEREIN OR MATERIALLY REDUCE THE STORM WATER DETENTION CAPACITY THEREOF. TREES, SHRUBS, FENCES AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN THE STORM WATER DETENTION AREA ONLY WITHIN THE STORM WATER DETENTION AREA. THE LOCATION OF ANY CONSTRUCTION SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF HIS LOT LOCATED WITHIN THE STORM WATER DETENTION AREA AND SHALL KEEP SUCH GRASS IN A NEAT AND TRIMMED CONDITION.
3. IN THE EVENT THE CITY DETERMINES, IN ITS SOLE AND ABSOLUTE DISCRETION, THAT PRIOR MAINTENANCE OF THE STORM WATER DETENTION AREA IS NOT PERFORMED AT ANY TIME, THE CITY, AFTER TEN (10) DAYS PRIOR WRITTEN NOTICE TO THE OWNERS OF THE DETENTION AREA LOTS, MAY, BUT SHALL NOT BE OBLIGATED TO, ENTER UPON ANY OR ALL OR ANY PART OF THE STORM WATER DETENTION AREA FOR THE PURPOSE OF PERFORMING MAINTENANCE WORK ON AND TO THE STORM WATER DETENTION AREA.
4. IN THE EVENT THAT THE CITY SHALL CAUSE TO BE PERFORMED ANY WORK PURSUANT TO THESE PARAGRAPHS, THE CITY SHALL HAVE THE RIGHT TO CHARGE THE OWNERS OF THE DETENTION AREA LOTS AN AMOUNT SUFFICIENT TO DEFRAY THE ENTIRE COST OF SUCH WORK OR ACTION, INCLUDING ADMINISTRATIVE COSTS, EITHER BEFORE OR AFTER SUCH COST IS INCURRED, IF THE AMOUNT SO CHARGED IS NOT PAID BY THE OWNERS OF THE DETENTION AREA LOTS WITHIN THIRTY (30) DAYS FOLLOWING A DEMAND IN WRITING BY THE CITY. SUCH CHARGES SHALL BECOME LIEN UPON THE DETENTION AREA LOTS AND THE CITY SHALL HAVE THE RIGHT TO COLLECT SUCH CHARGE, WITH INTEREST AND COSTS, AND TO ENFORCE SUCH LIEN AS IN FORECLOSURE PROCEEDINGS AS PERMITTED BY LAW.
5. NOTHING IN THESE PARAGRAPHS SHALL BE CONSTRUED TO CONSTITUTE A DEDICATION OF ANY PORTION OF THE STORM WATER DETENTION AREA OR OF THE DETENTION AREA LOTS TO, OR AN ACCEPTANCE THEREOF BY, THE CITY.
6. THE CITY SHALL BE UNDER NO OBLIGATION TO EXERCISE THE RIGHTS GRANTED IN THESE PARAGRAPHS EXCEPT AS IT SHALL DETERMINE TO BE IN ITS BEST INTEREST. NO FAILURE TO EXERCISE SUCH RIGHTS SHALL BE CONSTRUED TO BE A WAIVER OF THAT OR ANY OTHER RIGHTS.
7. THESE COVENANTS SHALL RUN WITH THE LAND IN THE SUBDIVISION SHOWN ON THIS PLAT, AND SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE OWNERS OF ALL LOTS OF RECORD THEREIN, THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND GRANTEES AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM. ENFORCEMENT OF THESE COVENANTS MAY BE SOUGHT BY THE OWNERS OF ANY LOTS OF RECORD IN THIS SUBDIVISION, ANY PERSON WITH AN INTEREST IN ANY OF SAID LOTS OF RECORD, OR THE CITY OF CHICAGO, IN A COURT OF LAW AND EQUITY. THESE COVENANTS SHALL NOT BE VIOLATED, AND ALL PARTIES SHALL BE OBLIGATED TO ENFORCE THEM, EITHER TO RESTRAIN PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT, EITHER TO RESTRAIN VIOLATION, TO COMPEL AFFIRMATIVE ACTION, OR TO RECOVER DAMAGES, AND AGAINST THE LAND TO ENFORCE ANY LIEN CREATED BY THESE COVENANTS.

DATED THIS _____ DAY OF _____ A.D. 201____.

REGISTERED ILLINOIS PROFESSIONAL ENGINEER _____ (SEAL)

No. _____

RETURN PLAT TO:
CITY OF DES PLAINES
DEPARTMENT OF COMMUNITY
DEVELOPMENT
1420 MINER STREET, ROOM 301
DES PLAINES, ILLINOIS 60018

OWNER'S CERTIFICATE AS FOR LOT 3 AND 4:

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

IMAGE DES PLAINES, LLC, HEREBY CERTIFIES THAT IT IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION; ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE; AND ESTABLISH ANY OTHER EASEMENTS SHOWN THEREON.

BY: _____ OWNER'S SIGNATURE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

AFORESAID DO HEREBY CERTIFY THAT _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNER OF THE PROPERTY DESCRIBED HEREON, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED THE SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

BY: _____ NOTARY PUBLIC

COMMISSION EXPIRES _____

LEGAL DESCRIPTION

LOT 1
THAT PART OF LOTS 1, 2, 3, 4, 5 AND 7 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142; TOGETHER WITH THAT PART OF THE VACATED WEST RAILROAD AVENUE AND THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, BEGINNING AT THE NORTHWEST CORNER OF LOT 1, THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 333.71 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 168.34 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 13 SECONDS WEST, A DISTANCE OF 376.82 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 150.19 FEET; TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

LOT 2

THAT PART OF LOTS 4, 5, 6, 7, 8 AND 9 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142;

ALSO THAT PART OF THE VACATED WEST RAILROAD AVENUE TOGETHER WITH PART OF VACATED ALGER STREET AND TOGETHER WITH PART OF A NORTHWESTERLY/SOUTHEASTERLY ALLEY IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN AND LOT 1 AND THAT PART OF LOTS 2 TO 6, INCLUSIVE IN BLOCK 2 IN BOESCH'S ADDITION TO ORCHARD PLACE IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ALL TAKEN AS A TRACT AND BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF LOT 1, THENCE SOUTH 00 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 150.19 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 45 MINUTES 13 SECONDS EAST, A DISTANCE OF 376.82 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 314.33 FEET; THENCE SOUTH 86 DEGREES 37 MINUTES 21 SECONDS WEST, A DISTANCE OF 113.40 FEET; THENCE NORTH 70 DEGREES 32 MINUTES 42 SECONDS WEST, A DISTANCE OF 72.83 FEET; THENCE NORTH 60 DEGREES 07 MINUTES 56 SECONDS WEST, A DISTANCE OF 176.70 FEET; THENCE NORTH 47 DEGREES 56 MINUTES 14 SECONDS WEST, A DISTANCE OF 29.56 FEET; THENCE NORTH 59 DEGREES 46 MINUTES 14 SECONDS WEST, A DISTANCE OF 49.84 FEET; THENCE NORTH 0 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 96.61 FEET; THENCE SOUTH 87 DEGREES 36 MINUTES 01 SECONDS WEST, A DISTANCE OF 58.65 FEET; THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 57.60 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

LOT 3

THAT PART OF LOTS 6 AND 9 IN RESUBDIVISION OF BLOCK 1 AND VACATED ALLEYS AND LOTS 15 TO 26, BOTH INCLUSIVE AND VACATED ALLEYS IN BLOCK 2 OF BOESCH'S ADDITION TO ORCHARD PLACE, A SUBDIVISION OF THE NORTH 703.6 FEET OF THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE RIGHT OF WAY AND GROUNDS OF THE WISCONSIN CENTRAL RAILROAD, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 21, 1925 AS DOCUMENT NUMBER 9073142 TOGETHER WITH PART OF VACATED ALGER STREET TAKEN AS A TRACT AND BEING DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 9, THENCE NORTH 00 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 90.00 FEET; THENCE NORTH 87 DEGREES 36 MINUTES 01 SECONDS WEST, A DISTANCE OF 96.61 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 47 SECONDS EAST, A DISTANCE OF 96.61 FEET; THENCE NORTH 59 DEGREES 46 MINUTES 14 SECONDS WEST, A DISTANCE OF 96.61 FEET; THENCE NORTH 0 DEGREES 14 MINUTES 47 SECONDS WEST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

LOT 4

THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WESTERLY LINE OF THE RIGHT OF WAY OF THE MINNEAPOLIS ST. WEST AND THE NORTH LINE OF THE WESTERLY LINE OF THE RIGHT OF WAY OF THE CHICAGO AND NORTHWESTERN RAILROAD, BEING THE EASTERLY LINE OF A STREET KNOWN AS ORCHARD PLACE AND THE SOUTH LINE OF PRATT AVENUE, SAID SOUTH LINE BEING 33.0 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID RAILROAD COMPANY, A DISTANCE OF 484.66 FEET TO THE POINT OF BEGINNING; THENCE NORTH 86 DEGREES 37 MINUTES 21 SECONDS EAST, A DISTANCE OF 113.40 FEET; THENCE SOUTH 15 DEGREES 05 MINUTES 43 SECONDS EAST, A DISTANCE OF 142.10 FEET; THENCE SOUTH 74 DEGREES 54 MINUTES 17 SECONDS WEST, A DISTANCE OF 32.52 FEET; THENCE NORTH 58 DEGREES 35 MINUTES 40 SECONDS WEST, A DISTANCE OF 114.07 FEET; THENCE NORTH 15 DEGREES 05 MINUTES 45 SECONDS WEST, A DISTANCE OF 82.39 FEET; TO THE POINT OF BEGINNING, IN COOK COUNTY ILLINOIS. AFOREDESCRIBED LOTS CONTAINING 168,185 SQUARE FEET OR 3.860 ACRES MORE OR LESS.

SURVEYOR CERTIFICATE

I ROY G. LAWNICZAK, HEREBY CERTIFY THAT I HAVE PREPARED THE PLAT SHOWN HEREON AND THAT IT ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF DES PLAINES CITY CODE, THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN; THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 17031C0219J OF AUGUST 19, 2008, COMMUNITY PANEL NO. 170156 0219 J.

DATED THIS 17th DAY OF JANUARY, A.D. 2022.

BY: _____ ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2280

LICENSE EXPIRES: NOVEMBER 30, 2022
PROFESSIONAL DESIGN FIRM LICENSE NO.: 164-004576
LICENSE EXPIRES: APRIL 30, 2023

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

AFORESAID DO HEREBY CERTIFY THAT _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNER OF THE PROPERTY DESCRIBED HEREON, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED THE SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

BY: _____ NOTARY PUBLIC

COMMISSION EXPIRES _____

PROJECT No.: 2021-29227-3	PLAT PREPARED FOR: MITCH GOLTZ	NO.	REVISIONS	DATE
ISSUE DATE: 12/22/21	2211 N. ELSTON AVENUE, SUITE 400, CHICAGO, IL 60614	1	REVISED	01/17/2022
SCALE: 1"=30'		2		
SHEET NUMBER 2 OF 2		3		
		4		
		5		
		6		

PLAT PREPARED BY:

UNITED SURVEY SERVICE, LLC

CONSTRUCTION AND LAND SURVEYORS
7710 CENTRAL AVENUE, RIVER FOREST, IL 60305
TEL.: (847) 299 - 1010 FAX : (847) 299 - 5887
E-MAIL: USURVEY@USANDCS.COM