



CITY COUNCIL AGENDA

Tuesday, September 7, 2021

Regular Session – 7:00 p.m.

Room 102

CALL TO ORDER

REGULAR SESSION

ROLL CALL

PRAYER

PLEDGE OF ALLEGIANCE

PROCLAMATION

NATIONAL SUICIDE PREVENTION AWARENESS MONTH

NATIONAL HISPANIC HERITAGE MONTH

PUBLIC COMMENT

(matters not on the agenda)

ALDERMEN ANNOUNCEMENTS/COMMENTS

MAYORAL ANNOUNCEMENTS/COMMENTS

Motion to Extend Declaration of Civil Emergency

CITY CLERK ANNOUNCEMENTS/COMMENTS

MANAGER'S REPORT

CITY ATTORNEY/GENERAL COUNSEL REPORT

CONSENT AGENDA

1. Approval of New Ownership for Existing Class M Liquor License – Gas Station Retail Sales Beer/Wine Only (off-site consumption) for Midwest Convenience, Inc. d/b/a Rebel #876, 1199 Elmhurst Road
2. **RESOLUTION R-136-21:** Approving Task Order #14 with M.E. Simpson Company, Inc., Valparaiso, Indiana in the Total Amount of \$70,240.00. Budgeted Funds – Water/Professional Services.
3. **RESOLUTION R-137-21:** Approving a One-Year Renewal Term for Contractual Sidewalk Snow Removal with DGO Premium Services Company, Des Plaines, Illinois. Budgeted Funds – Street Maintenance/Miscellaneous Contractual Services in the 2021 Amount of \$75,000 and Forecasted 2022 Budget Amount of \$75,000.
4. **RESOLUTION R-138-21:** Approving Task Order #2 for Snow Plowing Services with G&L Contractors, Inc., Skokie, Illinois. Budgeted Funds – Street Maintenance/Miscellaneous Contractual Services in the 2021 Amount of \$13,455 and Forecasted 2022 Budget Amount of \$100,000
5. **RESOLUTION R-139-21:** Approving an Amendment to the Intergovernmental Agreement Establishing a Joint Emergency Telephone System Board (JETSBS) Between Wheeling and Des Plaines to Appoint Additional Members to the JETSBS to Meet the “Public Member” Requirement of the Act
6. **RESOLUTION R-140-21:** Approving Change Order No. 1 to Task Order No. 1 Under a Master Contract with H.R. Green, Inc. for Plan Review and Building Inspection Services
7. **RESOLUTION R-141-21:** Approving an Agreement with the Illinois Department of Transportation (IDOT) for Safety Improvements at US Route 14 and Mount Prospect Road in the Amount of \$135,758. Budgeted Funds – Capital Projects Fund.
8. **RESOLUTION R-142-21:** Granting an Extension of the Approval for the Preliminary Planned Unit Development (PUD) and Time Period for Submitting Final Plat of PUD for 414 East Golf Road
9. Minutes/Regular Meeting – August 16, 2021
10. Minutes/Closed Session – August 16, 2021

UNFINISHED BUSINESS

n/a

NEW BUSINESS

1. **FINANCE & ADMINISTRATION** – Alderman Artur Zadrozny, Chair
 - a. Warrant Register in the Amount of \$5,389,076.01 – **RESOLUTION R-143-21**

2. **COMMUNITY DEVELOPMENT** – Alderman Malcolm Chester, Chair
 - a. Consideration of a Conditional Use for a Trade Contractor Use at 1773 East Oakton Street – **ORDINANCE Z-43-21**
 - b. Consideration of Amendments to Title 15 of the City Code to Clarify and Expand the O’Hare Privilege Tax Area (Tax on Hotel/Motel Rooms) and the O’Hare Privilege Area Parking Tax – **ORDINANCE M-11-21**
 - c. Consideration of a Major Amendment to Existing Final Planned Unit Development (PUD), Final Plat of Subdivision and Major Variations for 1700 West Higgins Road and Consideration of a Plat of Vacation for an Unimproved Portion of Webster Avenue Public Right-of-Way – **ORDINANCE Z-44-21 AND Z-45-21**
 - d. **Request for Continuance to 10/4/2021 City Council Meeting:** Consideration of a Preliminary Planned Unit Development (PUD), Tentative Plat of Subdivision, Conditional Use for a PUD, and Map Amendment for a Proposed 125-Unit Attached Single-Family (Townhouse) Development in the Current C-3 Zoning District (Proposed R-3 District) at 1050 East Oakton Street, 1000-1100 Executive Way, and 1555 Times Drive – **ORDINANCE Z-40-21** (*deferred from 7/19/2021 and 8/16/2021 City Council Agendas*)

OTHER MAYOR/ALDERMEN COMMENTS FOR THE GOOD OF THE ORDER

ADJOURNMENT

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the ADA Coordinator at 391-5486 to allow the City to make reasonable accommodations for these persons.



OFFICE OF THE MAYOR

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5301
desplaines.org

MEMORANDUM

Date: August 20, 2021
To: Aldermen
Cc: Michael G. Bartholomew, City Manager
From: Andrew Goczkowski, Mayor *AG*
Subject: Proclamation

At the beginning of the September 7, 2021 City Council Meeting, we will be issuing a Proclamation declaring September, 2021 as National Suicide Prevention Awareness Month.

OFFICE OF THE MAYOR

CITY OF

DES PLAINES, ILLINOIS

WHEREAS, *September is known around the United States as National Suicide Prevention Awareness Month and is intended to help promote awareness surrounding each of the Suicide Prevention resources available to us and our community; and*

WHEREAS, *suicidal thoughts can affect anyone regardless of age, gender, race, orientation, income level, religion or background; and*

WHEREAS, *suicide is the second leading cause of death among people aged 10-34 and the tenth leading cause of death overall in the United States; and*

WHEREAS, *local organizations like Suicide Prevention Services (SPS) and national organizations like the National Alliance on Mental Illness (NAMI) are on the front lines of a battle that many still refuse to discuss in public, as suicide and mental illness remain too taboo a topic to speak on; and*

WHEREAS, *Des Plaines encourages its' residents to recognize the warning signs and to be supportive and strong for those who may be going through a difficult time.*

Now, therefore, I, ANDREW GOCZKOWSKI, MAYOR OF THE CITY OF DES PLAINES, do hereby proclaim September, 2021 as

NATIONAL SUICIDE PREVENTION AWARENESS MONTH

in the City of Des Plaines.

Dated this 7th day of September, 2021

Andrew Goczowski, Mayor



OFFICE OF THE MAYOR

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5301
desplaines.org

MEMORANDUM

Date: August 20, 2021
To: Aldermen
Cc: Michael G. Bartholomew, City Manager
From: Andrew Goczkowski, Mayor AG.
Subject: Proclamation

At the beginning of the September 7, 2021 City Council Meeting, we will be issuing a Proclamation declaring September 15, 2021 to October 15, 2021 as National Hispanic American Heritage Month.

OFFICE OF THE MAYOR

CITY OF

DES PLAINES, ILLINOIS

WHEREAS, *The City of Des Plaines embraces and honors our community's ethnic and cultural diversity; and*

WHEREAS, *Nearly 20% of Des Plaines residents are of Hispanic or Latino descent, according to the United States Census*

WHEREAS, *today, the City recognizes and celebrates the history, culture and contributions of both Hispanic and Latino Americans in observance of National Hispanic Heritage Month; and*

WHEREAS, *September 15 to October 15 is a special time to pay tribute to the generations of Hispanic Americans who have positively influenced and enriched our nation and our community; and*

WHEREAS, *the day of September 15th is significant because it is the anniversary of independence for five Latin American countries: Costa Rica, El Salvador, Guatemala, Honduras and Nicaragua; and*

WHEREAS, *Mexico and Chile celebrate their independence days on September 16th and September 18th respectively; and*

WHEREAS, *National Hispanic Heritage Month was enacted into law on August 17, 1988.*

Now, therefore, I, ANDREW GOCZKOWSKI, MAYOR OF THE CITY OF DES PLAINES do hereby proclaim September 15, 2021 to October 15, 2021 as

NATIONAL HISPANIC AMERICAN HERITAGE MONTH

in the City of Des Plaines and encourage all residents to observe and celebrate our Hispanic American culture.

Dated this 7th day of September, 2021

Andrew Goczowski, Mayor



OFFICE OF THE MAYOR

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5301
desplaines.org

MEMORANDUM

Date: August 12, 2021
To: Honorable Aldermen
From: Andrew Goczkowski, Local Liquor Commissioner
Cc: Vickie Baumann, Permit Technician, Registration & License Division
Subject: Liquor License Request for a New Ownership for an Existing Liquor License

Attached please find a Liquor License request for the following applicant:

Midwest Convenience Inc dba Rebel #876
1199 Elmhurst Road
Class M – Gas Station Retail Sales/Beer & Wine Only (for off-site consumption only)
No New Increase

The complete application packet is on file in the Community and Economic Development Department. The required posting will be completed August 26, 2021 and all necessary fees have been secured.

This request will come before you on the Consent Agenda of the City Council meeting of Tuesday September 7, 2021.

A handwritten signature in blue ink, appearing to read 'Andrew Goczkowski'.

Andrew Goczkowski
Mayor
Local Liquor Commissioner



LOCAL LIQUOR COMMISSIONER

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5301
W: desplaines.org

APPLICATION FOR A LIQUOR LICENSE

BUSINESS INFORMATION

Name: Midwest Convenience, Inc. d/b/a Rebel #876
Address: 1199 Elmhurst Road, Des Plaines, IL Zip: 60016
Mailing Address: 1450 N. Benson Ave., Unit A Dept:
City: Upland St: CA Zip: 91786
Email: sireifej@carenterprises.net Phone#: 847-437-0161
Day/Hours of Operations: Monday: 5 AM- 11 PM Tuesday: 5 AM- 11 PM Wednesday: 5 AM- 11 PM
Thursday: 5 AM- 11 PM Friday: 5 AM- 11 PM Saturday: 24 hours Sunday: 24 hours

CLASSIFICATION

- A TAVERN- seats 250 or less
A1 TAVERN - seats 251 - 500
A2 TAVERN - seats 501 +
AB TAVERN & BULK SALES - seats 250 or less
AB-1 TAVERN & BULK SALES - seats 251 - 500
B BULK SALES - retail only
B-1 BULK SALES -alcohol not primary retail
C CLUB
E RESTAURANT DINING ROOM - over 50
F RESTAURANT - beer only
G BANQUET HALL
H-1 RESTAURANT - beer & wine only
H-2 BULK SALES - beer & wine only
I RELIGIOUS SOCIETY
J SPECIAL 4:00AM - must have class A
K GOVERNMENTAL FACILITY
L WINE ONLY
M GAS STATION - retail only
N CASINO
P COFFEE SHOP

OWNERSHIP INFORMATION (list President, Vice-President, Secretary and all Officers owning 5% or more of stock)

Title: President % of Stock: 0
Name: Sammer Anabi
Title: Secretary % of Stock: 0
Name: Rawa Anabi

Has either the President, Vice-President, Secretary or any officer ever plead guilty, been found guilty, received supervision, plead nolo contendere (no contest) to any felony under Federal, State, County or Municipal law, statute or ordinance? [X] NO [] YES - Attach documentation identifying the charge, finding, court branch and docket #

ADDITIONAL INFORMATION

Does the applicant own the property or premises of the business? NO YES
If NO, please provide name/address of the property owner and expiration date of the executed lease:

Anabi Real Estate Development, LLC, 1450 N. Benson Avenue, Unit A, Upland CA 91786

Is any elected City Official, County Commission or County Board member affiliated directly or indirectly with the applicant/business? NO YES

If YES, please provide name, position and a detailed description to the particulars:

Has any officer, owner or stockholder of the of the corporation or business obtained a liquor license for another location? NO YES

If YES, please provide name, location and disposition/status of each:

Has any officer, owner or stockholder of the of the corporation or business had a liquor license revoked for another location? NO YES

If YES, please provide name, location and reason for revocation of each:

AFFIDAVIT

The undersigned swears and affirms that I have read and understand the Liquor code of the City of Des Plaines and that the corporation and/or business name on this application and its employees will not violate any of the municipal codes, IL State Statutes or governmental laws, in conduct of the place of business described herein. The statements contained in the application are true and correct to the best of my knowledge.

RA INITIALS

Either an owner, manager or bartender with alcohol awareness training, whom has been fingerprinted and background checked with the Des Plaines Police Department and has been placed on file with the Local Liquor Commissioner will be on duty at all times during the sale and serving of alcohol on the premises.

RA INITIALS

I acknowledge that any changes to the information on file during the time frame of the current liquor license period must be immediately reported to the Local Liquor Commissioner. Failure to comply may result in immediate suspension of the Liquor License, additional fines up to \$10,000 for each violation, revocation of the Liquor License and/or denial to renew for a Liquor License for the next time frame period.

RA INITIALS

Rawa Anabi
Signature of Owner

Rawa Anabi
Print Name

SUBSCRIBED and SWORN to before me this
__ day of __, 20 __.

See Attached Certificate
NOTARY PUBLIC (STAMP SEAL BELOW)
of Acknowledgment

CALIFORNIA CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of San Bernardino)

On July 16, 2021 before me, Deanna Speer, Notary Public,
(here insert name and title of the officer)

personally appeared Rawa Anabi

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Deanna Speer, Notary Public

(Seal)



Optional Information

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this acknowledgment to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

The preceding Certificate of Acknowledgment is attached to a document titled/for the purpose of _____

containing _____ pages, and dated _____

The signer(s) capacity or authority is/are as:

- Individual(s)
- Attorney-in-Fact
- Corporate Officer(s) _____ Title(s) _____
- Guardian/Conservator
- Partner - Limited/General
- Trustee(s)
- Other: _____

representing: _____
Name(s) of Person(s) or Entity(ies) Signer is Representing

Additional Information

Method of Signer Identification

Proved to me on the basis of satisfactory evidence:
 form(s) of identification credible witness(es)

Notarial event is detailed in notary journal on:
 Page # _____ Entry # _____

Notary contact: _____

Other

Additional Signer(s) Signer(s) Thumbprint(s)

FORM BCA 13.15 (rev. Sept. 2020)
 APPLICATION FOR AUTHORITY TO
 TRANSACT BUSINESS IN ILLINOIS
 Business Corporation Act

FILED

JUN 07 2021

JESSE WHITE
 SECRETARY OF STATE

Secretary of State
 Department of Business Services
 501 S. Second St., Rm. 350
 Springfield, IL 62756
 217-782-1834
 www.cyberdriveillinois.com

Remit payment in the form of a cashier's check, certified check, money order or an Illinois attorney's or CPA's check payable to the Secretary of State.

SEE NOTE 1 CONCERNING PAYMENT. File # 7304-3867
 Filing Fee: \$ 150 Franchise Tax: \$ _____ Penalty/Interest: \$ _____ Total: \$ 150 Approved: Bc

-----Submit in duplicate -----Type or Print clearly in black ink-----Do not write above this line-----

1. (a) CORPORATE NAME: MIDWEST CONVENIENCE, INC.
 (Complete item 1 (b) only if the corporate name is not available in this state.)
 (b) ASSUMED CORPORATE NAME: _____
 (By electing this assumed name, the corporation hereby agrees NOT to use its corporate name in the transaction of business in Illinois. Form BCA 4.16 is attached.)

2. Date or Country of Incorporation: IN Date of Incorporation: 02/18/2021 Period of Duration: PERPETUAL

3. (a) Address of the principal office, wherever located: 1450 NORTH BENSON AVENUE
UNIT A
UPLAND, CALIFORNIA 91786
 (b) Address of principal office in Illinois: NONE
 (If none, so state)

4. Name and address of the registered agent and registered office in Illinois.
 Registered Agent: PARACORP INCORPORATED
First Name Middle Initial Last Name
 Registered Office: 901 SOUTH 2ND STREET, #201
Number Street Suite # P.O. Box or complete
SPRINGFIELD, IL 62704, SANGAMON COUNTY
City ZIP County

5. States and countries in which it is admitted or qualified to transact business: (Include state of incorporation.) INDIANA

6. Name and addresses of officers and directors: (If more than 3 directors and/or additional officers, attach list.)

Name	No. & Street	City	State	ZIP
President	SAMMER ANABI, 1450 NORTH BENSON AVENUE, UNIT A,	UPLAND,	CA	91786
Secretary	RAWA ANABI, 1450 NORTH BENSON AVENUE, UNIT A,	UPLAND,	CA	91786
Director	SAMMER ANABI, 1450 NORTH BENSON AVENUE, UNIT A,	UPLAND,	CA	91786
Director	RAWA ANABI, 1450 NORTH BENSON AVENUE, UNIT A,	UPLAND,	CA	91786
Director				

Printed by authority of the State of Illinois, September 2020 - 1 - C 175.19

7. The purpose or purposes for which it was organized which it proposes to pursue in the transaction of business in this state: (If not sufficient space to cover this point, add one or more sheets of this size.)
GASOLINE STATIONS WITH CONVENIENCE STORES

8. Authorized and issued shares:

Class	Series	Par Value	Number of Shares Authorized	Number of Shares Issued
Common		None	1,000,000	50,000

(If more, attach list)

9. Paid In Capital: \$ 50.00
 ("Paid-in Capital" replaces the terms Stated Capital & Paid-in Surplus and is equal to the total of these accounts.)


10. (a)	Give an estimate of the total value of all the property* of the corporation for the following year:	\$ 10,000
(b)	Give an estimate of the total value of all the property* of the corporation for the following year that will be located in Illinois:	\$ 10,000
(c)	State the estimated total business of the corporation to be transacted by it everywhere for the following year:	\$ 10,000
(d)	State the estimated annual business of the corporation to be transacted by it at or from places of business in the State of Illinois:	\$ 10,000

11. Interrogatories: (Important - this section must be completed.)

- (a) Is the corporation transacting business in this state at this time? No
 (b) If the answer to Item 11(a) is yes, state the exact date on which it commenced to transact business in Illinois:

12. This application is accompanied by a certified copy of the articles of incorporation, an amended, duly authenticated, within the last ninety (90) days, by the proper officer of the state or country wherein the corporation is incorporated.

13. The undersigned corporation has caused this application to be signed by a duly authorized officer, who affirms, under penalties of perjury, that the facts stated herein are true. (All signatures must be in BLACK INK.)

Dated June 2 2021 MIDWEST CONVENIENCE, INC.
(Month Day) (Year) (Exact Name of Corporation)

(Any Authorized Officer's Signature)
 Sammar Anubi, President
(Print Name and Title)

* PROPERTY as used in this application shall apply to: all property of the corporation, real, personal, tangible, intangible, or mixed without qualifications.

Note 1 - Payment in connection with this application must be in the form of a certified check, cashier's check, Illinois attorney or CPA's check or money order made payable to the "Secretary of State." The minimum fee due upon qualification is \$150. Any additional fees will be billed and must be paid before this application can be filed.

Please see filing periods set forth below regarding the franchise tax exemption amount for each year. (Tax amount minus exemption amount; if a negative number, no franchise tax due.)

Franchise Tax Liability Exemption Amounts	FILING PERIOD	EXEMPTION AMOUNT
	1/1/20-12/31/20	Exemption \$30.00
	1/1/21-12/31/21	Exemption \$1,000.00
	1/1/22-12/31/22	Exemption \$10,000.00
	1/1/23-12/31/23	Exemption \$100,000.00
	1/1/24 and after	No Franchise Tax Due.

The minimum total due (franchise tax + filing fee) is \$150.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

7/19/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Venbrook Insurance Services 16815 Von Karman Avenue Suite 180 Irvine, CA 92606 www.venbrook.com CA Lic No. 0D80832	CONTACT NAME: Emily Jung PHONE (A/C, No, Ext): 818-598-8900 FAX (A/C, No): 818-598-8910 E-MAIL ADDRESS: ejung@venbrook.com													
	<table border="1"> <thead> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A: AXIS Surplus Insurance Company</td> <td>26620</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </tbody> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: AXIS Surplus Insurance Company	26620	INSURER B:		INSURER C:		INSURER D:		INSURER E:		INSURER F:
INSURER(S) AFFORDING COVERAGE	NAIC #													
INSURER A: AXIS Surplus Insurance Company	26620													
INSURER B:														
INSURER C:														
INSURER D:														
INSURER E:														
INSURER F:														
INSURED Midwest Convenience Stores, Inc. 1450 N Benson Ave, Suite A Upland CA 91786														



COVERAGES **CERTIFICATE NUMBER:** 62953194 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Liquor Liability form CG0033 <input checked="" type="checkbox"/> Deductible \$5,000 per Occ. GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<input checked="" type="checkbox"/>		P-001-000176303-03	6/30/2021	6/30/2022	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$ EXCLUDED PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/>						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Rebel Site# 876 - 1199 Elmhurst Road, Des Plaines, IL 60016 - set to acquire 8/4/2021
 City of Des Plaines is named as Additional Insured with respects to General Liability per forms CG2010 0413 and CG2037 0413 when required by written contract subject to policy terms, conditions and exclusions.

CERTIFICATE HOLDER City of Des Plaines 1420 Miner Street Des Plaines IL 60016	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE   Eric Doll

© 1988-2015 ACORD CORPORATION. All rights reserved.

Attachment F

Verify that all of your Illinois Business Authorization information is correct.
If not, contact us immediately.

If all of the information is correct, cut along the dotted line (fits a standard 5" x 7" frame).
Your authorization must be visibly displayed at the address listed. **Do not discard the attached Illinois Business Authorization unless the information displayed is incorrect or until it expires.** Your Illinois Business Authorization is an important tax document that indicates that you are registered or licensed with the Illinois Department of Revenue to legally do business in Illinois.

OFFICIAL DOCUMENT

State of Illinois - Department of Revenue

Illinois Business Authorization

OFFICIAL DOCUMENT

MIDWEST CONVENIENCE, INC.

1450 N BENSON AVE UNIT A
UPLAND CA 91786-2127

Expiration Date:
7/1/2022

Certificate of Registration

Use Taxes

(4408-0808)

ILLINOIS REVENUE
[Signature]
Director

OFFICIAL DOCUMENT

Issued Date: 07/01/2021



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1111 Joseph J. Schwab Road
Des Plaines, IL 60016
P: 847.391.5464
desplaines.org

MEMORANDUM

Date: August 26, 2021
To: Michael G. Bartholomew, MCP, LEED-AP, City Manager
From: Rob Greenfield, Superintendent of Utility Services *RG*
Cc: Timothy Watkins, Assistant Director of Public Works and Engineering
Timothy Oakley, P.E., CFM, Director of Public Works and Engineering
Subject: M.E. Simpson TO#14 – Water Distribution System Leak Survey

Issue: The 2021 budget includes funding for leak detection of the Water Distribution System.

Analysis: The purpose of leak detection is to reduce water and revenue losses by assisting the Water Division with leak identification and location. Once the leaks are identified, the Water Division will make the necessary repairs to the system.

The City has a Master Consultant Agreement with M.E. Simpson Company, Inc. and they have provided a proposal to perform the above tasks. Their proposal for Task Order #14 is in the amount of \$70,240.00.

Recommendation: We recommend approval of Task Order #14 with M.E. Simpson Company, Inc., 3406 Enterprise Avenue, Valparaiso, IN 46383 in the total amount of \$70,240.00. Funding source will be the Water Fund, Professional Services.

Attachments:

Resolution R-136-21
Exhibit A – Task Order #14

CITY OF DES PLAINES

RESOLUTION R - 136 - 21

**A RESOLUTION APPROVING TASK ORDER NO. 14
UNDER A MASTER CONTRACT WITH M.E. SIMPSON
COMPANY, INC. FOR PROFESSIONAL ENGINEERING
SERVICES.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, on January 22, 2019, the City Council approved Resolution R-26-19, which authorized the City to enter into a master contract ("**Master Contract**") with M.E. Simpson Company, Inc. ("**Consultant**") for the performance of engineering services for the City as such services are needed over time; and

WHEREAS, the City desires to procure professional engineering services for a leak detection study of the Water Distribution System ("**Engineering Services**"); and

WHEREAS, pursuant to Chapter 10 of Title 1 of the City of Des Plaines City Code and the City's purchasing policy, the City Council has determined that procurement of the Engineering Services is not adapted to award by competitive bidding because the Engineering Services require a high level of professional skill and judgment; and

WHEREAS, the City has a positive existing relationship with the Consultant, which has satisfactorily performed engineering services for the City in the past; and

WHEREAS, Consultant submitted a proposal to perform the Engineering Services in the amount of \$70,240; and

WHEREAS, the City has sufficient funds in the Professional Services Water Fund for the procurement of the Engineering Services from Consultant; and

WHEREAS, the City desires to enter into Task Order No. 14 under the Master Contract ("**Task Order No. 14**") for the procurement of the Engineering Services from Consultant in the total not-to-exceed amount of \$70,240; and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into Task Order No. 14 with Consultant;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. The requirement that competitive bids be solicited for the procurement of the Engineering Services is hereby waived.

SECTION 3: APPROVAL OF TASK ORDER NO. 14. The City Council hereby approves Task Order No. 14 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE TASK ORDER NO. 14. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, final Task Order No. 14 only after receipt by the City Clerk of at least one executed copy of final Task Order No. 14 from Consultant; provided, however, that if the City Clerk does not receive one executed copy of final Task Order No. 14 from Consultant within 60 days after the date of adoption of this Resolution, then this authority to execute and seal final Task Order No. 14 shall, at the option of the City Council, be null and void.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ___ day of _____, 2021.

APPROVED this ___ day of _____, 2021.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

TASK ORDER 14

In accordance with Section 1.2 of the Master Contract dated January 22, 2019 between the City of Des Plaines (the “City”) and M.E. Simpson Co., Inc. (the “Consultant”), the Parties agree to the following Task Number 14:

1. **Contracted Services:** WATER DISTRIBUTION SYSTEM LEAK SURVEY.
2. **Project Schedule** (attach schedule if appropriate): Schedule attached.
3. **Project Completion Date:**
All Contracted Services must be completed on or before: November 30, 2021
4. **Project Specific Pricing** (if applicable): \$70,240.00.
5. **Additional Changes to the Master Contract** (if applicable): N/A.

ALL OTHER TERMS AND CONDITIONS OF THE MASTER CONTRACT REMAIN UNCHANGED.

[Signature page follows]

CITY

CONSULTANT

Signature
Director of Public Works
And Engineering

Signature
Michael D. Simpson
Name (Printed or Typed)

Date

Date

If greater than \$2,500, the City Manager’s signature is required.

Signature
City Manager

Date

If compensation greater than \$20,000, then the City Council must approve the Services Change Order in advance and the City Manager or Mayor’s signature is required.

Signature
City Manager

Date



June 23, 2021

Mr. Timothy Watkins
Assistant Director of Public Works & Engineering
City of Des Plaines
1111 Joseph Schwab Road
Des Plaines, IL 60016

RE: PROPOSAL FOR A WATER DISTRIBUTION SYSTEM LEAK SURVEY – Task Order

Dear Mr. Watkins,

M.E. Simpson Co., Inc. is pleased to present the City of Des Plaines, Illinois our proposal for a Water Distribution System Leak Detection Survey Program. We are honored to be considered for this work and are confident our team will help make the project a success.

M.E. Simpson Co., Inc. is a Professional Services Firm dedicated to developing and providing programs and services designed to maximize peak performance for our clients' water distribution systems. Many of these programs are universally recognized as a part of "Best Management Practices" (BMPs) for utilities. We pride ourselves on delivering solid solutions using the highest quality technical and professional services by way of state-of-the-art technology and a skilled and well-trained staff of professionals. Our highly-educated engineers and technical team are committed to the success of this project. They will be ready at a moment's notice to relieve your staff's burden and ensure a seamless continuation of your services.

Our services were developed and refined to provide utilities with programs that can be customized to meet their needs. From complete "Turn-Key" services to assisting with the development of "in-house" programs for utilities, M.E. Simpson Co., Inc. serves our clients with this ultimate goal: to deliver to the public the implicit faith that **"the water is always safe to drink"**.

Thank you for your consideration and this opportunity to acquaint you with our Water Distribution System Leak Detection Services and offer this response. We are committed to exceeding your expectations.

Sincerely,

Carlos A Covarrubias
Regional Manager

Carlos A Covarrubias
Regional Manager

3406 Enterprise Avenue
Valparaiso, IN 46383

800.255.1521 P
888.531.2444 F

Randy.Lusk@mesimpson.com

SCOPE OF WORK

Water Distribution System Leak Survey

The Field Scope of Service for the Leak Survey is understood to be the following:

M.E. Simpson Co., Inc. will furnish all labor, material, transportation, tools, and equipment necessary to survey the water distribution system areas selected by the City. M.E. Simpson Co., Inc. shall be required to provide such skilled and trained personnel and equipment necessary to complete the work herein specified. **There will be a minimum of Two Persons per team working on the survey at all times.**

- ◆ Work in an orderly and **safe** manner to insure protection of the local residents, Utility employees, and the Field Staff so that no **avoidable** accidents occur.
- ◆ All Field Staff will have readily observable identification badges worn while in the field.
- ◆ The leak detection equipment to be used will be that which was described in the “Equipment to be used” section.
- ◆ Initially listen to **all fire hydrants, all accessible main line valves**, and when necessary, selected service connections in the entire distribution system by making physical contact with the valve, hydrant, pipe, or B-box. (Listening points that are not accessible will be given to the Utility and when corrected they will be listened to.)
- ◆ Listening points of contact will be: valves, hydrants, service valves or meter settings. The preference of listening points in order as follows; direct contact with the pipe, main line valves, hydrant valves, hydrants, then service valves or meter settings.
- ◆ Specific listening distances will be determined by pipe material. Metallic type pipes; no greater than 500’ between listening points. Non-Metallic AC/Concrete type pipes; no greater than 300’ between listening points. Non-Metallic PVC/HDPE type pipes; no greater than 150’ between listening points.
- ◆ A “suspected leak” log shall be maintained indicating all areas where suspected leak noise was heard. This log will be reviewed when the Project Team is verifying the suspected leak area for confirmation of the actual existence of a leak. This log will be a part of the periodic reports turned into the Utility regardless of an actual leak located in the area or not, with an explanation of the noise source.
- ◆ When leak noise has been detected and or suspected, the Project Team will verify the suspected area a second time to confirm the noise. At least four hours will pass between the initial listening of the area before a second listen and confirmation is attempted.
- ◆ The Project Team will line locate the water main and service lines in the immediate area so the correct pipe distances can be input into the leak correlator and also so that the Water Utility will have an idea of where the water main is located prior to excavation. Non-metallic pipe locations will be “interpolated” as best that can be identified, given the line location of metallic services, Utility knowledge of the area, or other information regarding the actual location of the main.

- ◆ The Project Team will use “State of the Art” Electronic Leak Correlators to determine if a leak is present and use the same equipment to pinpoint the leak.
- ◆ For PVC water mains only the Echologics LeakFinder-ST w/hydrophones leak correlator or Fluid Conservation Systems (FCS) TriCorr Touch leak correlator, will be used for correlations because of the ability for these correlators to be able to analyze the particular sound frequencies inherent to PVC pipe.
- ◆ The leak location will be marked in the field (on the surface) using environmentally formulated Precautionary Blue paint.
- ◆ The Project Team will document all leak locations with a diagram indicating the location of the leak. Other information related to that correlation will be included as part of the field sheet such as the filters used for the correlation, line locations, distances between sensors, etc.
- ◆ The locations of leaks requiring immediate attention (immediate threat to life, injury or traffic) will be turned in as quickly as possible to facilitate the repair process.
- ◆ The Project Team will report daily or per request of the Utility, to assigned Utility Professional and go over the progress of the previous day, as well as cover what will be surveyed the current day.
- ◆ It may be necessary to conduct parts of the Leak Survey during “off hours” such as at night. This may be required in areas of high traffic volume where traffic noise may affect the ability to detect leak noise, and traffic volume may affect the ability of the Project Team to be able to safely access main line valves in the middle of the street. The Project Team will give 24-hour advanced notice of intent to survey a particular area that may require after hours surveying or nighttime surveying. This is so the Utility can plan for the area to be surveyed, give notification to the Police department, as well as other Public Works Divisions as to the activity that will take place.
- ◆ As a part of the leak program, mapping discrepancies found, distribution assets found in disrepair will be noted and turned into the utility.
- ◆ Leaks verified on the customer’s side of a service shut-off will not be located beyond the shut-off. If a leak appears to be on the Customers’ side, the Utility will be notified first, then the customer notified and permission granted prior to the water being shut off even for short periods of time where possible and as time allows, as well as the ability for the customer to respond.
- ◆ If the Utility requests leak locations beyond the service shut off on the customer’s side of the service line, this will result in an additional charge to the leak survey based on an hourly rate and this service must be agreed upon between the Utility and M.E. Simpson Co., Inc. prior to the start of the survey.
- ◆ Valves and hydrants will not be operated without Utility permission. Valves and hydrants that break during this type of operation are the sole responsibility of the Utility. M.E. Simpson Co., Inc. cannot be responsible for valves and hydrants that break due to pre-existing conditions.

- ◆ The Utility is encouraged to dig up and repair the leaks located as soon as possible so that the area may be re-surveyed while the Project Team is still working on the survey in that general geographical location to ensure no other leaks are present in that area.

Equipment List

- ◆ FCS **S30** Gutermann **AquaScope** electronically enhanced listening device.
- ◆ Echologics **LeakFinder-ST w/hydrophones**; FCS **AC Digital**, **TriCorr Touch** or Vivax-Metrotech **HL6000X** leak correlator systems.
- ◆ **RADIO Detection** Line Locators.
- ◆ **Chicago Tape**, **Fisher M-Scope** or **Schonstedt** magnetic locators.
- ◆ **All necessary valve keys and hand tools**
- ◆ Truck mounted arrow board/signage and warning lights.
- ◆ Traffic control equipment, including properly sized traffic cones with reflective stripes.

Quality Control and Accuracy of Leak Locations

The level of accuracy of leak detection is a matter of taking in all the above considerations and applying those considerations to each individual potential leak location as it is being evaluated. Any statement made as to the level of accuracy of leak locations must be considered based on the individual conditions of each leak.

Locating leaks on a distribution system can be very challenging. It is not a perfect science. Pipes and fittings can leak for a variety of reasons (age, poor installation, material failures, bad soils, etc.), and the ability to locate leaks is dependent on the stated variables listed in the “Project Approach”. By employing a strict methodology in the field for conducting a leak survey, these variables can be accounted for and mitigated. The depth of experience of the Project Team is extremely important to maintaining the ability to have accurate locations of leaks. Additionally, crews work as Two-Person Teams in the field, double checking the progress of the work as the survey progresses. The systematic procedure for leak confirmation has been stated in the Scope of Field Service and is restated here.

“Suspected leak areas are always listened to a second time, preferably at a different time of day than originally listened to. The mains and services will be line located to insure correct pipe distances are used for the correlations. Correlations may need to be performed several times with several configurations to insure all the possible scenarios have been covered. Sewer manholes may need to be opened and flows observed. If there is any doubt as to the existence of a leak, the area may be checked and correlated at different times to rule out water usage or other factors. The progress of the survey will be monitored by the use of daily logs and a progression map with suspected leak noise indications marked and possible leak locations will be maintained. Field leak location forms will be turned into the Utility according to the agreed schedule. The Project Team will follow up on leak locations by monitoring the repair schedule of the Utility. That way in case a potential leak location is wrong, the Project Team can return to the site and determine why the leak location was incorrect, and correct it. This means maintaining a good level of communication between the Project Team in the field, and the Utility.

As a matter of Quality Control for leaks in the field, our Correlators, FCS TriCorr Touch and Echologics LeakFinder-ST have the distinct ability to be able to detect and pinpoint more than one leak in the same relative area, thus allowing better leak coverage and insuring that one leak is not “masking” another leak in the same area. The use of progress reports and meetings will allow for open discussions of problems encountered so solutions can be examined.”

Utility Observations

The M.E. Simpson Co., Inc. Project Team will welcome having staff of the Utility observe field procedures while the Leak Survey is in progress. They will be happy to explain and demonstrate the equipment and techniques that are employed by M.E. Simpson Co., Inc. for detecting and locating leaks on the Water System.

Final Reports, Documentations & Communications

M.E. Simpson Co, Inc. will perform the following:

- ◆ Project Team will **meet daily** with assigned Utility personnel to go over areas of survey for prior workday and plan current day and area to survey.
- ◆ The field technicians will be readily available by cellular phone. This will facilitate communications between the Utility and the field technicians. A **24-hour toll-free 800 number** is available for direct contact with M.E. Simpson Co., Inc. for emergencies.
- ◆ **Diagram all leak locations**, date of location, and classify according to severity and an estimate of loss.
- ◆ **The Project Manager will** meet with the Utility regularly for a progress report.
- ◆ **Prepare a progress report** at monthly intervals for the Utility if requested.
- ◆ Develop a **Leak Survey log** of activity which will also have confirmed leaks listed and this list will be turned in weekly (in Excel format). The list will also be included with the final report that will include the following;
 1. Mechanical deficiencies discovered
 2. Mapping errors on the water atlas
 3. Type of monitored appurtenances
 4. Location of same for leaks discovered
 5. Total estimated loss

Effective communication...
accurate documentation...
**Insuring the success for
the leak survey**

- ◆ **Prepare the final report** at the completion of the project which will include all leak location reports with drawings, total of estimated water loss, total pipe distance investigated, a description of the area surveyed, and other problems found in the system during the course of the survey that need the attention of the Water Utility. The leak summary will list leak types such as main leaks, service line leaks, valve leaks, or hydrant leaks.

A cost benefit analysis of the survey based on the “cost to produce” water will also be included that describes the financial impact to the Utility for water loss. Recommendations for system maintenance will be a part of this report based on field observations made during the survey.

This final report shall be made available for submission to the Utility within thirty (30) working days of the completion of the fieldwork.

Assumptions & Services Provided by the Utility

- ◆ The Utility will furnish all maps in an electronic format or paper atlases (two copies), and records necessary to properly conduct the survey.
- ◆ The Utility will assist as necessary to clean out service valves, meter pits and valve-boxes needed for listening.
- ◆ The Utility will provide a Primary Contact Person and/or secondary contact person for the Field Staff to report to on a periodic basis. This person shall act as the official liaison for the duration of the Leak Survey. This person shall have a working knowledge of the water system and will be helpful in attempting to locate particularly hard-to-find water valves for listening and for general information about the water system. *This person will not need to assist the Project Team on a full time basis,* but only on an “as needed” basis.
- ◆ The Utility will assist, if needed, to help gain entry into sites that may be difficult to get into due to security issues or other concerns.
- ◆ The Utility will assist, if needed, to locate all nonmetallic pipe within the service area. This would include all Concrete Cylinder pipe, Asbestos Cement Pipe, PVC pipe and HDPE pipe.
- ◆ We will encourage the immediate digging of major leaks (main breaks) so that if there are problems with the leak location, the problems can be corrected while the Project Team is close by and can verify the site.

PROJECT SAFETY PLAN

M.E. Simpson Co., Inc.'s Safety Programs cover all aspects of the work performed by M.E. Simpson Co., Inc. We take great pride in our safety plan/policy/program and that is evident in our EMR scores over the last five years. The safety of our employees, the utilities employees and that of the general public is our #1 priority.

Our Safety Plan/Policy/Program, with all of its parts, is 60 pages in length. In an effort to be more efficient and less wasteful we do not print copies of the safety program for RFPs. There is nothing secretive or proprietary contained within our plan/policy/program and we are happy to share its contents. If you would like a PDF copy of our plan/policy/program please contact Terrence Williams, Operations Manager, at 800.255.1521 and a copy of our program will be sent via email to you.

Below is an overview of our plan/policy/program:



Safety is a major part of any project. M.E. Simpson Co., Inc. always provides a safe work environment for its employees. **Our staff is trained in General Industry OSHA rules, Confined Space Entry & Self-Rescue, First Responder First Aid, CPR, and Traffic Control.** While in the field on your project, M.E. Simpson Co., Inc. and its employees will follow all of the necessary safety procedures to protect themselves, your staff and the general public.

M.E. Simpson Co., Inc. uses Two-Man Teams for Safety and Quality Assurance.

The use of a "one-person" leak detection team is dangerous and impractical where water mains run under roadways. It would be a dangerous precedent to allow a "one-person" team to access main line valves located in the roadway, attempt to listen to the valve with headphones on, and at the same time try to control traffic flow at that person's location in the street.

Therefore M.E. Simpson Co., Inc. adheres to the following:

- ◆ The Project Manager and the Field Manager will be trained in accordance with OSHA Standard 1910 (General Industry) and be in possession of an OSHA 10 Hour or 30 Hour Card.
- ◆ Any listening points located in a "confined space" such as pit and vault installations that **require entry** will be treated in accordance with the safety rules regarding **Confined Space Entry, designated by the Utility, The Department of Labor and OSHA.**
 - All personnel are **trained and certified** in Confined Space Entry & Self-Rescue.
- ◆ We will follow all safety rules regarding **First Responder First Aid & CPR, designated by the Utility, The Department of Labor and OSHA.**
 - All personnel are **trained and certified** in First Responder First Aid & CPR.
- ◆ We will follow all **traffic safety rules, designated by the Utility, The Department of Labor, OSHA, and the Illinois Department of Transportation (per MUTCD).**
 - All personnel are **trained and certified**, by the **AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA)** in Traffic Control and Safety.

Current documentations of safety training and certifications can be provided for all project personnel for the Utility. These certifications are current and up to date (for 2020) for all project personnel.

INVESTMENT

A commitment to improving and maximizing the City of Des Plaines’ water distribution system for future generations.

M.E. Simpson Co., Inc. is pleased to present our “Proposal” for a Water Distribution System Leak Detection program for the City of Des Plaines, Illinois. M.E. Simpson Co., Inc. will perform our leak detection services on approximately **232** miles of watermain within the City of Des Plaines’ water distribution system. The survey will be completed by listening on the accessible main line valves, fire hydrants and as needed services by one of our two-man teams with all necessary equipment furnished by M.E. Simpson Co., Inc. as described within this document. The project will also include complete reporting of all issues found, with a final comprehensive report.

2021 Leak Survey

Water Distribution System Leak Survey Program Field Services Hourly Fee of \$235.00 per hour not to exceed 296 hours.	\$69,560.00
Water Distribution System Leak Survey Program Administrative Services Hourly Fee of \$85.00 per hour not to exceed 8 hours.	\$ 680.00
Task Order Not to Exceed Total Cost	\$70,240.00

We thank you for this opportunity to acquaint you with our Water Distribution System Leak Detection services and offer this proposal. If you have further inquiries or you wish to discuss our service in more detail, do not hesitate to call us.



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1111 Joseph J. Schwab Road
Des Plaines, IL 60016
P: 847.391.5464
desplaines.org

MEMORANDUM

Date: August 26, 2021

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: Tom Bueser, Superintendent of General Services *TB*

Cc: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Timothy Watkins, Assistant Director of Public Works and Engineering

Subject: Contractual Sidewalk Snow Removal – Renewal Term

Issue: The City has the option to renew the 2020/2021 sidewalk snow removal contract with DGO Premium Services Company for the upcoming 2021/2022 snow season.

Analysis: The Public Works and Engineering Department utilizes outside contractors to provide auxiliary support for in-house staff during snow removal operations on sidewalks within the downtown area. The current contract allows for two additional one-year renewal terms. This would be the first renewal term which would commence on November 1, 2021 and end on April 15, 2022. Public Works and Engineering staff has contacted DGO Premium Services Company and they are agreeable to the renewal term. The rates remain the same as the 2020/2021 contract.

Recommendation: We recommend the one-year renewal term for Contractual Sidewalk Snow Removal contract to DGO Premium Services Company, 9214 Delphia Ave., Des Plaines, IL 60016. Funding for this contract will be from the Street Maintenance Miscellaneous Contractual Services (100-50-530-0000.6195) 2021 amount of \$75,000 and 2022 requested budget amount of \$75,000.

Attachments:

Attachment 1 - DGO Contracting, Inc. Contract
Resolution R-137-21
Exhibit A – First Renewal

CITY OF DES PLAINES

CONTRACT FOR

Contractual Sidewalk Snow Removal

Full Name of Bidder DGO Premium Services Co. ("Bidder")
 Principal Office Address 960 Rand Rd. Suite 106 , Des Plaines ,IL,60016
 Local Office Address 960 Rand Rd. Suite 106 , Des Plaines ,IL,60016
 Contact Person Luis Olaguez Telephone Number 224-578-8648

TO: City of Des Plaines ("Owner")
1420 Miner Street
Des Plaines, Illinois 60016
 Attention: Tom Bueser

Bidder warrants and represents that Bidder has carefully examined the Work Site described below and its environs and has reviewed and understood all documents included, referred to, or mentioned in this bound set of documents, including Addenda Nos. NONE [if none, write "NONE"], which are securely stapled to the end of this Contract.

1. Work Proposal

A. Contract and Work. If this Contract is accepted, Bidder proposes and agrees that Bidder shall, at its sole cost and expense, provide, perform, and complete, in the manner specified and described, and upon the terms and conditions set forth, in this Contract and Owner's written notification of acceptance in the form included in this bound set of documents, all of the following, all of which is herein referred to as the "Work":

1. **Labor, Equipment, Materials and Supplies.** Provide, perform, and complete, in the manner specified and described in this Contract/Proposal, all necessary work, labor, services, transportation, equipment, materials, supplies, information, data, and other means and items necessary for the removal of snow and ice from: (A) certain routes depicted as Exhibit A attached to and, by this reference, made a part of this Contract/Proposal; and (B) certain other locations the bidder may be directed by owner (collectively, the "Work Site"), all in accordance with the Special Provisions attached to and by reference, made a part of this Contract/Proposal as Exhibit B ("Special Provisions).
2. **Permits.** Procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith;
3. **Bonds and Insurance.** Procure and furnish all bonds and all insurance certificates specified in this Contract;
4. **Taxes.** Pay all applicable federal, state, and local taxes;
5. **Miscellaneous.** Do all other things required of Bidder by this Contract; and

6. **Quality.** Provide, perform, and complete all of the foregoing in a proper and workmanlike manner, consistent with highest standards of professional and construction practices, in full compliance with, and as required by or pursuant to, this Contract, and with the greatest economy, efficiency, and expedition consistent therewith, with only new, undamaged, and first quality equipment, materials, and supplies.

B. Performance Standards. If this Contract is accepted, Bidder proposes and agrees that all Work shall be fully provided, performed, and completed in accordance with the Special Provisions. No provision of any referenced standard, specification, manual or code shall change the duties and responsibilities of Owner or Bidder from those set forth in this Contract. Whenever any equipment, materials, or supplies are specified or described in this Contract by using the name or other identifying feature of a proprietary product or the name or other identifying feature of a particular manufacturer or vendor, the specific item mentioned shall be understood as establishing the type, function, and quality desired. Other manufacturers' or vendors' products may be accepted, provided that the products proposed are equivalent in substance and function to those named as determined by Owner in its sole and absolute discretion.

C. Responsibility for Damage or Loss. If this Contract is accepted, Bidder proposes and agrees that Bidder shall be responsible and liable for, and shall promptly and without charge to Owner repair or replace, damage done to, and any loss or injury suffered by, Owner, the Work, the Work Site, or other property or persons as a result of the Work.

D. Inspection/Testing/Rejection. Owner shall have the right to inspect all or any part of the Work and to reject all or any part of the Work that is, in Owner's judgment, defective or damaged or that in any way fails to conform strictly to the requirements of this Contract and Owner, without limiting its other rights or remedies, may require correction or replacement at Bidder's cost, perform or have performed all Work necessary to complete or correct all or any part of the Work that is defective, damaged, or nonconforming and charge Bidder with any excess cost incurred thereby, or cancel all or any part of any order or this Contract. Work so rejected may be returned or held at Bidder's expense and risk.

2. Contract Price Proposal

If this Contract is accepted, Bidder proposes, and agrees, that Bidder shall take in full payment for all Work and other matters set forth under Section 1 above, including overhead and profit; taxes, contributions, and premiums; and compensation to all subcontractors and suppliers, the compensation set forth below.

A. Schedule of Prices. For providing, performing, and completing all Work, the amounts determined in accordance with Section 3 of the Special Provisions and with the Schedule of Prices attached to and by this reference made a part of this Contract/Proposal as Exhibit C;

B. Basis for Determining Prices. It is expressly understood and agreed that:

1. All prices stated in the Schedule of Prices are firm and shall not be subject to escalation or change;
2. Owner is not subject to state or local sales, use, and excise taxes, that no such taxes are included in the Schedule of Prices, and that all claim or right to claim any additional compensation by reason of the payment of any such tax is hereby waived and released;
3. All other applicable federal, state, and local taxes of every kind and nature applicable to the Work are included in the Schedule of Prices;
4. Any items of Work not specifically listed or referred to in the Schedule of Prices, or not specifically included for payment under any Unit Price Item, shall be deemed incidental to the Contract Price, shall not be measured for payment, and shall not be paid for separately except as incidental to the Contract Price, including without limitation extraordinary equipment repair, the cost of transportation, packing, cartage, and containers, the cost of preparing schedules and submittals, the cost or rental of small tools or buildings, the cost of utilities and sanitary conveniences, and any portion of the time of Bidder, its superintendents, or its office and engineering staff.

C. Time of Payment. It is expressly understood and agreed that all payments shall be made in accordance with the following schedule:

Bidder will invoice Owner for all Work completed, and Owner will pay Bidder all undisputed amounts no later than 45 days after receipt by Owner of each invoice.

All payments may be subject to deduction or setoff by reason of any failure of Bidder to perform under this Contract/Proposal. Each payment shall include Bidder's certification of the value of, and partial or final waivers of lien covering, all Work for which payment is then requested and Bidder's certification that all prior payments have been properly applied to the payment or reimbursement of the costs with respect to which they were paid.

3. Contract Time

If this Contract is accepted, Bidder proposes and agrees that Bidder shall commence on November 1, 2020, provided Bidder shall have furnished to Owner all bonds and all insurance certificates specified in this Contract/Proposal, and shall end on April 15, 2021. The Owner will have the right to renew this Contract/Proposal for two additional one-year renewal terms (each, a "Renewal Term") by providing Bidder with written notice of a renewal at least 60 days prior to the expiration of the Term or the applicable Renewal Term. Owner may terminate this Contract/Proposal at its convenience by providing Bidder 30 days advance notice thereof. At all times during the Term and any Renewal Term, Bidder proposes and agrees that Bidder will be available to perform the Work in accordance with this Contract/Proposal seven days per week and 24 hours per day, as directed by Owner in Owner's sole discretion, and as more fully described in the Special Provisions. Bidder shall commence the performance of work not more than one hour after receiving direction to perform Work from Owner, shall notify Owner when Bidder commences Work, and shall diligently and continuously prosecute such Work until the Work is completed, all in accordance with this Contract/Proposal.

If, at any time during the term of the Contract, the Owner determines that the Work is not being completed by Bidder in full compliance with specifications and as required by or pursuant to this Contract, then Owner may, after providing Bidder with notice of such deficiency in performance and providing Bidder with one business days to cure such deficiency, invoke its remedies under this Contract or may, in Owner's sole and absolute discretion, permit Bidder to complete the Work but charge to Bidder, and deduct from any payments to Bidder under this Contract, whether or not previously approved, administrative expenses and costs for each day completion of the Work is delayed beyond the Completion Date, computed on the basis of the following per diem administrative charge, as well as any additional damages caused by such delay:

Per Diem Administrative Charge:

\$ 250.00 per day/occurrence

A second occurrence of a specific deficiency in performance shall automatically trigger Bidder's obligation to pay the Per Diem Administrative Charge. Any Per Diem Administrative Charges assessed against Bidder will be deducted from any funds owed by Owner to Bidder.

4. Financial Assurance

A. Bonds. If this Contract is accepted, Bidder proposes and agrees that Bidder shall provide a Performance Bond and a Labor and Material Payment Bond, on forms provided by, or otherwise acceptable to, Owner, from a surety company acceptable to Owner, each in the penal sum of \$10,000.00, within 10 days after Owner's acceptance of this Contract.

B. Insurance. If this Contract is accepted, Bidder proposes and agrees that Bidder shall provide certificates and policies of insurance evidencing the minimum insurance coverage and limits set forth below within 10 days after Owner's

acceptance of this Contract. Such insurance shall be in form, and from companies, acceptable to Owner and shall name Owner, including its Council members and elected and appointed officials, its officers, employees, agents, attorneys, consultants, and representatives, as an Additional Insured. The insurance coverage and limits set forth below shall be deemed to be minimum coverage and limits and shall not be construed in any way as a limitation on Bidder's duty to carry adequate insurance or on Bidder's liability for losses or damages under this Contract. The minimum insurance coverage and limits that shall be maintained at all times while providing, performing, or completing the Work are as follows:

1. Workers' Compensation and Employer's Liability

Limits shall not be less than:

Worker's Compensation: Statutory

Employer's Liability: \$500,000 each accident-injury; \$500,000 each employee-disease; \$500,000 disease-policy.

Such insurance shall evidence that coverage applies to the State of Illinois and provide a waiver of subrogation in favor of Owner.

2. Commercial Motor Vehicle Liability

Limits for vehicles owned, non-owned or rented shall not be less than:

\$1,000,000 Bodily Injury and Property Damage Combined Single Limit

3. Commercial General Liability

Limits shall not be less than:

\$1,000,000 Bodily Injury and Property Damage Combined Single Limit.

Coverage is to be written on an "occurrence" basis. Coverage to include:

- Premises Operations
- Products/Completed Operations
- Independent Contractors
- Personal Injury (with Employment Exclusion deleted)
- Broad Form Property Damage Endorsement
- "X," "C," and "U"
- Contractual Liability

Contractual Liability coverage shall specifically include the indemnification set forth below.

4. Umbrella Liability

Limits shall not be less than:

\$2,000,000 Bodily Injury and Property Damage Combined Single Limit.

This Coverage shall apply in excess of the limits stated in 1, 2, and 3 above.

C. Indemnification. If this Contract is accepted, Bidder proposes and agrees that Bidder shall indemnify, save harmless, and defend Owner against all damages, liability, claims, losses, and expenses (including attorneys' fees) that may arise, or be alleged to have arisen, out of or in connection with Bidder's performance of, or failure to perform, the Work or any part thereof, or any failure to meet the representations and warranties set forth in Section 6 of this Contract.

D. Penalties. If this Contract is accepted, Bidder proposes and agrees that Bidder shall be solely liable for any fines or civil penalties that are imposed by any governmental or quasi-governmental agency or body that may arise, or be alleged to have arisen, out of or in connection with Bidder's performance of, or failure to perform, the Work or any part thereof.

5. Firm Contract

All prices and other terms stated in this Contract are firm and shall not be subject to withdrawal, escalation, or change provided Owner accepts this Contract within 45 days after the date the bidder's contract proposal is opened.

6. Bidder's Representations and Warranties

To induce Owner to accept this Contract, Bidder hereby represents and warrants as follows:

A. The Work. The Work, and all of its components, (1) shall be of merchantable quality; (2) shall be free from any latent or patent defects and flaws in workmanship, materials, and design; (3) shall strictly conform to the requirements of this Contract, including without limitation the performance standards set forth in Section 1B of this Contract; and (4) shall be performed in a manner consistent with the degree of care and skill ordinarily exercised by reputable snow removal contractors currently operating under similar circumstances in the Chicago Metropolitan Region, and (5) shall be fit, sufficient, and suitable for the purpose expressed in, or reasonable inferred from, this Contract/Proposal and the warranties expressed herein shall be in addition to any other warranties expressed or implied by law, which are hereby reserved unto Owner. Bidder, promptly and without charge, shall correct any failure to fulfill the above warranty.

B. Compliance with Laws. The Work, and all of its components, shall be provided, performed, and completed in compliance with, and Bidder agrees to be bound by, all applicable federal, state, and local laws, orders, rules, and regulations, as they may be modified or amended from time to time, including without limitation the Illinois Prevailing Wage Act, 820 ILCS 130/0.01 et seq. and any other prevailing wage laws; any statutes requiring preference to laborers of specified classes; the Illinois Steel Products Procurement Act, 30 ILCS 565/1 et seq.; any statutes prohibiting discrimination because of, or requiring affirmative action based on, race, creed, color, national origin, age, sex, or other prohibited classification; and any statutes regarding safety or the performance of the Work.

C. Not Barred. Bidder is not barred by law from contracting with Owner or with any other unit of state or local government as a result of (i) a violation of either Section 33E-3 or Section 33E-4 of Article 33 of the Criminal Code of 1981, 720 ILCS 5/33E-1 et seq.; or (ii) a violation of the USA Patriot Act of 2001, 107 Public Law 56 (October 26, 2001) (the "Patriot Act") or other statutes, orders, rules, and regulations of the United States government and its various executive departments, agencies and offices related to the subject matter of the Patriot Act, including, but not limited to, Executive Order 13224 effective September 24, 2001. Bidder is not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by the United States Treasury Department as a Specially Designated National and Blocked Person, or for or on behalf of any person, group, entity or nation designated in Presidential Executive Order 13224 as a person who commits, threatens to commit, or supports terrorism; and Bidder is not engaged in this transaction directly or indirectly on behalf of, or facilitating this transaction directly or indirectly on behalf of, any such person, group, entity or nation.

D. Qualified. Bidder has the requisite experience minimum of 5 years, ability, capital, facilities, plant, organization, and staff, including without limitation the equipment set forth in the Schedule of Equipment attached to and, by this reference, made a part of this Contract/Proposal as Exhibit D, and the personnel described in special provision, to enable Bidder to perform the Work successfully and promptly and to commence and complete the Work within the Contract Price and Contract Time set forth above.

7. Acknowledgements

In submitting this Contract, Bidder acknowledges and agrees that:

A. Reliance. Owner is relying on all warranties, representations, and statements made by Bidder in this Contract.

B. Reservation of Rights. Owner reserves the right to reject any and all proposals, reserves the right to reject the low price proposal, and reserves such other rights as are set forth in the Instructions to Bidders.

C. Acceptance. If this Contract is accepted, Bidder shall be bound by each and every term, condition, or provision contained in this Contract and in Owner's written notification of acceptance in the form included in this bound set of documents.

D. Remedies. Each of the rights and remedies reserved to Owner in this Contract shall be cumulative and additional to any other or further remedies provided in law or equity or in this Contract.

E. Time. Time is of the essence for this Contract and, except where stated otherwise, references in this Contract to days shall be construed to refer to calendar days.

F. No Waiver. No examination, inspection, investigation, test, measurement, review, determination, decision, certificate, or approval by Owner, whether before or after Owner's acceptance of this Contract; nor any information or data supplied by Owner, whether before or after Owner's acceptance of this Contract; nor any order by Owner for the payment of money; nor any payment for, or use, possession, or acceptance of, the whole or any part of the Work by Owner; nor any extension of time granted by Owner; nor any delay by Owner in exercising any right under this Contract; nor any other act or omission of Owner shall constitute or be deemed to be an acceptance of any defective, damaged, or nonconforming Work, nor operate to waive or otherwise diminish the effect of any representation or warranty made by Bidder; or of any requirement or provision of this Contract; or of any remedy, power, or right of Owner.

G. Severability. The provisions of this Contract/ Proposal shall be interpreted when possible to sustain their legality and enforceability as a whole. In the event any provision of this Contract shall be held invalid, illegal, or unenforceable by a court of competent jurisdiction, in whole or in part, neither the validity of the remaining part of such provision, nor the validity of any other provisions of this Contract shall be in any way affected thereby.

H. Amendments. No modification, addition, deletion, revision, alteration, or other change to this Contract shall be effective unless and until such change is reduced to writing and executed and delivered by Owner and Bidder, except that Owner has the right, by written order executed by Owner, to make changes in the Work ("Change Order"). If any Change Order causes an increase or decrease in the amount of the Work, then an equitable adjustment in the Contract Price or Contract Time may be made. No decrease in the amount of the Work caused by any Change Order shall entitle Bidder to make any claim for damages, anticipated profits, or other compensation.

I. Assignment. Neither this Contract, nor any interest herein, shall be assigned or subcontracted, in whole or in part, by Bidder except upon the prior written consent of Owner.

J. Governing Law. This Contract, and the rights of the parties under this Contract shall be interpreted according to the internal laws, but not the conflict of law rules, of the State of Illinois. Every provision of law required by law to be inserted into this Contract/Proposal shall be deemed to be inserted herein.

By submitting this Contract proposal in response to this Invitation to Bid, Bidder hereby represents, warrants, and certifies that:

- Bidder has carefully examined and read the ITB and all related documents in their entirety.
- The person signing the Contract proposal on behalf of Bidder is fully authorized to execute the Contract and bind Bidder to all of the terms and provisions of the Contract.
- Bidders has provided a list of 3 municipal client references
- Bidder has fully completed the entire Contract form, including the Total Contract Price.
- Bidder has submitted a certified check or bid bond, as required by the Instructions to Bidders
- Bidder has checked the City's website for any addenda issued in connection with this ITB, hereby acknowledges receipt of Addenda Nos. _____ [BIDDERS MUST INSERT ALL ADDENDA NUMBERS], has attached these addenda to Bidder's contract proposal, and acknowledges and agrees that, if Bidder's contract proposal is accepted, these addenda will be incorporated into the Contract and will be binding upon Bidder.
- Bidder has submitted its Contract proposal in a sealed envelope that bears the full legal name of Bidder and the name of the Contract.

Dated: July 23, 2020

Bidder's Status: () X Corporation () Partnership () Individual Proprietor
 (State) (State)

Bidder's Name: DGO Premium Services Co.

Doing Business As (if different): _____

Signature of Bidder or Authorized Agent: _____ Date: 07/23/2020

(corporate seal) Printed Name: Luis Olaguez

(if corporation) Title/Position: President

Bidder's Business Address: 960 Rand Rd. Suite 106, Des Plaines, IL, 60016

Bidder's Business Telephone: 224-578-8648 Facsimile: 847-344-1110

If a corporation or partnership, list all officers or partners:

NAME	TITLE	ADDRESS
Luis Olaguez	President	960 Rand Rd, Suite 106, Des Plaines, IL, 60016

ACCEPTANCE

The Contract attached hereto and by this reference incorporated herein and made a part hereof is hereby accepted by the order of the City of Des Plaines ("Owner") as of 9/15, 2020.

This Acceptance, together with the Contract attached hereto, constitutes the entire and only agreement between the parties relating to the accomplishment of the Work and the compensation therefor and supersedes and merges any other prior or contemporaneous discussions, agreements, or understandings, whether written or oral, and shall prevail over any contradictory or inconsistent terms or conditions contained in any purchase order, acceptance, acknowledgement, invoice, or other standard form used by the parties in the performance of the Contract. Any such contradictory or inconsistent terms or conditions shall be deemed objected to by Owner without further notice of objection and shall be of no effect nor in any circumstances binding upon Owner unless accepted by Owner in a written document plainly labeled "Amendment to Contract." Acceptance or rejection by Owner of any such contradictory or inconsistent terms or conditions shall not constitute acceptance of any other contradictory or inconsistent terms or conditions.

CITY OF DES PLAINES



Signature: _____

Printed name: Michael G. Bartholomew

Title: City Manager

#12787998_v1

APPROVED AS TO FORM ONLY



9/15/20

~~Des Plaines~~ General Counsel

Dated

EXHIBIT A ROUTE #1





EXHIBIT A ROUTE #3

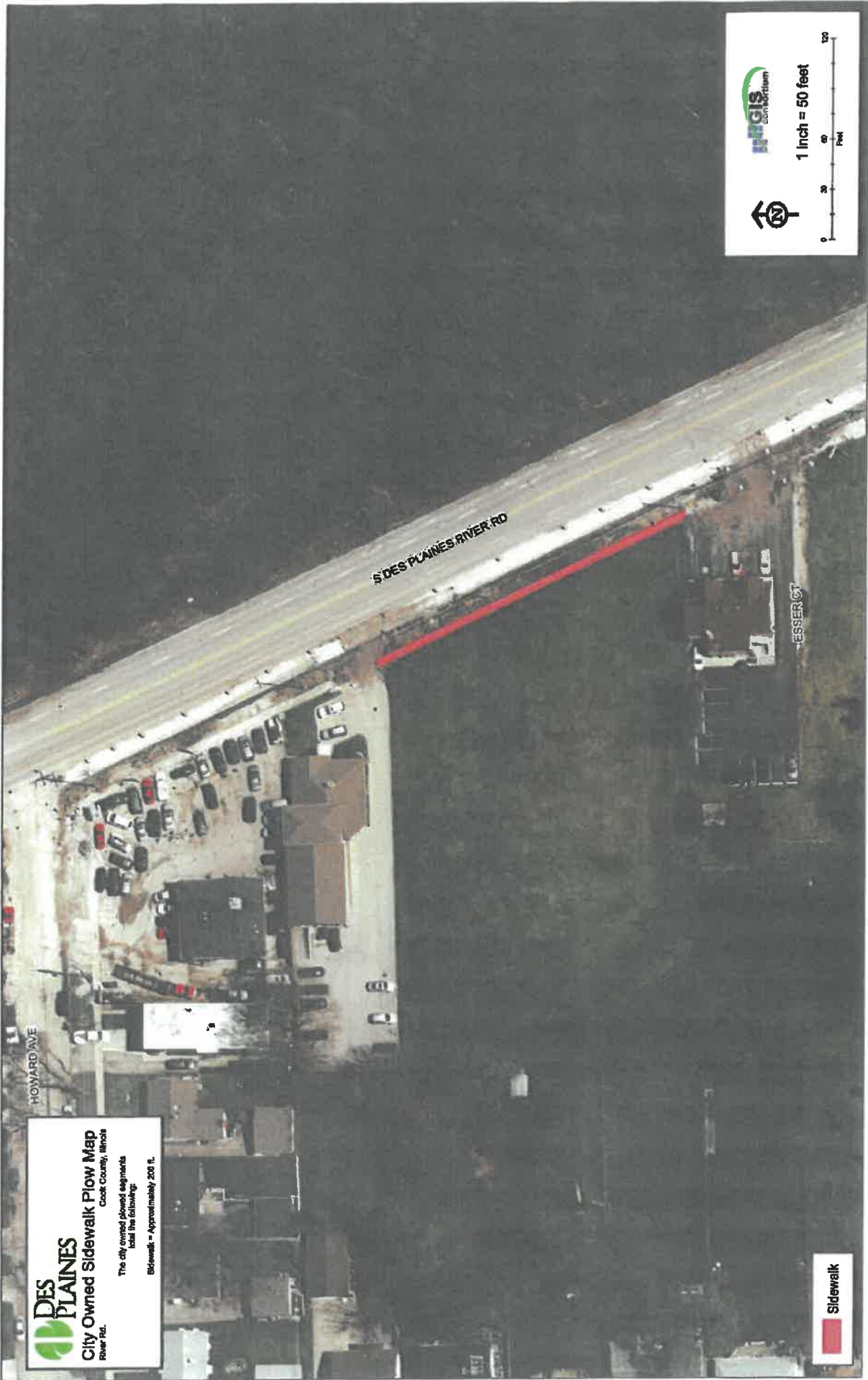




EXHIBIT B
SPECIAL PROVISIONS

The Contractor shall furnish and provide all labor, materials, tools, equipment, and machinery necessary to perform and complete in a good and workmanlike manner the work required for:

Snow Removal from various sidewalks as assigned by the City.

1. The Work:

- a. **Clearing of Sidewalks.** The selected Bidder ("*Contractor*") will, when directed by the City, cause its personnel and equipment to travel and operate along, and remove all ice and snow from, the entire length of the City's sidewalk snow routes (each, a "*Pass*"), which sidewalk snow routes are depicted on Exhibit A to the Contract/Proposal (each, a "*Route*" and collectively, the "*Routes*"), all in accordance with the requirements of the Contract/Proposal and these Special Provisions. Each Pass on each Route will be deemed completed when: (i) the Contractor's personnel and equipment have travelled the entire Route; (ii) in the course of travelling the Route, the Contractor's personnel and equipment have completely cleared all paved sidewalk surfaces within the Route of snow and ice to bare pavement from edge of sidewalk to edge of sidewalk; and (iii) the City has determined that the Work complies with the requirements of the Contract/Proposal and these Special Provisions and has accepted the Work in writing. The City may direct the Contractor to perform and complete multiple Passes of the same Route or Routes during a given snow event, but the Contractor will not begin any Pass without prior authorization by the City.
- b. **Clearing of Other Locations.** The selected Bidder also will, at the direction of the City, remove all ice and snow from paved sidewalk surfaces at locations within the City other than the Routes ("*Additional Locations*"), all in accordance with the requirements of the Contract/Proposal and these Special Provisions. The Work at the Additional Locations will be deemed completed when: (i) the selected Bidder has completely cleared each paved surface within the Additional Locations of snow and ice to bare pavement from edge of sidewalk to edge of sidewalk; and (ii) the City has determined that the Work at the Additional Locations complies with the requirements of the Contract/Proposal and these Special Provisions and has accepted such Work in writing.
- c. **Application of Deicing Material on Sidewalks.** The selected Bidder ("*Contractor*") will, when directed by the City, cause its personnel and equipment to travel and operate along, and apply deicing materials for the removal of all ice and snow from, the entire length of the City's sidewalk snow routes (each, a "*Pass*"), which sidewalk snow routes are depicted on Exhibit A to the Contract/Proposal (each, a "*Route*" and collectively, the "*Routes*"), all in accordance with the requirements of the Contract/Proposal and these Special Provisions. Each Pass on each Route will be deemed completed when: (i) the Contractor's personnel and equipment have travelled the entire Route; (ii) in the course of travelling the Route, the Contractor's personnel and equipment have completely cleared all paved sidewalk surfaces within the Route of snow and ice to bare pavement from edge of sidewalk to edge of sidewalk; and (iii) the City has determined that the Work complies with the requirements of the Contract/Proposal and these Special Provisions and has accepted the Work in writing.

The City may direct the Contractor to perform and complete multiple Passes of the same Route or Routes during a given snow event, but the Contractor will not begin any Pass without prior authorization by the City.

2. Pricing Schedule:

- a. **Pricing for Work on the Routes.** Each Bidder will submit proposed unit prices for each completed Pass along each Route by completing the Schedule of Prices set forth in Exhibit C to the Contract/Proposal ("*Schedule of Prices*").
- b. **Pricing for the Work at the Additional Locations.** Each Bidder will submit proposed hourly time and material prices for performing the Work at the Additional Locations by completing the Schedule of Prices.

3. Payment:

- a. **Payment for Work on the Routes.** Payment for the Work on the Routes will be calculated by multiplying (i) the number of Passes through each Route completed by the Contractor and accepted by the City by (ii) the unit price for completing each Pass through each Route set forth in the Schedule of Prices.
- b. **Payment for Work at the Additional Locations.** Payment for the Work at the Additional Locations will be calculated by multiplying (i) the number of hours worked by each vehicle set forth in the Schedule of Prices by (ii) the hourly rate set forth in the Schedule of Prices corresponding to each respective vehicle.

4. Notification, Commencement, and Completion: The Contractor and its personnel and equipment will be available to perform all Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions at all times (seven days per week, 24 hours per day) during the winter season. The Contractor will commence Work no later than one hour after the Contractor receives direction to perform Work from the City. The Contractor will diligently and continuously prosecute all Work until completion. The Contractor will notify the City upon 50 percent completion of each authorized Pass through each Route. If the City directs the Contractor to perform any additional Passes through any of the Routes, the Contractor will commence such Passes no later than one hour after receipt of such direction and will notify the City upon 50 percent completion of each additional authorized Pass. The Contractor will not commence any Pass through any Route without specific prior direction from the City. The Contractor will identify a Superintendent whom the City can reach by telephone 24 hours a day, 7 days a week, for the purpose of directing the Contractor to commence any Work.

5. Time to Complete Pass: Each Pass through each Route will be completed in accordance with the following schedule of completion time:

AMOUNT OF SNOW	TIME TO COMPLETE PASS
0 TO 4 INCHES	5 HOURS
4.1 TO 6 INCHES	10 HOURS

6.1 TO 10 INCHES	12 HOURS
10.0 INCHES OR ABOVE	12 HOURS+1 HOUR FOR EACH INCH ABOVE 10 INCHES

The City's private weather notification service, Continental Weather Service, will determine the number of inches of snowfall within the City per each snow event for the purpose of determining the time to complete each Pass pursuant to this Section 5.

6. Equipment:

a. **Necessary Equipment.** The Contractor will furnish all equipment necessary to perform the Work in accordance with the terms of the Contract/Proposal and these Special Provisions (collectively, the "**Equipment**"), which Equipment is more fully described in the Schedule of Equipment completed by the Contractor and attached to the Contract/Proposal as **Exhibit D**. The Contractor represents and warrants that the Equipment will, at all times during the term of the Contract/Proposal, be available for use by the Contractor to perform the Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions.

b. **Maintenance, Repair, and Replacement.** At all times during the Contract/Proposal term, the Contractor will, at its sole cost and expense, keep the Equipment in a good working condition suitable for its intended use to perform the Work. If any Equipment becomes unavailable for use by the Contractor to perform the Work for any reason, the Contractor will, at its sole cost and expense, replace that Equipment with substantially similar Equipment that will be available for use by the Contractor to perform the Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions. The Equipment will be clearly marked with the company name and/or logo and the phone number of the Contractor.

7. **Employees:** The Contractor will employ personnel with the training, skills, and experience, and will employ a sufficient number of such personnel, to complete the Work in accordance with the Contract/Proposal and these Special Provisions. Prior to the commencement of the Work, the Contractor will provide a list of all personnel who will perform the Work for the City under the Contract/Proposal. If any personnel will operate Equipment that requires the operator to have a Commercial Drivers' License, the Contractor will furnish to the City evidence acceptable to the City that such personnel has obtained all required licenses and approvals. If any personnel fails to perform the Work in a manner satisfactory to the City or in accordance with the Contract/Proposal and these Special Provisions, the Contractor will immediately upon notice from the City remove and replace such personnel. The Contractor shall have no claim for damages, for compensation in excess of the amount contained in the Schedule of Prices, or for a delay or extension of the Time to Complete Pass as a result of any such removal or replacement.

8. **Snow and Ice Procedures:** In addition to the requirements of the Contract/Proposal and these Special Conditions, the Contractor will perform and complete all Work in accordance with the Salt Institute's snow and ice control procedures.

9. **General Instructions:** Unless otherwise instructed by the City in writing, the Contractor will perform and complete all Work and Additional Work in accordance with the following instructions:

- A. The Contractor will not plow or pile snow into, or cause snow to obstruct, driveways, intersections, landscape islands with shrubbery, handicap parking stalls, or fire hydrants.
- B. All snow and ice must be removed from the entire surface of the sidewalk, providing a full and safe pathway for citizens.
- C. The Contractor will not pile snow at any location where piled snow would obstruct the ability of motor vehicle operators and pedestrians to see other motor vehicles and pedestrians approaching and within any intersection or driveway.
- D. Contractor shall not use equipment that could scratch, mar, scrape or damage any sidewalks. It is recommended that equipment for snow clearing be equipped with either a rubber/plastic/composite cutting edge. Any damage to sidewalks from misuse of equipment, improper equipment or improper materials shall be repaired by the contractor.
- E. Only calcium magnesium acetate (CMA) or approved equal may be used on the brick paver/granite sidewalks in the downtown area.

10. **Mandatory Meetings:**

- a. **Pre-Operations Meeting:** Prior to commencing any Work, the Contractor will attend a Pre-Operations Meeting conducted at the Public Works Building, 1111 Joseph Schwab Rd., Des Plaines. The Director of Public Works & Engineering will set the date and time of the Pre-Operations Meeting after execution of the Contract/Proposal by both parties. The Contractor's designated full-time Superintendent must attend the Pre-Operations meeting. At the Pre-Operations Meeting, the following information must be submitted by the Contractor to City staff for their review and approval:
 - i. Superintendent 24-hour emergency phone number, field phone number, pager number and cellular telephone number.
 - ii. List of Subcontractors, including quantity and type of work to be sublet, their qualifications, references and certified copies of their subcontract agreement.
- b. **Winter Operations Meetings.** The Contractor will, upon request, meet with City staff during the winter season to discuss the performance of the Work. The Superintendent will attend all such meetings.

11. **Inspection:** Bidders are required to inspect the site and to have satisfied themselves as to the condition, the requirements of the location and the obstacles that may be encountered prior to the operation. Any deficiencies related to parkway or road damage must be noted and reviewed with the City.

12. **Annual Inspections:** Contractor and the City will jointly perform annual inspections of the Routes in October and May of each year to determine any damage to public and private property caused by Contractor's performance of the Work. In accordance with Section 1.C of the Contract/Proposal, the Contractor shall be responsible for all damage to any City property and any other property, including without limitation parkway landscaping, curbing, pavement, signs, and mailboxes.

EXHIBIT C

SCHEDULE OF PRICES

BID FOR WORK ON ROUTES

	2020-21 SEASON
COST FOR SIDEWALK SNOW REMOVAL PER PASS-ROUTE #1	\$ 1,600.00
COST FOR SIDEWALK SNOW REMOVAL PER PASS-ROUTE #2	\$ 100.00
COST FOR SIDEWALK SNOW REMOVAL PER PASS-ROUTE #3	\$ 100.00
COST FOR SIDEWALK SNOW REMOVAL PER PASS-ROUTE #4	\$ 100.00
COST PER APPLICATION OF DEICING MATERIAL PER PASS-ROUTE #1	\$ 1,600.00
COST PER APPLICATION OF DEICING MATERIAL PER PASS-ROUTE #2	\$ 100.00
COST PER APPLICATION OF DEICING MATERIAL PER PASS-ROUTE #3	\$ 100.00
COST PER APPLICATION OF DEICING MATERIAL PER PASS-ROUTE #4	\$ 100.00

BID FOR WORK AT ADDITIONAL LOCATIONS

COST PER LABORER PER HOUR	\$ 100.00
COST PER 2 WHEEL MACHINE PER HOUR	\$ 100.00
COST PER 4 WHEEL MACHINE PER HOUR	\$ 200.00
COST PER POUND OF CMA APPLIED	\$ 2.00
COST PER POUND OF ROCK SALT APPLIED	\$ 2.00

**EXHIBIT D
SCHEDULE OF EQUIPMENT**



**DGO PREMIUM
SERVICES CO.**

**VEHICLE LIST
INFORMATION**

NUMBER	VEHICLE	MAKE	YEAR	PLATE
1	CHEVROLET	SILVERADO	2017	2203258 B
2	CHEVROLET	SILVERADO	2017	2203278 B
3	CHEVROLET	SILVERADO	2017	2203277 B
4	CHEVROLET	BOX EXPRES VAN	2017	463016 D
5	CHEVROLET	SILVERADO Ext	2019	2406361 B
6	CHEVY ALL C.	VAN 12000	2006	361545 D
7	GMC GOLD	2500 HD 4X4	2004	2269743 B
8	ISUSU	NPR	1999	108772 F
9	CHEVROLET	SILVERADO	2007	2654937 B
10	GMC	CARGO VAN	2009	265723B
11	TRAILER	WELLS CARGO	2018	332331TB
12	CHEVY GRIS	1500 4x4	2004	2668348B
13	GMC BOX	CUTAWY	2011	450652 D
14	FORD NEGRA	F-250 4X4	2001	2207986 B
15	GMC ROJA	TRUCK 1500 4X4	2003	1880972 B
16	CHEVY GUINDA	1500 4x4	2007	2827294B
17	ISUZU	NPR 7SN	2015	140865F
18	ISUZU	NPR 7SN	2015	141486 F
19	FORD	SUPER DUTY F-450	2016	138428 F
20	FREIGHTLINER	FL-70	2000	134828H
21	HINO	338	2019	172586H
22	CHEVROLET	1500	2018	2660150B
23	CHEVROLET	4500HD	2017	145039F
24	CHEVROLET	Silverado 2500 HD 2DR	2016	1976729
25	STERLING	LT8500	2003	40261R
26	CHEVROLET	4500HD	2017	145037F
27	Public - ATV/UTV	CC: 500	2003	
28	Public - ATV/UTV	CC: 570	2014	
29	Public - ATV/UTV	CC: 550	2002	
30	Public - ATV/UTV	CC: 500	2007	
31	Public - ATV/UTV	CC: 550	2010	
32	Salt Dogg 2000	2000	2005	
33	1500 Poly Vbox Salt Spreader	1500	2007	
34	1500 Poly Vbox Salt Spreader	1500	2006	
35	1500 Poly Vbox Salt Spreader	1500	2007	
36	1500 Poly Vbox Salt Spreader	1500	2006	
37	1500 Poly Vbox Salt Spreader	1500	2004	



REFERENCES

NAME	PROJECT	CITY	CONTACT NUMBER	E-MAIL
Rafael Diaz	Snow Removal Subcontractor	Evanston, IL	773-858-9651	rafael@diazgroupllc.com
Brian O'Hehir	Cleaning Sidewalks Subcontractor	Chicago O'Hare	773-842-2317	BRIAN.O'HEHIR@cityofchicago.org
Walter Steibing	Cleaning Sidewalks Subcontractor	Chicago O'Hare	773-419-5222	walter.steibingjr@cityofchicago.org

If you have any further questions, do not hesitate to contact us for more information.

DGO Premium Services

960 Rand Rd, Suite 106,

Des Plaines, IL,6016

224-361-3435

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS:

[insert contractor name and address here:] _____

as Principal (hereinafter called the "Contractor") and

[insert surety name and address here:] _____

organized and existing under the laws of the State of _____ (hereinafter called the "Surety")

are held and firmly bound unto City of Des Plaines, 1420 Miner Street, Des Plaines, Illinois, as the obligee (hereinafter called the "Owner"), in the full and just sum of *[insert full contract price here in numerals only:]* \$ _____ for the payment of which sum of money well and truly to be made, the Contractor and the Surety bind themselves and their heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents, said amount to include payment of actual costs and damages and for attorneys' fees, architectural fees, design fees, engineering fees, accounting fees, testing fees, consulting fees, administrative costs, court costs, interest and any other fees and expenses resulting from or incurred by reason of the Contractor's failure to promptly and faithfully perform its contract with the Owner, said contract being more fully described below, and to include attorneys' fees, court costs and administrative and other expenses necessarily paid or incurred in successfully enforcing performance of the obligation of the Surety under this bond.

WHEREAS, the Contractor has entered into a written agreement dated _____, 20____, with the Owner titled *[insert contract title here]* (the "Contract"), the terms and conditions of which are by this reference incorporated herein as though fully set forth herein.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH THAT if the Contractor shall well, truly, and promptly perform all the undertakings, covenants, terms, conditions, and agreements of the Contractor under the contract, including but not limited to the Contractor's obligations under the Contract, (1) to provide, perform, and complete at the Work Site and in the manner specified in the Contract all necessary work, labor, services, transportation, equipment, materials, apparatus, machinery, tools, fuels, gas, electric, water, waste disposal, information, data, and other means and items necessary for *[insert general description of the Work here:]* _____;

(2) to procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith except as otherwise specifically provided in the Contract; (3) to procure and furnish all bonds, certificates, and policies of insurance specified in the Contract; (4) to pay all applicable federal, state, and local taxes; (5) to do all other things required of the Contractor by the Contract; and (6) to provide, perform, and complete all of the foregoing in a proper and workmanlike manner and in full compliance with, and as required by and pursuant to, the Contract, all of which is herein referred to as the "Work," whether or not any parts of the Work enter into and become component parts of the improvement contemplated, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

The Surety, for value received, hereby stipulates and agrees that no changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances on the part of the Owner or the Contractor to the other in or to the terms of said Contract; in or to the schedules, plans, drawings, or specifications; in or to the method or manner of performance of the Work; in or to Owner-furnished

facilities, equipment, material, service, or site; or in or to the mode or manner of payment therefor shall in any way release the Contractor and the Surety or either or any of them, or any of their heirs, executors, administrators, successors, or assigns, or affect the obligations of the Surety on this bond, all notice of any and all of the foregoing changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances and notice of any and all defaults by the Contractor or of the Owner's termination of the Contractor being hereby waived by the Surety.

Notwithstanding anything to the contrary in the foregoing paragraph, in no event shall the obligations of the Surety under this bond in the event of the Contractor's default be greater than the obligations of the Contractor under the Contract in the absence of the Contractor default.

In the event of a default or defaults by the Contractor, the Owner shall have the right to take over and complete the Contract on 30 calendar days' written notice to the Surety, in which event the Surety shall pay the Owner all costs incurred by the Owner in taking over and completing the Contract.

At its option, the Owner may instead request that the Surety take over and complete the Contract, in which event the Surety shall take reasonable steps to proceed promptly with completion no later than 30 calendar days after the date on which the Owner notifies the Surety that the Owner wants the Surety to take over and complete the Contract.

The Owner shall have no obligation to actually incur any expense or correct any deficient performance of the Contractor to be entitled to receive the proceeds of this bond.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the Owner or the heirs, executors, administrators, or successors of the Owner.

Signed and sealed on _____, 20__.

Attest/Witness:

CONTRACTOR

By: _____

By: _____

Title: _____

By: _____

Attest/Witness:

SURETY

By: _____

By: _____

Title: _____

By: _____

#23203960_v1

CITY OF DES PLAINES

RESOLUTION R - 137 - 21

**A RESOLUTION APPROVING THE FIRST RENEWAL OF
A CONTRACT WITH DGO PREMIUM SERVICES CO. FOR
SIDEWALK SNOW REMOVAL SERVICES.**

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, on September 8, 2020, City Council adopted Resolution R-154-20, approving a one-year contract ("**Contract**") with DGO Premium Services Co. ("**Contractor**") for sidewalk snow removal work ("**Work**") during the 2020/2021 snow season; and

WHEREAS, the Contract provides that the City and Contractor may agree to renew the Contract for up to two additional one-year terms; and

WHEREAS, the City and Contractor desire renew the Contract for a one-year term beginning November 1, 2021 and ending April 15, 2022 in the not-to-exceed amount of \$150,000 ("**First Renewal**"); and

WHEREAS, in accordance with Section 1-10-2 of the City Code of the City of Des Plaines ("**City Code**") and the City purchasing policy, the City Council has determined to waive competitive bidding for procurement of the Work; and

WHEREAS, sufficient funds have been appropriated to procure the Work during the 2021 fiscal year in the Street Maintenance Miscellaneous Contractual Services Fund; and

WHEREAS, the City Council has determined that it is in the best interest of the City to waive the competitive bidding requirements and approve the First Renewal with Contractor;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. Pursuant to Section 1-10-2 of the City Code and the City purchasing policy, the City Council hereby waives the requirement that competitive bids be solicited for the procurement of the Work by the City.

SECTION 3: APPROVAL OF FIRST RENEWAL. The City Council hereby approves the First Renewal in substantially the form attached to this Resolution as **Exhibit A**, and in a final form approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE FIRST RENEWAL. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, the final First Renewal after receipt by the City Clerk of at least two executed copies of the First Renewal from Contractor; provided, however, that if the City Clerk does not receive such executed copies of the Renewal from Contractor within 60 days after the date of adoption of this Resolution, then this authority to execute and seal the First Renewal, at the option of the City Council, be null and void.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

Approved as to form:

ATTEST:

CITY CLERK

Peter M. Friedman, General Counsel

**FIRST RENEWAL OF THE AGREEMENT WITH DGO PREMIUM SERVICES COMPANY
FOR SIDEWALK SNOW REMOVAL SERVICES**

THIS FIRST RENEWAL is made and entered into as of the ____ day of _____, 2021, by and between the City of Des Plaines, an Illinois home rule municipal corporation ("**City**"), and DGO Premium Services Company ("**Contractor**"). In consideration of the recitals and mutual covenants and agreements set forth in this First Renewal, the receipt and sufficiency of which are hereby acknowledged and agreed, the parties agree as follows:

Section 1. Recitals.

A. The City and the Contractor entered into that certain "Contract for Contractual Sidewalk Snow Removal" dated September 8, 2020 ("**Agreement**"), pursuant to which Agreement the Contractor agreed to perform certain snow and ice removal services for the City ("**Services**").

B. Section 3 of the Agreement states that that the initial term of the Agreement began November 1, 2020 and ends April 15, 2021.

C. Section 3 of the Agreement provides that the Agreement may be renewed for two additional one-year renewal terms.

D. The City and Contractor desire to renew the Agreement for a one-year renewal term that will begin on November 1, 2021 and terminate on April 15, 2022 ("**Renewal Term**") in accordance with the provisions, terms, and conditions of this First Renewal.

E. Contractor has agreed to charge the City the same rates during the Renewal Term for the Services as set forth in the Schedule of Prices attached to the Agreement as Exhibit C ("**Schedule of Prices**").

Section 2. Definitions.

All capitalized words and phrases used throughout this First Renewal have the meanings set forth in the various provisions of this First Renewal. If a word or phrase is not specifically defined in this First Renewal, it has the same meaning as in the Agreement.

Section 3. First Renewal of the Agreement.

Pursuant to Section 3 the Agreement, the City and the Contractor hereby renew the Agreement for the Renewal Term. During the Renewal Term, the City will pay the Contractor for the Services in accordance with the Schedule of Prices.

Section 4. Effect.

All terms, conditions and provisions of the Agreement that are not specifically amended, modified, or supplemented by this First Renewal shall remain unchanged and in full force and effect as if fully set forth herein. In the event of a conflict between the text of the Agreement and the text of this First Renewal, the text of this First Renewal shall control.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties have caused this First Renewal to be executed by their duly authorized representatives.

CITY OF DES PLAINES

DGO PREMIUM SERVICES COMPANY

By: _____
Michael G. Bartholomew, City Manager

By: _____
Luis Olaguez, President

Date: _____

Date: _____

ATTEST:

WITNESS:

By: _____
Jessica Mastalski, City Clerk

By: _____

Date: _____

Date: _____



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1111 Joseph J. Schwab Road
Des Plaines, IL 60016
P: 847.391.5464
desplaines.org

MEMORANDUM

Date: August 26, 2021
 To: Mike Bartholomew, MCP, LEED-AP, City Manager
 From: Tom Bueser, Superintendent of General Services *TB*
 Cc: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
 Timothy Watkins, Assistant Director of Public Works and Engineering
 Subject: Task Order #2, G&L Contractors, Inc.

Issue: The City has a Professional Services Master Contract with G&L Contractors, Inc. for snow plowing services. Each task order requires City Council approval.

Analysis: The Public Works and Engineering Department utilizes outside contractors to provide auxiliary support for in-house staff during snow removal operations on City maintained roads.

The master contract includes dead end streets and cul de sacs in the Fourth, Seventh and Eighth Wards. G&L Contractors, Inc., has provided this service for the City since 2014 and has performed at a high level. Prior to 2014, several companies had their contracts with the City terminated due to performance issues and inability to meet contract requirements. The Public Works and Engineering staff has contacted G & L Contractors, who performed extremely well during the last six years of the contract. The company will have an approximately 8.6% increase in pricing from the contractual pricing submitted in 2014 for the 2021/2022 snow season; there have been no previous increases over the last six years. G&L Contractor’s maintenance staff has knowledge of the City’s routes, department expectations for this public safety service, and has shown reliable response and results to scheduled and emergency calls.

Recommendation: We recommend City Council approve Task Order #2 with G&L Contractors, Inc., 7401 North St. Louis Avenue, Skokie, Illinois, 60076. Funding for this contract will be from the Street Maintenance Miscellaneous Contractual Services (100-50-530-0000.6195) 2021 remaining amount of \$13,455 and 2022 requested budget amount of \$100,000.

Attachments:
 Resolution R-138-21
 Exhibit A – Task Order #2

CITY OF DES PLAINES

RESOLUTION R - 138 - 21

A RESOLUTION APPROVING TASK ORDER NO. 2 WITH G&L CONTRACTORS, INC. FOR SNOW PLOWING SERVICES.

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, on August 17, 2020, the City Council approved Resolution R-146-20, which authorized the City to enter into a master contract ("**Master Contract**") with G&L Contractors, Inc. ("**Contractor**") to perform snow plowing services for the City as such services are needed over time ("**Plowing Services**") pursuant to task orders issued by the City in accordance with the Master Contract; and

WHEREAS, Contractor submitted a proposal in the not-to-exceed amount of \$113,455 to perform the Plowing Services for the 2021/2022 snow season; and

WHEREAS, the City has a positive existing relationship with the Contractor, the Contractor having satisfactorily performed Plowing Services for the City in the past; and

WHEREAS, the City desires to enter into Task Order No. 2 under the Master Contract for the procurement of the Plowing Services from Contractor in the not-to-exceed amount of \$113,455 ("**Task Order No. 2**"); and

WHEREAS, the City has sufficient funds in the Street Maintenance Miscellaneous Contractual Services Fund for the procurement of the Plowing Services from Contractor; and

WHEREAS, the City Council has determined that it is in the best interest of the City to waive the competitive bidding requirements in the City Code and enter into and Task Order No. 2 with Contractor;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: WAIVER OF COMPETITIVE BIDDING. The requirement that competitive bids be solicited for the procurement of the Construction Services is hereby waived.

SECTION 3: APPROVAL OF TASK ORDER NO. 2. The City Council hereby approves Task Order No. 2 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 4: AUTHORIZATION TO EXECUTE TASK ORDER NO. 2. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, final Task Order No. 2 only after receipt by the City Clerk of at least one executed copy of final Task Order No. 2 from Contractor; provided, however, that if the City Clerk does not receive one executed copy of final Task Order No. 2 from Contractor within 60 days after the date of adoption of this Resolution, then this authority to execute and seal final Task Order No. 2 shall, at the option of the City Council, be null and void.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Approving Task Order No. 2 with G&L Contractors for Snow Plowing Services

TASK ORDER #2

In accordance with Section 1.2 of the Master Contract dated August 18, 2020 between G&L Contractors, Inc. (the “Contractor”), the City of Des Plaines (the “City”), the Parties agree to the following Task Number 2:

1. Contracted Services:

2021-2022 Snow Plowing Services.

2. Project Schedule: November 1, 2021 through October 31, 2022.

3. Project Completion Date: 10/31/21

All contracted services will be completed on or before October 31, 2022.

4. Project Specific Pricing (if applicable):

See Attachment B

5. Additional Changes to the Master Contract (if applicable): Not applicable.

ALL OTHER TERMS AND CONDITIONS OF THE MASTER CONTRACT REMAIN UNCHANGED.

CITY

G&L Contractors, Inc

Signature

Director of Public Works & Engineering

_____, 2021

Date



Signature

MICHAEL J. GORD

Name (Printed or Typed)

8/16/_____, 2021
Date

If greater than, \$2,500, the City Manager's signature is required.

Signature
City Manager

_____, 2021

Date

If greater than \$20,000, the City Council must approve the Task Order in advance and the City Manager's signature is required.

Signature
City Manager

_____, 2021

Date

ATTACHMENT B

PRICING SCHEDULE



CONTRACTORS, INC.

7401 N. St. Louis Ave. • Skokie, IL 60076

847-679-7980 • Fax 847-679-7981

August 16, 2021

Public Works and Engineering Department

1111 Joseph Schwab Rd.,

Des Plaines IL 60016

Attn: Tom Bueser

Via Email: TBueser@desplaines.org

Tom,

Please be advised that G&L Contractors, Inc. is asking for a rate increase on the 2021/2022 seasonal rate on our established snow plowing contract. The rate is listed on the "Exhibit C" attachment. In a nut shell we are requesting an increase of \$154 for route 1 per pass and an increase of \$190 for route 2 per pass. As you are aware we have not increased rates since the inception of the contract in 2014. The balance of the contract will remain as drafted. We look forward to continuing our work with the City of Des Plaines.

Please feel free to contact me with any questions or concerns.

Thank You,

Michael Gora

President

(Enc.) 1- Exhibit C

The City of Des Plaines Contractual Snow Plow Map

Cook County, Illinois



Unincorporated Cook County

Contractual Bid Route

- Alternate A - Route #1
- Base Bid - Route #2

The contractually plowed street segments total the following:

- Alternate A - Route #1 = Approximately 2.33 miles
- Base Bid - Route #2 = Approximately 2.34 miles

Map Legend

- City Boundary
- Road
- Lake or River
- Recreation Area
- Railroad

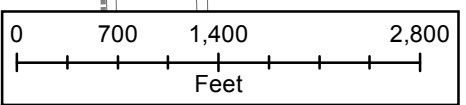
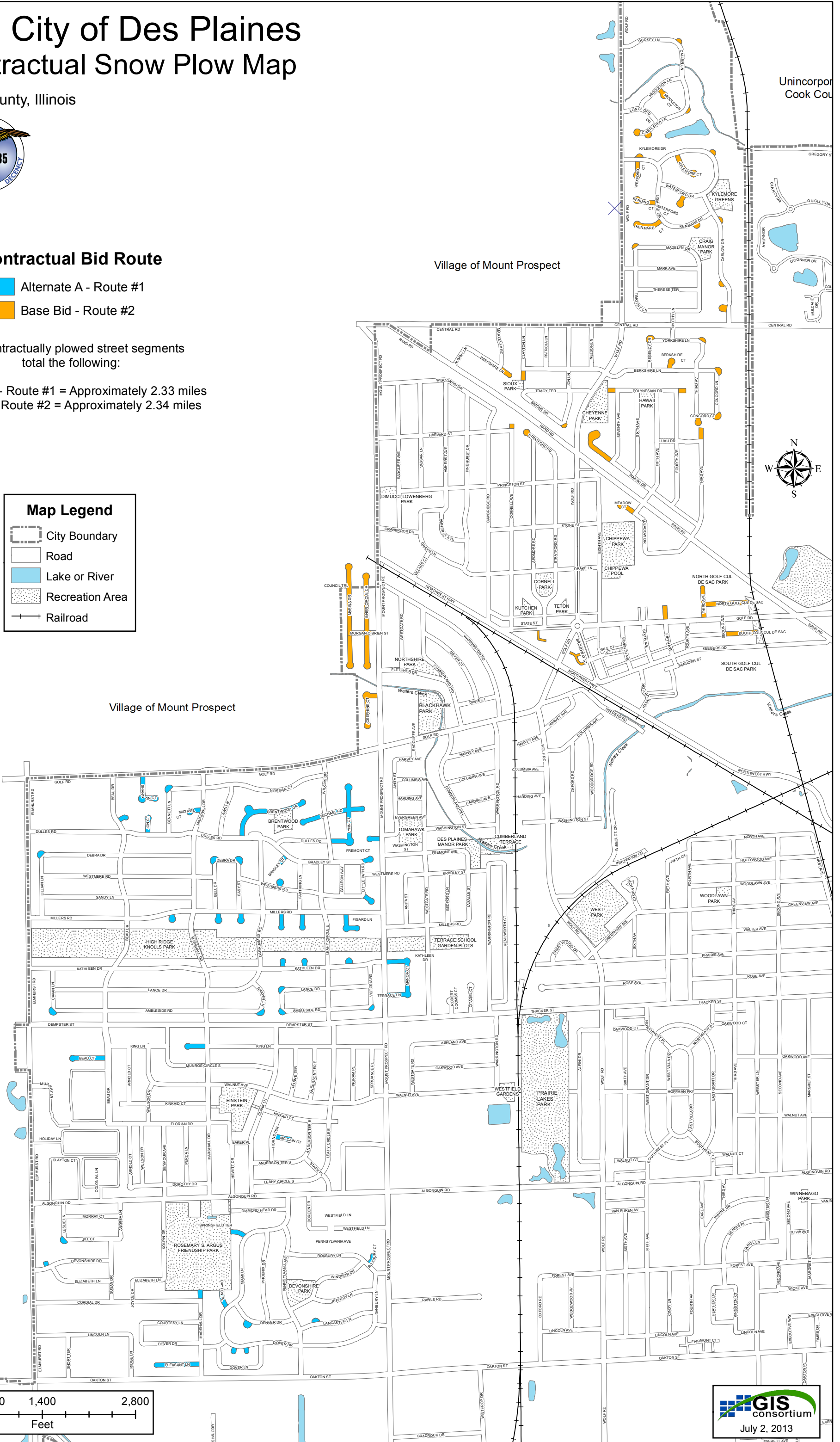


EXHIBIT B

SPECIAL PROVISIONS

The Contractor shall furnish and provide all labor, materials, tools, equipment, and machinery necessary to perform and complete in a good and workmanlike manner the work required for:

Snow Removal from various roads as assigned by the City.

1. The Work:

- a. **Clearing of Routes.** The selected Bidder ("*Contractor*") will, when directed by the City, cause its personnel and equipment to travel and operate along, and plow and remove all ice and snow from, the entire length of the City's snow plow routes (each, a "*Pass*"), which snow plow routes are depicted on **Exhibit A** to the Contract/Proposal (each, a "*Route*" and collectively, the "*Routes*"), all in accordance with the requirements of the Contract/Proposal and these Special Provisions. Each Pass on each Route will be deemed completed when: (i) the Contractor's personnel and equipment have travelled the entire Route; (ii) in the course of travelling the Route, the Contractor's personnel and equipment have completely plowed and cleared all paved surface within the Route of snow and ice to bare pavement from curb to curb; and (iii) the City has determined that the Work complies with the requirements of the Contract/Proposal and these Special Provisions and has accepted the Work in writing. The City may direct the Contractor to perform and complete multiple Passes of the same Route or Routes during a given snow event, but the Contractor will not begin any Pass without prior authorization by the City.
- b. **Clearing of Other Locations.** The selected Bidder also will, at the direction of the City, plow and remove all ice and snow from paved surfaces at locations within the City other than the Routes ("*Additional Locations*"), all in accordance with the requirements of the Contract/Proposal and these Special Provisions. The Work at the Additional Locations will be deemed completed when: (i) the selected Bidder has completely cleared each paved surface within the Additional Locations of snow and ice to bare pavement from curb to curb; and (ii) the City has determined that the Work at the Additional Locations complies with the requirements of the Contract/Proposal and these Special Provisions and has accepted such Work in writing.
- c. **Salt Application Excluded.** The Contractor will NOT be responsible for the application of salt or any other material or treatment to any of the paved surfaces within the Routes or the Additional Locations. The Work only includes plowing and removal of ice and snow from the Routes and any Additional Locations.

2. Pricing Schedule:

- a. **Pricing for Work on the Routes.** Each Bidder will submit proposed unit prices for each completed Pass along each Route by completing the Schedule of Prices set forth in **Exhibit C** to the Contract/Proposal ("*Schedule of Prices*").
- b. **Pricing for the Work at the Additional Locations.** Each Bidder will submit proposed hourly time and material prices for performing the Work at the Additional Locations by completing the Schedule of Prices.

3. Payment:

- a. **Payment for Work on the Routes.** Payment for the Work on the Routes will be calculated by multiplying (i) the number of Passes through each Route completed by the Contractor and accepted by the City by (ii) the unit price for completing each Pass through each Route set forth in the Schedule of Prices.
- b. **Payment for Work at the Additional Locations.** Payment for the Work at the Additional Locations will be calculated by multiplying (i) the number of hours worked by each vehicle set forth in the Schedule of Prices by (ii) the hourly rate set forth in the Schedule of Prices corresponding to each respective vehicle.

4. **Notification, Commencement, and Completion:** The Contractor and its personnel and equipment will be available to perform all Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions at all times (seven days per week, 24 hours per day) during the winter season. The Contractor will commence Work no later than one hour after the Contractor receives direction to perform Work from the City. The Contractor will diligently and continuously prosecute all Work until completion. The Contractor will notify the City upon 50 percent completion of each authorized Pass through each Route. If the City directs the Contractor to perform any additional Passes through any of the Routes, the Contractor will commence such Passes no later than one hour after receipt of such direction and will notify the City upon 50 percent completion of each additional authorized Pass. The Contractor will not commence any Pass through any Route without specific prior direction from the City. The Contractor will identify a Superintendent whom the City can reach by telephone 24 hours a day, 7 days a week, for the purpose of directing the Contractor to commence any Work.

5. **Time to Complete Pass:** Each Pass through each Route will be completed in accordance with the following schedule of completion time:

AMOUNT OF SNOW	TIME TO COMPLETE PASS
0 TO 4 INCHES	4 HOURS
4.1 TO 6 INCHES	8 HOURS
6.1 TO 10 INCHES	10 HOURS
10.0 INCHES OR ABOVE	12 HOURS+1 HOUR FOR EACH INCH ABOVE 10 INCHES

The City's private weather notification service, Continental Weather Service, will determine the number of inches of snowfall within the City per each snow event for the purpose of determining the time to complete each Pass pursuant to this Section 5.

6. Equipment:

- a. **Necessary Equipment.** The Contractor will furnish all vehicles and equipment necessary to perform the Work in accordance with the terms of the Contract/Proposal and these Special Provisions (collectively, the "**Equipment**"), which Equipment is more fully described in the Schedule of Equipment completed by the Contractor and attached to the Contract/Proposal as **Exhibit D**. The Contractor represents and warrants that the Equipment will, at all times during the term of the Contract/Proposal, be available for use by the Contractor to perform the Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions.
 - b. **Maintenance, Repair, and Replacement.** At all times during the Contract/Proposal term, the Contractor will, at its sole cost and expense, keep the Equipment in a good working condition suitable for its intended use to perform the Work. If any Equipment becomes unavailable for use by the Contractor to perform the Work for any reason, the Contractor will, at its sole cost and expense, replace that Equipment with substantially similar Equipment that will be available for use by the Contractor to perform the Work as directed by the City and in accordance with the Contract/Proposal and these Special Provisions. The Equipment will be clearly marked with the company name and/or logo and the phone number of the Contractor.
7. **Employees:** The Contractor will employ personnel with the training, skills, and experience, and will employ a sufficient number of such personnel, to complete the Work in accordance with the Contract/Proposal and these Special Provisions. Prior to the commencement of the Work, the Contractor will provide a list of all personnel who will perform the Work for the City under the Contract/Proposal. If any personnel will operate Equipment that requires the operator to have a Commercial Drivers' License, the Contractor will furnish to the City evidence acceptable to the City that such personnel has obtained all required licenses and approvals. If any personnel fails to perform the Work in a manner satisfactory to the City or in accordance with the Contract/Proposal and these Special Provisions, the Contractor will immediately upon notice from the City remove and replace such personnel. The Contractor shall have no claim for damages, for compensation in excess of the amount contained in the Schedule of Prices, or for a delay or extension of the Time to Complete Pass as a result of any such removal or replacement.
 8. **Snow and Ice Procedures:** In addition to the requirements of the Contract/Proposal and these Special Conditions, the Contractor will perform and complete all Work in accordance with the Salt Institute's snow and ice control procedures.
 9. **General Plowing Instruction:** Unless otherwise instructed by the City in writing, the Contractor will perform and complete all Work and Additional Work in accordance with the following instructions:
 - A. The Contractor will not plow or pile snow into, or cause snow to obstruct, driveways, intersections, landscape islands with shrubbery, handicap parking stalls, or fire hydrants.
 - B. The Contractor will clear ice and snow from all paved surfaces from curb to curb.
 - C. The Contractor will clear ice and snow from an entire cul-de-sac pavement area if no center island exists within the cul-de-sac.
 - D. If a center island exists within a cul-de-sac, the Contractor will pile snow on the cul-de-sac islands, not parkways.

- E. The Contractor will not pile snow at any location where piled snow would obstruct the ability of motor vehicle operators and pedestrians to see other motor vehicles and pedestrians approaching and within any intersection or driveway.

10. Mandatory Meetings:

- a. **Pre-Operations Meeting:** Prior to commencing any Work, the Contractor will attend a Pre-Operations Meeting conducted at the Public Works Building, 1111 Joseph Schwab Rd., Des Plaines. The Director of Public Works & Engineering will set the date and time of the Pre-Operations Meeting after execution of the Contract/Proposal by both parties. The Contractor's designated full-time Superintendent must attend the Pre-Operations meeting. At the Pre-Operations Meeting, the following information must be submitted by the Contractor to City staff for their review and approval:
 - i. Superintendent 24-hour emergency phone number, field phone number, pager number and cellular telephone number.
 - ii. List of Subcontractors, including quantity and type of work to be sublet, their qualifications, references and certified copies of their subcontract agreement.
 - b. **Winter Operations Meetings.** The Contractor will, upon request, meet with City staff during the winter season to discuss the performance of the Work. The Superintendent will attend all such meetings.
- 11. Inspection:** Bidders are required to inspect the site and to have satisfied themselves as to the condition, the requirements of the location and the obstacles that may be encountered prior to the operation. Any deficiencies related to parkway or road damage must be noted and reviewed with the City.
- 12. Annual Inspections:** Contractor and the City will jointly perform annual inspections of the Routes in October and May of each year to determine any damage to public and private property caused by Contractor's performance of the Work. In accordance with Section 1.C of the Contract/Proposal, the Contractor shall be responsible for all damage to any City property and any other property, including without limitation parkway landscaping, curbing, pavement, signs, and mailboxes.

EXHIBIT C

SCHEDULE OF PRICES

**BID FOR WORK ON THE ROUTES
(DOES NOT INCLUDE SALTING)**

	<i>2021/2022 SEASON</i>
COST FOR PLOWING PER PASS-ROUTE 1	\$ 2,004.00
COST FOR PLOWING PER PASS-ROUTE 2	\$ 2,340.00

**BID FOR WORK AT THE ADDITIONAL LOCATIONS
(DOES NOT INCLUDE SALTING)**


VEHICLE MAKE	VEHICLE MODEL	VEHICLE YEAR	MAKE & SIZE OF SNOW PLOW	HOURLY RATES
Chevrolet	K3500	2001	8 1/2' Western	\$ 130.00
Chevrolet	K2500	2002	8' Western	\$ 130.00
Chevrolet	K3500	2008	8 1/2' Western	\$ 130.00
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$
				\$



POLICE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5400
desplaines.org

MEMORANDUM

Date: August 16, 2021
To: Michael G. Bartholomew, City Manager
From: Dave Anderson, Chief of Police 
Subject: Amendment to IGA with Village of Wheeling establishing a JETSB

Issue: In accordance with the requirements of the Illinois Emergency Telephone System Act, 50 ILCS 750/0.01 (ACT), the Village of Wheeling and the City of Des Plaines find it necessary to amend their joint emergency telephone system board (JETSB) intergovernmental agreement to include a “Public Member”.

Analysis: On July 7, 2014, the City of Des Plaines entered into an Emergency Dispatch Services agreement with the Village of Wheeling. Through the agreement, Wheeling operates a full-service emergency dispatch center through which it provides emergency dispatch services on behalf of the City of Des Plaines Police Department. At the direction of the Statewide 9-1-1 Administrator, the parties entered into JETSB Agreement which allows the City of Des Plaines to receive 9-1-1 surcharge revenues and proportional grant funds distributed by the State of Illinois. The City of Des Plaines expends these funds for the maintenance and operation of the Wheeling enhanced 9-1-1 system. The original agreement was amended by the parties on August 6, 2018, to include a representative from the Public Safety Answering Point (PSAP). Staff have now determined that the agreement should be further amended to appoint additional members to the JETSB to meet the “Public Member” requirement of the ACT.

Recommendation: Staff recommend that the City Council approve resolution R-139-21, which will amend and restate the Intergovernmental Agreement establishing a JETSB to meet the “Public Member” requirement of the ACT.

Attachments:

Resolution R-139-21

Exhibit A: Intergovernmental Agreement – Joint Emergency Telephone Systems Board

CITY OF DES PLAINES

RESOLUTION R - 139 - 21

A RESOLUTION APPROVING A SECOND AMENDMENT TO THE AMENDED AND RESTATED INTERGOVERNMENTAL AGREEMENT ESTABLISHING A JOINT EMERGENCY TELEPHONE SYSTEMS BOARD.

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution provides for intergovernmental cooperation between units of local government such as Wheeling and Des Plaines, including the power to contract or otherwise associate among themselves to obtain or share services and to exercise, combine, or transfer any power or function in any manner not prohibited by law or by ordinance; and

WHEREAS, the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, provides that any power or powers, privileges or authority exercised or which may be exercised by a unit of local government may be exercised and enjoyed jointly with any other unit of local government; and

WHEREAS, the City of Des Plaines (“**Des Plaines**”) and the Village of Wheeling (“**Wheeling**”) are home rule units of local government; and

WHEREAS, Wheeling operates a full-service emergency dispatch center through which it provides emergency dispatch services on behalf of the Des Plaines Police Department pursuant to an Emergency Dispatch Services Agreement; and

WHEREAS, in accordance with the requirements of the Illinois Emergency Telephone System Act, 50 ILCS 750/0.01, *et seq.* (“**Act**”), Wheeling and Des Plaines entered into a separate intergovernmental agreement, dated April 30, 2017, establishing a joint emergency telephone system board (“**JETSB**”) to serve both communities; and

WHEREAS, at the direction of the Statewide 9-1-1 Administrator, the Parties subsequently entered into an Amended and Restated Intergovernmental Agreement dated as of July 17, 2017, which replaced the original agreement in its entirety (“**JETSB Agreement**”); and

WHEREAS, pursuant to the terms of the JETSB Agreement, the requirements of the Act, and the authority granted by order of the Statewide 9-1-1 Administrator in Case No. 16-C-155, the Parties were authorized to establish a JETSB capable of receiving 9-1-1 surcharge revenues and proportional grant funds distributed by the State of Illinois and expend these funds for the maintenance and operation of the Parties’ enhanced 9-1-1 system (“**System**”); and

WHEREAS, on August 6, 2018 the Parties approved a First Amendment to the JETSB Agreement, which First Amendment added a representative from the Public Safety Answering Point (“*PSAP*”) as a member the JETSB; and

WHEREAS, it is necessary to further amend the composition of the JETSB and the JETSB Agreement to include a “Public Member” as that term is defined in the Act (“*Second Amendment*”); and

WHEREAS, the City Council has determined that it is in the best interests of the City to approve the Second Amendment to the JETSB Agreement in accordance with this Resolution; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF SECOND AMENDMENT. The City Council hereby approves the Second Amendment to the JETSB Agreement in substantially the form attached to this Resolution and *Exhibit A*, and in a final form and substance to be approved by the General Counsel.

SECTION 3: AUTHORIZATION OF EXECUTION. The City Council hereby authorizes and directs the Mayor and the City Clerk to execute and seal, on behalf of the City, the Second Amendment.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

[SIGNATURE PAGE FOLLOWS]

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Approving Restated and Amended IGA with Wheeling to Form JETS Board

**SECOND AMENDMENT TO AMENDED AND RESTATED INTERGOVERNMENTAL
AGREEMENT ESTABLISHING A
JOINT EMERGENCY TELEPHONE SYSTEMS BOARD**

THIS SECOND AMENDMENT TO AMENDED AND RESTATED INTERGOVERNMENTAL AGREEMENT ESTABLISHING A JOINT EMERGENCY TELEPHONE SYSTEMS BOARD is made as of _____, 2021, by and between the **VILLAGE OF WHEELING**, an Illinois home rule municipal corporation ("**Wheeling**") and the **CITY OF DES PLAINES**, an Illinois home rule municipal corporation ("**Des Plaines**").

NOW THEREFORE, in consideration of the mutual promises of the parties hereto made each to the other and other good and valuable consideration, Wheeling and Des Plaines hereby agree as follows:

Section 1. Background.

- A. Article VII, Section 10 of the Illinois Constitution of 1970 provides for intergovernmental cooperation between units of local government such as Wheeling and Des Plaines, including the power to contract or otherwise associate among themselves to obtain or share services and to exercise, combine, or transfer any power or function in any manner not prohibited by law or by ordinance and to use their credit, revenues, and other resources to pay costs related to intergovernmental activities. The Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, provides that any power or powers, privileges or authority exercised or which may be exercised by a unit of local government may be exercised and enjoyed jointly with any other unit of local government.
- B. Wheeling and Des Plaines are units of local government.
- C. Wheeling operates a full-service emergency dispatch center through which it provides emergency dispatch services on behalf of the Des Plaines Police Department pursuant to an Emergency Dispatch Services Agreement (the approved by Wheeling and Des Plaines with an effective date of July 7, 2014. Wheeling and Des Plaines subsequently entered into a First Amendment to Emergency Dispatch Services Agreement dated as of August 6, 2018, which, together with the July 7, 2014 Agreement shall be collectively referred to herein as the "**Dispatch Agreement**").
- D. In accordance with the requirements of the Illinois Emergency Telephone System Act, 50 ILCS 750/0.01, *et seq.* ("**Act**"), Wheeling and Des Plaines entered into a separate intergovernmental agreement, dated April 30, 2017, establishing a joint emergency telephone system board ("**JETSBS**") to serve both communities.

- E. At the direction of the Statewide 9-1-1 Administrator, the Parties subsequently entered into an Amended and Restated Intergovernmental Agreement dated as of July 17, 2017 which replaced the original agreement in its entirety ("**JETSB Agreement**").
- F. Pursuant to the terms of the JETSB Agreement, the requirements of the Act, and the authority granted by order of the Statewide 9-1-1 Administrator in Case No. 16-C-155, the Parties were authorized to establish a JETSB capable of receiving 9-1-1 surcharge revenues and proportional grant funds distributed by the State of Illinois ("**Remittances**") and expend these funds for the maintenance and operation of the Parties' enhanced 9-1-1 system ("**System**").
- G. On August 6, 2018 the Parties approved a First Amendment to the Amended and Restated Intergovernmental Agreement Establishing a Joint Emergency Telephone System Board which First Amendment added a representative from the Public Safety Answering Point ("**PSAP**") as a member the JETSB.
- H. It is necessary to further amend the composition of the JETSB to include a "Public Member" as that term is defined in the Act.
- I. Wheeling and Des Plaines have determined that it is in the best interests of each party to further amend the JETSB Agreement to appoint additional members to the JETSB in order to meet the "Public Member" requirement of the Act.

Section 2. Amendment. Section 5 of the JETSB Agreement, entitled "JETSB Composition," shall be, and is hereby, amended as follows: [added text **bold and double underlined**; deleted text ~~struck through~~]

"A. Each Party shall have three permanent members of the JETSB (each, a "**Board Member**"), who shall respectively be the Fire Chief, Police Chief, and Finance Director of each Party. In addition, the director or manager of the PSAP serving the JETSB shall also be appointed as a Board Member to represent the interests of the PSAP. **Further, each Party, beginning September 1, 2021 shall appoint an elected official to serve as a Board Member. Each elected official will serve as a "Public Member" representing their respective Party in accordance with the Act. The term of an elected official serving on the JETSB shall be determined by the appointing Party.**

B. Each Board Member may designate an alternate (each, an "**Alternate**") to attend regular and special Board meetings on his/her behalf, with the same voting power as the JETSB Member.

C. At the first meeting of the JETSB in each calendar year, the JETSB shall elect a Chairman from among its members, who shall preside over all JETSB meetings. The term of the Chairman shall be one year. In the absence of the Chairman at any meeting, the JETSB shall elect a temporary chair to preside over the meeting. **The representative of the PSAP shall not be eligible to serve as Chairman of the JETSB.**

D. At the first meeting of the JETSB in each calendar year, the JETSB shall elect a Secretary from among its Members, who shall be responsible for keeping the JETSB's records and for taking minutes of all JETSB meetings. The term of the Secretary shall be one year.

E. The JETSB's fiscal year shall be from January 1 to December 31."

Section 3. Effect of Amendment. All other terms and provisions of the Dispatch Services Agreement not expressly amended herein shall remain in full force and effect.

IN WITNESS HEREOF, the parties hereto have caused this Amendment to be executed and attested to as of the day and year first above written.

VILLAGE OF WHEELING

CITY OF DES PLAINES

By: _____ By: _____
Village President Mayor

Attest: _____ Attest: _____
Village Clerk City Clerk

COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 24, 2021
To: Michael G. Bartholomew, MCP, LEED-AP, City Manager
From: Alex Franco, Building Official
Subject: H.R. Green Inc. - Task Order #1 Building Inspections & Plan Review Services - Change Order

Issue: The Community and Economic Development Department (CED) utilizes the services of H.R. Green, Inc. (HR Green) for building inspections, plan reviews, and related services. Staff is requesting a change order to Task Order #1 of the Master Contract to increase the amount of the current purchase order.

Analysis: On January 4, 2021, the City entered into a Master Contract with HR Green to provide various services, procured through task orders. Task Order #1 was executed in early 2021, which provided for HR Green to perform building inspection and plan review services on an as needed basis.

Once Task Order #1 was approved, a purchase order was executed with HR Green in an amount not-to-exceed \$20,000. Due to this year's influx of new single-family homes and residential additions and coupled with the effects of the ongoing Covid-19 pandemic on permit processing; staff increased the number plan reviews and inspections HR Green performs for the City. Staff is planning to continue to utilize HR Green for residential plan reviews and building inspections for the remainder of 2021, which will require the amount of the purchase order to increase. Staff is requesting an additional \$30,000 for the remainder of 2021.

Recommendation: I recommend the City Council approve Resolution R-140-21 approving a Change Order #1 to Task Order #1 under a Master Contract with H.R. Green Inc. for plan review and building inspection services in the not-to-exceed amount of \$50,000.

Attachment:

Attachment 1: Resolution R-140-21

CITY OF DES PLAINES

RESOLUTION R - 140 - 21

A RESOLUTION APPROVING CHANGE ORDER NO. 1 TO TASK ORDER NO. 1 UNDER A MASTER CONTRACT WITH HR GREEN, INC. FOR PLAN REVIEW AND BUILDING INSPECTION SERVICES.

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution authorizes the City to contract with individuals, associations, and corporations in any manner not prohibited by law or ordinance; and

WHEREAS, on January 4, 2021, the City Council adopted Resolution No. R-13-21, approving a contract ("*Master Contract*") with HR Green, Inc. ("*Consultant*") to conduct certain engineering and inspection services for large construction projects in the City ("*Services*"), which agreement expires on December 31, 2023; and

WHEREAS, on January 20, 2021, the City entered into Task Order No. 1 under the Master Contract ("*Task Order No. 1*") with Consultant for the performance of the Services during the 2021 fiscal year in the not-to-exceed amount of \$20,000; and

WHEREAS, to date, the City has expended over \$20,000 for the performance of the Services by the Consultant pursuant to Task Order No. 1; and

WHEREAS, the City has identified the need for Consultant to continue performing the Services pursuant to Task Order No. 1 for the remainder of the 2021 fiscal year ("*Additional Services*"); and

WHEREAS, in accordance with Chapter 10 of Title 1 of the City Code of the City of Des Plaines and the City purchasing policy, City staff has determined that the procurement of the Additional Services does not require competitive bidding because the Additional Services require a high degree of professional skill and judgment; and

WHEREAS, the City and the Consultant desire to enter into Task Change Order Number 1 to Task Order No. 1 ("*Change Order No. 1*") under the Master Contract for the performance of the Additional Services in the not-to-exceed amount of \$30,000, for a total Task Order No. 1 amount of \$50,000; and

WHEREAS, sufficient funds have been appropriated for use during the 2021 fiscal year to procure the Additional Services in the not-to-exceed amount of \$50,000; and

WHEREAS, the City Council has determined that authorizing the Consultant to perform the Additional Services under the Master Contract pursuant to Task Order No. 1 is: (i) necessary due to an increase in permits, reduction in staff, and the effects of COVID-19; (ii) germane to the Master Contract in its original form as signed; and (iii) in the best interest of the City and authorized by law;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are hereby incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF CHANGE ORDER NO. 1. The City Council hereby approves Change Order No. 1 to Task Order No. 1 in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 3: AUTHORIZATION TO EXECUTE CHANGE ORDER NO. 1. The City Council hereby authorizes and directs the City Manager and the City Clerk to execute and seal, on behalf of the City, Change Order No. 1 to Task Order No. 1.

SECTION 3: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Approving Change Order No 1 to Task Order No 1 with HR Green for Inspection Services 2021

EXHIBIT A

CHANGE ORDER NO. 1

TASK CHANGE ORDER FOR TASK NUMBER 1

In accordance with Section 4.1 of the Master Contract dated January 4, 2021 between the City of Des Plaines (the “*City*”) and HR Green Inc (the “*Consultant*”), the Parties agree to the following Task Change Order for Task Number 1:

- 1. Change in Contracted Services:** Building inspections and related services for building projects within the City of Des Plaines.
- 2. Change in Project Schedule** (attach schedule if appropriate): On Demand/On-Call
- 3. Change in Project Completion Date:** December 31, 2021.
- 4. Change in Compensation:** Additional services in the not-to-exceed amount of \$30,000, for a total Task Order No. 1 amount of \$50,000.
- 5. Change in Project Specific Pricing** (if applicable). N/A

**ALL OTHER TERMS AND CONDITIONS
OF THE CONTRACT REMAIN UNCHANGED**

[signature page follows]

CITY

CONSULTANT

Signature
City Manager

Signature

Name (printed or typed)

_____, 2021
Date

_____, 2021
Date



PUBLIC WORKS AND
ENGINEERING DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: August 26, 2021

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: Jon Duddles, P.E., CFM, Assistant Director of Public Works and Engineering *ASD*

Cc: Timothy P. Oakley, P.E., CFM, Director of Public Works & Engineering

Subject: Illinois Department of Transportation – US 14 (Northwest Hwy) at Mount Prospect Road Improvements Intergovernmental Agreement

Issue: The Illinois Department of Transportation (IDOT) has prepared the attached agreement in connection with their proposed improvement at the intersection of US 14 (Northwest Highway) and Mount Prospect Road to facilitate the free flow of traffic and ensure the safety to the motoring public.

Analysis: The general scope of work within Des Plaines consists of traffic signal modernizations, highway lighting, sidewalk widening, shared used paths, extending westbound and northbound left-turn lanes, pedestrian railroad gates, drainage system improvements and other work necessary to complete the improvement with the approved plans and specifications. The City would be responsible for \$135,758 of the cost of the improvements and associated engineering costs.

On October 2, 2018, the City signed a letter of intent with the IDOT for the general project design and local cost participation. The current intergovernmental agreement is based on that letter of intent, and is necessary for the improvement to proceed within IDOT's FY 2020-2025 proposed Highway Improvement Program which is subject to state funding.

Recommendation: We recommend approval of the Intergovernmental Agreement with the Illinois Department of Transportation for the US 14 (Northwest Hwy) at Mount Prospect Road improvements in the amount of \$135,758. Source of funding would be budgeted Capital Projects Funds.

Attachments:

Attachment 1 – Executed Letter of Intent
Resolution R-141-21
Exhibit A – Intergovernmental Agreement



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847-391-5390
desplaines.org

Date: 10/2/2018

To: Anthony J. Quigley, P.E.
Region One Engineer
Illinois Department of Transportation
Office of Highways Project Implementation
201 West Center Court
Schaumburg, IL 60196-1096

From: Timothy P. Oakley, P.E., CFM
Director of Public Works and Engineering
1420 Miner Street, Room 504
Des Plaines, IL 60016

Re: Letter of Intent – US Route 14 at Mount Prospect Road

Request for the following action:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> For your Records | <input checked="" type="checkbox"/> Per your Request | <input type="checkbox"/> Signature |
| <input type="checkbox"/> For your | <input type="checkbox"/> For your Review | <input type="checkbox"/> For your Approval |

Message

Attached is an executed Letter of Intent for the above project.

If you have any questions, please feel free to contact me.

Thank you.



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

September 28, 2018

The Honorable Matthew Bogusz
Mayor
City of Des Plaines
1420 Miner Street/NW Highway
Des Plaines, IL 60016

Dear Mayor, Bogusz:

The Illinois Department of Transportation (Department) has finalized preliminary engineering and environmental studies (Phase I) for the improvement of US Route 14 (US 14) at Mount Prospect Road in the Village of Mount Prospect and the City of Des Plaines in Cook County. This improvement is included in the Department's FY 2019-2024 Proposed Highway Improvement Program. Our current engineering efforts are targeted to enable a contract letting in the middle years of our current multi-year program contingent upon plan readiness, land acquisition, and funding availability through our future annual legislative appropriations. This will serve as a Letter of Intent between the City of Des Plaines (City) and the Department confirming your concurrence with the proposed improvement plan and the cost participation responsibilities for the subject project. This letter supersedes the Letter of Intent dated April 25, 2018.

The general scope of work for this safety improvement consists of intersection improvements including modernizing the existing traffic signal, extending the left turn storage on the east leg, converting the signal phasing at the intersection to left turn on arrow only, and replacing any sidewalks and drainage structures associated with these improvements. This scope of work was discussed in greater detail at our meeting on August 8, 2016 and in letters dated July 9, 2014, August 7, 2014, June 2, 2017, and in emails on January 9, 2018.

Based on previous coordination with the City, specific items identified by the Department requiring cost participation by the City include roadway lighting and bicyclist and pedestrian accommodations.

Roadway Lighting

The existing roadway lighting, consisting of aluminum poles west of the intersection along US 14 is owned and maintained by the Village of Mount Prospect and must be relocated at various locations where it is in conflict with the proposed improvement. East of Mount Prospect Road, in the City of Des Plaines, there is a ComEd pole with lighting which does not meet Illuminating Engineering Society (IES) Standards and should be removed and/or upgraded to current standards. A more detailed analysis in Phase II, contract plan preparation, is needed to determine if the existing lighting poles can be salvaged or if they would need to be replaced.

RECEIVED

OCT 01 2018

As outlined in the attached Exhibit A, all costs and long-term maintenance associated with roadway lighting within the corporate limits are the City's responsibility. Mount Prospect Road is the dividing line between the Village of Mount Prospect and the City of Des Plaines. Because full intersection lighting would be located on both sides of US 14, the agencies would split the roadway lighting costs equally at 50% each. The Department will use combination traffic signal lighting poles given the complexity of the railroad interconnect, the inclusion of Prospect Avenue into the intersection operations, and the limited space at the intersection sidewalks. The Department will maintain the combination traffic signal poles that have roadway lighting. At our August 8, 2016 meeting, the City expressed interest in including intersection lighting as part of this improvement; as such, the City would be responsible for the cost to install, own and maintain, and be responsible for electric utility energy costs related to the new roadway lighting within their corporate boundaries. The total estimated construction cost for the new intersection lighting with appropriate transition lighting is \$207,000, including a 15% engineering fee. The City's share is approximately \$103,500. In addition, the City must agree to accept long-term responsibility for the administration, control, and maintenance of the roadway lighting within their corporate limits.

Railroad Gates

After further review and consideration, the Department agrees to include and pay the costs of the pedestrian railroad gates as part of the proposed safety improvements at this intersection.

The existing vehicular railroad gates on Mount Prospect Road will not be impacted with this improvement; however, the sidewalks along both sides of Mount Prospect Road do not have pedestrian railroad gates and are required to be included with this improvement. The pedestrian railroad gates will be installed by the UP Railroad with reimbursement by the Department. The UP Railroad will be responsible for all costs associated with routine maintenance of the pedestrian warning devices.

Bicyclist and Pedestrian Accommodations

Within the improvement limits, there are 5-foot wide concrete sidewalks on the north side of US 14 and on both sides of Mount Prospect Road. The sidewalks in the northwest and southwest quadrants include additional aesthetic brick pavers.

The existing sidewalks along the east side of Mount Prospect Road between Warrington Road and Cranbrook Drive, a distance of approximately 675 feet and the sidewalk on the north side of US 14 between Mount Prospect Road and Village Court, a distance of approximately 580 feet, are not currently anticipated to be directly impacted by the proposed improvement. However, the City has requested to widen them to provide for an 8-foot concrete shared-use path.

The local cost share for these upgraded pedestrian and bicyclist facilities is 20% of the construction cost, plus a 15% engineering fee. The estimated cost

of the shared-use path widening is \$26,355. The Agency's portion would be approximately \$6,065, which includes a 15% engineering fee. If the City is willing to include these bicyclist and pedestrian accommodations as part of this improvement, in addition to their share of the costs associated with construction, the City must agree to accept long term responsibility for the administration, control, reconstruction, and maintenance of the shared-use path.

Utility Relocation

Public utilities, installed in the highway right-of-way via permit and requiring relocation, will be relocated at no expense to the Department. The City will be responsible for relocation of its facilities in conflict with the US 14 safety improvements. Facilities subject to the previously stated condition may include but may not be limited to watermain and fire hydrants as well as storm, sanitary and/or combined sewers. A potential for conflicts exists along the west side of Mount Prospect Road with the 27" storm sewers, and the 12" storm sewers and the 12" watermain under the sidewalk along the east side of Mount Prospect Road. On the north side of US 14 there are conflicts with the 10" watermain and 15" storm sewers. However, a more detailed study of conflicts will be initiated during Phase II, contract plan preparation.

Summary of Estimated Costs

The estimated total cost responsibility for the City, based on the available information collected during the Phase I process is approximately \$109,565 as outlined in the following table. However, this does not include the cost of utilities, which should be pursued independently by the City.

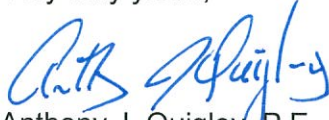
Improvement	Agency Cost	Engineering Fee (15%)	Total City Cost
Shared-use path	\$5,275	\$790	\$6,065
Roadway Lighting	\$90,000	\$13,500	\$103,500
Total City Costs			\$109,565

At the end of this Letter of Intent, there is an area where you can state your concurrence to the cost participation items outlined above. This Letter of Intent will be used as a basis during Phase II, contract plan preparation, to develop a project agreement between the City and the Department. Please return an original signed copy of this letter within 90 days so we may maintain our project schedule.

The Honorable Matthew Bogusz
September 28, 2018
page four

If you have any questions or need additional information, please contact me or Carlos Feliciano, In-House Project Studies Unit Head, at (847) 705-4106.

Very truly yours,



Anthony J. Quigley, P.E.
Region One Engineer

Attachments

cc: Mr. Timothy P. Oakley
Mr. John Yonan, Attn: Ms. Jennifer Killen

Project and Environmental Studies

U.S. Route 14
At Mount Prospect Road / Prospect Avenue
Cook County

Concur with project scope:

Yes
 No

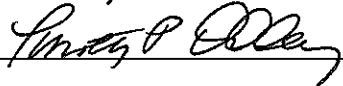
Concur with shared-use path scope,
costs, and long-term maintenance:

Yes
 No

Concur with roadway lighting scope,
costs, and long-term maintenance:

Yes
 No

Name: Timothy P. Oakley

Signature: 

Title: Director of Public Works & Engineering

Date: 10-2-2018

Comments:

SUGGESTED RESOLUTION LANGUAGE FOR NON-PARTICIPATING LOCAL AGENCIES

WHEREAS, The Illinois Department of Transportation (Department) has the power to approve and determine the final plans, specifications and estimates for all State highways; and

WHEREAS, the Department's projects must adequately meet the State's transportation needs, exist in harmony with their surroundings, and add lasting value to the communities they serve; and

WHEREAS, the Department must embrace principles of context sensitive design and context sensitive solutions in its policies and procedures for the planning, design, construction, and operation of its projects for new construction, reconstruction, or major expansion of existing transportation facilities by engaging in early and ongoing collaboration with affected citizens, elected officials, interest groups, and other stakeholders to ensure that the values and needs of the affected communities are identified and carefully considered in the development of transportation projects; and

WHEREAS, Bicyclist and pedestrian ways must be given full consideration in the planning and development of transportation facilities, including the incorporation of such ways into State plans and programs; and

WHEREAS, The State's complete streets law requires bicyclist and pedestrian ways to be established in or within one mile of an urban area in conjunction with the construction, reconstruction, or other change of any State transportation facility, except in pavement resurfacing projects that do not widen the existing traveled way or do not provide stabilized shoulders, or where approved by the Secretary of Transportation based upon documented safety issues, excessive cost or absence of need; and

WHEREAS, During the development of highway projects throughout the State, the Department gives consideration to accommodating bicyclists and pedestrians on a need-basis; and

WHEREAS, The Department has presented the local agency, for its consideration, a bicyclist and/or pedestrian improvement with funding to be split 80% State, 20% local with maintenance to be provided by the local agency; therefore, be it

RESOLVED, That the local agency hereby rejects the Department's proposed bicyclist and/or pedestrian improvement and acknowledges that such rejection will result in a cancellation of the proposed improvement; and be it further

RESOLVED, That a suitable copy of this resolution be presented to the Project Engineer associated with the proposal, or his or her equivalent, within the Department.

CITY OF DES PLAINES

RESOLUTION R - 141 - 21

A RESOLUTION APPROVING AN AGREEMENT WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION FOR SAFETY IMPROVEMENTS AT US ROUTE 14 AND MOUNT PROSPECT ROAD.

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution and the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*, authorize and encourage intergovernmental cooperation; and

WHEREAS, the City of Des Plaines ("**City**") is an Illinois home-rule municipal corporation pursuant to Article VII, Section 6 of the Illinois Constitution; and

WHEREAS, the Illinois Department of Transportation ("**IDOT**") plans to make improvements at its intersection of US Route 14 (Northwest Highway) and Mount Prospect Road located in the City of Des Plaines and the Village of Mount Prospect (collectively, "**Project**"); and

WHEREAS, the Project includes traffic signal modernizations, the extension of westbound and northbound left turn lanes, sidewalk widening, drainage system improvements, highway lighting, shared-use paths, pedestrian railroad gates, and any collateral and incidental work necessary to complete the Project in accordance with the approved plans and specifications; and

WHEREAS, in order to complete the Project, IDOT requested that the City enter into an agreement in order to set forth the parties' respective responsibilities and obligations regarding the Project ("**Agreement**"); and

WHEREAS, pursuant to the Agreement, the City will pay IDOT for a portion of the engineering, shared-use path and roadway lighting, in the estimated amount of \$135,758, or so much thereof as may be necessary ("**City Share**"); and

WHEREAS, the City will, in accordance with the Agreement, pay 80% of the City Share to IDOT when the contract for the Project is awarded and will pay the remaining 20% upon the completion of the Project based upon final costs; and

WHEREAS, the City Council has determined that it is in the best interest of the City to enter into the Agreement with IDOT;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the City Council.

SECTION 2: APPROVAL OF AGREEMENT. The City Council hereby approves the Agreement in substantially the form attached to this Resolution as **Exhibit A**, and in a final form to be approved by the General Counsel.

SECTION 3: EXECUTION OF AGREEMENT. The Mayor and City Clerk are hereby authorized and directed to execute and seal, on behalf of the City, the final Agreement.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval according to law.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

AGREEMENT

This Agreement entered into this _____ day of _____, 2021 A.D., by and between the STATE OF ILLINOIS, acting by and through its DEPARTMENT OF TRANSPORTATION, hereinafter called the STATE, and the CITY OF DES PLAINES of the State of Illinois, hereinafter called the CITY.

WITNESSETH:

WHEREAS, the STATE, in order to facilitate the free flow of traffic and ensure safety to the motoring public, is desirous of improving FAU 3512 / US 14 (Northwest Highway) at its intersection with Mount Prospect Road, STATE Section 2019-006-N, STATE Job No.: C-91-330-19, State Contract Number 62H87 as follows:

The proposed scope of work includes traffic signal modernizations, highway lighting, sidewalk widening, shared use paths, extending westbound and northbound left turn lanes, pedestrian railroad gates, drainage system improvements and all other work necessary to complete the improvement in accordance with the approved plans and specifications; and

WHEREAS, the CITY is desirous of said improvement in that same will be of immediate benefit to the CITY residents and permanent in nature;

NOW, THEREFORE, in consideration of the mutual covenants contained herein, the parties hereto agree as follows:

1. The STATE agrees to make the surveys, obtain all necessary rights of way, prepare plans and specifications, receive bids and award the contract, furnish engineering inspection during construction and cause the improvement to be built in accordance with the approved plans, specifications and contract.
2. The STATE agrees to pay for all right of way, construction and engineering cost subject to partial reimbursement by the CITY, as hereinafter stipulated.
3. It is mutually agreed by and between the parties hereto that the estimated cost and cost proration for this improvement is as shown on Exhibit A attached hereto and made a part hereof.
4. The CITY has passed a resolution appropriating sufficient funds to pay its share of the cost for this improvement, a copy of which is attached hereto as Exhibit B and made a part hereof.
The CITY agrees that upon award of the contract for this improvement, the CITY will pay to the STATE, in a lump sum from any funds allotted to the CITY, an amount equal to 80% of its obligation incurred under this AGREEMENT, and will pay to said STATE the remainder of the obligation (including any non-participating costs on FA Projects) in a lump sum, upon completion of the project, based upon final costs.
5. The CITY further agrees to pass a supplemental resolution to provide necessary funds for its share of the cost of this improvement if the amount appropriated in Exhibit B proves to be insufficient to cover said cost.
6. The CITY has adopted a resolution, will send a letter, or sign the Plan Approval page which is part of this document, prior to the STATE advertising for the work to be performed hereunder, approving the plans and specifications as prepared.

7. The CITY agrees not to permit driveway entrance openings to be made in the curb, as constructed, or the construction of additional entrances, private or commercial, along US 14 without the consent of the STATE.
8. The CITY shall exercise its franchise rights to cause private utilities to be relocated, if required, at no expense to the STATE.
9. The CITY agrees to cause its utilities installed on right of way after said right of way was acquired by the STATE or installed within the limits of a roadway after the said roadway's jurisdiction was assumed by the STATE, to be relocated and/or adjusted, if required, at no expense to the STATE.
10. All CITY owned utilities, on STATE right of way within the limits of this improvement, which are to be relocated/adjusted under the terms of this Agreement, will be relocated/adjusted in accordance with the applicable portions of the "Accommodation of Utilities of Right of Way of the Illinois State Highway System." (92 Ill. Adm. Code 530).
11. Upon final field inspection of the improvement and so long as US 14 is used as a STATE Highway, the STATE agrees to maintain or cause to be maintained the median, the through traffic lanes, the left-turn lanes and right turn lanes, and the curb and gutter, stabilized shoulders and ditches adjacent to those traffic lanes and turn lanes.
12. Upon final field inspection of the improvement, the CITY agrees to maintain or cause to be maintained those portions of the improvement which are not maintained by the STATE, including new and existing sidewalks, shared-use paths, parkways, crosswalk and stopline markings, CITY owned utilities including appurtenances thereto, highway lighting including electrical energy, and shall provide routine maintenance of the storm sewers and appurtenances by performing those functions necessary to keep the sewer in a serviceable condition, including cleaning sewer lines, inlets, manholes, and catch basins along with the repair or replacement of inlet, manhole and catch

basins' frames, grates or lids. The maintenance, repair and/or reconstruction of storm sewers constructed as part of this improvement beyond the aforescribed responsibilities shall be that of the STATE.

13. The CITY further agrees to continue its existing maintenance responsibilities on all side road approaches under its jurisdiction, including all left and right turn lanes on said side road approaches, up to the through edge of pavement of US 14 and Mount Prospect Road. Drainage facilities, if any, at the aforementioned side roads located within the STATE right-of-way shall be the joint maintenance responsibility of the STATE and the CITY unless there is an agreement specifying different responsibilities.
14. Upon acceptance by the STATE of the traffic signal work included herein the financial responsibility for maintenance and electrical energy for the operation of the traffic signals shall continue as listed in the current Master Agreement between the STATE and CITY.
15. It is mutually agreed that the actual traffic signal maintenance will be performed by the STATE either with its own forces or through an ongoing contractual agreement.
16. It is mutually agreed, if, in the future, the STATE or Cook County adopts a roadway or traffic signal improvement passing through the traffic signals included herein which requires modernization or reconstruction to said traffic signals then the CITY agrees to be financially responsible for its share of the costs to relocate or reconstruct the traffic signals and all costs to relocate the emergency vehicle detection equipment in conjunction with the STATE's or County's proposed improvement.
17. Under penalty of perjury, the CITY certifies that its correct Federal Tax Identification number is 36-6005849 and it is doing business as a GOVERNMENTAL ENTITY, whose mailing address is:

CITY OF DES PLAINES
1420 Miner Street
Des Plaines, IL 60016

Obligations of the STATE and the CITY will cease immediately without penalty or further payment being required if, in any fiscal year, the Illinois General Assembly or Federal funding source fails to appropriate or otherwise make available funds for this contract.

This AGREEMENT and the covenants contained herein shall be null and void in the event the contract covering the construction work contemplated herein is not awarded within the three years subsequent to execution of the agreement.

This Agreement shall be binding upon and to the benefit of the parties hereto, their successors and assigns.

CITY OF DES PLAINES

By: _____
(Signature)

By: _____
(Print or Type)

Title: _____

Date: _____

Attest:

Clerk

(SEAL)

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

By: _____
Jose Rios, P.E.
Region One Engineer

Date: _____

Job No.: C-91-330-19
Agreement No.: JN-122-002

PLAN APPROVAL

WHEREAS, in order to facilitate the improvement of FAU 3512 / US 14 at Mount Prospect Road, Contract No. 62H87, State Section 2019-006-N, the CITY agrees to that portion of the plans and specifications relative to the CITY's financial and maintenance obligations described herein, prior to the STATE's advertising for the aforescribed proposed improvement.

Approved _____

Title _____

Date _____

EXHIBIT A ESTIMATE OF COST Contract 62H87									
Type of Work	FEDERAL		STATE		VILLAGE OF MOUNT PROSPECT		CITY OF DES PLAINES		TOTAL
	\$	%	\$	%	\$	%	\$	%	
All roadway work excluding the following:	\$1,680,000	80%	\$420,000	20%					\$2,100,000
P&C Engineering (15%)	\$252,000	80%	\$63,000	20%					\$315,000
TRAFFIC SIGNALS									
US 14 at Mt Prospect Road/Prospect Avenue	\$461,700	90%	\$41,040	8%	\$10,260	2%			\$513,000
P&C Engineering (15%)	\$69,255	90%	\$6,156	8%	\$1,539	2%			\$76,950
Emergency Vehicle Pre-emption System					\$14,000	100%			\$14,000
P&C Engineering (15%)			\$2,100	100%					\$2,100
Traffic Signal Painting			\$11,650	100%					\$11,650
HIGHWAY LIGHTING									
Intersection Lighting W of Mt Prospect Road (Mt Prospect)					\$76,900	100%			\$76,900
P&C Engineering (15%)					\$11,535	100%			\$11,535
Intersection Lighting E of Mt Prospect Road (Des Plaines)							\$111,900	100%	\$111,900
P&C Engineering (15%)							\$16,785	100%	\$16,785
PEDESTRIAN ACCOMMODATIONS									
Shared Use Path - W side Mt Prospect Road	\$16,880	80%			\$4,220	20%			\$21,100
P&C Engineering (15%)	\$2,532	80%			\$633	20%			\$3,165
Shared Use Path - E side Mt Prospect Road & N side US 14	\$24,600	80%					\$6,150	20%	\$30,750
P&C Engineering (15%)	\$3,690	80%					\$923	20%	\$4,613
TOTAL	\$2,510,657		\$530,196		\$132,837		\$135,758		\$ 3,309,448
NOTE: Local participation shall be predicated upon the percentages shown above for the specified work. Local Agency cost shall be determined by multiplying the final quantities times contract unit price plus the percentage shown for construction and/or preliminary engineering unless otherwise noted.									

"Exhibit B"
FUNDING RESOLUTION

WHEREAS, the CITY OF DES PLAINES (CITY) has entered into an AGREEMENT with the STATE OF ILLINOIS (STATE) for the improvement of FAU 3512 / US 14 at Mount Prospect Road, known as State Section 2019-006-N, Contract No. 62H87, and

WHEREAS, in compliance with the aforementioned AGREEMENT, it is necessary for the CITY to appropriate sufficient funds to pay its share of the cost of said improvement.

NOW THEREFORE, BE IT RESOLVED, that there is hereby appropriated the sum of One Hundred Thirty Five Thousand Seven Hundred Fifty Eight Dollars (\$135,758.00), or so much thereof as may be necessary, from any money now or hereinafter allotted to the CITY, to pay its share of the cost of this improvement as provided in the AGREEMENT; and

BE IT FURTHER RESOLVED, that upon award of the contract for this improvement, the CITY will pay to the STATE in a lump sum from any funds allotted to the CITY, an amount equal to 80% of its obligation incurred under this AGREEMENT, and will pay to said STATE the remainder of the obligation in a lump sum, upon completion of the project, based on final costs.

BE IT FURTHER RESOLVED, that the CITY agrees to pass a supplemental resolution to provide any necessary funds for its share of the cost of this improvement if the amount appropriated herein proves to be insufficient, to cover said cost.

STATE OF (ILLINOIS)
COUNTY OF (COOK)

I, _____, CITY Clerk in and for the CITY OF DES PLAINES, hereby certify the foregoing to be a true perfect and complete copy of the resolution adopted by the CITY COUNCIL at a meeting on _____, 2021 A.D.

IN TESTIMONY WHEREOF, I have hereunto set my hand seal this _____ day of _____, 2021 A.D.

CITY Clerk

(SEAL)



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 19, 2021

To: Michael G. Bartholomew, MCP, LEED AP, City Manager

From: John T. Carlisle, AICP, Economic Development Manager *JTC*

Subject: Requested Extension of Approval – Preliminary Planned Unit Development (PUD) for 414 E. Golf Road, Case #20-031-PPUD-TSUB-CU-MAP

Issue: Petitioner Cumberland Crossing, LLC, which is proposing a 348-unit multiple-family residential development with a free-standing commercial out-lot at 414 E. Golf Road, is requesting an extension from the City Council to submit a Final Plat of PUD. Ordinance Z-23-20, passed March 15, 2021, approved the preliminary PUD but allowed only 180 days to submit a Final Plat: a submission deadline of September 12.

Analysis: Z-23-20 granted a Preliminary Planned Unit PUD, Tentative Plat of Subdivision, and Map Amendment. Section 12-3-5.D.3 of the Zoning Ordinance states “...*the preparation of the final plat, which shall be submitted by the developer not later than 12 months (or such additional time as may be authorized by resolution of the city council) after approval of the preliminary plat...*”, but approving Ordinance Z-23-20 allowed 180 days instead of 12 months.

The petitioner’s greatest task to prepare a Final Plat of PUD is to complete detailed engineering (final engineering). For this project, Illinois Department of Transportation (IDOT) is heavily involved and must approve intersection design at Golf Road and Wolf Road. The petitioner informs they submitted materials to review to IDOT in April and did not receive response comments until August 12 (Attachment 2). Therefore, it will be infeasible to prepare and submit a Final Plat by September 12.

Recommendation: The City Council may pass a resolution extending the time period if it finds additional time is warranted. Although staff expects a prompter submission, staff recommends extending the deadline to March 15, 2022, which is 12 months from the date of the approving Ordinance for the PUD and would mirror the typical requirement of the Zoning Ordinance.

Attachments:

Attachment 1: Extension Request

Attachment 2: Comments from IDOT, dated August 12, 2021

Attachment 3: Approving Ordinance Z-23-20

Resolution R-142-21 Granting an Extension of the Approval for the Preliminary PUD for 414 E. Golf Road

**Mack Law Group
1363 Shermer Rd., Suite 210
Northbrook, IL 60062
Telephone: 847.239.7212**

**Charles Mack
Email: charles@mlgcounsel.net**

August 20, 2021

John T. Carlisle, AICP
Economic Development Manager
City of Des Plaines, Illinois
1420 Miner Street
Des Plaines, IL 60016

Re: 414 E. Golf Rd.
Ordinance Z – 23 – 20

Dear Mr. Carlisle,

Cumberland Crossing LLC is requesting an extension of the time period to submit a final plat of PUD for 414 E. Golf Rd. to and including March 15, 2022.

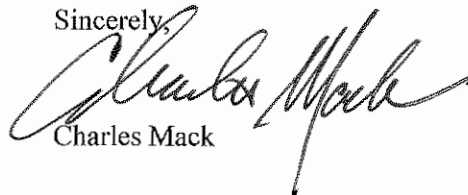
As you are aware, one of the conditions of approval of the final plat is the approval of the Illinois Department of Transportation to the modifications to the interchange and the creation of a signalized interchange at the intersection of the property and Golf Road. Today, we received preliminary comments from the Illinois Department of Transportation, which the City of Des Plaines was also copied on. We are in the process of reviewing the comments. Cumberland Crossing LLC needs additional time to review and respond to the comments as proposed by the Illinois Department of Transportation as well as coordinate with the City.

We would greatly appreciate the extension.

We understand that the request for the extension will be heard at the City Council meeting on September 7, 2021. If you require additional information or require our attendance, please advise.

If you wish to discuss this matter, please call.

Sincerely,



Charles Mack



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

Location: IL 58 North of Intersection with S. Wolf Road
Municipality: City of Des Plaines, Cook County
Re: Cumberland Crossing TOD Mixed Use Development
Reference No: 016-100658

August 12, 2021

Mr. Luay Aboona, P.E., PTOE
Kenig, Lindgren, O'Hara, Aboona, Inc.
9575 West Higgins Road
Suite 400
Rosemont, IL 60018

RECEIVED

AUG 16 2021

Des Plaines P.W. & Engr. Dept.

Dear Mr. Aboona:

We have completed our review of your Traffic Impact Study for the subject location. We offer the following comments:

Bureau of Traffic Operations – Traffic Programs Section

1. With the addition of the fourth leg to the intersection and an eastbound left turn lane, westbound left turn vehicles will have a difficult time seeing around opposing left turning vehicles. Due to this sight restriction, the eastbound and westbound left turn movements should be converted to left turn on green arrow only. To mitigate the change, a dual westbound left turn lane would be required.
2. With the addition of the fourth leg to the intersection, dedicated left turn lanes should be provided on the northbound and southbound approaches. It is recommended to provide a dedicated left turn lane and a shared right-through lane on the new north leg and a dedicated left turn lane, through lane and right turn lane on the south leg by installing a new northbound right turn lane within the existing public right of way.
3. The Department will only allow protected/permissive phasing for a configuration with a dedicated left turn lane on the north leg. No configuration will be allowed that requires a split phase operation on the northbound and southbound approaches.
4. Has the traffic impact study been reviewed by the Illinois Commerce Commission (ICC)? Due to the proximity of the intersection to the at grade railroad crossing on the west leg, a review by the ICC would be required.
5. Is there a tenant ready to occupy the retail building at location "I" on the site plan? If so, can the tenant information be provided? There is

Location: IL 58 North of Intersection with S. Wolf Road

Reference No: 016-100658

August 11, 2021

Page 2

concern with internal queuing on site at this location that may impact internal operations and possibly operations on IL Route 58.

Bureau of Programming – Geometric Studies Unit


1. The proposed signal operations for the IL 58 at Wolf Rd from the TIS are not realistic. Now that a 4th leg is proposed, the EB and WB lefts along IL 58 should go together. As such, to properly accommodate the traffic volumes at this intersection WB dual lefts should be provided. A WB right-turn lane should also be provided if possible. Attached is ROW information for this area.

Please revise the Traffic Impact Study in accordance with the above comments and resubmit two (2) copies to continue the review process. In addition to hard copies, it is also recommended to send files electronically to Jeffrey.Snape@illinois.gov.

If you have any questions regarding this matter, please contact Jeffrey Snape at 847-705-4803.

Very truly yours,

Jose Rios, P.E.
Region One Engineer

By: 
Thomas G. Gallenbach, P.E.
Traffic Permits Engineer

cc. City of Des Plaines

CITY OF DES PLAINES

ORDINANCE Z - 23 - 20

AN ORDINANCE APPROVING A PRELIMINARY PLANNED UNIT DEVELOPMENT, TENTATIVE PLAT OF SUBDIVISION, AND MAP AMENDMENT, FOR 414 E. GOLF ROAD. (Case #20-031-PPUD-TSUB-CU-MAP).

WHEREAS, the Cumberland Crossing, LLC ("*Petitioner*") is the current record title holder of that certain real property consisting of approximately 6.49 acres, located in the M-1, Limited Manufacturing District, commonly known as 414 E. Golf Road, Des Plaines, Illinois (the "*Subject Property*"); and

WHEREAS, the Subject Property is currently improved with a 106,846-square foot vacant industrial building, 78 space surface parking area, a commercial cell tower facility with enclosure, and public access road to the Metra commuter parking lot; and

WHEREAS, the Petitioner intends to redevelop the Subject Property with (i) a five-story, 348-unit apartment building, served by 448 parking spaces (395 internal and 53 surface), and multiple activity areas for residents; and (ii) a one-story, 2,000-square foot commercial building with patio area and drive-through, served by thirteen parking spaces (collectively, the "*Development*"); and

WHEREAS, the Petitioner also plans to relocate an existing commercial cell tower facility including the appurtenant equipment enclosure to another portion of the Subject Property pursuant to a revised easement agreement; and

WHEREAS, pursuant to Sections 12-3-4, 12-3-6, 12-3-7 and 12-3-5 of the City of Des Plaines Zoning Ordinance ("*Zoning Ordinance*") and Title 13 of the City Code of the City of Des Plaines, as amended ("*Subdivision Regulations*"), the Petitioner filed, with the consent of the City, an application with the City for the approval of: (i) an application with the City for the approval of a map amendment to the "Zoning Map of the City of Des Plaines" ("*Zoning Map*") to rezone the Subject Property from the M-1 District to the C-3 General Commercial District ("*C-3 District*") ("*Proposed Map Amendment*"); (ii) a tentative plat of subdivision for the entire Subject Property prepared by SPACECO Inc., consisting of four sheets, with a latest revision date of August 31, 2020 ("*Proposed Tentative Plat of Subdivision*"); (iii) a preliminary plat of planned unit development of the Development Parcel ("*Proposed Preliminary Plat of PUD*"); and (iv) multiple PUD exceptions (collectively, the "*Requested Relief*"); and

WHEREAS, within fifteen (15) days after the receipt thereof, the Petitioner's application for the Requested Relief was referred by the Department of Community and Economic Development to the City's Planning and Zoning Board ("*PZB*"); and

WHEREAS, within ninety (90) days after the date of the Petitioner's application, a public

hearing was held by the PZB on September 22, 2020 pursuant to publication in the *Journal & Topics* on September 2, 2020; and

WHEREAS, notice of the public hearing was mailed to all property owners within 300 feet of the Subject Property; and

WHEREAS, during the public hearing the PZB heard competent testimony and received evidence with respect to how the Petitioner intended to satisfy and comply with the provisions of the Zoning Ordinance and the Subdivision Regulations; and

WHEREAS, pursuant to Section 12-3-5 of the Zoning Ordinance, the PZB filed a written report with the City Council on September 23, 2020, summarizing the testimony and evidence received by the PZB and stating by a vote of 5-2 of: (i) its recommendation to approve the Proposed Map Amendment; (ii) its approval of the Proposed Tentative Plat of Subdivision for the Subject Property; (iii) its recommendation to approve the Proposed Preliminary Plat of PUD for the Development Parcel; (iv) its recommendation to approve the PUD exceptions requested by the Petitioner subject to certain conditions; and

WHEREAS, the Petitioner made certain representations to the PZB with respect to the Requested Relief, which representations are hereby found by the City Council to be material and upon which the City Council relies in approving the Requested Relief; and

WHEREAS, the City Council has considered the written report of the PZB, the applicable standards for planned unit developments set forth in the Zoning Ordinance, and the Community and Economic Development Staff Memorandum dated February 10, 2021, and has determined that it is in the best interest of the City and the public to approve the Requested Relief in accordance with the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for the approval of the Proposed Preliminary Plat of PUD.

SECTION 2. LEGAL DESCRIPTION OF THE SUBJECT PROPERTY. The Subject Property is legally described as:

LOTS 2, 3, 6 AND 7 (TAKEN AS A TRACT) (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF CHICAGO AND NORTHWESTERN RAILWAY COMPANY AND THE WESTERLY LINE OF WOLF-GOLF ROAD PRODUCED; THENCE SOUTHWESTERLY ALONG THE WESTERLY LINE OF WOLF-GOLF ROAD PRODUCED 110.55 FEET; THENCE NORTHWESTERLY PARALLEL TO THE SAID SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY TO THE EASTERLY RIGHT OF WAY LINE OF THE WEST WYE TRACT OF SAID CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE NORTHWESTERLY ALONG SAID EASTERLY LINE OF SAID WYE TRACT TO THE NORTHWESTERLY LINE OF LOT 3 IN SEEGER'S SUBDIVISION; THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF LOT 3, 76.13 FEET TO THE SAID SOUTHERLY RIGHT OF WAY LINE OF SAID CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE SOUTHEASTERLY 909.89 FEET ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE PLACE OF BEGINNING; AND ALSO EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 18, THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION 18, FOR A DISTANCE OF 1185.2 FEET; THENCE EASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 102 DEGREES 23 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 2437.1 FEET; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 51 DEGREES 35 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 126.1 FEET TO THE POINT OF BEGINNING WHICH IS ON THE NORTH RIGHT OF WAY LINE SEEGER ROAD; THENCE EASTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE RIGHT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 84.7 FEET TO A POINT; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 430.2 FEET TO A POINT WHICH IS ON THE CHICAGO AND NORTHWESTERN RAILWAY RIGHT OF WAY LINE; THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 84 DEGREES 22 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 120.6 FEET TO A POINT; THENCE SOUTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 38 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 549.8 FEET TO A POINT ON THE AFORESAID NORTH RIGHT OF WAY LINE OF SEEGER ROAD; THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 84.7 FEET MORE OR LESS TO THE POINT OF BEGINNING; AND ALSO EXCEPTING FROM SAID TRACT THAT PART THEREOF LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THE RIGHT OF WAY OF

WOLF-GOLF ROAD;

IN SEEGERS SUBDIVISION OF PART OF THE SOUTH ½ OF FRACTIONAL SECTION 7 AND PART OF THE NORTH ½ OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS PURSUANT TO THAT PLAT OF SUBDIVISION RECORDED NOVEMBER 21, 1917 AS DOCUMENT NO. 6234083.

PARCEL 2:

NON-EXCLUSIVE EASEMENT FOR USE AND OPERATION OF A ROADWAY AS ESTABLISHED BY GRANT FOR CHICAGO AND NORTHWESTERN RAILWAY COMPANY TO AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 13454 RECORDED AS DOCUMENT NO. LR1997027, AND THE TERMS AND CONDITIONS THEREOF.

P.I.N.s: 09-07-316-001, 09-18-200-008, 09-18-200-009

SECTION 3. APPROVAL OF PROPOSED MAP AMENDMENT. Pursuant to Section 12-3-7 of the Zoning Ordinance, the City Council has considered the factors relevant to the approval of map amendments and has determined that the procedure for the review of map amendments has been satisfied. The City Council hereby approves the Proposed Map Amendment, and the Zoning Map is hereby amended to rezone the Subject Property from the M- 1 Limited Manufacturing District to the C-3 General Commercial District.

SECTION 4. APPROVAL OF PROPOSED PRELIMINARY PLAT OF PUD. Subject to and contingent upon the conditions set forth in Section 8 of this Ordinance, and pursuant to Section 12-3-5 of the Zoning Ordinance, the City Council hereby approves the Proposed Preliminary Plat of PUD, which consists of the following plans:

- A. Preliminary Planned Unit Development Plat for Cumberland Crossing, consisting of one sheet, prepared by SPACECO Inc., and with a latest revision date of February 11, 2021;

- B. Preliminary Site Improvement Plans for Cumberland Crossing, consisting of four sheets, prepared by SPACECO Inc., and with a latest revision date of February 10, 2021; and
- C. Floor Plans and Elevations for Cumberland Crossing, consisting of nine sheets, prepared by Studio 222 Architects, and with a latest revision date of February 10, 2021.

(collectively, the "*Proposed Preliminary Plat of PUD*") copies of which are attached to and, by this reference, made a part of this Ordinance as **Exhibit A**. The City Council hereby directs the Zoning Administrator to accept the Proposed Preliminary Plat of PUD for the Subject Property, subject to and contingent upon the conditions set forth in Section 8 of this Ordinance.

SECTION 5. ACKNOWLEDGEMENT OF REQUEST FOR EXCEPTIONS. The City Council hereby acknowledges that pursuant to Section 12-3-5.C of the Zoning Ordinance, the Petitioner has requested, and the Proposed Preliminary Plat of PUD contemplates, the following exceptions to the bulk regulations of the C-3 General Commercial District:

- A. To permit a maximum building height of 59 feet 10 inches, where a maximum height of 45 feet is allowed in C-3 General Commercial District as set forth in Section 12-7-3 F of the Zoning Ordinance; and
- B. To permit a minimum lot area exception of 812.5-square feet per unit where the minimum lot area is 1,815-square feet per unit as set forth in Section 12-3-5-1.D.1 of the Zoning Ordinance.

(collectively, "*Proposed Exceptions*"). At the time of consideration of a proposed final plat of planned unit development ("*Final Plat of PUD*") for the Subject Property, a final plat of subdivision for the Subject Property, and a final development plan for the Subject Property, the

City Council will consider the Proposed Exceptions.

SECTION 6. SUBMISSION OF FINAL PLAT OF PLANNED UNIT DEVELOPMENT AND FINAL PLAT OF SUBDIVISION. Pursuant to and in accordance with Section 12-3-5.D.3 of the Zoning Ordinance and Section 13-2-4 of the Subdivision Code, the adoption of this Ordinance authorizes the Petitioner to submit a Final Plat of PUD and a final plat of subdivision for the Subject Property to the City.

SECTION 7. EFFECT OF APPROVAL OF PROPOSED PRELIMINARY PLAT OF PUD. Pursuant to Section 12-3-5.D.3 of the Zoning Ordinance, the approval of the Proposed Preliminary Plat of PUD for the Development Parcel, as provided in Section 4 of this Ordinance, will not be deemed or interpreted as authorizing or entitling the development or the improvement of the Subject Property in any manner whatsoever unless and until the City Council approves, by ordinance or resolution duly adopted, as the case may be: (i) a conditional use permit for a planned unit development for the Subject Property, pursuant to Section 12-3-5.D.5 of the Zoning Ordinance; and (ii) a final plat of subdivision for the Subject Property, pursuant to Section 13-2-8 of the Subdivision Regulations. Nothing herein will be deemed or interpreted as obligating or requiring the City Council to approve a conditional use permit for a planned unit development or a final plat of subdivision. Further, the City Council has no obligation to consider or approve a conditional use permit for a planned unit development or a final plat of subdivision unless and until:

- A. The Petitioner complies with the applicable procedures for the review and approval of a Final Plat of PUD for the Development Parcel, as set forth in Section 12-3-5.D.5 of the Zoning Ordinance; and

- B. The Petitioner complies with the applicable procedures for review and approval of a final plat of subdivision for the Subject Property, as set forth in Chapter 2 of the Subdivision Regulations.

SECTION 8. CONDITIONS OF APPROVAL. The approval of the Proposed Preliminary Plat of PUD granted pursuant to Section 3 of this Ordinance is expressly subject to and contingent upon compliance by the Petitioner with each and all of the following conditions, all at the sole cost and expense of the Petitioner:

- A. The Petitioner must prepare and submit to the City: (i) a Final Plat of PUD for the Subject Property that meets all the requirements of Section 12-3-5 and Section 12-14-5 (Minimum Submittal requirements for PUDs) of the Zoning Ordinance; and (ii) a final plat of subdivision for the Subject Parcel; that meets all the requirements of the Subdivision Regulations.
- B. The Petitioner will commission and provide to the City a full traffic study, including all site access points and required content approved by IDOT, at time of Final Planned Unit Development.
- C. That a 10-foot wide side path must be constructed by the Petitioner along the Golf Road and Wolf Road frontages of the Subject Property within the public right-of-way, tying into the Cumberland Metra parking lot at the north of the Subject Property.
- D. That any and all governing documents for the Development including covenants, conditions, and restrictions, or operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of any Final PUD Plat or Final Plat of Subdivision.

- E. A fire hydrant will be required within 100 feet of the Des Plaines Fire Department sprinkler connection at the proposed restaurant building.
- F. All proposed improvements and modifications shall be in full compliance with all applicable regulations, codes, and ordinances. All Engineering, Landscape, and Building plans will be updated or modified to comply with requirements in effect at the time of approval of the Final PUD Plat.
- G. The Petitioner must, as part of the Development, reconstruct at its cost and expense, the Golf Road/ Wolf Road/ Seegers Road intersection when adding a fourth leg to accommodate northbound and southbound traffic on Wolf Road. The Final Engineering Plans and Final Plat of PUD shall incorporate plans depicting the reconstruction of this intersection and shall be approved by all agencies having jurisdiction over the roads connecting to the intersection.
- H. The Petitioner must obtain approval of its final engineering plans for the Subject Property from the City of Des Plaines Public Works and Engineering Department.
- I. The final plans submitted with the Final Plat of PUD shall be in substantial compliance with the Preliminary Plat of PUD.

SECTION 9. TIME PERIOD FOR SUBMISSION OF FINAL PLAT OF PLANNED UNIT DEVELOPMENT AND FINAL PLAT OF SUBDIVISION. Pursuant to and in accordance with Section 12-3-5.D.3 of the Zoning Ordinance and Section 13-2-10.B of the Subdivision Regulations, respectively, the Petitioner must submit for review and approval by the City: (a) a Final Plat of PUD for the Subject Property no later than the date that is 180 days after the effective date of this Ordinance; and (b) a final plat of subdivision for the Subject Property no later than the date that is 12 months after the effective date of the approval of the Proposed Tentative Plat of Subdivision by the PZB.

SECTION 10. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

SECTION 11. SEVERABILITY. If any paragraph, section, clause or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

PASSED this 15th day of March, 2021.

APPROVED this 15th day of March, 2021.

VOTE: AYES 5 NAYS 3 ABSENT 0



MAYOR

ATTEST:

Laura Jast
CITY CLERK, Deputy

Published in pamphlet form this
16th day of March, 2021.

Laura Jast
CITY CLERK, Deputy

Approved as to form:

Peter M. Friedman
Peter M. Friedman, General Counsel

CITY OF DES PLAINES

ORDINANCE Z-23-20

AN ORDINANCE APPROVING A PRELIMINARY PLANNED UNIT DEVELOPMENT,
TENTATIVE PLAT OF SUBDIVISION AND MAP AMENDMENT FOR
414 E GOLF ROAD (CASE #20-031-PPUD-TSUB-CU-MAP)

ADOPTED ON MARCH 15, 2021
BY THE CITY COUNCIL
OF THE
CITY OF DES PLAINES

Published in pamphlet form by authority of the City Council of the City of Des Plaines,
Cook County, Illinois, on this 16th day of March, 2021.

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

CERTIFICATE

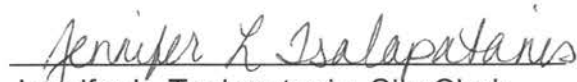
I, Jennifer L. Tsalapatanis, certify that I am the duly elected and acting Municipal Clerk of the City of Des Plaines, Cook County, Illinois.

I further certify that on March 15, 2021 the Corporate Authorities of such municipality passed and approved Ordinance Z-23-20, AN ORDINANCE APPROVING A PRELIMINARY PLANNED UNIT DEVELOPMENT, TENTATIVE PLAT OF SUBDIVISION AND MAP AMENDMENT FOR 414 E GOLF ROAD (CASE #20-031-PPUD-TSUB-CU-MAP) provided by its terms that it should be published in pamphlet form.

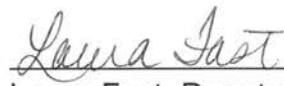
The pamphlet form of Ordinance Z-23-20 was posted in the municipal building commencing on March 16, 2021 and continuing for at least 10 days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the Municipal Clerk.

DATED at Des Plaines, Illinois, this 16th day of March, 2021.

(SEAL)



Jennifer L. Tsalapatanis, City Clerk

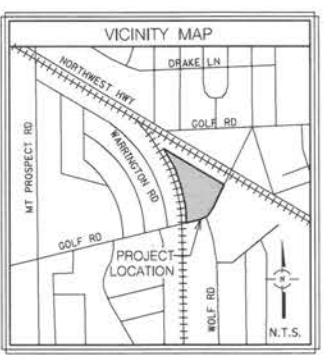
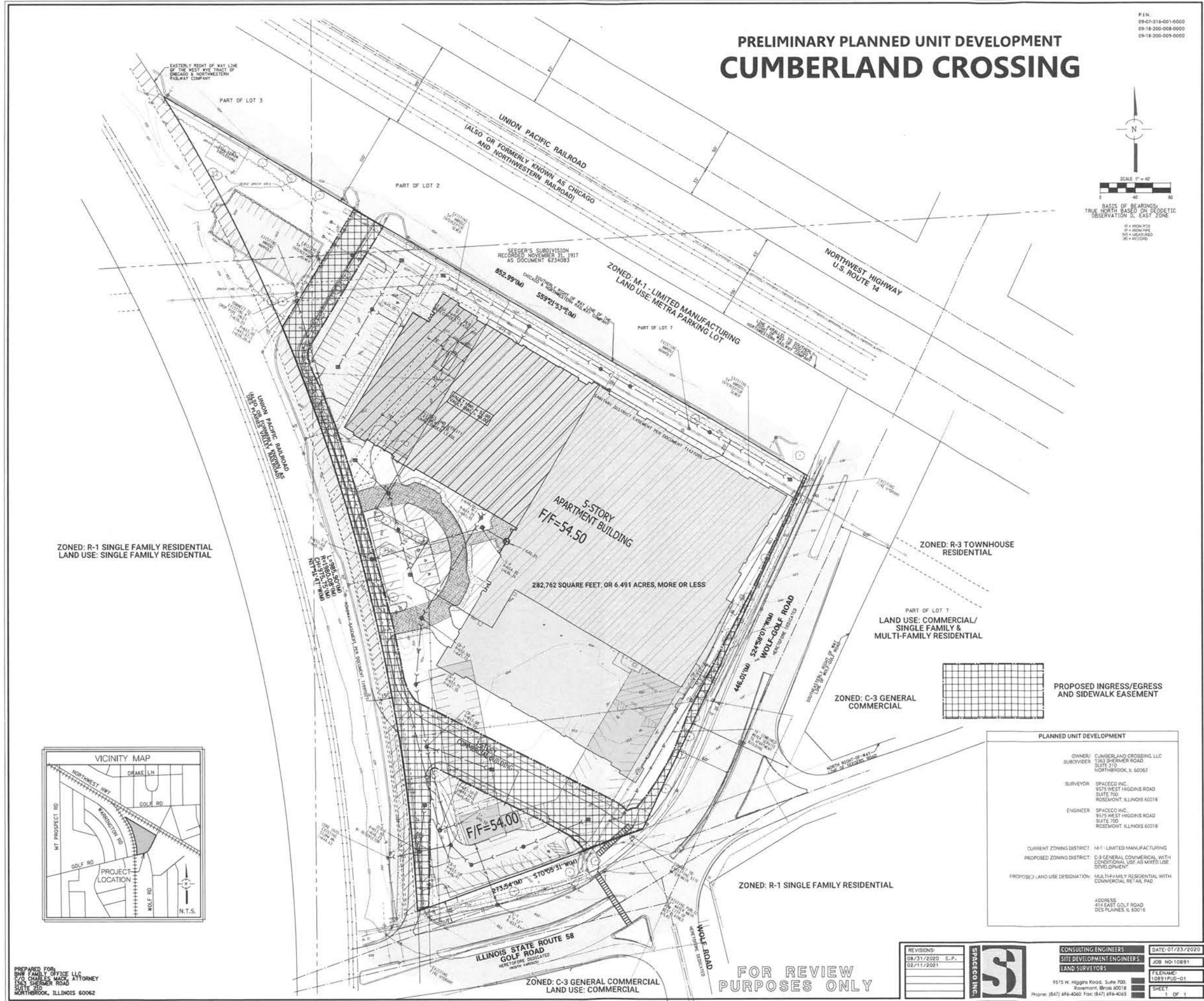
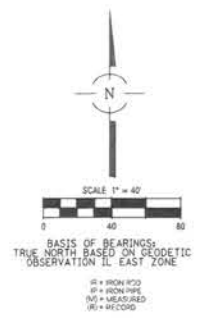


By: Laura Fast, Deputy City Clerk
City of Des Plaines, County of Cook

*Per the provisions of 65 ILCS 5/3.1-20-5
Of the Illinois Compiled Statutes (2006)

PRELIMINARY PLANNED UNIT DEVELOPMENT CUMBERLAND CROSSING

P.I.N.
09-07-316-001-0000
09-18-200-008-0000
09-18-200-009-0000



PLANNED UNIT DEVELOPMENT	
OWNER/SUBDIVIDER:	CUMBERLAND CROSSING LLC 1363 SHERMER ROAD SUITE 210 NORTHBROOK, IL 60062
SURVEYOR:	SPACECO INC. 9575 WEST HIGGINS ROAD SUITE 700 ROSEMONT, ILLINOIS 60018
ENGINEER:	SPACECO INC. 9575 WEST HIGGINS ROAD SUITE 700 ROSEMONT, ILLINOIS 60018
CURRENT ZONING DISTRICT:	M-1 - LIMITED MANUFACTURING
PROPOSED ZONING DISTRICT:	C-3 GENERAL COMMERCIAL WITH CONDITIONAL USE AS MIXED USE DEVELOPMENT
PROPOSED LAND USE DESIGNATION:	MULTI-FAMILY RESIDENTIAL WITH COMMERCIAL RETAIL PAD
ADDRESS:	474 EAST GOLF ROAD DES PLAINES, IL 60016

PREPARED FOR:
BANK FAMILY OFFICE LLC
C/O CHARLES MACK ATTORNEY
1363 SHERMER ROAD
SUITE 210
NORTHBROOK, ILLINOIS 60062

REVISIONS
08/31/2020 C.P. 02/11/2021



CONSULTING ENGINEERS	DATE: 07/23/2020
SITE DEVELOPMENT ENGINEERS	JOB NO: 10891
LAND SURVEYORS	FILENAME: 10891PUD-01
	SHEET: 1 OF 1

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 494-4040 Fax: (847) 494-4045

FOR REVIEW
PURPOSES ONLY

CITY OF DES PLAINES

RESOLUTION R - 142 - 21

AN RESOLUTION GRANTING AN EXTENSION OF THE APPROVAL FOR THE PRELIMINARY PLANNED UNIT DEVELOPMENT AND TIME PERIOD FOR SUBMITTING FINAL PLAT OF PLANNED UNIT DEVELOPMENT FOR 414 E. GOLF ROAD (CASE# 20-031-PPUD-TSUB-MAP-CU).

WHEREAS, on March 15, 2021, the City Council adopted Ordinance Z-23-20 (“*Approving Ordinance*”) granting a preliminary plat of planned unit development (“*Preliminary Plat of PUD*”), tentative plat of subdivision, and map amendment to develop the property commonly known as 414 East Golf Road, Des Plaines, Illinois (“*Subject Property*”) with 348 multiple-family residential units and a free-standing commercial out-lot (“*Proposed Development*”); and

WHEREAS, pursuant to Section 9 of the Approving Ordinance, Cumberland Crossing, LLC (“*Petitioner*”) has 180 days from March 15, 2021 to submit a final plat of planned unit development (“*Final Plat of PUD*”) to the City for its review; and

WHEREAS, on August 20, 2021, Petitioner requested an extension of the approval of the Preliminary Plat of PUD and time period for submitting Final Plat of PUD until March 15, 2022 (“*Extension Request*”); and

WHEREAS, Petitioner is coordinating with Illinois Department of Transportation (“*IDOT*”) on items integral to the project, which coordination has taken an unforeseen amount of time; and

WHEREAS, approval from the IDOT is necessary to complete the Final Plat of PUD; and

WHEREAS, the City Council has determined that it is in the best interest of the City to approve the Extension Request.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Plaines, County of Cook, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1: RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting part of the factual basis for this Resolution granting the Extension Request.

SECTION 2: LEGAL DESCRIPTION. The Subject Property is legally described as follows:

LOTS 2, 3, 6 AND 7 (TAKEN AS A TRACT) (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF CHICAGO AND NORTHWESTERN RAILWAY COMPANY AND THE WESTERLY LINE OF WOLF-GOLF ROAD PRODUCED; THENCE SOUTHWESTERLY ALONG THE WESTERLY LINE OF WOLF-GOLF ROAD PRODUCED 110.55 FEET; THENCE NORTHWESTERLY PARALLEL TO THE SAID SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY TO THE EASTERLY RIGHT OF WAY LINE OF THE WEST WYE TRACT OF SAID CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE NORTHWESTERLY ALONG SAID EASTERLY LINE OF SAID WYE TRACT TO THE NORTHWESTERLY LINE OF LOT 3 IN SEEGER'S SUBDIVISION; THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF LOT 3, 76.13 FEET TO THE SAID SOUTHERLY RIGHT OF WAY LINE OF SAID CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE SOUTHEASTERLY 909.89 FEET ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE PLACE OF BEGINNING; AND ALSO EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 18, THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION 18, FOR A DISTANCE OF 1185.2 FEET; THENCE EASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 102 DEGREES 23 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 2437.1 FEET; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 51 DEGREES 35 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 126.1 FEET TO THE POINT OF BEGINNING WHICH IS ON THE NORTH RIGHT OF WAY LINE SEEGER ROAD; THENCE EASTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE RIGHT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 84.7 FEET TO A POINT; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 430.2 FEET TO A POINT WHICH IS ON THE CHICAGO AND NORTHWESTERN RAILWAY RIGHT OF WAY LINE; THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 84 DEGREES 22 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 120.6 FEET TO A POINT; THENCE SOUTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 38 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 549.8 FEET TO A POINT ON THE AFORESAID NORTH RIGHT OF WAY LINE OF SEEGER ROAD; THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 45 DEGREES 05 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 84.7 FEET MORE OR LESS TO THE POINT OF BEGINNING; AND ALSO EXCEPTING FROM SAID TRACT THAT PART THEREOF LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THE RIGHT OF WAY OF

WOLF-GOLF ROAD;

IN SEEGER'S SUBDIVISION OF PART OF THE SOUTH ½ OF FRACTIONAL SECTION 7 AND PART OF THE NORTH ½ OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS PURSUANT TO THAT PLAT OF SUBDIVISION RECORDED NOVEMBER 21, 1917 AS DOCUMENT NO. 6234083.

PARCEL 2:

NON-EXCLUSIVE EASEMENT FOR USE AND OPERATION OF A ROADWAY AS ESTABLISHED BY GRANT FOR CHICAGO AND NORTHWESTERN RAILWAY COMPANY TO AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 13454 RECORDED AS DOCUMENT NO. LR1997027, AND THE TERMS AND CONDITIONS THEREOF.

P.I.N.s: 09-07-316-001, 09-18-200-008, 09-18-200-009

Commonly known as 414 East Golf Road, Des Plaines, Illinois.

SECTION 3: APPROVAL OF EXTENSION REQUEST. Pursuant to Section 12-3-5.D.3 of the Zoning Ordinance, the City Council hereby approves the Extension Request and extends the approval of the Preliminary Plat of PUD and time period to submit the Final Plat of PUD through and including March 15, 2022, which extension is subject to, and contingent upon, the same terms and conditions applicable to the grant of the Approving Ordinance.

SECTION 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage, approval and publication in pamphlet form according to law.

[SIGNATURE PAGE FOLLOWS]

PASSED this _____ day of _____, 2021.

APPROVED this _____ day of _____, 2021.

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
____ day of _____, 2021.

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Resolution Granting Extension of Approval of Preliminary PUD and Time Period to Submit Final PID at 414 E. Golf Road

MINUTES OF THE REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF DES PLAINES, ILLINOIS HELD IN THE ELEANOR ROHRBACH MEMORIAL COUNCIL CHAMBERS, DES PLAINES CIVIC CENTER, MONDAY, AUGUST 16, 2021

CALL TO ORDER

The regular meeting of the City Council of the City of Des Plaines, Illinois, was called to order by Mayor Goczkowski at 7:00 p.m. in the Eleanor Rohrbach Memorial Council Chambers, Des Plaines Civic Center on Monday, August 16, 2021.

ROLL CALL

Roll call indicated the following Aldermen present: Moylan, Oskerka, Zadrozny, Brookman, Chester, Ebrahimi. Absent: Lysakowski, Smith. A quorum was present.

Also present were: City Manager Bartholomew, Assistant City Manager/Director of Finance Wisniewski, Director of Public Works and Engineering Oakley, Community and Economic Development Manager Carlisle, Deputy Fire Chief Matzl, Police Chief Anderson, and General Counsel Friedman.

PRAYER AND PLEDGE

The prayer and the Pledge of Allegiance to the Flag of the United States of America were offered by Alderman Oskerka.

MINUTES OF THE PUBLIC HEARING HELD IN THE ELEANOR ROHRBACH MEMORIAL COUNCIL CHAMBERS DES PLAINES CIVIC CENTER, MONDAY, AUGUST 16, 2021

PUBLIC HEARING/TEXT AMENDMENTS TO ZONING ORDINANCE/ CANNABIS BUSINESS EST:

Mayor Goczkowski called the Public Hearing for Text Amendments to the Zoning Ordinance Regarding Cannabis Business Establishments and Minor Variations to order at 7:01 p.m.

Community and Economic Development Manager Carlisle reviewed a memorandum dated August 5, 2021.

Ordinance Z-42-21

The City Council is asked to hold a public hearing to consider the following text amendments to the Zoning Ordinance: (i) establish Cannabis Dispensary (retail sales of legal cannabis products) as a permitted use in the C-3 General Commercial and C-4 Regional Shopping Districts and a conditional use in the C-5 Central Business District; (ii) establish Cannabis Dispensary as a permitted use in the M-2 General Manufacturing District; (iii) remove the minimum-distance requirement between Cannabis Business Establishments (1,500 feet); (iv) amend the Specific Use Regulations for Cannabis Business Establishments; and (v) remove the application fee for minor variations.

The City of Des Plaines is proposing amending the Zoning Ordinance to make cannabis dispensaries a permitted use (currently conditional use) in the C-3, C-4, and M-2 districts, and a conditional use (currently not allowed) in the C-5 district. Additionally, the proposed amendments remove the minimum-distance requirement of 1,500 feet between cannabis business establishments and remove the minor variation application fee.

As part of an economic development strategy to offer stand-out, time-efficient, streamlined permitting and approval, the City is requesting consideration of amendments to make cannabis dispensaries a permitted use in the C-3, C-4, and M-2

districts, where they are currently conditional uses. If this change is approved, interested dispensaries will find their prospective approval process to be two-to-three months shorter than it had been, likely shorter than in a nearby municipalities. In general, this change would apply to most of the City's prime sites for cannabis dispensaries: high-traffic and/or visible areas and corridors that are accessible not only to Des Plaines residents but also to those from elsewhere. Dispensaries are an opportunity to attract non-local spending. Another proposed change is to add cannabis dispensary as a conditional use in C-5 (Central Business District).

Because Downtown Des Plaines is denser and perhaps more sensitive to cannabis dispensaries, the conditional use process seems prudent to allow a case-by-case review of proposals for their unique design and compatibility with the surrounding area. However, currently dispensaries are not possible anywhere in C-5.

Finally, the recently signed state legislation exempted some - but not all - cannabis business establishments from a state rule mandating a minimum distance of 1,500 feet between establishments. This rule applies not only to dispensaries but also to the supply-chain businesses. Des Plaines zoning currently has the same rule. While the City has the authority to retain this rule if it wishes, staff recommends removing it. Market-based factors discourage the clustering of a "cannabis strip" or "cannabis district," and the remaining state rules should be effective at achieving the intent without a local Des Plaines rule reinforcing it.

The following existing regulations are not proposed to change:

- A 500-foot minimum distance from pre-existing schools, houses of worship, and commercial day care
- Sign type and style limitations (i.e. no electronic message boards, no imagery aimed at children)
- Lighting ample for security but does not intrude on neighboring property per general lighting rules
- Hours of operation between 10 a.m. and 8 p.m.
- No on-site consumption or delivery service
- Seismic and sonic detectors
- Authority of the City for periodic inspections regarding odor
- The off-street parking minimum based on multiple ratios of building floor area

In the instance of a proposal for a permitted, by-right use, there would be no public hearing or meetings, but City staff would conduct the initial review of site, building, and operational plans. The minimum 500-foot distance from sensitive uses would be checked, as staff maintains an updated list of these uses and properties. Any cannabis endeavor requiring building permitting will be required to obtain the permit through the Community and Economic Development Department. The typical business registration process will be required, as will all taxation forms (Title 15, Chapter 13 of the City Code) to be processed through the Finance Department.

The City also proposes amending the zoning section that requires various fees for zoning applications. Because of the staff and administrative resources required to process all zoning petitions, in general it is good practice to charge a non-refundable application fee. However, minor variations are very small relief sought by resident homeowners on issues such as fence height and style. When they are approved, it is

because the applicant clearly encountered a hardship or challenging circumstance in the code. In instances of approval, imposing an application fee of \$150 amounts to simply an extra charge on a permit. The zoning administrator can administratively approve or deny minor variations, based on the standards in the Zoning Ordinance. In the instance of a denial, the applicant can appeal to the PZB. Appeals are separate applications with a fee. The City is not proposing to remove the appeal fee. This has the overall effect of alleviating the fee for those very reasonable requests for relief that will be approved, but “gray area” requests or those which will likely be denied will have to pay a non-refundable fee to process an appeal.

The PZB typically holds public hearings and votes on a recommendation regarding zoning amendments. However, because of the time sensitivity of the actions proposed and state-level activities in the cannabis industry, the City is exercising its home-rule authority to hold the public hearing at the City Council level. Therefore, there is no recommendation from the PZB to consider. The Council may vote on the first reading of the approving ordinance at the conclusion of the public hearing.

Staff recommends approval of Ordinance Z-42-21, which does the following:

- Makes cannabis dispensaries permitted uses (i.e. “by right”) in the C-3 General Commercial, C-4 Regional Shopping, and M-2 Manufacturing Districts;
- Makes dispensaries a conditional use in the C-5 Central Business District;
- Removes the minimum-distance requirement between cannabis business establishments (1,500 feet);
- Removes the reference to conditional uses in the Specific Use Regulations for Cannabis Business Establishments; and
- Removes the application fee for minor variations.

Moved by Oskerka, seconded by Zadrozny, to Approve the Ordinance Z-42-21, AN ORDINANCE AMENDING THE TEXT OF VARIOUS SECTIONS OF THE DES PLAINES ZONING ORDINANCE REGARDING CANNABIS BUSINESS ESTABLISHMENTS AND MINOR VARIATION FEE.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

Advanced to second reading by Zadrozny, seconded by Moylan, to Adopt the Ordinance Z-42-21, AN ORDINANCE AMENDING THE TEXT OF VARIOUS SECTIONS OF THE DES PLAINES ZONING ORDINANCE REGARDING CANNABIS BUSINESS ESTABLISHMENTS AND MINOR VARIATION FEE.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

Mayor Goczkowski adjourned the Public Hearing at 7:17 p.m.

**ALDERMEN
ANNOUNCEMENTS**

Alderman Oskerka stated he is hosting a ward meeting at Prairie Lakes Community Center on August 17, 2021 at 6:30 p.m.

Alderman Zadrozny stated he is hosting a ward meeting at Golf Road Baptist Church on August 26, 2021 at 7:00 p.m.

Alderman Chester discussed competitive current and possible future casinos within the surrounding areas.

**MAYORAL
ANNOUNCEMENTS**

Mayor Goczkowski announced he is creating a Multicultural Advisory Group – a group to discuss how to help all residents to feel more at home in Des Plaines. Residents who are interested in participating should visit the City’s website for more information and send the Mayor a letter of intent. A future announcement will be made by Mayor Goczkowski regarding who he selected for the group and further information.

On March 16, 2020, a Declaration of Civil Emergency for the City of Des Plaines related to the COVID-19 emergency was authorized. The Declaration provided that: (1) the City may enter into contracts for the emergency purchase of goods and services; (2) the City Manager may implement emergency staffing protocols pursuant to the City’s respective collective bargaining agreements; and (3) directed City officials and employees to cooperate with other government agencies.

In accordance with Illinois statutes, the Mayor’s Declaration lasted only for a period of seven days, unless it was extended by action of the City Council. At each subsequent City Council meeting, the City Council, by motion, extended the Declaration until the next adjournment of the next special or City Council meeting. This extension of the Declaration includes the Supplemental Order dated July 29, 2020.

Mayor Goczkowski presented an extension to the Declaration of Civil Emergency.

Moved by Brookman, seconded by Oskerka, to extend the March 16, 2020 Declaration of Civil Emergency until the adjournment of the next regular, special, or emergency meeting of the City Council.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

**MANAGER’S
REPORT**

City Manager Bartholomew mentioned the state of Illinois is offering a new grant program “Back to Business” for small businesses impacted by the COVID-19 shutdown; further information will be available on the City’s website.

City Manager Bartholomew requested to add a Closed Session to the August 16, 2021 City Council Agenda for the purpose of Property Acquisition.

**CONSENT
AGENDA**

Moved by Brookman, seconded by Zadrozny, to establish the Consent Agenda.
Upon voice vote, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
 Brookman, Chester, Ebrahimi
 NAYS: 0 - None
 ABSENT: 2 - Lysakowski, Smith
 Motion declared carried.

Moved by Chester, seconded by Moylan, to approve the Consent Agenda.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
 Brookman, Chester, Ebrahimi
 NAYS: 0 - None
 ABSENT: 2 - Lysakowski, Smith
 Motion declared carried.

A resident requested further action to be done by the City regarding public indecency.

Minutes were approved; Requests were approved; Ordinance M-9-21, M-10-21 were adopted; Resolutions R-120-21, R-132-21 were adopted.

APPROVE NEW OWNERSHIP EXISTING CLASS A LIQ LIC/E&G ROAD HOUSE/864 RAND ROAD:
Consent Agenda

Moved by Chester, seconded by Moylan to Approve NEW OWNERSHIP FOR EXISTING CLASS A – TAVERN LIQUOR LICENSE FOR E&G ROAD HOUSE, INC., D/B/RAND ROAD HOUSE, 864 RAND ROAD. Motion declared carried as approved unanimously under Consent Agenda.

APPROVE NEW OWNERSHIP EXISTING CLASS M LIQ LIC /2380 RIVER, INC/ 2380 RIVER ROAD:
Consent Agenda

Moved by Chester, seconded by Moylan to Approve NEW OWNERSHIP FOR EXISTING CLASS M – GAS STATION/RETAIL SALES BEER & WINE ONLY LIQUOR LICENSE FOR 2380 RIVER, INC. D/B/A MOBIL GAS STATION, 2380 RIVER ROAD. Motion declared carried as approved unanimously under Consent Agenda.

APPROVE & RATIFY/PD PROMO ASSMNT & TEST/ INDUSTRIAL ORGANIZATION SOLUTIONS, INC:
Consent Agenda

Moved by Chester, seconded by Moylan to Approve Resolution R-120-21, A RESOLUTION APPROVING AND RATIFYING THE PROCUREMENT OF POLICE DEPARTMENT PROMOTION ASSESSMENT AND TESTING FROM INDUSTRIAL ORGANIZATIONAL SOLUTIONS, INC. Motion declared carried as approved unanimously under Consent Agenda.

Resolution R-120-21

AUTH FUNDS/ RR AGMT/RAND RD SIDEPATH PROJ:

Moved by Chester, seconded by Moylan to Approve Resolution R-132-21, A RESOLUTION AUTHORIZING THE EXPENDITURE OF FUNDS PURSUANT

Consent Agenda

TO RAILROAD AGREEMENTS FOR THE RAND ROAD SIDEPATH PROJECT. Motion declared carried as approved unanimously under Consent Agenda.

**Resolution
R-132-21**

**APPROVE
MINUTES
Consent Agenda**

Moved by Chester, seconded by Moylan to Approve the Minutes of the City Council meeting of August 2, 2021, as published. Motion declared carried as approved unanimously under Consent Agenda.

**SECOND
READING/
ORDINANCE
M-9-21:
Consent Agenda**

Moved by Chester, seconded by Moylan to Approve Ordinance M-9-21, AN ORDINANCE AMENDING SECTION 6-2-4 OF THE DES PLAINES CITY CODE REGARDING OBSCENE AND IMMORAL ACTS. Motion declared carried as approved unanimously under Consent Agenda.

**SECOND
READING/
ORDINANCE
M-10-21:
Consent Agenda**

Moved by Chester, seconded by Moylan to Approve Ordinance M-10-21, AN ORDINANCE AMENDING TITLE 4 OF THE DES PLAINES CITY CODE REGARDING OCCASIONAL RESIDENTIAL SALES. Motion declared carried as approved unanimously under Consent Agenda.

**UNFINISHED
BUSINESS:**

COMMUNITY DEVELOPMENT – Alderman Chester, Chairman

**CONSIDER
APPROVING
PRELIM PLNED
UNIT DVLP, TNTV
PLAT OF SUBDIV,
& MAP AMDT
FOR 1050 E
OAKTON ST, 1000-
1100 EXECUTIVE
WAY, AND 1555
TIMES DR
Ordinance
Z-40-21**

AN ORDINANCE APPROVING A PRELIMINARY PLANNED UNIT DEVELOPMENT, TENTATIVE PLAT OF SUBDIVISION, AND MAP AMENDMENT FOR 1050 EAST OAKTON STREET, 1000-1100 EXECUTIVE WAY, AND 1555 TIMES DRIVE (CASE #21-019-PPUD-TSUB-MAP-CU)

Request approved to move from Unfinished Business to the Community Development Committee.

NEW BUSINESS:

FINANCE & ADMINISTRATION – Alderman Zadrozny, Chairman

**WARRANT
REGISTER
Resolution
R-133-21**

Alderman Zadrozny presented the Warrant Register.

Moved by Chester, seconded by Oskerka, to approve the Warrant Register of August 16, 2021 in the Amount of \$3,564,649.96 and approve Resolution R-133-21.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

COMMUNITY DEVELOPMENT – Alderman Chester, Chairman

CONSIDER
APPROVING
PRELIM PLNED
UNIT DVLP, TNTV
PLAT OF SUBDIV,
& MAP AMDT
FOR 1050 E
OAKTON ST, 1000-
1100 EXECUTIVE
WAY, AND 1555
TIMES DR (CASE
#21-019-PPUD-
TSUB-MAP-CU)
Ordinance
Z-40-21

Community and Economic Development Manager Carlisle reviewed a memorandum dated August 5, 2021.

The petitioner is requesting the following under the Zoning Ordinance: (i) a Preliminary PUD under Section 12-3-5; (ii) a Map Amendment to rezone the subject property from C-3 General Commercial to R-3 Townhouse Residential under Section 12-3-7; and (iii) a Conditional Use for a PUD under Section 12-3-4 (to be approved with the consideration of the final plat). The petitioner also requests a Tentative Plat of Subdivision under Section 13-2-2 of the Subdivision Regulations. Finally, under Section 8-1-9 of the City Code, the petitioner will seek a Vacation of Public Streets to be approved by the City Council at the time of consideration of the Final Plats of PUD and Subdivision.

The petitioner is proposing a full redevelopment of 11.2 contiguous acres of vacant property at 1050 East Oakton Street, 1000-1100 Executive Way, and 1555 Times Drive. The proposal is for a residential-only development of 125 townhouses, tentatively branded as Halston Market. Seven townhouses would have two bedrooms, and 118 would have three bedrooms. The units would be horizontally connected to each other and spread across 23 separate buildings. Each building would be three stories with each unit having a ground-floor, two-car, rear-loaded garage (i.e. facing inward, not toward public streets or private drives). Walkways would connect unit front doors to public and private sidewalks. Each building will also have balconies and include landscaped grass front yards. However, the amount of private open space per unit is minimal, as the concept is built around shared open space. Centrally located on the site would be a landscaped common plaza of approximately 14,000 square feet with benches, plantings, walkways, and open green space. There is also a 10,605- square-foot common area oriented north-south between the buildings in the southwest portion. In the southeast portion, a stormwater detention area (“dry” basin, not a pond) of approximately 69,050-square feet (1.6 acres) is shown, with 21 adjacent surface parking spaces intended for visitors. Fifteen additional spaces intended for visitors are interspersed through the development for a total of 286, which would meet the parking minimum of Section 12-9-7.

The Building Design Review requirement under Section 12-3-11 would apply. In general, the applicant is proposing that for the elevations that would face public streets, the primary material is face brick on all three stories with projections of complementary vinyl. Elevations that would not face public streets contain face brick only on the ground floor, and where garage doors are shown, the brick is interrupted.

Considering the large scale of the redevelopment, the proposal is somewhat restrained in tree removal. According to the petitioner, healthy trees in the existing row at the

north lot line will be preserved and augmented where necessary. These plantings along with existing and proposed fencing should serve as effective screening and separation between the development, the single-family residential neighborhood to the north, and the commercial development to the east. New plantings throughout the development appear to provide both functional and aesthetic benefits.

The petitioner is requesting the following exception under Section 12-3-5 from the regulations for the proposed R-3 district:

- Minimum lot area: Seventy-nine units are proposed with a lot area of 923 square feet, and 46 units are proposed at 1,038 square feet. The proposed lot area for each unit includes only the livable space inside the building and a small landscaped front yard. All other area in the development (e.g. open space, driveways, stormwater detention) is allocated not to dwelling units but instead to the development overall. The minimum lot area per dwelling unit requirement pursuant to Section 12-7-2(J) is 2,800 square feet.

In the version of plans recommended for approval by the Planning and Zoning Board (PZB), the northernmost row of buildings were set back 21 feet from the north lot line when a minimum of 25 feet is required, so the petitioner was requesting a rear-yard exception, as well. However, after listening to input at the public hearing, the petitioner revised the drawings to move these buildings to the south such that a rear-yard exception is no longer necessary.

Regarding streets and access, the petitioner proposes that most of the north-south portion of Executive Way – where it connects to Oakton and borders the post office – would remain a public street. However, at a point just south of the existing curve, the developer would construct a new east-west private drive and demolish the existing east-west segment of Executive Way. This would require a vacation of approximately 30,000 square feet. Similarly, a portion of Times Drive (approximately 7,700 square feet) would also be vacated and become private. The petitioner's traffic report discusses the parking and trip generation for the proposed townhouse development in more detail. The final conclusion is that the existing roadway system can absorb the new traffic and activity created by the development. The Illinois Department of Transportation (IDOT), citing existing signalized intersections at Lee Street and Webster Lane (1,600 feet apart), does not support the creation of an additional signalized intersection at Oakton. Pedestrians would be required to use the sidewalk on the north side of Oakton before reaching a marked crossing, approximately 700-800 feet in each direction (three-to-five-minute walk for an able-bodied person). However, to accommodate walking to shopping, particularly for groceries at Jewel-Osco, a pedestrian opening is proposed at the east lot line, near the detention pond.

The petitioner has requested a map amendment to rezone the subject property from C-3 General Commercial to R-3 Townhouse Residential. Although the site is illustrated as commercial in the 2019 Comprehensive Plan, the 2009 Oakton-Elmhurst Plan sets forth a vision with residential occupying much of the site – albeit with some commercial fronting Oakton Street. Nonetheless, R3 is present about 1,000 feet to the west and does directly border Oakton Street. In general, residential is necessary proximate to commercial areas to support their vitality, and while this project would front Oakton Street, it would not front Lee Street, thus preserving commercial use at the main intersection of the Oakton-Lee area. The creation of the Oakton-Lee TIF

district, as well as the City's vision to establish a Metra commuter train station at Oakton and the North Central Service line, calls for adding residential units in the vicinity and activating vacant sites. Additionally, any unsubsidized, market-driven development early in the life of the TIF is helpful to increase the assessed value and generate an increment to be used for future revitalization.

Other than the minimum-lot-area-per-unit exception, the proposed development would meet all other R-3 bulk regulations as excerpted in this table:

Bulk Regulations for R-3 Townhouse Residential

Yard	Required	Proposed
Front Yard (South)	Min.: 25 Feet	25 Feet
Rear Yard (North)*	Min.: 25 Feet, if Building Height < 35 feet	25 Feet
Side Yard (East)	Min: 5 Feet	22 Feet
Corner Side Yard (West)	Min: 10 Feet	21 feet
Building Height	Max: 45 Feet	Three stories (About 35 feet)

A conditional use is required in R-3 by virtue of the proposed PUD. Conditional uses for PUDs are approved at the time of final plat, but nonetheless, the request and requirement are listed here for the record.

The petitioner is requesting a Tentative Plat of Subdivision to resubdivide the subject property. Under Section 13-3-1 the Subdivision Regulations require improvement of adjacent rights-of-way, which means, for example, that Executive Way next to the Post Office will receive new curb, gutter, and resurfacing. Further, under Section 13-4 the Subdivision Regulations require park land dedication and/or fee-in-lieu, although proposed private open space could provide a partial offset.

The existing property contains eight lots, which would be divided into lots for each individual townhouse unit (125), plus six lots for common areas, private drives, and the stormwater detention area for a total of 131. The new subdivision will encompass the entire 11.2-acres of the site. The petitioner's Tentative Plat shows that the size of each townhouse parcel will vary from 923 square feet in size for interior units to 1,038 square feet in size for end units. The Tentative Plat also shows the following existing easements: (i) a 13-foot Public Utility Easement and 20-foot building line on both sides of Executive Way throughout the development; (ii) a 13-foot Public Utility Easement and 20-foot building line on both sides of Times Drive throughout the development; (iii) a 20-foot building line along Oakton Street on the south side of the lot; (iv) a ten-foot electric and telephone easement and 24-foot ingress, egress, and driveway easement behind the commercial development on the south side of the lot; (v) a 23-foot public utility easement along the existing drive aisle east of the proposed detention area; (vi) a 15-foot public utility easement along the east property line of the development; and (vii) a five-foot public utility easement located along the north property line of the development. The proposed tentative plat illustrates vacations of portions of Executive Way and Times Drive with their respective easements.

The applicant will seek vacations of public streets. The community will not be gated where public streets would transition into private drives. Furthermore, regarding Times Drive, the commercial property at the northeast corner of Times and Oakton relies on Times for access. It is recommended the City retain the southernmost approximately 110 linear feet, with a redevelopment agreement stating that townhouse owners will be responsible for maintenance of this segment. The City is in the process of appraising the right-of-way areas, and staff recommends that executing the agreement(s) and recording the corresponding plat is a condition for approval.

The PZB held a public hearing with due notice on June 22, 2021 to consider the proposed project and requests, and to vote on a recommendation to the City Council.

The PZB recommended (4-0) that the City Council approve the requests with conditions. Similarly, staff recommends approval of the requests via Ordinance Z-40-21, which approves a Preliminary Planned Unit Development, Tentative Plat of Subdivision, and Map Amendment from C-3 to R-3, subject to:

1. The Petitioner must prepare and submit to the City: (i) a Final Plat of PUD for the Subject Property that meets all the requirements of Section 12-3-5 and Section 12-14-5 of the Zoning Ordinance; and (ii) a Final Plat of Subdivision for the Subject Property; that meets all the requirements of the Subdivision Regulations.
2. A development agreement between the Petitioner and the City and a plat of vacation, in forms acceptable to the City's General Counsel, must be submitted for approval by the City Council concurrently with the approval of the Final Plat of PUD and Final Plat of Subdivision. The Preliminary Plat of PUD and the Tentative Plat of Subdivision should be revised, if necessary, to reflect the final agreed-upon vacations. The Development Agreement and the Plat of Vacations must be recorded concurrently with the Ordinance approving the Final Plat of PUD and Final Plat of Subdivision.
3. All governing documents for the Proposed Development including covenants, conditions, and restrictions, or operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of any Final Plat of PUD or Final Plat of Subdivision.
4. The Petitioner must obtain approval of its final engineering plans for the Subject Property from the City of Des Plaines Public Works and Engineering Department. 5. The final plans submitted with the Final Plat of PUD shall be in substantial compliance with the Preliminary Plat of PUD, except that plans shall be labeled to demonstrate construction of a new fence at the north lot line instead of utilizing the existing fence. City Council may determine in its discretion at the time of Final Plat approval that for the purposes of tree preservation or another compelling reason that rehabilitation of the existing fence is acceptable in lieu of constructing a new fence.

Several residents expressed their concerns with various aspects of the development.

The developer, M/I Homes, addressed details of the development such as parking, detention pond, and fence.

Moved by Brookman, seconded by Zadrozny, to send Ordinance Z-40-21 back to staff and defer to the City Council Agenda on September 7, 2021.

Upon voice vote, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

CONSIDER
SUPPORTING &
CONSENTING A
RENEWAL OF
CLASS 6B
CLASSIFICATION
FOR THE
PROPERTY
LOCATED AT 70
RAWLS ROAD
Resolution
R-134-21

Community and Economic Development Manager Carlisle reviewed a memorandum dated August 5, 2021.

Applicant Rawls Road Properties LLC is the owner of 70 Rawls Road and is requesting a Cook County Property Tax Class 6b renewal resolution. Class 6b incentives, which are designed to encourage industrial investment by reducing the assessment level of eligible properties for 12 years, may be renewed once for up to 10 years. Renewals may be requested and approved earlier than the 12-year mark. The subject property has been 100 percent vacant and unused since 2019.

The property is 51 years old and consists of a 14,780-square-foot industrial building on a 38,117- square-foot site. The original Class 6b incentive (Resolution R-33-14) was approved in 2014, activated by the County soon after, and applied to the 2013 property tax bill. Currently in its eighth year, the 6b incentive reduced the assessment level from the typical 25 percent to 10 percent. Without a renewal at this time, the assessment level would climb to 15 percent in 2024 and 20 percent in 2025, expiring in 2026 with a full assessment level (25 percent). The initial 6b allowed the applicant to replace and install new dock doors, replace the roof, complete tuckpointing work and general repair and maintenance, as well as secure tenant Dynamic Rubber, Inc., which occupied 100 percent of the facility until October 2019.

The applicant now plans to lease the entire property to Deltamax Freight System Inc. for logistics, warehousing, assembly, and fulfillment services. Deltamax is a transporting cargo company, specifically an international air and ocean freight forwarder, established in Taipei, Taiwan, in 1980. Deltamax also provides professional packaging, short- and long-term storage, inventory management, fulfillment, and consolidation. Deltamax intends to relocate to Des Plaines from 560 Bonnie Lane, Elk Grove Village, transferring its six employees. Deltamax plans to hire additional employees (two-to-three full-time and one-to-two part-time) over the course of the renewal period with a priority to hire qualified Des Plaines residents.

If the renewal is granted, the applicant’s investment in improvements would total approximately \$155,000 over the life of the renewal. The applicant projects the property will have a new market value after improvements of \$1,163,200.

Annual Property Tax Scenarios for 10 Years:

1. Estimated taxes as is (no 6b renewal & full vacancy): \$27,414
2. Estimated taxes with a 6b renewal, improvements, and full occupancy: \$31,304
3. Estimated taxes without a 6b renewal, but with improvements, and full occupancy: \$67,831

If granted, the renewal would be activated and applied to the 2020 tax bill and lead to a 10-percent assessment level through tax year 2029 (calendar year 2030). In the

following two years, the assessment level would climb to 15 percent and 20 percent successively, then returning to the full 25 percent assessment level in the subsequent year.

Moved by Oskerka, seconded by Chester, to approve the Resolution R-134-21, A RESOLUTION SUPPORTING AND CONSENTING TO RENEWAL OF CLASS 6B CLASSIFICATION FOR THE PROPERTY LOCATED AT 70 RAWLS ROAD.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared carried.

**CLOSED
SESSION:**

Moved by Brookman, seconded by Chester to enter into Closed Session to discuss Property Acquisition.

Upon roll call, the vote was:

AYES: 6 - Moylan, Oskerka, Zadrozny,
Brookman, Chester, Ebrahimi

NAYS: 0 - None

ABSENT: 2 - Lysakowski, Smith

Motion declared unanimously carried.

The City Council recessed at 8:58 p.m.

The City Council re-convened at 9:19 p.m.

ADJOURNMENT:

The meeting adjourned at 9:19 p.m.

Jessica M. Mastalski – City Clerk

APPROVED BY ME THIS _____

DAY OF _____, 2021

Andrew Goczkowski, MAYOR



FINANCE DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5300
desplaines.org

MEMORANDUM

Date: August 25, 2021
To: Michael G. Bartholomew, City Manager
From: Dorothy Wisniewski, Assistant City Manager/Director of Finance
Subject: Resolution R-143-21, September 7, 2021 Warrant Register

Recommendation: I recommend that the City Council approve the September 7, 2021 Warrant Register Resolution R-143-21.

Warrant Register.....\$5,389,076.01

Estimated General Fund Balance
Balance as of 07/31/2021: \$32,733,268
Please use caution when evaluating this number as revenues fluctuate dramatically from month to month due to delays in receiving sales tax revenue from the State and 1st & 2nd installments of property tax revenue.

CITY OF DES PLAINES

RESOLUTION

R-143-21

Be it resolved by the City Council of the City of Des Plaines that the following bills are due and payable and that the Mayor and City Clerk be and are hereby authorized to make payment for same.

September 7, 2021

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
Fund: 100 - General Fund					
Elected Office					
Division: 110 - Legislative					
1	6000	Professional Services	7692 Advantage Government Strategies LLC	2071 Lobbyist Services July 2021 R-183-20	5,000.00
2	6110	Printing Services	1106 Chromatech Printing Inc	9044/26079 8 Sets of Note Cards & Envelopes for Elected Officials 08/06/2021	1,792.00
3	7000	Office Supplies	1644 Warehouse Direct Inc	5027115-0 2 Magazine Holders	69.00
Total 110 - Legislative					6,861.00

Division: 120 - City Clerk						
4	5310	Membership Dues	5670 Municipal Clerks Association N & NW Suburbs	2021-2022 Dues	City Clerk and Deputy Clerk Dues 09/01/21-08/31/22	40.00
5	6100	Publication of Notices	1050 Journal & Topics Newspapers	186122	Legal Notice - Dump Truck Refurbishment 08/04/2021	86.55
6	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8182498012	Shredding Services 07/09-07/23/2021	52.11
7	7000	Office Supplies	1644 Warehouse Direct Inc	5025908-0	Flash Drives, Notebooks, Tape, File Jackets, Note Pads	72.01
8	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	8.00
Total 120 - City Clerk					258.67	

Total 10 - Elected Office					7,119.67
----------------------------------	--	--	--	--	-----------------

City Administration						
Division: 210 - City Manager						
9	7000	Office Supplies	1644 Warehouse Direct Inc	5028160-0	Copy Paper and "Sign Here" Flags	96.87
10	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	62.40
Total 210 - City Manager					159.27	

Division: 220 - Legal						
11	6005	Legal Fees	8133 Elrod Friedman LLP	5075	7-21 Non-Retainer Matters	1,500.00
12	6005	Legal Fees	8133 Elrod Friedman LLP	5080	7-21 Reimb Redevelopment	412.50
13	6005	Legal Fees	8133 Elrod Friedman LLP	5087	7-21 Non-Retainer Litigation	337.50
14	6005	Legal Fees	8133 Elrod Friedman LLP	5088	7-21 Non-Retainer Matters	450.00
15	6005	Legal Fees	8133 Elrod Friedman LLP	5094	7-21 Non-Retainer Litigation	51.00
16	6005	Legal Fees	8133 Elrod Friedman LLP	5095	7-21 Non-Retainer Litigation	262.50
17	6005	Legal Fees	8133 Elrod Friedman LLP	5096	7-21 Non-Retainer Matters	26.80
18	6005	Legal Fees	8133 Elrod Friedman LLP	JULY 2021 RET	July 2021 Retainer	18,500.00
19	6009	Legal Fees - Admin Hearings/Prosecutions	1073 Bartel, Raymond	21-15	Administrative Hearings/Traffic Court - August 2021	2,035.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
20	6010	Legal Fees - Labor & Employment	1127 Clark Baird Smith LLP	14277	Legal Fees - Labor & Employment Matters - July 2021	9,500.00
Total 220 - Legal					33,075.30	

Division: 230 - Information Technology						
21	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	40.00
22	6305	R&M Equipment	1035 Dell Marketing LP	10507122134	ProSupport Plus Warranty 07/28/2021-04/24/2023	150.98
23	6305	R&M Equipment	8399 Park Place Technologies LLC	PUSA10090028382	Server Maintenance Contract 09/01/2021-09/30/2021	117.00
24	7035	Supplies - Equipment R&M	1035 Dell Marketing LP	10506229068	2 Lithium Batteries	278.58
25	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	35.93
Total 230 - Information Technology					622.49	

Division: 240 - Media Services						
26	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	40.00
27	6110	Printing Services	1233 Press Tech Inc	48161	1 Box of Business Cards 07/30/2021	20.00
Total 240 - Media Services					60.00	

Division: 250 - Human Resources						
28	5340	Pre-Employment Testing	8291 Accurate Employment Screening LLC	AUR2053458	Applicant Background Screenings 07/01 - 07/31/2021	367.00
29	6100	Publication of Notices	1485 ILCMA - IL City/County Management Assoc	2971	Job Ad for PW Maintenance Operator 7/28-8/18/2021	50.00
30	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8182498012	Shredding Services 07/09-07/23/2021	52.11
31	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	25.44
32	7200	Other Supplies	2016 Signarama	42303	1 Engraved Nameplate for HR Generalist	46.25
33	7500	Postage & Parcel	1041 Federal Express	7-450-25734	Overnight Shipment Delivery Service 7/20 - 7/21/2021	21.18
Total 250 - Human Resources					561.98	

Total 20 - City Administration					34,479.04
---------------------------------------	--	--	--	--	------------------

Department: 30 - Finance						
34	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	45.00
35	6000	Professional Services	1101 Capital Gains Inc	2610	Investment Management Services 07/01-09/30/2021	2,012.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
36	6110	Printing Services	1665 Classic Graphic Ind Inc	87767 1000 Laser A/P Checks 07/28/2021	420.57
37	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8182498012 Shredding Services 07/09- 07/23/2021	52.11
38	7000	Office Supplies	1644 Warehouse Direct Inc	5019612-0 2 Ink Stamp Pads, 10 Notebooks, Etc.	130.06
39	7000	Office Supplies	1644 Warehouse Direct Inc	5026422-0 2 Ctns of Copy Paper and 1 Ctn of Thermal Paper Rolls	149.06
40	7000	Office Supplies	4239 Anderson Safford	9735 1 Self-Inking Deposit Stamp - Finance Dept	46.07
41	7200	Other Supplies	1066 Office Depot	180785906001 1 Case of 12 Oz Cups	116.01
42	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021 Water Supply 07/22/2021	56.91
Total 30 - Finance					3,027.79

Community Development						
Division: 410 - Building & Code Enforcement						
43	6000	Professional Services	8304 TPI Building Code Consultants Inc	202106	Health Inspections - June 2021	5,822.50
44	6000	Professional Services	8304 TPI Building Code Consultants Inc	202107	Health Inspections -July 2021	7,777.50
45	6000	Professional Services	7647 Citywide Elevator Inspection Services Inc	D71106	86 Elevator Inspections - 5/27/21-7/21/21	664.00
46	6005	Legal Fees	8133 Elrod Friedman LLP	5082	7-21 Non-Retainer Matters	57.00
47	6005	Legal Fees	8133 Elrod Friedman LLP	5084	7-21 Non-Retainer Property Enforcement Matters	484.50
48	6025	Administrative Services	7961 BridgePay Network Solutions LLC	8282	Utility Web & Business License Transaction Fee for July 2021	0.10
49	7000	Office Supplies	1644 Warehouse Direct Inc	5014914-0	Stapler, Legal Folders, Post-It Notes, Cleaning Supplies	82.08
50	7000	Office Supplies	1644 Warehouse Direct Inc	5014914-1	6 Rulers	5.97
51	7000	Office Supplies	1644 Warehouse Direct Inc	5021871-0	Batteries (AA&AAA), Calculator Tape	7.66
52	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	77.89
53	7200	Other Supplies	1644 Warehouse Direct Inc	5014914-0	Stapler, Legal Folders, Post-It Notes, Cleaning Supplies	99.18
54	7200	Other Supplies	1644 Warehouse Direct Inc	5021659-0	Plates, Cups, Forks, Knives, Spoons	82.23
55	7200	Other Supplies	1644 Warehouse Direct Inc	5021659-1	Disposable Cups	54.44
56	7200	Other Supplies	1644 Warehouse Direct Inc	5021871-0	Batteries (AA&AAA), Calculator Tape	28.20
57	7500	Postage & Parcel	1041 Federal Express	7-464-36850	Shipping Charge - 8/2/21	32.59
Total 410 - Building & Code Enforcement						15,275.84

Division: 420 - Planning & Zoning						
58	6100	Publication of Notices	1050 Journal & Topics Newspapers	186095	Public Notice for 8/16/21 Council Meeting - Published 7/28/21	129.83

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
59	7000	Office Supplies	1644 Warehouse Direct Inc	5014914-0	Stapler, Legal Folders, Post-It Notes, Cleaning Supplies	49.18
60	7000	Office Supplies	1644 Warehouse Direct Inc	5014914-1	6 Rulers	5.97
61	7000	Office Supplies	1644 Warehouse Direct Inc	5021871-0	Batteries (AA&AAA), Calculator Tape	7.67
62	7200	Other Supplies	1644 Warehouse Direct Inc	5014914-0	Stapler, Legal Folders, Post-It Notes, Cleaning Supplies	99.18
63	7200	Other Supplies	1644 Warehouse Direct Inc	5021659-0	Plates, Cups, Forks, Knives, Spoons	82.23
64	7200	Other Supplies	1644 Warehouse Direct Inc	5021659-1	Disposable Cups	54.45
65	7200	Other Supplies	1644 Warehouse Direct Inc	5021871-0	Batteries (AA&AAA), Calculator Tape	28.20
Total 420 - Planning & Zoning					456.71	

Division: 430 - Economic Development						
66	6005	Legal Fees	8133 Elrod Friedman LLP	5076	7-21 Non-Retainer Matters	960.00
67	6005	Legal Fees	8133 Elrod Friedman LLP	5097	7-21 Non-Retainer Matters	1,135.00
Total 430 - Economic Development					2,095.00	

Total 40 - Community Development					17,827.55
---	--	--	--	--	------------------

Public Works & Engineering						
Division: 100 - Administration						
68	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	40.00
69	6300	R&M Software	6055 Axiom Human Resource Solutions Inc	0000039639	Kronos User Fees - July 2021	181.50
Total 100 - Administration					221.50	

Division: 520 - Geographic Information Systems						
70	6195	Miscellaneous Contractual Services	1060 Municipal GIS Partners Inc	5544	R-185-20 Geographic Information System Support 07/01-07/31/2021	17,376.17
Total 520 - Geographic Information Systems					17,376.17	

Division: 530 - Street Maintenance						
71	6040	Waste Hauling & Debris Removal	6988 Lighting Resources LLC	53-11867	Light Bulb Recycling - 07/30/2021	1,399.82
72	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	8149	Branch Pick Up- 60018 - 07/31/2021, R-169-19	11,680.00
73	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	8180	Emergency Tree Removal - Mannheim & Spruce- 07/31/2021, R-169-19	5,107.00
74	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9017	Storm Damage Response - 08/02/2021, R-169-19	21,558.00
75	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9062	Emergency Tree Removal - 626 Patricia Ln - 08/04/2021, R-169-19	3,796.00
76	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9221	Branch Pick Up - 60016 - 08/02-08/06/2021, R-169-19	11,828.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
77	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9233	Stump Removals & Restorations - 08/12/2021, R-169-19	5,004.75
78	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9234	Stump Removals & Restorations - 08/12/2021, R-169-19	4,270.75
79	6170	Tree Maintenance	6555 Landscape Concepts Management Inc	9236	Emergency Tree Removals - Storm - 08/11-08/14//2021, R-169-19	9,572.50
80	6195	Miscellaneous Contractual Services	5399 Beary Landscape Management	200845	Supplemental Watering - July 2021 - 07/31/2021, R-27-21	3,000.00
81	6195	Miscellaneous Contractual Services	5399 Beary Landscape Management	200848	Supplemental Watering - Annuals - July 2021, R-3-21	3,025.00
82	6195	Miscellaneous Contractual Services	5399 Beary Landscape Management	200866	Landscape Maintenance Downtown - July 2021 - 07/31/2021, R-3-21	2,356.00
83	6195	Miscellaneous Contractual Services	5399 Beary Landscape Management	200867	Mowing - July 2021 - 07/31/2021, R-27-21	16,239.27
84	6195	Miscellaneous Contractual Services	5399 Beary Landscape Management	201839	Weed/Fertilizer Applications - 07/31/2021, R-14-20	5,077.00
85	6195	Miscellaneous Contractual Services	5017 United Rent A Fence	44772	Temporary Fence Rental - PW/South Side - 08/23-10/23/2021	300.30
86	6195	Miscellaneous Contractual Services	7706 Lakeshore Recycling Systems LLC	PS393022	Street Sweeping - Misc Locations - July 2021, R-5-21	530.45
87	7000	Office Supplies	1644 Warehouse Direct Inc	5019479-0	Tape, Pens, Staples, Copy Paper, Pads - PW	140.13
88	7000	Office Supplies	1644 Warehouse Direct Inc	5019479-1	Staples - PW	0.42
89	7020	Supplies - Safety	1047 Home Depot Credit Svcs	9514841	Emergency Lights - Storm Damage	684.91
90	7020	Supplies - Safety	1047 Home Depot Credit Svcs	9972177	Safety Scene Lights	825.88
91	7020	Supplies - Safety	1192 Sherwin Industries Inc	SS090126	Sidewalk Closed Signs	396.76
92	7030	Supplies - Tools & Hardware	1550 Addison Building Material Co	952442	Height Limit Bars Material - Library Deck	103.42
93	7035	Supplies - Equipment R&M	1085 Alexander Equipment Company Inc	180258	Winch Rope - PW 5040	114.90
94	7035	Supplies - Equipment R&M	1085 Alexander Equipment Company Inc	180259	Winch Rope - PW 5040	329.95
95	7035	Supplies - Equipment R&M	1043 WW Grainger Inc	9021462727	2 Groove Adapters & 2 Groove Couplings for Anti-Ice Storage Tank	19.68
96	7035	Supplies - Equipment R&M	1550 Addison Building Material Co	956064	8 Latch-Hooks	84.52
97	7035	Supplies - Equipment R&M	1550 Addison Building Material Co	956603	Braided Tubing & Wire Band - Storage Tank Repair	102.51

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
98	7035	Supplies - Equipment R&M	1520 Russo Power Equipment	SPI10808521	Chain Saw Repair Parts	150.97
99	7035	Supplies - Equipment R&M	1520 Russo Power Equipment	SPI10808546	Replacement Chain Saw Chains	293.88
100	7050	Supplies - Streetscape	8244 Des Plaines Ace Hardware	1071	8 Cans Wasp & Hornet Spray	20.00
101	7050	Supplies - Streetscape	4177 Uline Inc	136847392	Garbage Can - Library Deck	696.28
102	7050	Supplies - Streetscape	4177 Uline Inc	136915388	Garbage Can - Library Deck	696.28
103	7050	Supplies - Streetscape	1347 Lurvey Landscape Supply	T1-10405646	3.0 Cu Yds Top Soil - Restorations - 08/10/2021	88.95
104	7055	Supplies - Street R&M	2810 High PSI LTD	72239A	Graffiti Removal Supplies	332.00
105	7055	Supplies - Street R&M	2810 High PSI LTD	72251	Returned Graffiti Remover	(440.00)
106	7055	Supplies - Street R&M	2810 High PSI LTD	72368	Graffiti Remover	330.00
107	7055	Supplies - Street R&M	7691 Builders Asphalt LLC	82347	3.05 Tons Asphalt - Restorations - 08/03/2021, R-38-21	128.10
108	7055	Supplies - Street R&M	7691 Builders Asphalt LLC	82574	13.32 Tons Asphalt - Restorations - 08/05/2021	559.44
109	7055	Supplies - Street R&M	7691 Builders Asphalt LLC	82693	8.58 Tons Asphalt - 08/06/2021, R-38-21	360.36
110	7055	Supplies - Street R&M	7691 Builders Asphalt LLC	82846	0.65 Tons Asphalt - Sewer Repair Graceland - 08/09/2021, R-38-21	27.30
111	7055	Supplies - Street R&M	7691 Builders Asphalt LLC	82967	2.80 Tons Asphalt - Potholes - 08/10/2021	117.60
112	7055	Supplies - Street R&M	1057 Menard Incorporated	83832	Irrigation System Material - Police Station	54.52
113	7055	Supplies - Street R&M	1057 Menard Incorporated	84348	Check Valve Slip, Male Adapter, Coupler, & Bushing	28.49
114	7055	Supplies - Street R&M	1174 3M Company	9412277289	Reflective Tape - Civic Parking Deck	185.11
115	7200	Other Supplies	1057 Menard Incorporated	84265	Bottled Water, Gatorade, Powerade, Vitamin Water - Storm Damage	71.10
116	8015	Equipment	5573 Henderson Products Inc	339458	2 Spreader Stands Installation - PW 5109 - 07/20/2021	3,808.00
Total 530 - Street Maintenance					115,056.30	

Division: 535 - Facilities & Grounds Maintenance						
117	6000	Professional Services	7619 Henneman Engineering Inc	71333	HVAC Services - Civic Center - 12/01-12/31/2021, R-180-19	3,265.98
118	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	58.15
119	6195	Miscellaneous Contractual Services	6420 International Exterminator Company Inc	08-181	Exterior Pest Control - City Hall & Police Station - 08/01/2021	80.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
120	6195	Miscellaneous Contractual Services	6420 International Exterminator Company Inc	08-182	Interior Pest Control - City Hall & Police Station - 08/01/2021	193.00
121	6195	Miscellaneous Contractual Services	3338 Gabriel Environmental Services	0821A0047	Asbestos Survey & Analysis - 1319 Oakton - 07/26-08/10/2021	2,225.00
122	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4091348011	Mat Service - Police Station - 07/28/2021	122.24
123	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4091348096	Mat Service - Metra Train Station - 07/28/2021	35.00
124	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4092131077	Mat Service - Metra Train Station - 08/04/2021	35.00
125	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4092671247	Mat Service - Police Station - 08/11/2021	122.24
126	6195	Miscellaneous Contractual Services	1029 Cintas Corporation	4092671255	Mat Service - Metra Train Station - 08/11/2021	35.00
127	6195	Miscellaneous Contractual Services	1544 Fox Valley Fire & Safety Company Inc	IN00457264	Quarterly Fire Alarm Monitoring - Pantry - August-October 2021	210.00
128	6315	R&M Buildings & Structures	1025 Bedco Inc	097239	HVAC Repair - Gun Range - 07/26/2021, R-167-19	378.50
129	6315	R&M Buildings & Structures	1025 Bedco Inc	097266	Filter Change & PM - Gun Range - 08/06/2021, R-167-19	115.00
130	6315	R&M Buildings & Structures	6714 Waukegan Roofing Co., Inc	1462352	Roof Replacement - Food Pantry - 07/27/2021	4,900.00
131	6315	R&M Buildings & Structures	7717 Oak Brook Mechanical Services Inc	26549	HVAC Preventative Maintenance - 1486 Miner - 3rd Qtr 2021	400.00
132	6315	R&M Buildings & Structures	7717 Oak Brook Mechanical Services Inc	26550	HVAC Preventative Maintenance - Theater - 3rd Qtr 2021	1,570.00
133	6315	R&M Buildings & Structures	3326 A-1 Roofing Co	32680	Roof Repair - 07/28/2021	496.00
134	6315	R&M Buildings & Structures	3326 A-1 Roofing Co	32812	Roof Repair - City Hall - 07/28/2021	447.00
135	6315	R&M Buildings & Structures	1237 Pro-Line Door Systems Inc	90806	Overhead Door Repair - Public Works - 07/20/2021	3,144.90
136	6315	R&M Buildings & Structures	2350 Anderson Elevator Co	INV-45341-P7Z8	Elevator Inspections August 2021	424.16
137	6315	Supplies - Building R&M	2350 Anderson Elevator Co	INV-45341-P7Z8	Elevator Inspections August 2021	212.08
138	7025	Supplies - Custodial	1029 Cintas Corporation	4091348018	Scraper, Cleaners, Paper Towels, Air Freshener, Soap, Etc. - PW	254.43

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
139	7025	Supplies - Custodial	1029 Cintas Corporation	4092131123	Cleaners, Paper Towels, Air Freshener, Soap, Mat, Etc. - PW	143.85
140	7025	Supplies - Custodial	1029 Cintas Corporation	4092671302	Scrapers, Cleaners, Air Freshener, Soap, Mat, Etc. - PW	106.74
141	7025	Supplies - Custodial	1057 Menard Incorporated	82312	Pail, Mop, & Bleach	16.61
142	7030	Supplies - Tools & Hardware	8244 Des Plaines Ace Hardware	1085	Saw Hole - Fire Station #62	12.59
143	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1071075	Keys Cut - Fire Station #61	44.14
144	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1072049	2 Keys Cut - Fire Station #62	8.18
145	7045	Supplies - Building R&M	1057 Menard Incorporated	84534	Screw & Tap - Metra Train Station	5.73
146	7045	Supplies - Building R&M	5969 Security Equipment Supply Inc	N51539	Door Access System Parts - City Hall	1,516.64
147	7045	Supplies - Building R&M	5969 Security Equipment Supply Inc	N61463	Access Control Components - City Hall	654.25
148	7200	Other Supplies	1057 Menard Incorporated	83889	Chalkboard Paint, Painting Supplies	25.94
149	7200	Other Supplies	1057 Menard Incorporated	84389	Fasteners	60.65
150	7500	Postage & Parcel	4128 United Parcel Service Inc (UPS)	000037Y66A271	Shipping Charges 06/03/2021	4.72
Total 535 - Facilities & Grounds Maintenance					21,323.72	

Division: 540 - Vehicle Maintenance						
151	6040	Waste Hauling & Debris Removal	2214 Liberty Tire Recycling	2099782	Tire Recycling - 08/07/2021	158.54
152	6135	Rentals	1029 Cintas Corporation	4091296204	Mechanic's Uniform Rental - 07/28/2021	156.54
153	6135	Rentals	1029 Cintas Corporation	4091974741	Mechanic's Uniform Rental - 08/04/2021	156.54
154	6135	Rentals	1029 Cintas Corporation	4092641935	Mechanic's Uniform Rental - 08/11/2021	156.54
155	6195	Miscellaneous Contractual Services	1741 Praxair Distribution Inc	64927053	Cylinder Rental - 06/20/2021-07/20/2021	687.61
156	6195	Miscellaneous Contractual Services	1660 Safety-Kleen Systems Inc	86715228	Parts Washer Service 08/04/2021	300.00
157	6305	R&M Equipment	5823 Interstate Power Systems Inc	R042033515:01	Coolant Leak Repair - PW 5088 - 06/14-07/12/2021	5,152.77
158	6305	Supplies - Equipment R&M	4989 Illini Power Products	SWO031279-1	Transfer Switch Reset - PW 5088 - 07/21/2021	573.92
159	6310	R&M Vehicles	1354 MPC Communications & Lighting Inc	21-1198	VHF Radio Installation - Fire 7708 - 07/23/2021	2,265.55
160	6310	R&M Vehicles	1539 Rex Radiator Sales & Distribution	B136454	A/C Condenser Repair - Fire 7522 - 08/09/2021	175.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
161	6310	R&M Vehicles	5823 Interstate Power Systems Inc	R042033558:01 Transmission & Wiring Repair - Fire 7707 - 07/28/2021	1,527.50
162	7020	Supplies - Safety	4177 Uline Inc	135862847 Gloves, Safety Glasses, & Ear Muffs - PW Shop	136.52
163	7020	Supplies - Safety	5193 Fast MRO Supplies Inc	5943 Nitrile & Jersey Gloves - Shop Supplies	304.63
164	7030	Supplies - Tools & Hardware	1078 Acme Truck Brake & Supply Co	01_198137 Brake Valve, Air Fittings, Wire Brush, Etc. - Fire 7706 & PW Shop	48.49
165	7030	Supplies - Tools & Hardware	1062 NAPA of Des Plaines	5741-802934 6 Grease Couplers - PW Stock	31.68
166	7030	Supplies - Tools & Hardware	1450 Terrace Supply Co	70507777 Welding Wire - Shop Supplies	86.82
167	7030	Supplies - Tools & Hardware	1057 Menard Incorporated	83563 Caulk Gun, Hole Saws, Steel & Thinner	142.52
168	7030	Supplies - Tools & Hardware	1043 WW Grainger Inc	9012642469 Cut Off Wheel & Flap Discs - PW Stock	147.48
169	7030	Supplies - Tools & Hardware	1043 WW Grainger Inc	9019523233 5 Polishing Discs - Shop Tool	41.10
170	7035	Supplies - Equipment R&M	4330 City Limits Systems Incorporated	11412 Prowash Soap - PW 5PW1	548.30
171	7035	Supplies - Equipment R&M	1203 Standard Industrial & Automotive Equipment Inc	55466 Vehicle Lift Extension Assembly	646.00
172	7040	Supplies - Vehicle R&M	1677 Wholesale Direct Inc	000252786 Auto Eject - Fire Stock	344.67
173	7040	Supplies - Vehicle R&M	1078 Acme Truck Brake & Supply Co	01_198137 Brake Valve, Air Fittings, Wire Brush, Etc. - Fire 7706 & PW Shop	118.70
174	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0217957 Brake Pads & Rotors - Police Stock	633.47
175	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0219556 Brakes Rotors - Police 6095	219.27
176	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0219821 6 Air Filters & 12 Oil Filters - Police Stock	148.74
177	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0220200 Brake Pads & Rotors - Police Stock	747.55
178	7040	Supplies - Vehicle R&M	6244 Valvoline LLC	133233646 Windshield Washer Solvent - Police Stock	49.44
179	7040	Supplies - Vehicle R&M	2164 JB Metal Works Inc	19609 Steel Plate - PW 5076	570.00
180	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-484969 Paint Thinner - PW 5079	8.99
181	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-485940 Primer, Promoter, & License Plate Light - PW 5076	46.37
182	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-486581 Primer - PW 5076	72.31
183	7040	Supplies - Vehicle R&M	3518 O'Reilly Auto Parts	2479-487413 Micro-V Belt & Tensioner - Police 6081	90.50
184	7040	Supplies - Vehicle R&M	2052 Coffman Truck Sales Inc	252325 Steering Column Shroud - Fire 7522	31.14

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
185	7040	Supplies - Vehicle R&M	2052 Coffman Truck Sales Inc	252325X1	Shroud - Fire 7522	36.19
186	7040	Supplies - Vehicle R&M	1071 Pomp's Tire Service Inc	280122704	4 Tires - Fire 7707	1,413.40
187	7040	Supplies - Vehicle R&M	1071 Pomp's Tire Service Inc	280124242	12 Tires - Police Stock	1,688.88
188	7040	Supplies - Vehicle R&M	4280 Rush Truck Centers of Illinois Inc	3024352250	Oil Pressure Sensor - PW 5052	365.00
189	7040	Supplies - Vehicle R&M	4280 Rush Truck Centers of Illinois Inc	3024446283	Water Pump - PW 5052	335.00
190	7040	Supplies - Vehicle R&M	5573 Henderson Products Inc	340087	Pins, Bushings, & Adhesive - PW 5099	147.80
191	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1254835A	To Repay Credit That We Took in Error	6.92
192	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1258670	Brake Pads - Police 6027	38.91
193	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1258700	Brake Pad Return - Police 6027	(36.56)
194	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1260630	Exhaust, Suspension, & Brake Parts - Fire 7402	462.73
195	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1260733	Exhaust Parts - Fire 7402	134.56
196	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1260734	Exhaust Clamps - Fire 7402	6.67
197	7040	Supplies - Vehicle R&M	6224 Bumper to Bumper	408-1260766	Exhaust Clamps - Fire 7402	2.49
198	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	508006P	Oil Pressure Switch & A/C Line - PW 2026	281.07
199	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	508007P	A/C Line - PW 2026	144.44
200	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	508224P	A/C Line - PW 2026	109.67
201	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	508312P	Door Moulding - Police 6095	89.34
202	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	508466P	Lamp Assembly - Police 6070 - 07/29/2021	228.41
203	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	509098P	2 Washer Hoses & 8 Kits - Police Stock	109.56
204	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	509444P	Coolant Tank, Hose, & Cap - Police 6909	159.82
205	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-802680	Oil, Fuel, & Air Filters - PW Stock	273.17
206	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-802856	Diesel Exhaust Fluid - Fire Stock	331.80
207	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-803139	Air Filter - PW 5080	39.30
208	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-803351	Fuel Filter - PW 5099	24.88
209	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-803762	Air & Cab Filters - PW Stock	98.75
210	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-803924	Blower Motor & Resistor - PW 5064	107.55

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
211	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-804072	Radiator Hoses, Belt Tensioners, Spark Plugs, Etc. - Fire 7522	270.16
212	7040	Supplies - Vehicle R&M	2137 McMaster-Carr Supply Company	63224104	Elastic Cord - Fire 7603	156.18
213	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804387	Primer - PW 5076	19.94
214	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804434	2 Engine Belts - Fire 7601	126.52
215	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804634	Brake Chamber - PW 5099	80.30
216	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804735	Brake Controller - PW 5111	102.27
217	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804769	Exhaust Tail Pipe - Fire 7402	38.71
218	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804913	6 Cabin Filters & Air Filter - PW Stock	71.46
219	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	804982	Oil Drain Plug, Brake Pads, & Rotors - Police 6928	262.81
220	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805009	Filters & Strobe Light - PW 5089	106.93
221	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805094	Filter Kit - Fire 7522	53.31
222	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805098	Tensioner - Police 6081	71.77
223	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805158	Radiator Cap - Fire 7522	5.09
224	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805168	Oil Filter & 2 Air Filters - PW Stock	23.65
225	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805175	Filter Kit Return - Fire 7522	(33.98)
226	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805267	2 Air Filters - PW 5089	78.48
227	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805335	A/C Accumulator - Fire 7522	23.09
228	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805337	Fuel Treatment - Police 6034	11.98
229	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805384	14 Oil Filters - PW Stock	29.70
230	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805440	Belt & Tensioner - Police 6909	88.04
231	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805441	2 Air Filters - PW Stock	136.88
232	7040	Supplies - Vehicle R&M	1174 3M Company	9412211097	Emergency Lighting - Fire 7801	185.11
233	7040	Supplies - Vehicle R&M	1018 Anderson Lock Company LTD	C044977	Keys Returned - PW 5128	(24.54)
234	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	CM508006P	Returned A/C Line - PW 2026	(270.54)
235	7040	Supplies - Vehicle R&M	1643 Golf Mill Ford	CM508007P	Returned A/C Line - PW 2026	(144.44)

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
236	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101040279:01 Nameplate, Washers, Retainer, Extension Fender - PW 5099	78.83
237	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101040372:01 Fender Extensions & Studs - PW Stock	301.50
238	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101040372:02 Fender Extension - PW 5099	265.38
239	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101041281:01 Mirror & Clamps - PW 5089	141.27
240	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101041782:01 Clamp & 12 Collars - PW 5089	92.27
241	7120	Gasoline	8331 Avalon Petroleum Company Inc	468035 4,999 Gals Unleaded Gasoline - 07/30/2021, R-163-20	11,079.88
242	7120	Gasoline	7349 Wex Inc	73152585 Fuel Purchases - 07/31/2021	313.11
243	7130	Diesel	8331 Avalon Petroleum Company Inc	029106 1,998 Gal Bio Diesel Fuel - 07/30/2021, R-163-20	4,045.97
244	7130	Diesel	7349 Wex Inc	73152585 Fuel Purchases - 07/31/2021	834.37
245	7500	Postage & Parcel	1566 UPS Store The	2021/2Q-PD & PW Shipping Charges 12/18/2020- 06/29/2021	10.71
Total 540 - Vehicle Maintenance					41,757.12

Total 50 - Public Works & Engineering	195,734.81
--	-------------------

Police Department					
Division: 610 - Uniformed Patrol					
246	5325	Training	1261 Northeast Multiregional Training	287632 Breath Analysis For Alcohol Training 7/12-7/13/2021 (1 Ofc)	125.00
247	5325	Training	1261 Northeast Multiregional Training	288364 Field Training Officer Class (1 Ofc) 7/12-7/16/2021	255.00
248	5325	Training	1261 Northeast Multiregional Training	288915 40 Hour Juvenile Skills Web Based (2 Ofc) 8/11/2021	150.00
249	6110	Printing Services	1233 Press Tech Inc	48090 1 Box of Business Cards 7/30/2021	20.00
250	6110	Printing Services	1233 Press Tech Inc	48097 1 Box of Business Cards 7/30/2021	20.00
251	7200	Other Supplies	2508 Doje's Forensic Supplies	22157 Print Brushes, Latent Cards, Photo Scales	203.95
252	7200	Other Supplies	2509 Lynn Peavey Co	381733 Finger Print Powder and Ink Pad	203.30
253	7300	Uniforms	5705 Artistic Engraving	17219 6 Sergeant Badges	718.81
254	7300	Uniforms	1244 Ray O'Herron Company Inc	2132368-IN OSHA Yellow Traffic Vest for New Officer	44.99
255	7300	Uniforms	1489 JG Uniforms Inc	86982 3 DPPD Polo Shirts	174.00
256	7300	Uniforms	1489 JG Uniforms Inc	87429 New Officer Uniforms	951.05
Total 610 - Uniformed Patrol					2,866.10

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Division: 620 - Criminal Investigation						
257	6015	Communication Services	1315 IL Public Safety Agency Network	0046443	LEADS App for 6 Phones 7/1-12/31/2021	396.00
258	6195	Miscellaneous Contractual Services	1517 Trans Union LLC	07150547	Investigations Database 6/26-7/25/2021	116.11
259	6195	Miscellaneous Contractual Services	1572 LexisNexis Risk Solutions	1037713-20210731	Investigations Database July 2021	137.00
260	6195	Miscellaneous Contractual Services	1683 Thomson Reuters	844794290	Investigations Database July 2021	324.15
Total 620 - Criminal Investigation					973.26	

Division: 630 - Support Services						
261	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	40.00
262	5320	Conferences	1627 IL Homicide Investigators Assoc	2021A0107	IL Homicide Invest Assc Conf 2021 (4 Det, 1 ET) 10/12-10/14/2021	1,125.00
263	5320	Conferences	1522 IL Association of Chiefs of Police	8724	IL Assoc of Chiefs of Police Conf (1 Chief, 2 DC) 8/18-8/20/2021	447.00
264	5325	Training	6851 Axon Enterprise Inc	INUS002426	Basic Taser Instructor Class (1 Ofc) 7/20/2021	375.00
265	6000	Professional Services	5975 Aero Removals Trisons Inc	21411A	Removal and Transport of 4 Deceased 2020 July	1,400.00
266	6000	Professional Services	8133 Elrod Friedman LLP	5091	7-21 Non-Retainer Matters	330.00
267	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	40,561.16
268	6110	Printing Services	1233 Press Tech Inc	48233	1 Box of Business Cards 7/30/2021	20.00
269	6110	Printing Services	1233 Press Tech Inc	48264	1 Box of Business Cards 8/18/2021	20.00
270	6110	Printing Services	1142 Copyset Printing Company	59589	C and P Ticket Envelopes (500) 07/12/2021	204.00
271	6185	Animal Control	2950 When Nature Calls	3060-30	Nuisance Animal Control 2021 (Year 3 of 3) March 2021	1,173.00
272	6190	Tow/Storage/Abandoned Fees	1567 Schimka Auto Wreckers, Inc	6/1/2021	May 2021 Towing Services (2)	155.00
273	6190	Tow/Storage/Abandoned Fees	1567 Schimka Auto Wreckers, Inc	7/1/2021	June 2021 Towing Services (1)	85.00
274	6190	Tow/Storage/Abandoned Fees	1567 Schimka Auto Wreckers, Inc	8/1/2021	July 2021 Towing Services (2)	80.00
275	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8182498012	Shredding Services 07/09-07/23/2021	260.70
276	6305	R&M Equipment	1822 Kustom Signals	585968	Parts and Repair-Radar Unit (7/15/2021) Squad 69	453.80

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
277	6345	R&M Police Range	3882 Best Technology Systems Inc	BTL-21011-7	2021 Service Agreement for Range Cleaning and Maintenance July	700.00
278	7000	Office Supplies	1644 Warehouse Direct Inc	5014032-0	Pens, Paper Clips, Note Pads, Paper Plates	75.72
279	7000	Office Supplies	1644 Warehouse Direct Inc	5023874-0	Paper (6), Napkins (2)	233.52
280	7000	Office Supplies	1644 Warehouse Direct Inc	5027642-0	Compressed Air Duster (2), Staples (6)	37.96
281	7200	Other Supplies	2016 Signarama	42326	Office Name Plate (S.T.A.R.T.) - Traffic Unit	68.74
282	7200	Other Supplies	1644 Warehouse Direct Inc	5014032-0	Pens, Paper Clips, Note Pads, Paper Plates	69.28
283	7200	Other Supplies	1644 Warehouse Direct Inc	5023874-0	Paper (6), Napkins (2)	21.44
284	7300	Uniforms	5705 Artistic Engraving	17209	Retirement Badge and Mount (1 Sgt)	246.57
285	7300	Uniforms	1489 JG Uniforms Inc	87335	Vest Cover for New CSO	158.00
286	7500	Postage & Parcel	1566 UPS Store The	2021/2Q-PD & PW	Shipping Charges 12/18/2020-06/29/2021	102.50
Total 630 - Support Services					48,443.39	

Total 60 - Police Department	52,282.75
-------------------------------------	------------------

Fire Department

Division: 100 - Administration						
287	5310	Membership Dues	1349 MABAS Mutual Aid Box Alarm System Division 3	IL2102	2021 MABAS - IL State Dues	1,109.00
288	6110	Printing Services	1233 Press Tech Inc	48195	1 Box of Business Cards 07/30/2021	20.00
289	6195	Miscellaneous Contractual Services	1077 Shred-It USA LLC	8182510617	On-Site Shredding Station 61 7/23/21	83.90
290	7300	Uniforms	3212 On Time Embroidery Inc	87631	4 D/C Collar Brass - Deputy Chiefs	52.00
291	7300	Uniforms	3212 On Time Embroidery Inc	90048	Nameplate, Rosette, Cap Badge, 2 Collar Brass, Jacket-Dep. Chief	193.00
292	7300	Uniforms	3212 On Time Embroidery Inc	90051	4 T-Shirts - Chief	36.00
Total 100 - Administration					1,493.90	

Division: 710 - Emergency Services						
293	6000	Professional Services	8192 Rebound	1948	Consulting-Orthopedic Patient Navigator Contract-August 2021	823.39
294	6035	Dispatch Services	5973 Emergency Twenty Four Inc	36103	Elevator Alarm Dispatch July 2021	2,843.00
295	6110	Printing Services	1233 Press Tech Inc	48255	1 Box of Business Cards 07/30/2021	20.00
296	6195	Miscellaneous Contractual Services	8263 Eagle Engraving Inc	2021-4057	Engraving Retirement Axe-8/9/21- 1 Paramedic	230.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
297	6195	Miscellaneous Contractual Services	7779 FNX Coyote LLC	20210809A	Maltese Cross Plaque, Engraving-8/9/21-Paramedic	109.00
298	6305	R&M Equipment	1080 Air One Equipment Inc	171461	7 SCBA Cylinder Hydrotests - 8/6/21	150.50
299	6305	R&M Equipment	2501 FireService Management LLC	24319	Repairs to TurnOut Gear 7/29/21	174.02
300	6305	R&M Equipment	1745 Suburban Accents Inc	31053	Installation of Lettering Ambulance 62 - 8/5/21	150.00
301	6305	R&M Equipment	1660 Safety-Kleen Systems Inc	86769838	Parts Washer Solvent - Station 61 - Service 8/9/21	159.00
302	7000	Office Supplies	1644 Warehouse Direct Inc	5014964-0	4 Dozen Pencils	38.80
303	7000	Office Supplies	1644 Warehouse Direct Inc	5019956-0	6 USB Drives	39.78
304	7035	Supplies - Equipment R&M	6656 Route 12 Rental Co Inc	113447	32 Qt's, 5 Gal Fuel For Small Tools-Station Wide	302.35
305	7035	Supplies - Equipment R&M	7261 FireCraft Safety Products LLC	21-3108	Regulator	305.72
306	7200	Other Supplies	1018 Anderson Lock Company LTD	1070540	7 Special Cut Keys, 2 Store-A-Key	111.98
307	7200	Other Supplies	1148 WS Darley & Co	17441437	Fire & Safety Smoke Fluid	1,647.50
308	7300	Uniforms	3212 On Time Embroidery Inc	87630	4 B/C Class A Cap Badges - Battalion Chiefs	96.00
309	7300	Uniforms	3212 On Time Embroidery Inc	88204	4 S/S Polo's - Paramedic	168.00
310	7300	Uniforms	3212 On Time Embroidery Inc	88322	Job Shirt, S/S Polo - Paramedic	113.00
311	7300	Uniforms	3212 On Time Embroidery Inc	88343	2 S/S Polo's - Paramedic	84.00
312	7300	Uniforms	3212 On Time Embroidery Inc	88344	3 S/S Polo's - Paramedic	126.00
313	7300	Uniforms	3212 On Time Embroidery Inc	88846	T-Shirts, Station Pants, Shorts, Jogger Oxford-Engineer	229.00
314	7300	Uniforms	3212 On Time Embroidery Inc	88927	Waterproof Boots, 2 T-Shirts, Station Pants - Lieutenant	183.00
315	7300	Uniforms	3212 On Time Embroidery Inc	88999	Jogger Oxford - Paramedic	89.00
316	7300	Uniforms	3212 On Time Embroidery Inc	89076	3 T-Shirts - Paramedic	27.00
317	7300	Uniforms	3212 On Time Embroidery Inc	89144	Twill Cap, 3 T-Shirts, BDU Shorts - Engineer	75.00
318	7300	Uniforms	3212 On Time Embroidery Inc	89283	3 T-Shirts, Trousers - Engineer	99.00
319	7300	Uniforms	3212 On Time Embroidery Inc	90049	Twill Cap, 5 T-Shirts - Paramedic	79.00
320	7300	Uniforms	3212 On Time Embroidery Inc	90050	Twill Cap, Jogger Oxford, Trousers - Paramedic	184.00
321	7300	Uniforms	3212 On Time Embroidery Inc	90052	3 T-Shirts - Paramedic	27.00
322	7300	Uniforms	3212 On Time Embroidery Inc	90053	Twill Cap, Pocketed Shorts, Belt - Paramedic	64.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
323	7300	Uniforms	3212 On Time Embroidery Inc	90054	2 T-Shirts, Pocketed Sweatpants - Paramedic	38.00
324	7300	Uniforms	3212 On Time Embroidery Inc	90055	Oxford Shoe - Battalion Chief	89.00
325	7300	Uniforms	3212 On Time Embroidery Inc	90056	Pocketed Shorts, 6 T-Shirts - Lieutenant	91.00
326	7300	Uniforms	3212 On Time Embroidery Inc	90057	Pocketed Short, Pocketed Sweatpants - Paramedic	39.00
327	7320	Equipment < \$5,000	1080 Air One Equipment Inc	171305	4 Hose Tester Female/Male Adapters	87.00
328	8015	Equipment	2960 Haiges Machinery Inc	0214517-IN	Continental Girbau Washer Extractor 60# Capacity	13,580.00
Total 710 - Emergency Services					22,672.04	

Division: 720 - Fire Prevention						
329	5310	Membership Dues	1076 Sam's Club Direct	999999-2021/2022	2021-2022 Membership Renewal	40.00
330	6110	Printing Services	1233 Press Tech Inc	48162	1 Box of Business Cards 07/30/2021	20.00
331	7200	Other Supplies	1046 Hinckley Spring Water Co	2533573 081021	Water Supply 07/22/2021	27.93
Total 720 - Fire Prevention					87.93	

Division: 730 - Emergency Management Agency						
332	6305	R&M Equipment	1124 Braniff Communications Inc	0033546	Service to Update Federal Signal CommanderOne Program-08/05/2021	400.00
333	7000	Office Supplies	1644 Warehouse Direct Inc	5018128-0	Paper Clips, Binder Clips Tape, Whiteboard Cleaner	9.92
Total 730 - Emergency Management Agency					409.92	

Total 70 - Fire Department					24,663.79
-----------------------------------	--	--	--	--	------------------

Department: 75 - Fire & Police Commission						
334	5340	Pre-Employment Testing	5372 COPS & FIRE Personnel Testing Service	106630	3 Law Enforcement Pre-Employment Psychological Testing 8/3-8/6/21	1,350.00
335	5340	Pre-Employment Testing	1320 IL State Police	Cost 01755-07/21	Fingerprint Background Check Services for July 2021	28.25
336	5340	Pre-Employment Testing	5213 Shaughnessy, Kevin W	DESP0807	Polygraph Testing Services - 08/07/2021	230.00
Total 75 - Fire & Police Commission					1,608.25	

Department: 90 - Overhead						
337	5310	Membership Dues	1076 Sam's Club Direct	23689W	Credit for 2 Discontinued 2020 Memberships	(80.00)
338	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	12,568.92
Total 90 - Overhead					12,488.92	

Total 100 - General Fund					349,232.57
---------------------------------	--	--	--	--	-------------------

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 201 - TIF #1 Downtown Fund						
339	6315	R&M Buildings & Structures	8262 Automatic Fire Systems Inc	28470	Des Plaines Theatre Sprinkler Sys Install 12/06/20-08/31/2021	256,084.20
340	6315	R&M Buildings & Structures	1135 Colley Elevator Co	TheaterPayApp-1	Dumbwaiter Project - Theatre 07/05-07/18/2021, R-119-20	56,191.00
Total 201 - TIF #1 Downtown Fund					312,275.20	

Fund: 230 - Motor Fuel Tax Fund						
341	6000	Professional Services	7355 Soil & Material Consultants Inc	46657	2020 CIP A-Geotechnical Services 07/02 & 07/06/2021	1,024.00
342	6155	Sidewalk Improvements	1402 DiNatale Construction Inc	2021-Concrete-P3	2021 CIP Concrete Improvements 07/29-08/16/2021	2,625.00
343	6330	R&M Traffic Signals	2032 Mount Prospect, Village of	2021-00550002	Signal Traffic Maint-01/01/2021 to 03/31/2021	2,523.00
344	6330	R&M Traffic Signals	2032 Mount Prospect, Village of	2021-00550003	Signal Traffic Maint-04/01/2021 to 06/30/2021	344.68
345	6330	R&M Traffic Signals	1139 Cook County of Illinois	2021-2	Traffic Signal Maint.- Dempster & Potter 04/01-06/30/2021	1,253.25
346	6330	R&M Traffic Signals	1206 Illinois, State of	60873	R-115-11 Traffic Signal Maintenance 04/01-06/30/2021	10,818.18
347	8100	Improvements	1402 DiNatale Construction Inc	2021-Concrete-P3	2021 CIP Concrete Improvements 07/29-08/16/2021	16,440.85
Total 230 - Motor Fuel Tax Fund					35,028.96	

Fund: 240 - CDBG Fund						
348	6570	Subsidy - Residential Rehab	1264 North West Housing Partnership	HRP - 6/28/21	HRP Program Administration B-19-MC-17-EN - 10/1/19-7/29/21	15,473.39
349	6570	Subsidy - Residential Rehab	7569 C and S General Contractors Inc	HRP - 8/9/21	NWHP Home Repair Program - 6/1/20-7/29/21 - B-19-MC-17-EN	24,000.00
350	6570	Subsidy - Residential Rehab	8143 Optima Construction & Abatement Inc	HRP - 8/9/21	NWHP Home Repair Program - 1/12/20-7/29/21 - B-20-MC-17-EN	23,330.00
351	6570	Subsidy - Residential Rehab	1264 North West Housing Partnership	HRP-69 - 6/18/21	Home Repair Program HRP-69 B-19-MC-17-009-EN - 6/1/20-7/29/21	1,252.59
Total 240 - CDBG Fund					64,055.98	

Fund: 250 - Grant Projects Fund						
Program: 2520 - Capital Grants						
352	6000	Professional Services	3338 Gabriel Environmental Services	0821A0048	Pre-Demolition Asbestos Inspection-Phase 4-1935 Big Bend 7/26/21	1,325.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
353	6000	Professional Services	3338 Gabriel Environmental Services	0821A0049 Pre-Demolition Asbestos Inspection-Phase 4-329 Hawthorne 7/26/21	1,865.00
354	6000	Professional Services	1126 Civiltech Engineering Inc	3556-04 R-26-21 Engr Svcs - Rand Rd Sidepath 06/26-07/30/2021	56,814.31
355	6000	Professional Services	1165 Union Pacific Railroad Company	90109107 R-132-21 Rand Rd Sidepath - ITEP Construction - 03/26/2021	1,922.00
356	6000	Professional Services	1165 Union Pacific Railroad Company	90109157 R-132-21 Rand Rd Sidepath - ITEP Construction- 04/01-06/30/21	3,469.96
357	6000	Professional Services	1562 Wisconsin Central LTD	91581969 R-132-21 Rand Rd Sidepath - ITEP Construction 02/17-05/20/2021	37,411.02
358	6000	Professional Services	1562 Wisconsin Central LTD	91585983 R-132-21 Rand Rd Sidepath - ITEP Construction 04/08-07/09/2021	608.80
359	6005	Legal Fees	8169 Burke, Warren, MacKay & Serritella PC	248322-0M70009 Legal Fees-Rand Rd Sidepath-1507 Rand Rd 06/08/2021	300.00
360	6005	Legal Fees	8133 Elrod Friedman LLP	5071 7-21 Non-Retainer IEMA & FEMA Review Phase 4	1,342.00
361	8100	Improvements	1206 Illinois, State of	124037 R-28-18 Construction-Ballard Rd Sidewalk/Sidepath 12/3/19-1/9/21	17,494.52
362	8100	Improvements	1086 Arrow Road Construction Company	2020-A-P10 R-125-20 Contractor 2020 CIP Cont A St & ADA Improv 7/23-8/13/21	139,116.83
Total 2520 - Capital Grants					261,669.44

Total 250 - Grant Projects Fund	261,669.44
--	-------------------

Fund: 260 - Asset Seizure Fund						
Program: 2620 - DEA						
363	6305	R&M Equipment	7920 SF Mobile-Vision Inc	42072	Body Camera Repair (5) 08/05/2021	695.00
364	6305	R&M Equipment	7920 SF Mobile-Vision Inc	42076	Body Camera Replacement (4) 08/05/2021	1,956.00
365	6305	R&M Equipment	7920 SF Mobile-Vision Inc	42079	Body Camera Repair/Repl (5) 08/05/2021	2,081.00
Total 2620 - DEA					4,732.00	

Program: 2640 - Forfeit						
366	6115	Licensing/Titles	1744 IL Secretary of State	2449278B-2022	Squad # 15 License Plate Renewal (2022)	151.00
367	6115	Licensing/Titles	1744 IL Secretary of State	484846-2022	Squad # 23 License Plate Renewal (2022)	151.00
368	6115	Licensing/Titles	1744 IL Secretary of State	AP80630-2022	Squad # 28 License Plate Renewal (2022)	151.00
Total 2640 - Forfeit					453.00	

Total 260 - Asset Seizure Fund	5,185.00
---------------------------------------	-----------------

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 400 - Capital Projects Fund						
369	6000	Professional Services	1199 Spaceco Inc	86169	R-104-21 Engr Svcs - Task Order 1 - 06/27-07/24/2021	19,575.00
370	6005	Legal Fees	8133 Elrod Friedman LLP	5083	7-21 Non-Retainer Litigation	127.50
371	6005	Legal Fees	8133 Elrod Friedman LLP	5093	7-21 Non-Retainer Matters	331.50
372	8100	Improvements	1328 John Neri Construction Company Inc	2021-A-P3	R-81-21 2021 CIP Street & Utility Improvements 07/23-08/06/2021	29,286.77
Total 400 - Capital Projects Fund					49,320.77	

Fund: 430 - Facilities Replacement Fund						
373	6000	Professional Services	7661 FGM Architects Inc	21-3200.01-1	City Hall and Police Station Entry Addition 05/29-07/02/2021	1,975.00
374	6000	Professional Services	7661 FGM Architects Inc	21-3200.02-1	Police Station Addition and Renovation 05/29-07/02/2021	4,375.00
375	6000	Professional Services	7661 FGM Architects Inc	21-3201.01-1	Fire Station 61 Renovation Design 5/29/21-7/2/21	2,375.00
376	6000	Professional Services	8130 ECS Midwest LLC	902856	Civic Deck Materials Testing 07/10/2021	329.75
377	6195	Miscellaneous Contractual Services	7521 United Rentals (North America) Inc	195657893-001	Lift Rental 07/08-08/04/2021	2,133.51
378	6195	Miscellaneous Contractual Services	1931 Oui Oui Enterprises LLC	73858	6/14/21-6/29/21 Portable Restroom Service @ Theatre	70.67
379	6315	R&M Buildings & Structures	1135 Colley Elevator Co	211138	Run Elevator for Hoistway Fire Protection Before Inspect 4/27/21	510.00
380	6315	R&M Buildings & Structures	8262 Automatic Fire Systems Inc	28473	Change Cover Plate Colors - Theater 08/18/2021	320.00
381	6315	R&M Buildings & Structures	8262 Automatic Fire Systems Inc	28474	Labor & Material for FDC Connection Revisions-Theatre 07/30/2021	7,941.00
382	6315	R&M Buildings & Structures	2027 American National Skyline Inc	306145	Window Cleaning @ Theatre 07/23/2021	512.50
383	6315	R&M Buildings & Structures	8224 All-Tech Decorating Company	39205	Interior Painting - Theater - 08/03/2021-08/06/2021	4,775.00
384	6315	R&M Buildings & Structures	7146 JOS Services Inc	4710	Plumbing Labor 7/5/21 @ Theatre	1,000.00
385	6315	R&M Buildings & Structures	7146 JOS Services Inc	4711	Plumbing Labor 7/6/21 @ Theatre	1,000.00
386	6315	R&M Buildings & Structures	7146 JOS Services Inc	4712	Plumbing Labor 7/7/21 @ Theatre	1,000.00
387	6315	R&M Buildings & Structures	7146 JOS Services Inc	4713	Plumbing Labor 7/8/21 @ Theatre	1,000.00
388	6315	R&M Buildings & Structures	7146 JOS Services Inc	4714	Plumbing Labor 7/9/21 @ Theatre	1,000.00
389	6315	R&M Buildings & Structures	7146 JOS Services Inc	4715	Plumbing Labor 7/12/21 @ Theatre	1,000.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
390	6315	R&M Buildings & Structures	7146 JOS Services Inc	4716 Plumbing Labor Services 7/13/21 @ Theatre	1,000.00
391	6315	R&M Buildings & Structures	7146 JOS Services Inc	4717 Plumbing Labor Services 7/14/21 @ Theatre	1,000.00
392	6315	R&M Buildings & Structures	7146 JOS Services Inc	4718 Plumbing Labor Services 7/15/21 @ Theatre	1,000.00
393	6315	R&M Buildings & Structures	7146 JOS Services Inc	4719 Plumbing Labor Services 7/16/21 @ Theatre	1,000.00
394	6315	R&M Buildings & Structures	7146 JOS Services Inc	4720 Plumbing Labor Services 7/19/21 @ Theatre	1,000.00
395	6315	R&M Buildings & Structures	7146 JOS Services Inc	4721 Plumbing Labor Services 7/20/21 @ Theatre	1,000.00
396	6315	R&M Buildings & Structures	7146 JOS Services Inc	4722 Plumbing Labor Services 7/21/21 @ Theatre	1,000.00
397	6315	R&M Buildings & Structures	7146 JOS Services Inc	4723 Plumbing Labor Services 7/22/21 @ Theatre	1,000.00
398	6315	R&M Buildings & Structures	7146 JOS Services Inc	4724 Plumbing Labor Services 7/23/21 @ Theatre	1,000.00
399	6315	R&M Buildings & Structures	7146 JOS Services Inc	4725 Plumbing Labor Services 7/26/21 @ Theatre	1,000.00
400	6315	R&M Buildings & Structures	7146 JOS Services Inc	4726 Plumbing Labor Services 7/27/21 @ Theatre	1,000.00
401	6315	R&M Buildings & Structures	7146 JOS Services Inc	4727 Plumbing Labor Services 7/28/21 @ Theatre	1,000.00
402	6315	R&M Buildings & Structures	7146 JOS Services Inc	4728 Plumbing Labor Services 7/30/21 @ Theatre	1,000.00
403	6315	R&M Buildings & Structures	7146 JOS Services Inc	4729 Plumbing Labor Services 7/29/21 @ Theatre	1,000.00
404	6315	R&M Buildings & Structures	7146 JOS Services Inc	4835 Plumbing Labor at Theatre 8/2/21	1,000.00
405	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6216 6/7/21-6/12/21 Construction Services Task Order #9 @ Theatre	13,565.74
406	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6221 Construction Services 6/14/21-6/19/21 TO #10 @ Theater	17,239.23
407	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6229 Tile Installation - Theatre - 05/03-05/07/2021	14,679.00
408	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6230 Construction Services - Theater - 06/10/2021-06/14/2021	16,275.00
409	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6231 Construction Services - Theater - 6/20/2021-6/26/2021	18,453.23
410	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6245 Construction Services - Theatre - 06/27/2021-07/03/2021	11,690.45
411	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6246 Construction Services - Theater - 07/04/2021-07/10/2021	11,357.74

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
412	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6247	Construction Services - Theater - 7/11/21-7/17/21; TO 16	11,908.60
413	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6253	Four Custom Anodized Door Pulls - Theater 7/29/2021	8,421.00
414	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6254	Entry Doors & Ticket Booth Cladding - Theater - 07/29/2021	13,880.00
415	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6259	Construction Services - Theater - 07/26-07/31/2021, R-47-21	4,388.64
416	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6268A	Construction Services 8/3/21 @ Theatre	1,942.40
417	6315	R&M Buildings & Structures	5440 Manusos General Contracting Inc	6268B	Construction Services - Theater - 08/07/2021, R-47-21	2,446.24
418	6315	R&M Buildings & Structures	4583 Argon Electric Company, Inc	9387	Electrical Repairs - 03/08/2021-03/19/2021	9,234.00
419	6315	R&M Buildings & Structures	4583 Argon Electric Company, Inc	9388	Electrical Repairs - Theater - 03/15/2021-03/19/2021	8,958.00
420	6315	R&M Buildings & Structures	4583 Argon Electric Company, Inc	9456	Electrical Services 7/12/21-7/16/21 @ Theatre	19,729.00
421	6315	R&M Buildings & Structures	4583 Argon Electric Company, Inc	9458	Electrical Labor - Theater - 07/19/2021-07/23/2021	19,838.00
422	7045	Supplies - Building R&M	8244 Des Plaines Ace Hardware	1054	Spray Paint @ Theatre	7.19
423	7045	Supplies - Building R&M	8244 Des Plaines Ace Hardware	1059	Fasteners @ Theatre	7.60
424	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1070630	Door Cylinder @ Theatre	129.80
425	7045	Supplies - Building R&M	1018 Anderson Lock Company LTD	1070819	Door Cylinders @ Theatre	412.40
426	7045	Supplies - Building R&M	8244 Des Plaines Ace Hardware	1072	Chain Link @ Theatre	5.38
427	7045	Supplies - Building R&M	1941 Global Equipment Company	118007123	Cage Parts for New Civic Deck	355.04
428	7045	Supplies - Building R&M	4177 Uline Inc	136349625	Swing Gate for Projection Room @ Theatre	420.65
429	7045	Supplies - Building R&M	4177 Uline Inc	136629814	Reflective Bollard Covers for Civic Deck	636.77
430	7045	Supplies - Building R&M	8283 Banner Plumbing Supply Company LLC	2748693	Sink @ Theatre	1,042.25
431	7045	Supplies - Building R&M	8283 Banner Plumbing Supply Company LLC	2749976	Plumbing Supplies - Theater	810.06
432	7045	Supplies - Building R&M	5917 Ferguson Enterprises Inc	6074486	Sewage Pump & Controller @ Theatre	2,481.81
433	7045	Supplies - Building R&M	5917 Ferguson Enterprises Inc	6074508	Sewer Pump and Controller East Side @ Theatre	2,481.81
434	7045	Supplies - Building R&M	5917 Ferguson Enterprises Inc	6074513	Sump Pump/Float Valves/Etc. @ Theatre	1,757.42
435	7045	Supplies - Building R&M	5917 Ferguson Enterprises Inc	6083858	Water Heater for Basement of Theatre	12,313.16

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
436	7045	Supplies - Building R&M	5917 Ferguson Enterprises Inc	6185705	Drinking Fountain @ Theatre	1,429.00
437	7045	Supplies - Building R&M	1057 Menard Incorporated	79079	Newel Posts @ Theatre	872.00
438	7045	Supplies - Building R&M	1057 Menard Incorporated	79080	Trim @ Theatre	1,018.08
439	7045	Supplies - Building R&M	1057 Menard Incorporated	79315	Plumbing Supplies @ Theatre	264.94
440	7045	Supplies - Building R&M	1057 Menard Incorporated	79410	Steel Wool/Spray Paint @ Theatre	56.98
441	7045	Supplies - Building R&M	1057 Menard Incorporated	79885	Painting Supplies @ Theatre	33.94
442	7045	Supplies - Building R&M	1057 Menard Incorporated	80952	Wood and Fasteners @ Theatre	58.68
443	7045	Supplies - Building R&M	1057 Menard Incorporated	80972	Casement Pine Boards @ Theatre	148.44
444	7045	Supplies - Building R&M	1057 Menard Incorporated	80995	Mortar, Wood Putty, Wall Plates, Etc. @ Theatre	1,167.70
445	7045	Supplies - Building R&M	1057 Menard Incorporated	81073	Handrails, Sponges, Staining Pads, Etc.	1,050.51
446	7045	Supplies - Building R&M	1057 Menard Incorporated	81101	Staining Supplies @ Theatre	59.54
447	7045	Supplies - Building R&M	1057 Menard Incorporated	81108	Painters Tape @ Theatre	35.94
448	7045	Supplies - Building R&M	1057 Menard Incorporated	81568	Polyurethane and Sponges @ Theatre	119.77
449	7045	Supplies - Building R&M	7691 Builders Asphalt LLC	81990	Alley Behind Theater Pavement Restoration	897.54
450	7045	Supplies - Building R&M	1057 Menard Incorporated	82877A	Painting Supplies @ Theatre	65.82
451	7045	Supplies - Building R&M	1057 Menard Incorporated	83559	Pipe Insulation, Duct Tape, Etc. @ Theatre	85.54
452	7045	Supplies - Building R&M	1057 Menard Incorporated	83621	Lumber/Hinge/Etc. @ Theatre	198.80
453	7045	Supplies - Building R&M	1057 Menard Incorporated	83767	Anchors for Civic Deck	87.79
454	7045	Supplies - Building R&M	1057 Menard Incorporated	83778	Washers and Nuts for Theatre Seating	7.71
455	7045	Supplies - Building R&M	1057 Menard Incorporated	83790	Thread Die for Theatre Seating	2.99
456	7045	Supplies - Building R&M	1057 Menard Incorporated	83823	Anchor, Bolts, Etc.	62.92
457	7045	Supplies - Building R&M	1057 Menard Incorporated	83844	Return Pine Door Jamb from Theatre	(18.32)
458	7045	Supplies - Building R&M	1057 Menard Incorporated	83845	Wood @ Theatre	60.85
459	7045	Supplies - Building R&M	1057 Menard Incorporated	83878	Supplies to Install Police Cage in Basement of Civic Deck	73.67
460	7045	Supplies - Building R&M	1057 Menard Incorporated	83888	Joist Hangers @ Theatre	15.37

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
461	7045	Supplies - Building R&M	1057 Menard Incorporated	84596	Lumber, Fasteners, Etc. @ Theatre	213.14
462	7045	Supplies - Building R&M	1057 Menard Incorporated	84607	HVAC Grille @ Theatre	23.99
463	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	8605462	Materials for Bollards at Civic Center	36.37
464	7045	Supplies - Building R&M	1072 Prairie Material	890120860	Concrete @ Theatre	123.25
465	7045	Supplies - Building R&M	1174 3M Company	9412163976	Reflective Striping for Civic Parking Deck	462.79
466	7045	Supplies - Building R&M	4583 Argon Electric Company, Inc	9459	Electrical Supplies @ Theatre	2,143.00
467	7045	Supplies - Building R&M	4583 Argon Electric Company, Inc	9460	Electrical Supplies @ Theatre	1,968.00
468	7045	Supplies - Building R&M	1550 Addison Building Material Co	955774	Caulking Supplies @ Theatre	72.77
469	7045	Supplies - Building R&M	1550 Addison Building Material Co	955791	Rebar @ Theatre	21.94
470	7045	Supplies - Building R&M	1550 Addison Building Material Co	955892	Materials for Parking Bumper and Bollard Installation	112.26
471	7045	Supplies - Building R&M	2313 City Electric Supply Company (CES)	DEP/051826	Conduit @ Theatre	108.98
472	7045	Supplies - Building R&M	2313 City Electric Supply Company (CES)	DEP/051859	Tape and Heat Shrink @ Theatre	56.23
473	7045	Supplies - Building R&M	5969 Security Equipment Supply Inc	N59951	Civic Deck Access Control Locks	401.00
474	7045	Supplies - Building R&M	5969 Security Equipment Supply Inc	N59962	Parking Deck Access Control Supplies	199.75
475	7045	Supplies - Building R&M	8201 Gexpro	S131380591.001	Lights @ Theatre	242.91
476	7045	Supplies - Building R&M	8366 Connexion	S1783820.005	Electrical Supplies @ Theatre	244.00
477	7045	Supplies - Building R&M	8366 Connexion	S1783820.006	Electrical Supplies @ Theatre	430.00
478	7045	Supplies - Building R&M	8366 Connexion	S1784798.001	4 Chandelier Lifts @ Theatre	5,318.00
479	7045	Supplies - Building R&M	8366 Connexion	S1789511.001	Electrical Supplies @ Theatre	1,058.94
480	7045	Supplies - Building R&M	8366 Connexion	S1789595.001	Electric Supplies @ Theatre	120.67
481	7045	Supplies - Building R&M	8366 Connexion	S1790961.001	Electric Supplies for the Theater	321.69
Total 430 - Facilities Replacement Fund					294,720.92	

Fund: 500 - Water/Sewer Fund						
Non Departmental						
Division: 550 - Water Systems						
482	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	1,802.19
483	6180	Water Sample Testing	1642 Suburban Laboratories, Inc	191957	IEPA Testing - 07/06-07/27/2021	2,091.00

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
484	6195	Miscellaneous Contractual Services	6281 Dorner Company	157877-IN Altitude Valve Inspection - Howard Tank - 06/16/2021	2,250.00
485	6195	Miscellaneous Contractual Services	5400 Dahme Mechanical Industries Inc	20210202 Emergency Repairs - Central Water Pumps - 07/30/2021	5,500.00
486	6195	Miscellaneous Contractual Services	1606 Dixon Engineering Inc	21-8328 Remote Inspection - Maple St Pump Station - 06/17/2021	800.00
487	6195	Miscellaneous Contractual Services	1467 HBK Water Meter Service Inc	210397 Meter Bench Test - 08/05/2021	33.66
488	6195	Miscellaneous Contractual Services	1467 HBK Water Meter Service Inc	210405 14 Meter Bench Tests - 08/05/2021	357.00
489	6195	Miscellaneous Contractual Services	1467 HBK Water Meter Service Inc	210418 Meter Bench Test - 08/12/2021	33.66
490	6195	Miscellaneous Contractual Services	8316 Instrument & Valve Services Company	3768670 Gauges Calibration - Rosemont Water Tanks - 06/30/2021	1,964.23
491	6195	Miscellaneous Contractual Services	4583 Argon Electric Company, Inc	9455 Antenna Removal - Oakton Tank - 06/14-06/18/2021	8,889.00
492	6300	R&M Software	6992 Core & Main LP	P344809 Sensus Annual Customer Portal Fee - 07/29/2021, R-9-21	7,335.00
493	6305	R&M Equipment	1154 West Side Tractor Sales	L87299 2000 Hour Service - PW 9037 - 07/30/2021	1,538.63
494	6305	R&M Equipment	1154 West Side Tractor Sales	L87300 Hydraulic Leak Repair - PW 9037 - 07/30/2021	1,010.62
495	6305	R&M Equipment	1154 West Side Tractor Sales	L87301 Track Replacement - PW 9037 - 07/30/2021	4,015.32
496	6310	R&M Vehicles	1674 Spring-Align of Palatine, Inc	118875 R&R Leaf Springs, Stacks & Hardware - PW 9030 - 08/16/2021	1,075.70
497	7020	Supplies - Safety	4093 White Cap LP	10014704842 Safety Lanyards	157.88
498	7020	Supplies - Safety	8346 Emergent Safety Supply	1902731296 Safety Harness	476.49
499	7020	Supplies - Safety	8346 Emergent Safety Supply	1902734699 Safety Harness	108.09
500	7020	Supplies - Safety	1703 Prosafety Inc	2/880580 Locating Paint, Flags, & Ear Muffs	106.45
501	7020	Supplies - Safety	2053 USA Bluebook	639104 2 Chlorine Emergency A Kits	4,973.76
502	7020	Supplies - Safety	1043 WW Grainger Inc	9012990256 Silicone Gloves	59.22
503	7020	Supplies - Safety	1192 Sherwin Industries Inc	SS090131 Portable Road Signs	408.50
504	7035	Supplies - Equipment R&M	1484 Thompson Rental Station Inc	588617-3 33 Lb Propane Tank Refill - PW 9040	147.82
505	7035	Supplies - Equipment R&M	1088 Atlas Bobcat LLC	BS2017 Filter Return - PW 9026	(39.19)

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
506	7035	Supplies - Equipment R&M	1575 Pirtek O'Hare	OH-T00012368	Hydraulic Hose - PW 9009	79.19
507	7035	Supplies - Equipment R&M	1520 Russo Power Equipment	SPI10789345	Starter Rope, Grip, & Cover/Coil - PW 9049	122.99
508	7040	Supplies - Vehicle R&M	1673 Chicago Parts & Sound LLC	1-0220940	Wheel Sensors - PW 9030	298.15
509	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805124	Belt & Idler Pulley - PW 9030	34.76
510	7040	Supplies - Vehicle R&M	8454 NAPA Auto Parts	805133	2 Tire Sensor Bands - PW 9030	29.24
511	7040	Supplies - Vehicle R&M	5035 Northwest Trucks Inc	X101040349:01	Oxygen Sensor - PW 9059	89.90
512	7045	Supplies - Building R&M	8244 Des Plaines Ace Hardware	1114	Hose & Spray Nozzle	17.98
513	7050	Supplies - Streetscape	1347 Lurvey Landscape Supply	T1-10398821	2.0 Cu Yds Top Soil - 07/02/2021	59.30
514	7050	Supplies - Streetscape	1347 Lurvey Landscape Supply	T1-10406536	3.0 Cu Yds Top Soil - 08/16/2021	88.95
515	7050	Supplies - Streetscape	1347 Lurvey Landscape Supply	T1-10406601	3.0 Cu Yds Top Soil - 08/16/2021	88.95
516	7070	Supplies - Water System Maintenance	2028 Northwest Electrical Supply	17509956	100 Ground Clamps - Meters	262.00
517	7070	Supplies - Water System Maintenance	1703 Prosafety Inc	2/880580	Locating Paint, Flags, & Ear Muffs	686.40
518	7070	Supplies - Water System Maintenance	1709 Ziebell Water Service Products Inc	254355-000	2 O-Rings	20.06
519	7070	Supplies - Water System Maintenance	1709 Ziebell Water Service Products Inc	254758-000	B-Box Repair Lids	304.40
520	7070	Supplies - Water System Maintenance	1072 Prairie Material	890135761	5.0 Cu Yds Concrete - Street Repair - 08/05/2021	656.25
521	7070	Supplies - Water System Maintenance	8244 Des Plaines Ace Hardware	947	2 Paint Brushes	9.88
522	7070	Supplies - Water System Maintenance	6992 Core & Main LP	P365321	Repair Sleeves	2,420.00
523	7070	Supplies - Water System Maintenance	6992 Core & Main LP	P365895	Returned Meters	(1,908.00)
524	7070	Supplies - Water System Maintenance	6992 Core & Main LP	P371783	3/4 Curb Stops & Hyd Extension	979.69
525	7070	Supplies - Water System Maintenance	6992 Core & Main LP	P371796	3/4 Curb Stops	672.00
526	7105	Wholesale Water - NWWC	2901 Northwest Water Commission	08022021	Wholesale Water Purchase - July 2021 R-183-14	345,669.52

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
527	7120	Gasoline	8331 Avalon Petroleum Company Inc	468035	4,999 Gals Unleaded Gasoline - 07/30/2021, R-163-20	1,861.33
528	7130	Diesel	8331 Avalon Petroleum Company Inc	029106	1,998 Gal Bio Diesel Fuel - 07/30/2021, R-163-20	290.17
Total 550 - Water Systems					397,928.14	

Division: 560 - Sewer Systems						
Line #	Account	Vendor	Invoice	Invoice Description	Amount	
529	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	522.32
530	6195	Miscellaneous Contractual Services	1559 Continental Weather Svc	193851	Weather Forecasting - August 2021 - 08/01/2021	150.00
531	6300	R&M Software	1145 Cues	593262	GraniteNet Support Plan 08/22/2021-08/21/2022	2,850.00
532	6505	Subsidy - Sewer Lateral Program	7753 Bora, Jeffrey	SLP21-009	Sanitary Sewer Rebate - 8/12/21	1,170.00
533	6505	Subsidy - Sewer Lateral Program	8456 Carlsen, J A	SLP21-010	Sanitary Sewer Rebate - 8/12/21	2,595.00
534	6505	Subsidy - Sewer Lateral Program	3371 Mills, Richard G	SLP21-011	Sewer Rebate - 8/12/21	100.00
535	6510	Subsidy - Flood Assistance	8457 Swanson, Lawrence C	FRP21-017	Flood Rebate - 8/12/21	1,380.00
536	6510	Subsidy - Flood Assistance	8455 Cedeno, Alfredo	FRP21-018	Flood Rebate - 8/12/21	2,000.00
537	6510	Subsidy - Flood Assistance	8460 Aliuddin, Mohammed	FRP21-019	Flood Rebate - 8/12/21	2,000.00
538	6510	Subsidy - Flood Assistance	8459 Patel, Kalpesh	FRP21-020	Flood Rebate - 8/12/21	2,000.00
539	6510	Subsidy - Flood Assistance	8458 Nebel, Gary L	FRP21-021	Flood Rebate - 8/12/21	2,000.00
540	7020	Supplies - Safety	8346 Emergent Safety Supply	1902731640	Safety Harness	263.48
541	7020	Supplies - Safety	8346 Emergent Safety Supply	1902731706	Safety Harness	104.98
542	7020	Supplies - Safety	1192 Sherwin Industries Inc	SS090131	Portable Road Signs	408.50
543	7035	Supplies - Equipment R&M	1062 NAPA of Des Plaines	5741-802915	Air Filter - PW 9000	68.89
544	7035	Supplies - Equipment R&M	1062 NAPA of Des Plaines	5741-803801	Hydraulic, Air, & Fuel Filters - PW 8001	37.06
545	7035	Supplies - Equipment R&M	1062 NAPA of Des Plaines	5741-803869	Air Filter - PW 8001	14.44
546	7035	Supplies - Equipment R&M	1057 Menard Incorporated	83619	4-Cycle Premix, Tail Lights, Washers, & Nuts - Sewer Equipment	100.17
547	7035	Supplies - Equipment R&M	1088 Atlas Bobcat LLC	BS3431	Seal Kit - PW 8001	122.17
548	7035	Supplies - Equipment R&M	1154 West Side Tractor Sales	W92472	Returned Alternator Core - PW 8010	(50.00)
549	7040	Supplies - Vehicle R&M	1062 NAPA of Des Plaines	5741-803763	Brake Pads & Rotors - PW 8039	274.17

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
550	7050	Supplies - Streetscape	1437 Des Plaines Material & Supply LLC	434153 1.0 Cu Yd Top Soil - 08/13/2021	33.00
551	7050	Supplies - Streetscape	1437 Des Plaines Material & Supply LLC	434208 2.0 Cu Yds Top Soil - 08/13/2021	66.00
552	7075	Supplies - Sewer System Maintenance	8244 Des Plaines Ace Hardware	1036 Sanitizing Air Freshener	3.59
553	7075	Supplies - Sewer System Maintenance	8244 Des Plaines Ace Hardware	1067 Ant & Roach Spray	2.50
554	7075	Supplies - Sewer System Maintenance	1162 Vollmar Clay Products Inc	185506 Concrete Blocks, Adjustment Rings, Bricks - Sewer Repair	2,313.25
555	7075	Supplies - Sewer System Maintenance	1274 O'Leary's Contractors Equipment & Supply Inc	387952 2 Section Hoses	390.00
556	7075	Supplies - Sewer System Maintenance	1437 Des Plaines Material & Supply LLC	420868 6" Brass Clean Out Plug	18.53
557	7075	Supplies - Sewer System Maintenance	1437 Des Plaines Material & Supply LLC	421046 (2) 6" Gripper Plugs	53.14
558	7075	Supplies - Sewer System Maintenance	1437 Des Plaines Material & Supply LLC	429826 2 No-Shear Clay Couplings	65.46
559	7075	Supplies - Sewer System Maintenance	1437 Des Plaines Material & Supply LLC	430015 2 No-Shear Clay Couplings	65.46
560	7075	Supplies - Sewer System Maintenance	1437 Des Plaines Material & Supply LLC	431982 (2) 4" Gripper Plugs	20.02
561	7075	Supplies - Sewer System Maintenance	1072 Prairie Material	890139977 1.25 Cu Yds Concrete - 1184 Walnut - 08/06/2021	154.06
562	7075	Supplies - Sewer System Maintenance	1072 Prairie Material	890150922 1.0 Cu Yds Concrete - 1428 Pennsylvania/189 Michael - 08/17/2021	123.25
563	7075	Supplies - Sewer System Maintenance	2313 City Electric Supply Company (CES)	DEP/052016 6 Fuses - Lift Station	90.66
564	7075	Supplies - Sewer System Maintenance	6992 Core & Main LP	P372671 No Shear Couplings, Tar Tape, & PVC Pipe	1,892.28
565	7075	Supplies - Sewer System Maintenance	6992 Core & Main LP	P372695 1/2" Rubber Mastic Rolls	79.60
566	7120	Gasoline	8331 Avalon Petroleum Company Inc	468035 4,999 Gals Unleaded Gasoline - 07/30/2021, R-163-20	826.04
567	7130	Diesel	8331 Avalon Petroleum Company Inc	029106 1,998 Gal Bio Diesel Fuel - 07/30/2021, R-163-20	1,320.19
568	7140	Electricity	1033 ComEd	3240002012-07/21 Electricity Service 06/24-07/26/2021	161.73
Total 560 - Sewer Systems					25,789.94

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Division: 580 - CIP - Water/Sewer						
569	6000	Professional Services	2506 Trotter & Associates Inc	18757	Water Sys Trans Main Design - 06/28-07/31/2021, R-65-21	34,380.00
570	6000	Professional Services	1606 Dixon Engineering Inc	21-8358	Proj Mgmt/Inspect-Oakton Tank Painting-03/11-07/20/2021, R-41-20	20,451.25
571	8100	Improvements	1328 John Neri Construction Company Inc	2021-A-P3	R-81-21 2021 CIP Street & Utility Imp 07/23-08/06/2021	412,417.02
Total 580 - CIP - Water/Sewer					467,248.27	

Total 00 - Non Departmental	890,966.35
------------------------------------	-------------------

Department: 30 - Finance						
572	6025	Administrative Services	7961 BridgePay Network Solutions LLC	8282	Utility Web & Business License Trans Fee - July 2021	238.40
Total 30 - Finance					238.40	

Total 500 - Water/Sewer Fund	891,204.75
-------------------------------------	-------------------

Fund: 510 - City Owned Parking Fund						
573	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	349.51
574	6015	Communication Services	1027 Call One	433982	Communication Service 08/15-09/14/2020	1,215.40
575	6025	Administrative Services	7960 Passport Labs Inc	INV-1022243	Mobile Pay Parking Transaction Fee - May 2021	10.36
576	6025	Administrative Services	7960 Passport Labs Inc	INV-1022987	Mobile Pay Parking Transaction Fee - June 2021	11.47
577	6025	Administrative Services	7960 Passport Labs Inc	INV-1023704	Mobile Pay Parking Transaction Fee - July 2021	15.91
578	6320	R&M Parking Lots	1311 Hill/Ahern Fire Protection LLC	7976	Emergency Fire System Repair - Library Deck - 04/27 & 05/02/2021	4,256.00
579	6320	R&M Parking Lots	2350 Anderson Elevator Co	INV-45341-P7Z8	Elevator Inspections August 2021	373.76
Total 510 - City Owned Parking Fund					6,232.41	

Fund: 520 - Metra Leased Parking Fund						
580	6025	Administrative Services	7960 Passport Labs Inc	INV-1022243	Mobile Pay Parking Transaction Fee - May 2021	53.65
581	6025	Administrative Services	7960 Passport Labs Inc	INV-1022987	Mobile Pay Parking Transaction Fee - June 2021	72.89
582	6025	Administrative Services	7960 Passport Labs Inc	INV-1023704	Mobile Pay Parking Transaction Fee - July 2021	77.70
583	7540	Land Lease	1165 Union Pacific Railroad Company	July 2021	Parking Fees for July 2021	1,019.65
Total 520 - Metra Leased Parking Fund					1,223.89	

City of Des Plaines

Warrant Register 09/07/2021

Line #	Account	Vendor	Invoice	Invoice Description	Amount
Fund: 600 - Risk Management Fund					
584	6005	Legal Fees	8133 Elrod Friedman LLP	5086 7-21 Non-Retainer PSEBA Proceedings	541.50
Total 600 - Risk Management Fund					541.50

Fund: 610 - Health Benefits Fund					
585	6195	Miscellaneous Contractual Services	8374 Wex Health Incorporated	0001351044-IN Commuter & FSA Monthly Admin Fees for May 2021	560.00
586	6195	Miscellaneous Contractual Services	8374 Wex Health Incorporated	0001365811-IN Commuter & FSA Monthly Admin Fees for June 2021	555.75
587	6195	Miscellaneous Contractual Services	8374 Wex Health Incorporated	0001380510-IN Commuter & FSA Monthly Admin Fees for July 2021	568.50
Total 610 - Health Benefits Fund					1,684.25

Fund: 700 - Escrow Fund					
588	2430	Escrow - Police Items	1320 IL State Police	Cost 01755-07/21 Fingerprint Background Check Services for July 2021	28.25
589	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	186069 Public Notice for 8/10/21 PZB Meeting - Published 7/21/21	82.24
590	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	186069 Public Notice for 8/10/21 PZB Meeting - Published 7/21/21	82.21
591	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	186123 Public Notice for 8/24/21 PZB Meeting - Published 8/4/21	72.12
592	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	186123 Public Notice for 8/24/21 PZB Meeting - Published 8/4/21	72.14
593	2493	Escrow - CED Development	1050 Journal & Topics Newspapers	186123 Public Notice for 8/24/21 PZB Meeting - Published 8/4/21	72.12
594	2493	Escrow - CED Development	8133 Elrod Friedman LLP	5077 7-21 Non-Retainer Matters	600.00
595	2493	Escrow - CED Development	8133 Elrod Friedman LLP	5078 7-21 Reimb Redevelopment	1,237.50
596	2493	Escrow - CED Development	8133 Elrod Friedman LLP	5097* 7-21 Reimb Redevelopment	55.00
Total 700 - Escrow Fund					2,301.58

Grand Total					2,274,677.22
--------------------	--	--	--	--	---------------------

City of Des Plaines

Warrant Register 09/07/2021

Manual Payments

Line #	Account	Vendor	Invoice	Invoice Description	Amount
Fund: 100 - General Fund					
Department: 00 - Non Departmental					
597	4632	GEMT Reimbursements	8359 HFS Bureau of Fiscal Operations - GEMT	Pymt #3 Q4 2020 Payment #3 - Q4 2020 - GEMT Funds Reimbursement	213,656.31
Total 00 - Non Departmental					213,656.31

City Administration						
Division: 230 - Information Technology						
598	6015	Communication Services	1010 AT&T Mobility	28702533395908 21	Communication Service 07/04-08/03/2021	135.69
Total 230 - Information Technology					135.69	

Total 20 - City Administration					135.69
---------------------------------------	--	--	--	--	---------------

Public Works & Engineering						
Division: 540 - Vehicle Maintenance						
599	6115	Licensing/Titles	1744 IL Secretary of State	UB54250	Transfer Fee-Repl Plates fm Passenger to Municipal-No Expiration	8.00
Total 540 - Vehicle Maintenance					8.00	

Total 50 - Public Works & Engineering					8.00
--	--	--	--	--	-------------

Police Department						
Division: 630 - Support Services						
600	6015	Communication Services	1009 AT&T	847R18054607-21	Communication Service 07/28-08/27/2021	63.55
Total 630 - Support Services					63.55	

Total 60 - Police Department					63.55
-------------------------------------	--	--	--	--	--------------

Total 100 - General Fund					213,727.86
---------------------------------	--	--	--	--	-------------------

Fund: 430 - Facilities Replacement Fund						
601	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	2022315	Screws, Wire & Electrical Parts @ Theatre	39.77
602	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	3026199	LED Can Light Trims and Doors at Theatre	557.66
603	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	3173687	Return Can Light Trims from Theatre	(49.94)
604	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	3211344	Door Return from Theatre	(107.00)
605	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	3530369	Doors for Theatre	107.00
606	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	3627030	Soap, Fasteners, Etc. @ Theatre	87.19

City of Des Plaines

Warrant Register 09/07/2021

Manual Payments

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
607	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	4071353	Lumber, Can Light Trims, Totes at Theatre	128.14
608	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	5025803	Plumbing Supplies @ Theatre	308.36
609	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	6020010	Lumber, Screws, Etc. at Theatre	264.50
610	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	6020099	Fasteners at Theatre	55.82
611	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	630187	Painting & Coring Supplies at Theatre	148.83
612	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	7524743	Hinge for Basement Door Under Stage @ Theatre	11.94
613	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	8212991	Return Door from Theatre	(35.86)
614	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	8512488	6-Panel Door & Filters for Theatre	63.83
615	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	8635120	Fasteners at Theatre	64.82
616	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	9085278	Access Panel, Drill Bits, Etc. at Theatre	175.71
617	7045	Supplies - Building R&M	1047 Home Depot Credit Svcs	4443402	Cornerbead & Screws @ Theatre	52.81
Total 430 - Facilities Replacement Fund					1,873.58	

Fund: 500 - Water/Sewer Fund						
Division: 550 - Water Systems						
618	7035	Supplies - Equipment R&M	7958 Vermeer-Illinois Inc	PG4822A	Air Filters - PW 9060	494.64
619	7035	Supplies - Equipment R&M	7958 Vermeer-Illinois Inc	PG4829A	Returned Air Filters - PW 9060	(477.79)
620	7035	Supplies - Equipment R&M	7958 Vermeer-Illinois Inc	PG4854A	Air Filters - PW 9060	815.88
Total 550 - Water Systems					832.73	

Total 500 - Water/Sewer Fund	832.73
-------------------------------------	---------------

Fund: 510 - City Owned Parking Fund						
621	7060	Supplies - Parking Lots	1047 Home Depot Credit Svcs	2786117	Parking Deck Decoy Camera	48.00
Total 510 - City Owned Parking Fund					48.00	

Grand Total	216,617.86
--------------------	-------------------

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Fund: 100 - General Fund						
Elected Office						
Division: 110 - Legislative						
622	7310	Publications	1050 Journal & Topics Newspapers	PC - 31622	July 2021 Online Newspaper Subscription - Mayor's Office	5.99
Total 110 - Legislative					5.99	

Total 10 - Elected Office	5.99
----------------------------------	-------------

City Administration						
Division: 210 - City Manager						
623	6195	Miscellaneous Contractual Services	8153 Zoom Video Communications Inc	PC - 31667	Zoom Subscription 07/26-08/25/2021	14.99
624	7550	Miscellaneous Expenses	4444 Misc Vendor for Procurement Card	PC - 31666	Refund for Notary Public Commission	(131.95)
Total 210 - City Manager					(116.96)	

Division: 230 - Information Technology						
625	6195	Miscellaneous Contractual Services	6008 Network Solutions LLC	PC - 31717	Desplainesintranet.org SiteLock Renewal 7/7/21 - 7/6/22	69.90
626	6195	Miscellaneous Contractual Services	6008 Network Solutions LLC	PC - 31724	Monthly Secure Xpress Renewal 7/26/21 - 8/24/21	7.99
627	7200	Other Supplies	4348 Amazon.Com	PC - 31723	Gevalia Coffee Pods for IT Department	29.38
628	7320	Equipment < \$5,000	7256 Wilson Electronics LLC	PC - 31709	Verizon Signal Booster for Parking Deck	656.00
629	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31712	Dell Micro Mounts for City Use	197.15
630	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31713	iPhone 12 Phone Cases for City Use	71.97
631	7320	Equipment < \$5,000	8260 GPSCity.com	PC - 31715	Ram Mounting Kit for Police Squad Cars	1,187.98
632	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31719	USB 3.0 Cables for City Use	72.59
633	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31720	Cisco 10GB Transceivers for City Use	238.00
634	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31721	Kyocera Flip Phone Case for Public Works	23.89
Total 230 - Information Technology					2,554.85	

Division: 240 - Media Services						
635	6195	Miscellaneous Contractual Services	5096 iStock	PC - 31630	iStock Essentials 25/Pkg for Illustration Rights 7/28-8/28/21	65.00

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
636	6195	Miscellaneous Contractual Services	8451 Powtoon Ltd	PC - 31631	Subscription for Online Video Production Tool 7/29/21-7/29/22	396.00
637	6195	Miscellaneous Contractual Services	8450 Envato Elements Pty Ltd	PC - 31632	Subscription for Online Digital Asset Library 7/29/21-7/29/22	198.00
638	7000	Office Supplies	2016 Signarama	PC - 31663	Name Badge for New Alderman	26.25
639	7000	Office Supplies	2016 Signarama	PC - 31664	Name Plate for New Alderman	21.25
640	7000	Office Supplies	2016 Signarama	PC - 31665	Staff Name Plates in City Council Chambers	152.25
641	7310	Publications	1456 Chicago Tribune	PC - 31661	Newspaper Subscription 07/15/21-01/14/22-Media Director	341.50
Total 240 - Media Services					1,200.25	

Division: 250 - Human Resources						
642	5310	Membership Dues	2421 CityTech USA Inc	PC - 31641	Annual PublicSalary.com Subscription 07/10/2021-07/09/2022	390.00
643	5345	Post-Employment Testing	4444 Misc Vendor for Procurement Card	PC - 31621	100 FMCSA Mandated Drug/Alcohol Testing Queries Purchased	125.00
644	6100	Publication of Notices	5760 LinkedIn	PC - 31642	CED Director Job Posting 07/09-08/13/2021	498.00
645	6100	Publication of Notices	4444 Misc Vendor for Procurement Card	PC - 31643	CED Director Job Posting 07/09-08/13/2021	50.00
646	6100	Publication of Notices	5952 Neogov	PC - 31644	CED Director Job Posting 07/09-08/13/2021	199.00
647	6100	Publication of Notices	1319 IL Municipal League	PC - 31645	CED Director Job Posting 07/09-08/13/2021	35.00
648	6100	Publication of Notices	4444 Misc Vendor for Procurement Card	PC - 31646	CED Director Job Posting 07/09-08/08/2021	99.00
649	6100	Publication of Notices	1413 ICMA Intl City/County Management Association	PC - 31647	CED Director Job Posting 07/09-09/07/2021	225.00
650	6100	Publication of Notices	4360 Paypal	PC - 31648	CED Director Job Posting 07/09-08/13/2021	75.00
651	6100	Publication of Notices	4444 Misc Vendor for Procurement Card	PC - 31649	CED Director Job Posting 07/12-09/11/2021	250.00
652	6100	Publication of Notices	3568 Illinois Economic Development Association	PC - 31650	CED Director Job Posting 07/09-08/25/2021	300.00
653	6100	Publication of Notices	4444 Misc Vendor for Procurement Card	PC - 31651	CED Director Job Posting 07/12-08/13/2021	75.00

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount
654	6100	Publication of Notices	6609 International Economic Development Council (IEDC)	PC - 31652 CED Director Job Posting 07/13-08/13/2021	475.00
655	6100	Publication of Notices	1753 American Public Works Association - APWA	PC - 31653 Maintenance Operator Job Posting 07/28-08/18/2021	325.00
656	6100	Publication of Notices	1563 American Water Works Assoc (AWWA)	PC - 31654 Maintenance Operator Job Posting 07/29-08/18/2021	299.00
657	7550	Miscellaneous Expenses	5500 4imprint Inc	PC - 31627 Printing and Shipping of 100 Imprinted Water Bottles	420.29
Total 250 - Human Resources					3,840.29

Total 20 - City Administration	7,478.43
---------------------------------------	-----------------

Department: 30 - Finance					
658	5310	Membership Dues	7458 Association of Certified Fraud Examiners Inc-ACFE	PC - 31725 ACFE Dues - Assistant Finance Director 7/1/2021-6/30/2022	225.00
659	6000	Professional Services	1737 GFOA Government Finance Officers Association	PC - 31659 Application Fee for FY2020 CAFR Award	610.00
660	7000	Office Supplies	4348 Amazon.Com	PC - 31726 Ruled Notebook	13.28
661	7000	Office Supplies	4348 Amazon.Com	PC - 31727 6 Pack of Zip Closure Envelopes, 8 Pack of Zipper File Bags	29.98
662	7000	Office Supplies	4348 Amazon.Com	PC - 31731 10 Rolls of Scotch Tape, 2 Staplers	52.57
663	7200	Other Supplies	4348 Amazon.Com	PC - 31732 K-Cup Coffee Pods - Finance Dept	42.52
Total 30 - Finance					973.35

Community Development					
Division: 410 - Building & Code Enforcement					
664	5325	Training	1452 IACE - IL Association of Code Enforcement	PC - 31728 IACE Training for Code Enforcement Inspector 9/15/21, 9/29/21	52.65
665	5325	Training	1452 IACE - IL Association of Code Enforcement	PC - 31729 IACE Training for Code Enforcement Inspector 9/15/21, 9/29/21	52.65
666	5325	Training	1452 IACE - IL Association of Code Enforcement	PC - 31730 IACE Training for Code Enforcement Inspector 9/15/21, 9/29/21	52.65
667	7000	Office Supplies	5055 Office Max	PC - 31657 12 Pads of Graph Paper	57.09
668	8010	Furniture & Fixtures	4392 Office Furniture Resources	PC - 31656 1 Chair and 1 Sit-to-Stand Desk for Building Department	575.00
Total 410 - Building & Code Enforcement					790.04

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
Division: 430 - Economic Development						
669	7320	Equipment < \$5,000	4444 Misc Vendor for Procurement Card	PC - 31658	Standing Desk and Fatigue Mat for Economic Dev Manager	304.20
Total 430 - Economic Development					304.20	

Total 40 - Community Development					1,094.24
---	--	--	--	--	-----------------

Public Works & Engineering						
Division: 100 - Administration						
670	7200	Other Supplies	4348 Amazon.Com	PC - 31618	20 Wiring Kits for Dash Cams	294.60
671	7200	Other Supplies	4348 Amazon.Com	PC - 31619	3 Dash Cams for Vehicles	299.85
672	7200	Other Supplies	4348 Amazon.Com	PC - 31620	3 Dash Cams for Vehicles	299.85
Total 100 - Administration					894.30	

Division: 510 - Engineering						
673	7200	Other Supplies	4348 Amazon.Com	PC - 31633	iPhone Belt Clip Case, (2) 3-Pks iPhone Charger Cables	41.73
Total 510 - Engineering					41.73	

Division: 535 - Facilities & Grounds Maintenance						
674	6315	R&M Buildings & Structures	4633 Walgreen Co	PC - 31629	11x14 Print of Elected Official for City Hall Display 07/26/21	5.49
675	7030	Supplies - Tools & Hardware	4444 Misc Vendor for Procurement Card	PC - 31623	Ryobi - Ridgid Power Tools Part	47.94
676	7045	Supplies - Building R&M	4348 Amazon.Com	PC - 31695	Replacement Coffee Maker - City Hall	243.10
677	7500	Postage & Parcel	1700 United States Postal Service	PC - 31640	Certified Mail - Return Receipt - AHU Contract	15.00
Total 535 - Facilities & Grounds Maintenance					311.53	

Total 50 - Public Works & Engineering					1,247.56
--	--	--	--	--	-----------------

Police Department						
Division: 610 - Uniformed Patrol						
678	6015	Communication Services	1032 Comcast	PC - 31704	Comcast Services Acct x6724 8/1-8/31/2021	104.60
Total 610 - Uniformed Patrol					104.60	

Division: 620 - Criminal Investigation						
679	5325	Training	8376 AMITA Chicago Hospitals Network	PC - 31701	Working with Highly Escalated Couples 11/12/2021 (1 Soc Worker)	10.00
680	5325	Training	8376 AMITA Chicago Hospitals Network	PC - 31702	Trauma-Informed Supervision 12/10/2021 (1 Soc Worker)	30.00

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
681	5325	Training	8376 AMITA Chicago Hospitals Network	PC - 31703	Time-Honored Ethical Responsibilities 8/18/2021 (1 Soc Worker)	10.00
682	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31698	Cable Lock for Trail Camera	39.98
Total 620 - Criminal Investigation					89.98	

Division: 630 - Support Services						
683	5325	Training	3050 Public Grants & Training Initiatives	PC - 31634	Critical Incident and Crisis Comm 12/2-12/3/2021-1 Cmdr, 1 Ofc	583.40
684	5325	Training	6851 Axon Enterprise Inc	PC - 31635	Taser Instructor Course 8/6/2021 (1 Ofc)	375.00
685	6110	Printing Services	1142 Copyset Printing Company	PC - 31624	Photo ID Cards for Evidence Techs 07/22/2021	49.00
686	7000	Office Supplies	4348 Amazon.Com	PC - 31696	Heavy Duty Stapler for Records Div	42.38
687	7000	Office Supplies	4348 Amazon.Com	PC - 31699	Envelopes (8 Boxes)	132.04
688	7200	Other Supplies	4444 Misc Vendor for Procurement Card	PC - 31705	Keg Tags (1 Pack)	213.95
689	7200	Other Supplies	4348 Amazon.Com	PC - 31707	Water Bottle Cleaner (24 Pack)	9.99
690	7300	Uniforms	4348 Amazon.Com	PC - 31706	Uniform Jacket for Chief	78.94
691	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31700	Cinch Straps for Ballistic Blanket	24.86
Total 630 - Support Services					1,509.56	

Total 60 - Police Department	1,704.14
-------------------------------------	-----------------

Fire Department						
Division: 100 - Administration						
692	5310	Membership Dues	2441 IAFC-Intl Association of Fire Chiefs	PC - 31686	Membership-Great Lakes Dues, Fire Officers-7/1/21-6/30/22-Chief	240.00
693	5325	Training	4444 Misc Vendor for Procurement Card	PC - 31655	Nat'l Emerg Training Ctr Req Meal Ticket 8/22-8/27/21-Dep Chief	318.56
Total 100 - Administration					558.56	

Division: 710 - Emergency Services						
694	5325	Training	2419 FireCompanies.com	PC - 31676	Quarterly Website Training-08/01-10/31/2021	89.97
695	6115	Licensing/Titles	1472 IL Department of Public Health	PC - 31680	Paramedic License Renewal 8/31/21-8/31/25 - 1 Paramedic	41.00

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount
696	6115	Licensing/Titles	1472 IL Department of Public Health	PC - 31681 Paramedic License Renewal 7/31/21-7/31/25 - 1 Paramedic	41.00
697	6115	Licensing/Titles	1472 IL Department of Public Health	PC - 31682 Paramedic License Renewal 7/31/21-7/31/25 - 1 Paramedic	41.00
698	6115	Licensing/Titles	1472 IL Department of Public Health	PC - 31683 Paramedic License Renewal 7/31/21-7/31/25 - 1 Paramedic	41.00
699	7000	Office Supplies	4348 Amazon.Com	PC - 31685 2 Packs 4x6 Notebooks	115.54
700	7200	Other Supplies	1076 Sam's Club Direct	PC - 31668 Water, Towels - Station 61	490.12
701	7200	Other Supplies	2219 Jones & Bartlett Learning LLC	PC - 31672 2 Fire Officer Books - 2 Paramedics	174.94
702	7200	Other Supplies	4444 Misc Vendor for Procurement Card	PC - 31675 20 BLS Provider E-Cards - Department Wide	52.00
703	7200	Other Supplies	2219 Jones & Bartlett Learning LLC	PC - 31678 Fire Skills and Hazmat Book - Paramedic	100.15
704	7320	Equipment < \$5,000	4444 Misc Vendor for Procurement Card	PC - 31673 Top for Training Truck #6140	1,879.00
705	7320	Equipment < \$5,000	1057 Menard Incorporated	PC - 31674 Flat Bungee, 27 Gallon Tote	89.85
706	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31679 Aluminum Floor Jack - Tower 61	254.98
Total 710 - Emergency Services					3,410.55

Division: 720 - Fire Prevention					
707	7310	Publications	1253 National Fire Protection Assn	PC - 31669 NFPA Membership Dues 08/20/2021-08/19/2022- Division Chief FPB	175.00
708	7310	Publications	1253 National Fire Protection Assn	PC - 31670 NFCSS Membership 08/20/2021-08/19/2022- Division Chief - FPB	1,345.50
Total 720 - Fire Prevention					1,520.50

Division: 730 - Emergency Management Agency					
709	7000	Office Supplies	4348 Amazon.Com	PC - 31677 2 Flash Drives	31.86
710	7320	Equipment < \$5,000	4348 Amazon.Com	PC - 31684 Desk Lamp	33.99
Total 730 - Emergency Management Agency					65.85

Total 70 - Fire Department					5,555.46
-----------------------------------	--	--	--	--	-----------------

Department: 90 - Overhead					
711	6502	Subsidy - City Sponsored Events	1076 Sam's Club Direct	PC - 31625 Supplies for Fireworks Event on July 2, 2021	40.66

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
712	6502	Subsidy - City Sponsored Events	7521 United Rentals (North America) Inc	PC - 31626	Rental of Utility Vehicle for Fireworks on July 2, 2021	892.10
713	6502	Subsidy - City Sponsored Events	7521 United Rentals (North America) Inc	PC - 31628	Refund for Tax on Rental of Utility Veh for Fireworks 7/2/21	(1.18)
714	6502	Subsidy - City Sponsored Events	2337 Shop & Save Market	PC - 31662	Ice for Staff at Fireworks 07/02/2021	7.98
Total 90 - Overhead					939.56	

Total 100 - General Fund	18,998.73
---------------------------------	------------------

Fund: 260 - Asset Seizure Fund						
Program: 2620 - DEA						
715	7200	Other Supplies	4348 Amazon.Com	PC - 31697	Tourniquets for TRT (2)	29.98
Total 2620 - DEA					29.98	

Program: 2640 - Forfeit						
716	6115	Licensing/Titles	1744 IL Secretary of State	PC - 31708	Squad # 4 Vehicle Registration for 2021 Lic #L515849	154.40
717	7200	Other Supplies	5010 Petsmart Home Office, Inc	PC - 31660	Food for K9 Jager	125.98
Total 2640 - Forfeit					280.38	

Total 260 - Asset Seizure Fund	310.36
---------------------------------------	---------------

Fund: 420 - IT Replacement Fund						
718	8000	Computer Software	4444 Misc Vendor for Procurement Card	PC - 31714	Adobe InDesign for CED Department	407.88
719	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 31710	Direct Attach Copper Cable for IT Department	42.57
720	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 31711	Ubiquiti 48 Port Switch for IT Department	2,198.00
721	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 31716	Ubiquiti 24 Port Switch, Module, and Copper Cable for IT Dept	2,253.00
722	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 31718	Ubiquiti Access Point for IT Department	935.00
723	8005	Computer Hardware	8415 Ubiquiti Inc	PC - 31722	Ubiquiti Access Point for IT Department	349.00
Total 420 - IT Replacement Fund					6,185.45	

Fund: 430 - Facilities Replacement Fund						
724	7045	Supplies - Building R&M	1057 Menard Incorporated	PC - 31636	Newel Posts - Theatre	590.11

City of Des Plaines

Warrant Register 09/07/2021

JPMorgan Chase

Line #	Account	Vendor	Invoice	Invoice Description	Amount	
725	7045	Supplies - Building R&M	8258 Acoustic Ceiling Products LLC	PC - 31637	Wall Molding - Theatre	44.56
726	7045	Supplies - Building R&M	3617 Knox Company	PC - 31638	Knox Boxes - 1486 Miner St, Theatre, Civic Deck	1,331.00
727	7045	Supplies - Building R&M	4444 Misc Vendor for Procurement Card	PC - 31639	Data Floor Boxes - Theatre	560.67
728	7045	Supplies - Building R&M	4444 Misc Vendor for Procurement Card	PC - 31692	Stain - Theatre	120.91
729	7045	Supplies - Building R&M	4444 Misc Vendor for Procurement Card	PC - 31693	VCT Tile for Dressing Rooms - Theatre	162.15
730	7045	Supplies - Building R&M	4348 Amazon.Com	PC - 31694	Elevator Room Cooler - Theatre	129.99
Total 430 - Facilities Replacement Fund					2,939.39	

Fund: 500 - Water/Sewer Fund						
Division: 550 - Water Systems						
731	7500	Postage & Parcel	1700 United States Postal Service	PC - 31671	Certified Mail - Return Receipt - Annual Water Report	7.85
Total 550 - Water Systems					7.85	
Total 500 - Water/Sewer Fund					7.85	
Grand Total					28,441.78	

City of Des Plaines

Warrant Register 09/07/2021

Summary

	<u>Amount</u>		<u>Transfer Date</u>
Automated Accounts Payable	\$ 2,274,677.22	**	9/7/2021
Manual Checks	\$ 216,617.86	**	8/20/2021
Payroll	\$ 1,255,019.40		8/13/2021
Payroll	\$ 1,250,299.75		8/27/2021
RHS Payout	\$ -		
Electronic Transfer Activity:			
JPMorgan Chase Credit Card	\$ 28,441.78	**	8/24/2021
Chicago Water Bill ACH	\$ 152,841.56		8/31/2021
Postage Meter Direct Debits	\$ -		
Utility Billing Refunds	\$ 3,694.65		8/23/2021
Debt Interest Payment	\$ -		
FEMA Buyout	\$ -		
Property Purchase	\$ -		
IMRF Payments	\$ 207,483.79		8/9/2021
Employee Medical Trust	\$ -		
Total Cash Disbursements:	<u>\$ 5,389,076.01</u>		

* Multiple transfers processed on and/or before date shown

** See attached report

Adopted by the City Council of Des Plaines

This Seventh Day of September 2021

Ayes _____ Nays _____ Absent _____

Jessica M. Mastalski, City Clerk

Andrew Goczkowski, Mayor


**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 26, 2021

To: Michael G. Bartholomew, MCP, LEED AP, City Manager

From: John Carlisle, AICP, Economic Development Manager *JC*
Jonathan Stytz, Planner *JS*

Subject: Consideration of Conditional Use for a Trade Contractor Use at 1773 E. Oakton Street, Case 21-028-CU (2nd Ward)

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1773 E. Oakton Street.

Address: 1773 E. Oakton Street

Owners: Dawid Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056

Petitioner: Dawid Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056

Case Number: 21-028-CU

Real Estate Index Number: 09-28-103-046-0000

Ward: #2, Alderman Colt Moylan

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant Building

Surrounding Zoning: North: C-3, General Commercial District
South: R-1, Single Family Residential District
East: C-3, General Commercial District
West: C-3, General Commercial District

Surrounding Land Use: North: Multi-Family Residence
South: Single Family Residence

East: Multi-Family Residence
West: Office (Commercial)

Street Classification: Oakton Street is classified as a Minor Arterial road.

Comprehensive Plan: The Comprehensive Plan illustrates this site as Lower Density Urban Mix with Residential.

Project Description: The petitioner, Dawid Lenart, owner and operator of DGL Home Improvement, has requested a Conditional Use Permit for a Trade Contractor use at 1773 E. Oakton Street. The subject property is on the south side of Oakton Street in between Sycamore and Maple Streets with an improved alley running between the two streets behind the commercial development. The subject property is located within the C-3, General Commercial district and a Trade Contractor is a conditional use in the C-3 zoning district. The Plat of Survey (Attachment 3) shows a single-tenant building and an off-street surface parking area to its south. On-street parking along Oakton Street is directly adjacent to the north. Access to the subject property is limited to the on-street parking area to the north and the alley to the south.

The existing one-story, 1,849-square-foot building consists of an open floor plan with an existing restroom, overhead garage door, pedestrian door, and concrete ramp at the rear of the space. The petitioner wishes to use the front portion of the building as an office/showroom area and the rear portions of the building as a short-term storage area, based on the Architectural Plan/Site Plan (Exhibit B). The petitioner's proposal does not include any changes to the exterior of the building. However, the petitioner does plan to remodel the interior to construct the proposed improvements. The dumpster for this suite will be stored inside the building, except on garbage pickup days, in compliance with Section 12-10-11 of the Des Plaines Zoning Ordinance.

The proposed Floor Plan includes an 843-square foot office/showroom space and 705-square foot warehouse space. The following parking regulations apply pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every 250 square feet of gross floor area for office spaces; and
- One parking space for every 1,500 square feet of gross floor area for warehouse space (i.e. accessory storage).

Thus, a total of four off-street parking spaces are required including one handicap accessible parking space. The existing pavement area does not meet the current code requirements for off-street parking and is a non-conforming structure governed under Section 12-5-6 of the Zoning Ordinance. Section 12-5-6(A) allows the non-conforming parking area to continue as long as it remains otherwise lawful to Section 12-5-3 of this section. Thus, a variation for parking requirements is not required.

DGL Home Improvement will be open Monday through Friday from 9 a.m. to 5 p.m. Their services will include repairs and replacement of roofing, siding, and gutters; installation of windows and skylights; interior renovations; and

public adjusting. There will be occasional deliveries of office, siding, and roofing supplies at this site. A maximum of three employees will be on site at a given time. Please see the Project Narrative (Exhibit A) for more details.

Alignment with the Comprehensive Plan

The proposed project, including the proposed site improvements, addresses various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

- **Future Land Use Plan:**

- This property is designated as Lower Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial, the petitioner will work to enhance the subject property by renovating the interior of existing building and maintaining the existing asphalt area at the rear of the building. All activities and items stored will be inside to reduce any negative impacts.
- The subject property is located along the defined Oakton Street commercial corridor with single-family residences to the south, and commercial development to the north, east, and west. It contains a single-tenant building located in between established commercial developments along Oakton Street. The request would assist in the retention of a new commercial business at this location and provide additional retail goods and services for the residents of Des Plaines.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Findings of Fact for the Request

As required by Section 12-3 of the Zoning Ordinance, the Planning and Zoning Board (PZB) reviewed the findings of fact for the request. The full list of findings and comments are found in the draft minutes of the PZB meeting of August 10, 2021. An excerpt from the draft minutes is attached.

Planning and Zoning Board Review: The Planning and Zoning Board met on August 10, 2021 to consider a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for a Trade Contractor use at 1773 E. Oakton Street in the C-3, General Commercial district.

Community and Economic Development staff summarized the staff report and recommended two conditions if the Planning and Zoning Board recommended approval of the request. One condition requires the petitioner to install two four-foot long planter boxes in front of the building with perennials. The other condition prohibits the outside storage of raw materials or fabricated goods on the property.

The petitioner presented a brief overview of the request to locate a home improvement business specializing in the installation and repair of roofing, siding, gutters, and skylights.

The Planning and Zoning Board (PZB) Members asked how many employees would be at the subject property at a given time; if the employees would meet at the subject property or at the job site; that since materials are generally delivered to the job site why are there material deliveries to the subject property; if all materials will be stored inside; and if the petitioner is aware of and okay with the conditions of approval imposed by staff. The petitioner responded that up to three employees would be present on the subject property; that the majority of the employees will go directly to the job site; that some materials, such as special orders, will be delivered to and stored on the subject property prior to being installed on a job site; that all materials stored on the subject property will be stored inside the building; and that he is aware of and is okay with all of the conditions of approval imposed by staff.

No members of the public spoke on this petition. The Planning and Zoning Board *recommended* (4-0) that the City Council *approve* the request with the two conditions in the staff report.

Recommendations: The PZB recommended (4-0) that the City Council approve the requests with conditions. Similarly, staff recommends approval of the requests via Ordinance Z-43-21, which approves a conditional use, subject to the following conditions.

Conditions of Approval:

1. A minimum of two four-foot long landscape planter boxes are installed along the front of the building and are populated with perennials.
2. No outside storage of raw materials or fabricated goods is permitted on site.

Attachments:

Attachment 1: Petitioner’s Responses to Standards

Attachment 2: Location Map

Attachment 3: Plat of Survey

Attachment 4: Site and Context Photos

Attachment 5: Chairman Szabo Letter from Planning & Zoning Board to the Mayor and City Council

Attachment 6: Draft Excerpt of Minutes from the August 10, 2021 Planning and Zoning Board Meeting

Ordinance Z-43-21

Exhibit A: Project Narrative

Exhibit B: Architectural Plan/Site Plan

Exhibit C: Unconditional Agreement and Consent

- 1.) The proposed conditional use is in fact a conditional use established within the specific zoning district involved:

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc is currently seeking to occupy 1773 E Oakton Ave., Des Plaines, IL 60018. We would be a good neighbor to the surrounding retail businesses and the residents on the North side of Oakton Ave. We will have a welcoming office space in the front of the space and storage for our supplies and materials in the rear of the space.

- 2.) The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc is operating within the comprehensive plan, bringing economic opportunities to the Oakton Avenue retail corridor.

- 3.) The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc shall be harmonious with neighboring businesses, occupying the space will significantly improve the current building and space both inside and out.

- 4.) The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

RESPONSE: The use of 1773 E Oakton will not be used for any hazardous materials, nor will our activity disturb the existing neighbors.

- 5.) The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police, and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately and such services;

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc will work with the City of Des Plaines and ensure that adequate services will be acquired to maintain a proper office.

- 6.) The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc will not create or require excessive need for public facilities or services and will help build up the economy by bringing business opportunities to the surrounding businesses.

- 7.) The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

RESPONSE: The use of 1773 E Oakton Avenue will not involve any conditions that will be detrimental to any persons or properties. Lion Roofing, Inc will not produce excessive traffic, noise, smoke, fumes, glare or odors while in operation. We will maintain a clean environment.

8.) The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

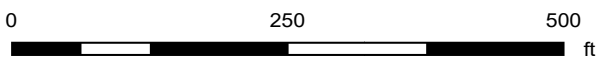
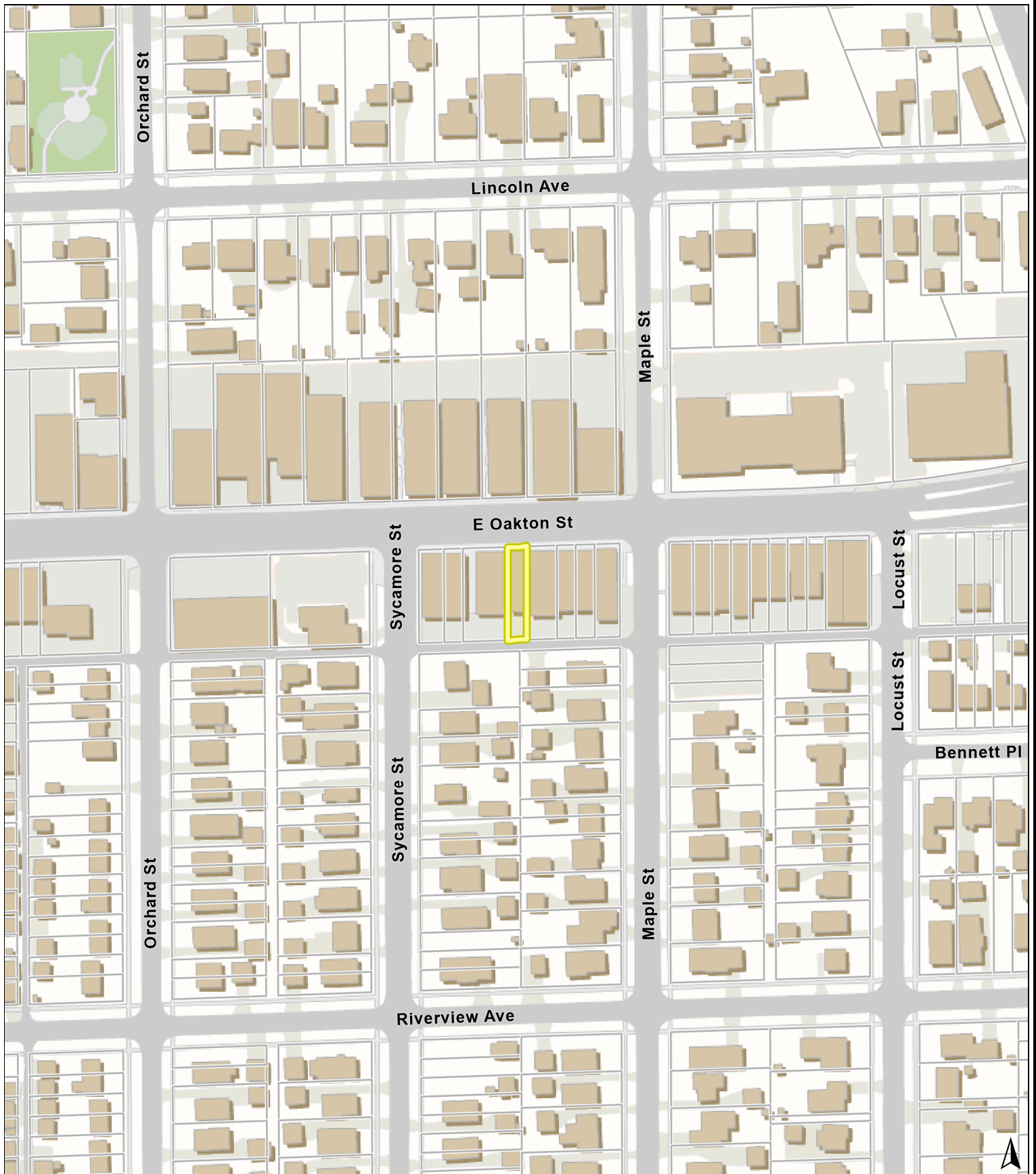
RESPONSE: 1773 E Oakton Avenue had it's own front and rear entrance that will not interfere with traffic, neighboring businesses, nor traffic on surrounding public streets, sidewalks, and alleys.

9.) The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

RESPONSE: 1773 E Oakton Avenue is an existing building, and there is no need for any reconstruction that will result an any destruction, loss, or damages to the building or its surroundings.

10.)The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested.

RESPONSE: DGL Home Improvement DBA Lion Roofing, Inc will abide by all rules and regulations within the roofing industry while maintaining the property's upkeep that will enhance the Oakton Avenue Retail Corridor.



Print Date: 8/5/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

5812 W. HIGGINS AVENUE
CHICAGO, ILLINOIS 60630



Attachment 3

MM SURVEYING CO., INC.

PROFESSIONAL DESIGN FIRM No. 184-003233

PLAT OF SURVEY

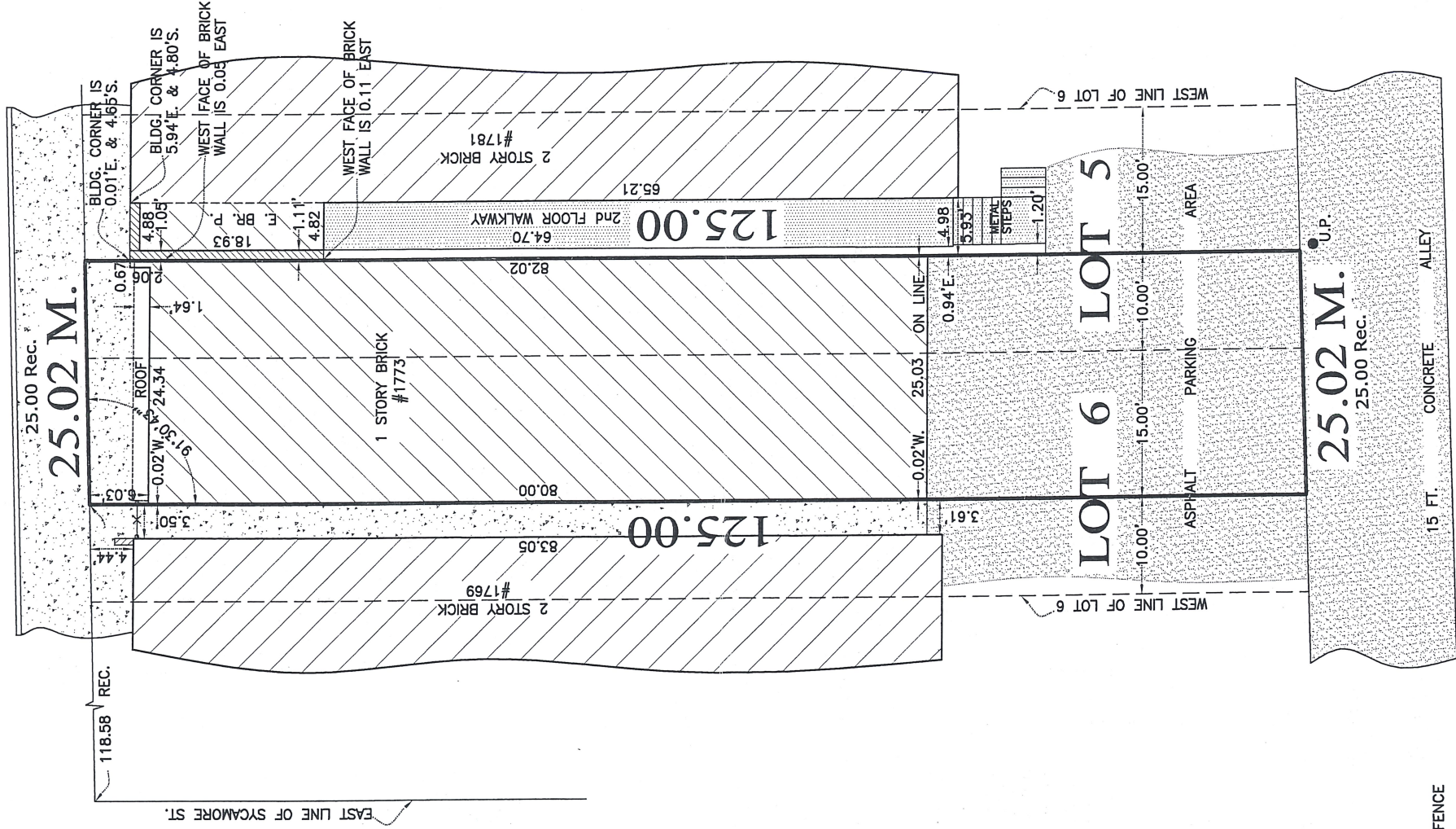
OF

PHONE: (773) 282-5900
FAX: (773) 282-9424
mmsurvey1285@sbcglobal.net

LOT 5 (EXCEPT THE EAST 15 FEET) AND LOT 6 (EXCEPT THE WEST 10 FEET THEREOF) IN BLOCK 4 OF WHITE'S RIVERVIEW ADDITION, A SUBDIVISION OF THE NORTHWEST ¼ OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1773 E. OAKTON ST., DES PLAINES, IL 60018
TOTAL LAND AREA = 3,126 sq.ft.

E. OAKTON ST.



- LEGEND:**
- x-x- CHAIN LINK FENCE
 - WOOD FENCE
 - IRON FENCE
 - CONCRETE PAVEMENT
 - ENCLOSED FRAME PORCH
 - OPEN FRAME PORCH
 - OPEN BRICK PORCH
 - OPEN METAL PORCH
 - OPEN CONC. PORCH
 - E.C.
 - E.B.R.
 - U.P.

ORDER NO. 101356

SCALE: 1 INCH = 16 FEET

FIELDWORK COMPLETION DATE: FEBRUARY 20, 2021

ORDERED BY: JAKUBCO, RICHARDS & JAKUBCO

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.

LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. NO CORNERS WERE MONUMENTED PER CUSTOMER REQUEST.



State of Illinois ss
County of Cook

We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

Signature: Zbigniew Domozych
Date: FEBRUARY 22, 2021
REG. ILL. Land Surveyor No. 35-3758
LIC. EXP. NOVEMBER 30, 2022



1773 E. Oakton St – Looking South at Front of Site



1773 E. Oakton St – Looking Northeast at Rear Entrance



1773 E. Oakton St – Public Notice



1773 E. Oakton St – Looking Northeast at Rear Parking Area



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

August 11, 2021

Mayor Goczkowski and Des Plaines City Council
CITY OF DES PLAINES

Subject: Planning and Zoning Board, 1773 E. Oakton Street, 21-028-CU, 2nd Ward
RE: Consideration of Conditional Use for Trade Contractor, Case #21-028-CU

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board met on August 10, 2021 to consider a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for a Trade Contractor use at 1773 E. Oakton Street in the C-3, General Commercial district.

1. Community and Economic Development staff summarized the staff report and recommended two conditions if the Planning and Zoning Board recommended approval of the request. One condition requires the petitioner to install two four-foot long planter boxes in front of the building with perennials. The other condition prohibits the outside storage of raw materials or fabricated goods on the property.
2. The petitioner presented a brief overview of the request to locate a home improvement business specializing in the installation and repair of roofing, siding, gutters, and skylights.
3. The Planning and Zoning Board (PZB) Members asked how many employees would be at the subject property at a given time; if the employees would meet at the subject property or at the job site; that since materials are generally delivered to the job site why are there material deliveries to the subject property; if all materials will be stored inside; and if the petitioner is aware of and okay with the conditions of approval imposed by staff. The petitioner responded that up to three employees would be present on the subject property; that the majority of the employees will go directly to the job site; that some materials, such as special orders, will be delivered to and stored on the subject property prior to being installed on a job site; that all materials stored on the subject property will be stored inside the building; and that he is aware of and is okay with all of the conditions of approval imposed by staff.
4. No members of the public spoke on this petition.
5. The Planning and Zoning Board *recommended* (4-0) that the City Council *approve* the request with the two conditions in the staff report.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'James Szabo', written in a cursive style.

James Szabo,
Des Plaines Planning and Zoning Board, Chairman

Cc: City Officials/Aldermen

OLD BUSINESS

None

NEW BUSINESS

1. Address: 1773 E. Oakton Street

Case Number: 21-028-CU
Public Hearing

The petitioners are requesting a Conditional Use pursuant to Section 12-7-3(K) to locate a Trade Contractor use at the subject property, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-28-103-046-0000
Petitioner: David Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056
Owner: David Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1773 E. Oakton Street.

Address: 1773 E. Oakton Street
Owners: Dawid Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056
Petitioner: Dawid Lenart, 602 Elderberry Lane, Mount Prospect, IL 60056
Case Number: 21-028-CU

Real Estate Index Number: 09-28-103-046-0000

Ward: #2, Alderman Colt Moylan

Existing Zoning: C-3, General Commercial District
Existing Land Use: Vacant Building

Surrounding Zoning:
North: C-3, General Commercial District
South: R-1, Single Family Residential District
East: C-3, General Commercial District
West: C-3, General Commercial District

Surrounding Land Use:
North: Multi-Family Residence
South: Single Family Residence
East: Multi-Family Residence
West: Office (Commercial)

Street Classification: Oakton Street is classified as a Minor Arterial road.

Comprehensive Plan: The Comprehensive Plan illustrates this site as Lower Density Urban Mix with Residential.

Project Description: The petitioner, Dawid Lenart, owner and operator of DGL Home Improvement, has requested a Conditional Use Permit for a Trade Contractor use at 1773 E. Oakton Street. The subject property is on the south side of Oakton Street in between Sycamore and Maple Streets with an improved alley running between the two streets behind the commercial development. The subject property is located within the C-3, General Commercial district and a Trade Contractor is a conditional use in the C-3 zoning district. The Plat of Survey shows a single-tenant building and an off-street surface parking area to its south. On-street parking along Oakton Street is directly adjacent to the north. Access to the subject property is limited to the on-street parking area to the north and the alley to the south.

The existing one-story, 1,849-square-foot building consists of an open floor plan with an existing restroom, overhead garage door, pedestrian door, and concrete ramp at the rear of the space. The petitioner wishes to use the front portion of the building as an office/showroom area and the rear portions of the building as a short-term storage area, based on the Architectural Plan/Site Plan. The petitioner's proposal does not include any changes to the exterior of the building. However, the petitioner does plan to remodel the interior to construct the proposed improvements. The dumpster for this suite will be stored inside the building, except on garbage pickup days, in compliance with Section 12-10-11 of the Des Plaines Zoning Ordinance.

The proposed Floor Plan includes an 843-square foot office/showroom space and 705-square foot warehouse space. The following parking regulations apply pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every 250 square feet of gross floor area for office spaces; and
- One parking space for every 1,500 square feet of gross floor area for warehouse space (i.e. accessory storage).

Thus, a total of four off-street parking spaces are required including one handicap accessible parking space. The existing pavement area does not meet the current code requirements for off-street parking and is a non-conforming structure governed under Section 12-5-6 of the Zoning Ordinance. Section 12-5-6(A) allows the non-conforming parking area to continue as long as it remains otherwise lawful to Section 12-5-3 of this section. Thus, a variation for parking requirements is not required.

DGL Home Improvement will be open Monday through Friday from 9 a.m. to 5 p.m. Their services will include repairs and replacement of roofing, siding, and gutters; installation of windows and skylights; interior renovations; and public adjusting. There will be occasional deliveries of office, siding, and roofing supplies at this site. A maximum of three employees will be on site at a given time. Please see the Project Narrative for more details.

Alignment with the Comprehensive Plan

The proposed project, including the proposed site improvements, addresses various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

- **Future Land Use Plan:**

- This property is designated as Lower Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial, the petitioner will work to enhance the subject property by renovating the interior of existing building and resurfacing the existing asphalt area at the rear of the building. All activities and items stored will be inside to reduce any negative impacts.
- The subject property is located along the defined Oakton Street commercial corridor with single-family residences to the south, and commercial development to the north, east, and west. It contains a single-tenant building located in between established commercial developments along Oakton Street. The request would assist in the retention of a new commercial business at this location and provide additional retail goods and services for the residents of Des Plaines.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the Zoning Ordinance. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed use is classified as “Trade Contractor”, and the subject property is in the C-3 zoning district. Please see the petitioner’s responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The proposed Trade Contractor is a service-oriented use that primarily serves day-to-day needs of local residents. Additionally, the subject property is in the Oakton Business District, close to residential neighborhoods. The proposed nearby home-improvement business gives the households in those neighborhoods convenient access to the business’s services. Please see the petitioner’s responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The new business will transform the existing vacant space into a new commercial use. The proposal includes enhancements to the asphalt parking area in the rear and an interior building remodel. Please see the petitioner’s responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: All activities and storage of materials will take place inside the building. The existing building is set back away from the neighboring residences to the south, and no building footprint changes are proposed, which will help minimize the impact of the proposed use on surrounding properties. Please see the petitioner’s responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The subject property is served adequately by essential public facilities and services since it is currently accessible by Oakton Street and the alley area behind the property. The proposed Trade Contractor use will not affect the existing public facilities and services for this property. Please see the petitioner's responses to Standards for Conditional Uses.

F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The proposed use will operate within existing infrastructure and is not expected to have a uniquely high service demand. Further, it will transform a vacant building into a new asset for Des Plaines and can help improve the local economy. Please see the petitioner's responses to Standards for Conditional Uses.

G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: The proposed Trade Contractor use will include an office/showroom space and short-term storage area, neither of which will produce excessive production of noise, smoke fumes, glare, or odors. Additionally, there is no fabrication of materials or products conducted on site. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The subject property does not create interference with traffic in the area with the existing access points and configuration. The proposed Trade Contractor use does not intend to alter these access points or the overall configuration of the site. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The subject property is currently developed and improved with a building and surface parking area. The proposed Trade Contractor use will not lead to the loss or damage of natural, scenic, or historic features of major importance on this property. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposed Trade Contractor use will comply with all additional regulations of the zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

PZB Procedure and Recommended Conditions: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the PZB has the authority to recommend that the

City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Trade Contractor use at 1773 E. Oakton Street. The City Council has final authority on the proposal.

Consideration of the request should be based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the Zoning Ordinance. If the PZB recommends and City Council ultimately approves the request, staff recommends the following conditions:

1. A minimum of two four-foot long landscape planter boxes are installed along the front of the building and are populated with perennials.
2. No outside storage of raw materials or fabricated goods is permitted on site.

Chairman Szabo swore in the Petitioner, Dawid Lenart. The Petitioner provided a brief overview of the request for a conditional use.

Chairman Szabo asked if the Board had any questions.

Chairman Szabo inquired about the number of employees, the Petitioner stated that he may have up to three employees. The majority of employees will go directly to the job site.

Member Saletnik stated that the project narrative includes the occasional delivery of siding and roofing supplies. The Petitioner stated that some materials may be delivered to the office, for example special order items, and those items will be stored indoors.

Member Catalano asked if the Petitioner read and agreed to the two conditions:

1. A minimum of two four-foot long landscape planter boxes are installed along the front of the building and are populated with perennials.
2. No outside storage of raw materials or fabricated goods is permitted on site.

The Petitioner stated that he agreed to the proposed conditions.

Chairman Szabo asked if there were any questions or comments from the audience. There were no comments.

A motion was made by Board Member Saletnik, seconded by Board Member Catalano, to recommend approval of the Conditional Use pursuant to Section 12-7-3(K) to locate a Trade Contractor use at the subject property, at 1773 E Oakton Street, and the approval of any other such variations, waivers, and zoning relief as may be necessary:

AYES: Saletnik, Catalano, Hofherr, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIED UNANIMOUSLY*****

CITY OF DES PLAINES

ORDINANCE Z - 43 - 21

AN ORDINANCE GRANTING A CONDITIONAL USE PERMIT FOR A TRADE CONTRACTOR USE AT 1773 E. OAKTON STREET, DES PLAINES, ILLINOIS.

WHEREAS, Dawid Lenart ("**Petitioner**") is the lessee of the property commonly known as 1773 E. Oakton Street, Des Plaines, Illinois ("**Subject Property**"); and

WHEREAS, the Subject Property is located in the C-3 General Commercial District of the City ("**C-3 District**"); and

WHEREAS, the Subject Property is improved with an one-story single-tenant commercial building ("**Building**"); and

WHEREAS, the Petitioner desires to locate a Trade Contractor Use on the Subject Property; and

WHEREAS, pursuant to Section 12-7-3.K of the City of Des Plaines Zoning Ordinance of 1998, as amended ("**Zoning Ordinance**"), the operation of a Trade Contractor Use is permitted in the C-3 District only with a conditional use permit; and

WHEREAS, the Petitioner submitted an application to the City of Des Plaines Department of Community and Economic Development ("**Department**") for a conditional use permit to allow a Trade Contractor Use on the Subject Property ("**Conditional Use Permit**"), in accordance with Sections 12-7-3.F.3 and 12-7-3.K of the Zoning Ordinance; and

WHEREAS, the Subject Property is owned by DGL Home Improvement, Inc. ("**Owner**"), which has consented to the Petitioner's application; and

WHEREAS, the Petitioner's application was referred by the Department to the Planning and Zoning Board of the City of Des Plaines ("**PZB**") within 15 days after the receipt thereof; and

WHEREAS, within 90 days from the date of the Petitioner's application a public hearing was held by the PZB on August 10, 2021 pursuant to notice published in the *Des Plaines Journal* on July 21, 2021; and

WHEREAS, notice of the public hearing was mailed to all property owners within 300 feet of the Subject Property; and

WHEREAS, during the public hearing, the PZB heard testimony and received evidence with respect to how the Petitioner intended to satisfy and comply with the applicable provisions of the Zoning Ordinance; and

WHEREAS, pursuant to Section 12-3-4 of the Zoning Ordinance, the PZB filed a written report with the City Council on August 11, 2021, summarizing the testimony and evidence received by the PZB and stating the Board's recommendation, by a vote of 4-0, to approve the Petitioner's application for the Conditional Use Permit subject to certain terms and conditions; and

WHEREAS, the Petitioner made certain representations to the PZB with respect to the proposed conditional uses, which representations are hereby found by the City Council to be material and upon which the City Council relies in granting this request for the Conditional Use Permits; and

WHEREAS, the City Council has considered the written report of the PZB, the applicable standards for conditional use permits set forth in the Zoning Ordinance, and the Community and Economic Development Staff Memorandum dated July 27, 2021, including the attachments and exhibits thereto, and has determined that it is in the best interest of the City and the public to grant the Petitioner's application in accordance with the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for this Ordinance.

SECTION 2. LEGAL DESCRIPTION OF SUBJECT PROPERTY. The Subject Property is legally described as follows:

LOT 5 (EXCEPT THE EAST 15 FEET) AND LOT 6 (EXCEPT THE WEST 10 FEET THEREOF) IN BLOCK 4 OF WHITE'S REVIerview ADDITION, A SUBDIVISION OF THE NORTHWEST ¼ OF SECTION 28, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRNCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 09-28-103-046-0000

Commonly known as: 1773 E. Oakton Street, Des Plaines, Illinois.

SECTION 3. CONDITIONAL USE PERMIT. Subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in Section 4 of this Ordinance, the City Council grants the Petitioner a Conditional Use Permit to allow the operation of auto service repair establishment on the Subject Property. The Conditional Use Permit granted by this Ordinance is

consistent with and equivalent to a "special use" as referenced in Section 11-13-25 of the Illinois Municipal Code, 65 ILCS 5/11-13-25.

SECTION 4. CONDITIONS. The Conditional Use Permit granted in Section 3 of this Ordinance shall be, and is hereby, expressly subject to and contingent upon the following conditions, restrictions, limitations, and provisions:

A. Compliance with Law and Regulations. The development, use, operation, and maintenance of the Subject Property, by the Petitioner must comply with all applicable City codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.

B. Compliance with Plans. Except for minor changes and site work approved by the City Director of Community and Economic Development in accordance with all applicable City standards, the development, use, operation, and maintenance of the Subject Property by the Petitioner must comply with the following plans as may be amended to comply with Section 4.C of this Ordinance:

1. That certain "Project Narrative" prepared by Petitioner, consisting of one sheet, and dated July 30, 2021, attached to and by this reference made a part of this Ordinance as **Exhibit A**; and
2. That certain "Architectural Plan/Site Plan" prepared by ERA Architectural Design, LLC, consisting of five sheets, and dated June 21, 2021, attached to and by this reference made a part of, this Ordinance as **Exhibit B**.

C. Additional Conditions. The development, use, and maintenance of the Subject Property shall be subject to and contingent upon the following conditions:

1. A minimum of two four-foot long landscape planter boxes must be installed along the front of the Building and be populated with perennials.
2. No outdoor storage of raw materials or fabricated goods is permitted on the Subject Property.

SECTION 5. RECORDATION; BINDING EFFECT. A copy of this Ordinance must be recorded in the Office of the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein run with the Subject Property and inure to the benefit of, and are binding upon, the Petitioner and Owner and their respective personal representatives, successors, and assigns, including, without limitation, subsequent purchasers of the Subject Property.

SECTION 6. NONCOMPLIANCE.

A. Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall be fined not less than seventy five dollars (\$75.00) or more than seven hundred and fifty dollars (\$750.00) for each offense. Each and every day that a violation of this Ordinance is allowed to remain in effect shall constitute a complete and separate offense. In addition, the appropriate authorities of the City may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person, firm or corporation violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

B. In the event that the Petitioner or Owner fails to develop or maintain the Subject Property in accordance with the plans submitted, the requirements of the Zoning Ordinance, or the conditions set forth in Section 4 of this Ordinance, the Conditional Use Permits granted in Section 3 of this Ordinance may be revoked after notice and hearing before the Zoning Administrator of the City, all in accordance with the procedures set forth in Section 4.7 of the Zoning Ordinance. In the event of revocation, the development and use of the Subject Property will be governed solely by the regulations of the C-3 District. Further, in the event of such revocation of one or both of

the Conditional Use Permits, the City Manager and City's General Counsel are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Petitioner and Owner acknowledge that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice and hearing required by Section 4.7 of the Zoning Ordinance is provided to the Petitioner and Owner.

SECTION 7. EFFECTIVE DATE.

A. This Ordinance shall be in full force and effect only after the occurrence of the following events:

1. its passage and approval by the City Council in the manner provided by law;
2. its publication in pamphlet form in the manner provided by law;
3. the filing with the City Clerk by the Petitioner and the Owner, not less than 60 days after the passage and approval of this Ordinance, of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance, and demonstrating the Petitioner's and Owner's consent to its recordation. Said unconditional agreement and consent shall be in substantially the form attached to, and by this reference made a part of, this Ordinance as **Exhibit C**; and
4. at the Petitioner's sole cost and expense, the recordation of this Ordinance together with such exhibits as the City Clerk deems appropriate, with the Office of the Cook County Recorder.

B. In the event that the Petitioner and the Owner do not file with the City Clerk a fully executed copy of the unconditional agreement and consent referenced in Section 7.A.3 of this Ordinance, within 60 days after the date of passage of this Ordinance by the City Council, the City Council shall have the right, in its sole discretion, to declare this Ordinance null and void and of no force or effect.

SECTION 8. SEVERABILITY. If any paragraph, section, clause or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

[SIGNATURE PAGE FOLLOWS]

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
____ day of _____, 2021.

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

DP-Ordinance Approving a Conditional Use Permit (CUP) at 1773 E. Oakton Street for a Trade Contractor Use

Project Narrative for 1773 E Oakton St Des Plaines IL 60018

Business description:

We sell quality roofing services to the Chicagoland area. In addition, we handle residential and commercial insurance claims. We are all licensed and bonded for the following services:

- Roofing repairs and replacement
- Siding repair and installation
- Gutters repairs and installation
- Window installation
- Skylight installation
- Interior renovations
- Public adjusting

Our goal:

To achieve success with every job we undertake by creating that customer experience that keeps them coming back to us in the future, as well as refer us to their families and friends.

- Offering quality craftsmanship
- Using high grade materials
- Licensed and bonded
- Continually educating our team to keep up with real world construction practices
- Continually furthering our education and certifications

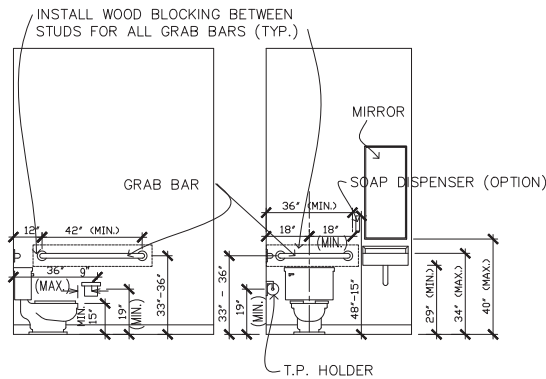
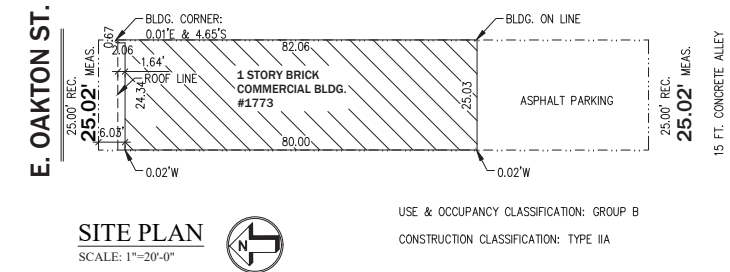
Daily Business Operations 9am-5pm:

General activities at our location of 1773 E Oakton St Des Plaines IL 60018 are as follows:

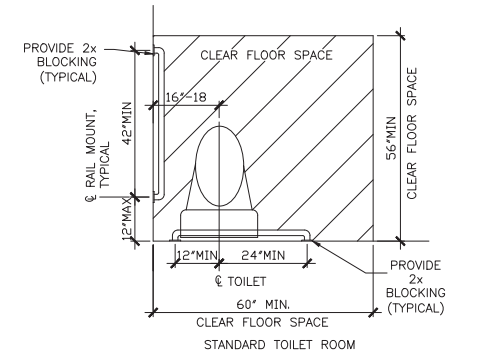
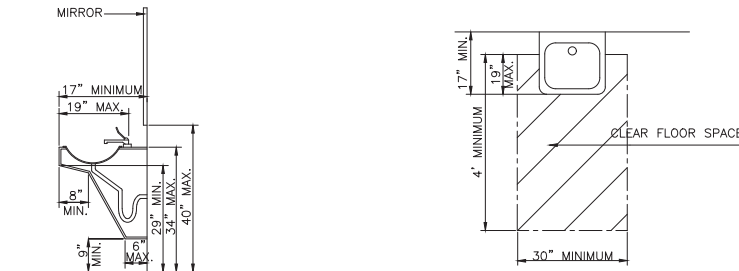
- ¼ of the building will be used for the office staff, numbers range from 1-3 employees, full time Monday – Friday
- Occasional deliveries of office supplies
- Occasional deliveries of siding and/or roofing supplies

INTERIOR RENOVATION OF THE EXISTING 1-STORY COMMERCIAL BUILDING

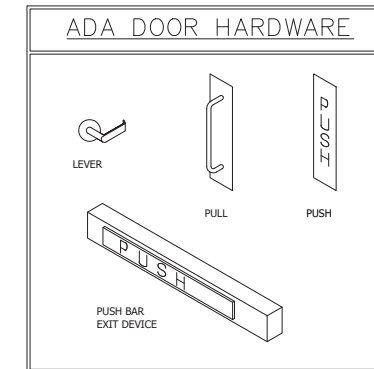
1773 E OAKTON ST. DES PLAINES, IL 60018



ADA TOILET ELEVATION
SCALE: 1/4"=1'-0"



ADA CLEAR SPACE REQUIREMENTS
SCALE: 1/2"=1'-0"



DOOR SCHEDULE						
DOOR No.	SIZE	QTY.	TYPE	MATERIAL	HARDWARE	
1	2'-4" x 7'-0" x 1 3/4"	1	SWING	SOLID CORE WOOD	LEVER HANDLE, 3 HINGES, PRIVACY LOCK	
2	3'-0" x 7'-0" x 1 3/4"	2	SWING	SOLID CORE WOOD	LEVER HANDLE, 3 HINGES	
3	3'-0" x 7'-0" x 1 3/4"	1	SWING	SOLID WOOD	LEVER HANDLE, 3 HINGES, CLASS "C"	
4	3'-0" x 7'-0" x 1 3/4"	1	SWING	SOLID CORE WOOD	LEVER HANDLE, 3 HINGES, PRIVACY LOCK	
5	3'-0" x 6'-8" x 1 3/4"	1	SWING	ALUMINUM GLASS	CLOSER, UNIT LOCKSET, PANIC HARDWARE W/PULL ON REVERSE	

SCOPE OF WORK	
RENOVATE THE EXISTING TOILET.	
NEW METAL STUDS PARTITION WALLS.	
NEW METAL STUDS FURRING WALL WITH INSULATION.	
NEW FLOOR FINISH.	
NEW DRYWALL CEILING.	
NEW BREAKROOM.	
NEW SHOWROOM AND OFFICE ROOMS.	
ELECTRICAL WORK. NEW 200 AMP ELECTRICAL PANEL.	
NEW HVAC SERVICE.	
NEW PLUMBING SERVICE.	

DRAWING INDEX	
A-1	SITE PLAN, ADA TOILET PLAN & ELEVATIONS, DOOR SCHEDULE, WALL/CEILING TAGS
A-2	EXISTING & PROPOSED PLANS
A-3	BUILDING & WALL SECTIONS, PLUMBING DIAGRAM
A-4	ELECTRICAL PLAN, PANEL SCHEDULE, ELECTRICAL SERVICE DIAGRAM
A-5	MECHANICAL PLAN, LIGHT & VENT SCHEDULE

WALL/CEILING TAGS		
TAG	LEGEND	DESCRIPTION
◊	[Hatched Pattern]	EXISTING BRICK WALL
◊	[Hatched Pattern]	EXISTING BRICK WALL WITH NEW INTERIOR FURRING WALL: 1 1/2" 16-GA. STEEL STUDS @ 16" O.C. WITH 5/8" GYP. BOARD WALL FINISH & R-7.5 FOAM BOARD INSULATION
◊	[Hatched Pattern]	EXISTING INTERIOR PARTITION WALL
◊	[Hatched Pattern]	NEW INTERIOR PARTITION WALL: 3/8" 16 GA STEEL STUDS @ 16" O.C. WITH 5/8" GYP. BOARD WALL FINISH
◊	[Hatched Pattern]	NEW INTERIOR PARTITION WALL: 3/8" 16 GA STEEL STUDS @ 16" O.C. WITH 5/8" GYP. BOARD WALL FINISH & R-15 FIBERGLASS INSULATION
◊	[Hatched Pattern]	9'-10" HIGH NEW 5/8" GYPSUM BOARD CEILING ON 3/8" 16 GA STEEL JOISTS @ 16" O.C., R-38 FIBERGLASS INSULATION
◊	[Hatched Pattern]	EXISTING CONCRETE SLAB
◊	[Hatched Pattern]	NEW ENGINEERING FLOOR FINISH ON THE EXISTING CONCRETE SLAB

FLOOR PLAN LEGEND

- DOOR NUMBER
- ◊ WALL/CEILING TAG
- WC WATER CLOSET
- SK SINK
- LAV LAVATORY
- REF REFRIGERATOR
- FD FLOOR DRAIN
- GM GAS METER
- EM ELECTRICAL METER
- EP ELECTRICAL PANEL
- FE FIRE EXTINGUISHER
- △ REVISION NUMBER

NOTES:

- VERIFY THAT ALL EXISTING EGRESS DOORS ARE OPERABLE AND KEYLESS FROM THE SIDE OF WHICH EGRESS IS MADE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAX. HEIGHT OF 48" A.F.F. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE 5.0 LBS, 8.5 LBS @ EXTERIOR DOOR.
- EXIT DOOR SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE.
- GLAZING IN WINDOW & DOOR, WITH THE BOTTOM EDGE LESS THAN 18" A.F.F. & EXPOSED AREA OF INDIVIDUAL PANE GREATER THAN 9 SQ.FT., SHALL BE TEMPERED SAFETY GLAZING.

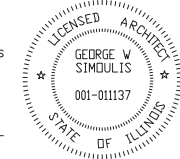
BUILDING CODE
WITH VILLAGE OF DES PLAINES AMENDMENTS

2015 International Building Code.
2014 National Electric Code.
2015 International Mechanical Code.
Illinois State Plumbing Code effective April 24, 2014 or Current Adopted Edition.
2018 International Energy Conservation Code w/State Amendments or Current Adopted Edition.
2015 International Fire Code.
2015 International Property Maintenance Code.
2015 International Fuel Gas Code.
NFPA 101 Life Safety Code - 2000 Edition or Current Adopted Edition.
Illinois Accessibility Code - 1997 or 2018.

CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE ORDINANCES AND CODES OF THE VILLAGE OF DES PLAINES AND THE STATE OF ILLINOIS.

REGISTERED ARCHITECT: GEORGE W. SIMOULIS
LICENSE EXP. 11/30/22



**INTERIOR RENOVATION OF THE EXISTING
1-STORY COMMERCIAL BUILDING**

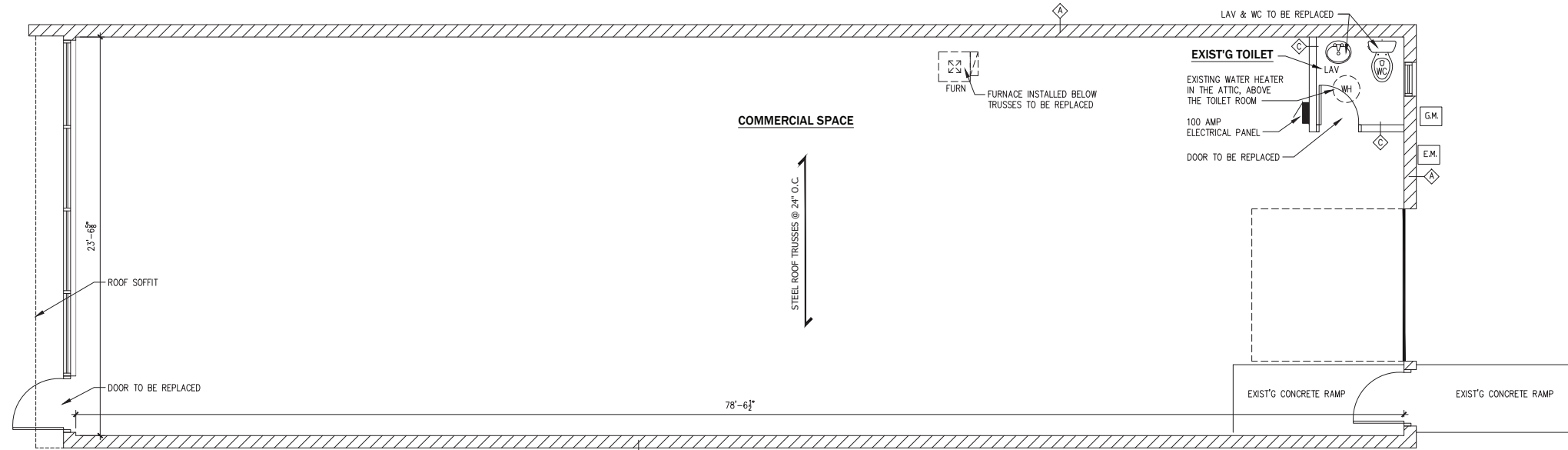
ERR ARCHITECTURAL DESIGN, LLC.
 GEORGE W. SIMOULIS
 ARCHITECT
 EWA ROMANOWSKA
 PROJECT DESIGNER
 2540 HIGHPOINT DR.
 LINDENHURST, IL 60046
 TEL: (847) 347-0837

1773 E OAKTON ST. DES PLAINES, IL 60018

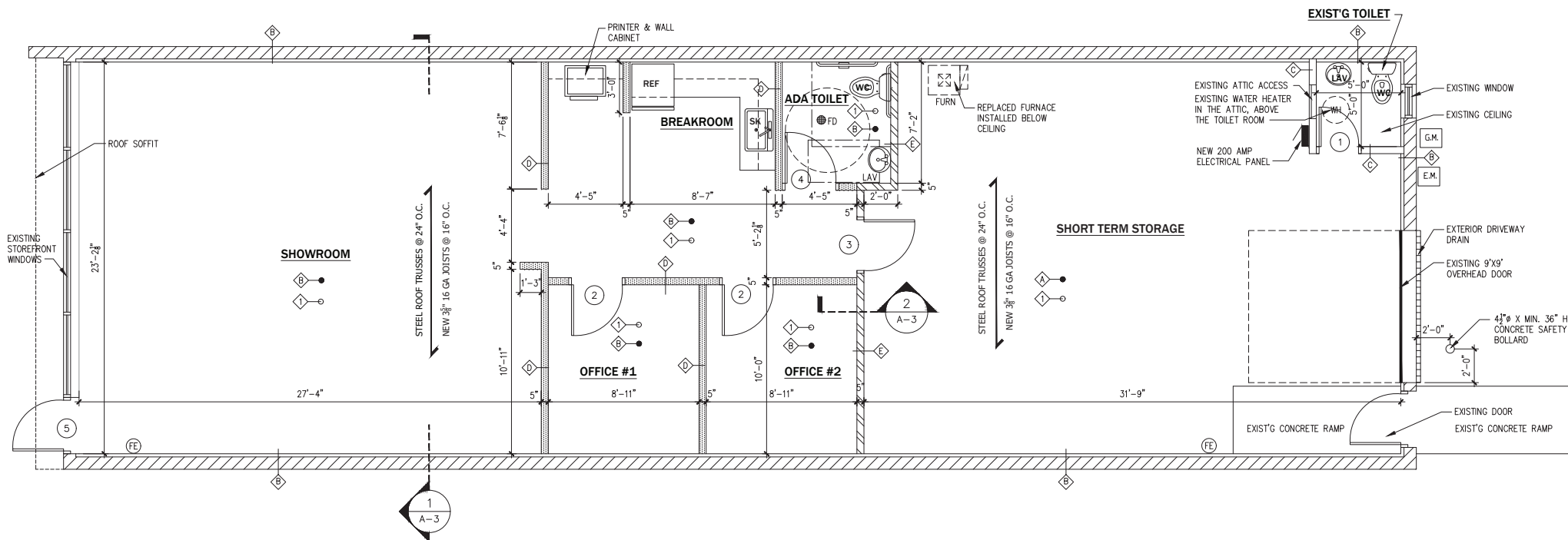
SITE PLAN,
 ADA TOILET PLAN & ELEVATIONS
 DOOR SCHEDULE
 WALL/CEILING TAGS

PERMIT
 DATE: 06/21/2021
 CORRECTIONS:
 DATE:

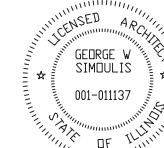
A-1



EXISTING COMMERCIAL SPACE PLAN
SCALE: 1/4"=1'-0"



PROPOSED PLAN
SCALE: 1/4"=1'-0"



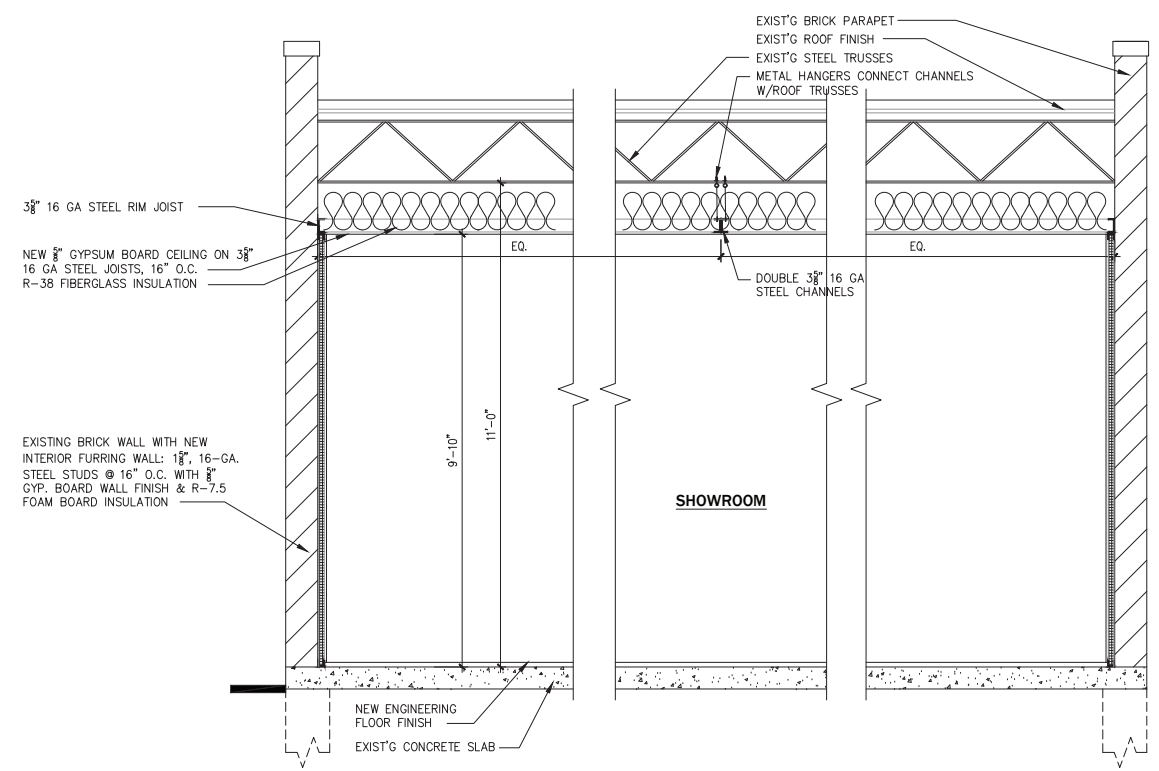
ERR ARCHITECTURAL DESIGN, LLC.
GEORGE W. SIMOULIS ARCHITECT
EWA ROMANOWSKA PROJECT DESIGNER
2560 HIGHPOINT DR.
LINDSEYHURST, IL 60046
Tel: (847) 347-0837

**INTERIOR RENOVATION OF THE EXISTING
1-STORY COMMERCIAL BUILDING**
1773 E OAKTON ST. DES PLAINES, IL 60018

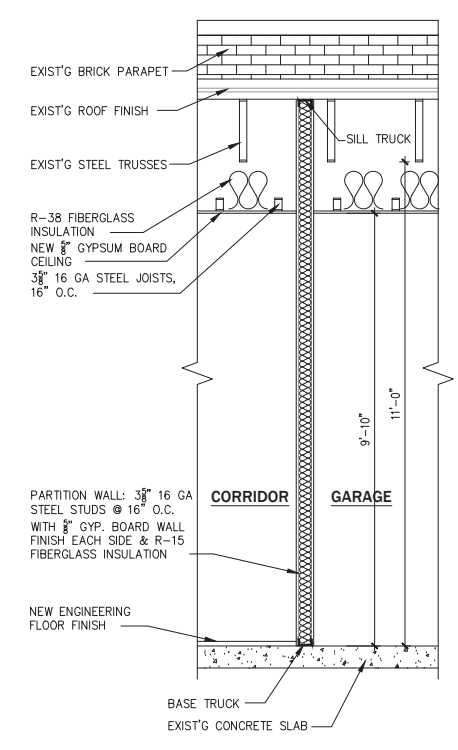
EXISTING & PROPOSED PLANS

PERMIT
DATE: 06/21/2021
CORRECTIONS:
DATE:

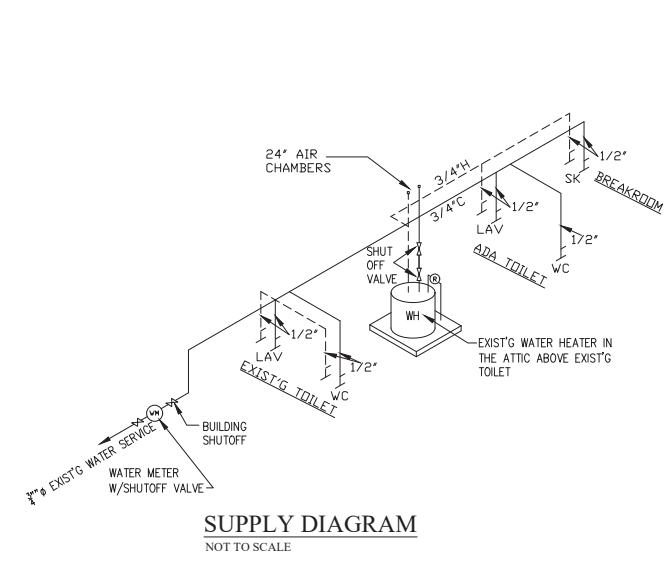
A-2



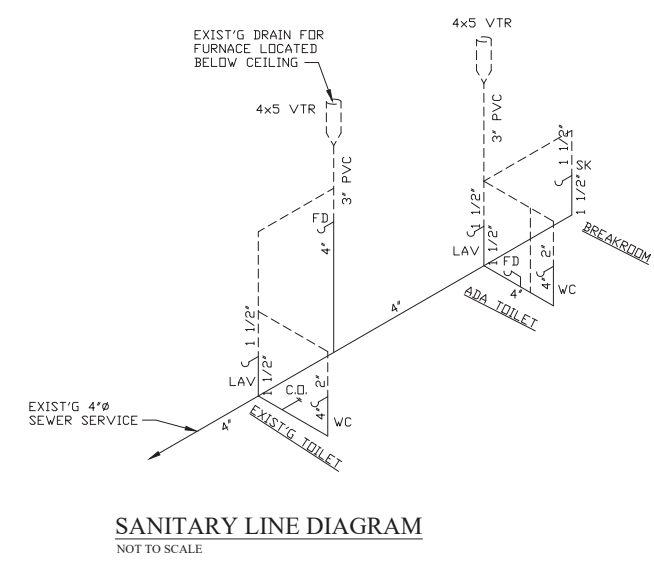
1 BUILDING SECTION
A-3 SCALE: 1/2"=1'-0"



2 WALL SECTION
A-3 SCALE: 1/2"=1'-0"



SUPPLY DIAGRAM
NOT TO SCALE



SANITARY LINE DIAGRAM
NOT TO SCALE

WATER SERVICE FIXTURE UNIT CALCULATION			
	QUANTITY	LOAD VALUES (W.S.F.U.)	TOTAL
WATER CLOSET (FLUSH TANK)	2	3	6
LAVATORY	2	1	2
SINK	1	2	2
GRAND TOTAL W.S.F.U.			10

EXIST'G WATER MAIN PIPE SIZE: 2", EXIST'G METER SIZE 2"

- ABBREVIATIONS**
- CW COLD WATER
 - HW HOT WATER
 - WC WATER CLOSET
 - LAV LAVATORY
 - SK SINK
 - FD FLOOR DRAIN
 - FCD FLOOR CLEAN-OUT
 - VTR VENT THRU ROOF
 - COLD WATER LINE
 - HOT WATER LINE
 - WASTE LINE
 - VENT LINE

PLUMBING NOTES

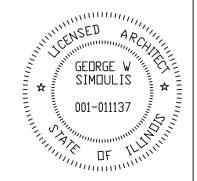
USE ONLY WATER SAVER SILENT FLUSH TOILETS.
 ALL FLOOR DRAINS TO BE VENTED.
 PROVIDE SHUTOFFS AT ALL APPLIANCE LOCATIONS.
 PROTECT WATER PIPING AT BASE OF WALLS WITH NAIL GUARDS.
 2'-0" AIR CHAMBERS ARE TO BE INSTALLED AT THE TOP OF ALL MAIN RISERS.
 ALL PIPING TO BE PROPERLY SUSPENDED AND BRACED.
 ALL FIXTURES ARE TO BE CONTROLLED INDIVIDUALLY WITH ANGLE STOPS OR VALVES.
 UNDERGROUND WASTE MUST BE 4" CAST IRON MIN.
 USE PROPER IRON TO PVC CAULK ADAPTER AT SEWER SERVICE CONNECTION.
 20% OF TOTAL VENT ALLOWED IN HORIZONTAL POSITION.
 MINIMUM 4" VENT INCREASER THRU ROOF.
 MUST USE LEAD FLASHING ON ROOF VENTS.
 FACTORY MADE AIR CHAMBERS NOT ALLOWED.
 MUST USE LONG SWEEP DRAINAGE FITTINGS.
 OVERFLOW MUST CONNECT TO TUB WITHOUT FACEPLATE.
 MUST USE FULL FLOW BALL VALVES ON ALL SHUT OFF VALVES.
 ALL WASTE, VENT, WATER AND GAS PIPING SHALL BE TESTED WITH WATER OR AIR AND WITNESSED BY PLUMBING INSPECTOR.
 SADDLE VALVES NOT ALLOWED.
 FLEXIBLE CONNECTOR FOR GAS, OR WATER MAY ONLY BE USED IF INTEGRAL TO FIXTURE OR FIXTURE IS DESIGNED TO BE MOVED.
 DO NOT CUT OR DRILL THRU THE BOTTOM OF ANY JOIST.
 ALL PIPING MUST BE SECURED WITH PROPERLY SPACED HANGERS.
 3" PVC ALLOWED FOR 2 WATER CLOSETS PER STACK.
 2nd VENT STACK MUST BE SAME SIZE AS BRANCH WASTE LINE (UNLESS CONNECTION TO MAIN STACK IS MADE).
 SOLID PIPE OR TUBING WATER SUPPLY IS REQUIRED.
 ALL BUILDINGS DRAINS PASSING THROUGH A FOUNDATION WALL TO A POINT 4' OUTSIDE THE WALL, SHOULD BE OF CAST IRON MATERIAL.
 ABOVE GROUND VENT & WASTE PIPE TO BE COPPER "M", "L", OR "K" TYPE, CAST IRON OR SCH. 40 PVC.
 UNDERGROUND SANITARY TO BE SERVICE WEIGHT CAST IRON OR SCH. 40 PVC MINIMUM 4".
 WATER LINES WITHIN BUILDING SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS:
 BELOW GRADE: COPPER TYPE "K"
 ABOVE GRADE: COPPER TYPE "L" OR "M" WITH NO LEAD SOLDER.

ERR ARCHITECTURAL DESIGN, LLC.
 GEORGE W. SIMOULIS ARCHITECT
 EWA ROMANOWSKA PROJECT DESIGNER
 2540 HIGHPOINT DR.
 LINDENHURST, IL 60046
 TEL: (847) 347-0837

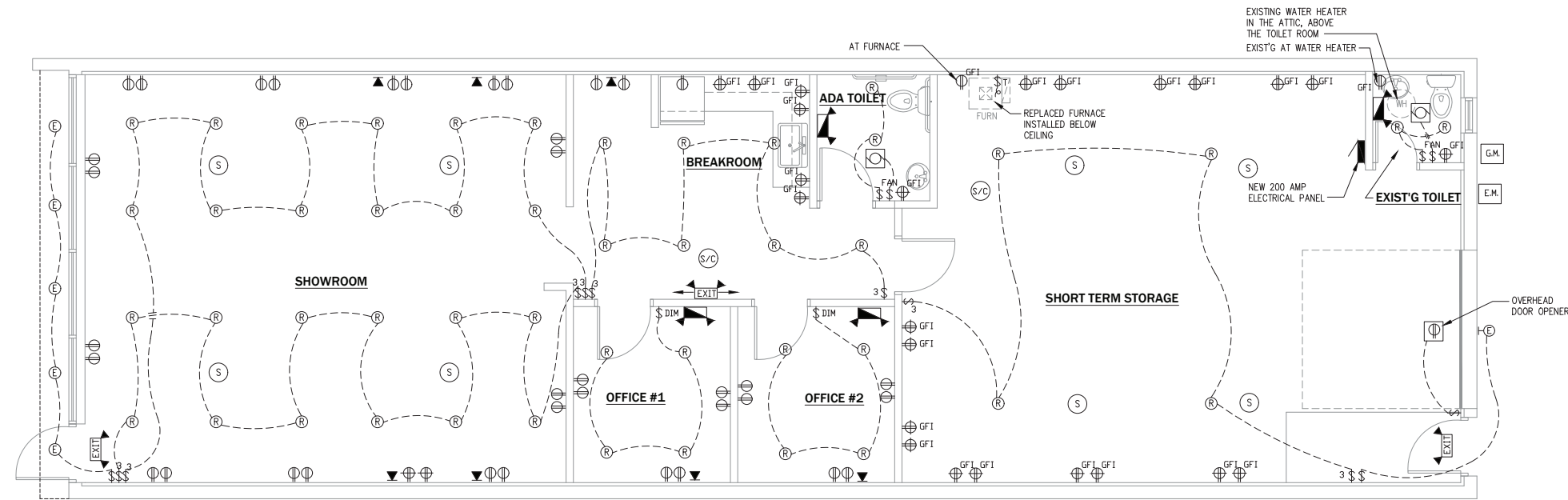
INTERIOR RENOVATION OF THE EXISTING 1-STORY COMMERCIAL BUILDING
 1773 E OAKTON ST. DES PLAINES, IL 60018

BUILDING & WALL SECTIONS
 PLUMBING DIAGRAM

PERMIT
 DATE: 06/21/2021
 CORRECTIONS:
 DATE:



A-3



ELECTRICAL PLAN
SCALE: 1/2"=1'-0"

ELECTRICAL SYMBOL LIST

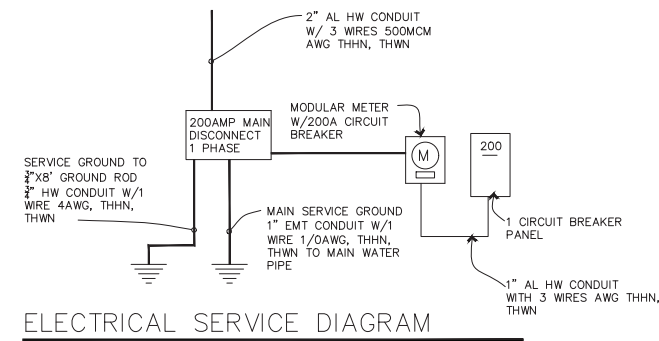
- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$DIM SWITCH WITH BUILT-IN DIMMER
- \$T THERMAL DISCONNECT SWITCH
- ⊕ 110 V DUPLEX ELECTRICAL OUTLET, 44" ABOVE THE FLOOR
- ⊕ 110 V DUPLEX ELECTRICAL OUTLET, 12" ABOVE THE FLOOR
- ▼ INTERNET OUTLET
- I INTERIOR SCONCE LIGHT
- ⊕- EXTERIOR SCONCE LIGHT
- ⊗ INTERIOR RECESSED INCANDESCENT LIGHT
- ⊙ EXTERIOR RECESSED INCANDESCENT LIGHT
- ⊙ IN-CEILING SPEAKER
- E.M. ELECTRICAL METER
- ⎓ ELECTRICAL PANEL
- GF1 GROUND FAULT INTERRUPTER DEVICE
- EXIT EXIT SIGN W/EMERGENCY LIGHTING ON 24HR. CIRCUIT
- EMERGENCY BATTERY PACK UNIT W/LIGHT HEADS ON 24HR. CIRCUIT
- S/C 120V SINGLE STATION SMOKE/CARBON MONOXIDE DETECTOR

ELECTRICAL NOTES

1. COPPER WIRE ONLY.
2. STYLE FINISHES, ETC. OF ALL FIXTURES AND DEVICES SHALL BE SELECTED BY OWNER AND SHALL BEAR A UL LABEL. ALL LIGHT FIXTURES TO BE INSTALLED IN MIN. 3" FROM INSULATION.
3. ALL SMOKE DETECTORS SHALL BE INSTALLED IN COMPLIANCE WITH NATIONAL ELECTRICAL CODE, AND SHALL BE PLACED IN LOCATIONS SHOWN ON PLANS. PROVIDE BATTERY BACK-UP.
4. SMOKE DETECTORS SHALL BE INTERCONNECTED SO WHEN ALARM IS ACTIVATED THEY ALL ACTIVATE.
5. ALL CEILING BOXES IN HABITABLE SPACES TO BE FAN RATED.
6. ALL RECEPTACLES TO BE AUTO-GROUND OR A BONDING WIRE SHALL BE INCLUDED.
7. RECESSED LIGHT FIXTURES IN INSULATED AREAS SHALL BE IC-RATED.
8. AC DISCONNECT SHALL BE OVER 3' FROM THE UNIT FOR ACCESS.
9. THE NEWLY WIRED SECTION REQUIRES ALL OUTLETS TO BE TAMPED RESISTANT.
10. INSTALL SEPARATE 20A BRANCH CIRCUITS FOR THE SMALL APPLIANCE, AND BATHROOM OUTLET LOADS.
11. PROVIDE "GF1" (GROUND FAULT INTERRUPTER) PROTECTION FOR ALL BATH ROOM AND OTHER DAMP LOCATION CIRCUITS.

PANEL SCHEDULE										
SERVES LIGHTING (L) RECEPTACLES (R) OR MISC. (MS)	LOAD (VA)			AMPS/ POLE			LOAD (VA)			SERVES MOTOR (M) HEATING (H) OR SPACE (S)
	A #	B #	C #	1 1/2	2 1/2	A #	B #	C #		
LIGHTING	800	800		15	15	15	800			LIGHTING
LIGHTING	800			15	5	6	800			LIGHTING
RECEPTACLES		1000		15	17	8	1000			RECEPTACLES
FURNACE		1300		20	11	12				RECEPTACLES
AIR CONDITIONER	1800			30	13	14	1000			RECEPTACLES
EXTERIOR LIGHTING		1000		15	15	16			1100	WATER HEATER
LIGHTING	800			15	17	8	1000			REF.
LIGHTING		800		15	19	20			1500	MICROWAVE
EXIT SIGNS	300			15	21	22	1	200		EMERGENCY LIGHTS
EMERGENCY LIGHTS		200		15	23	24				SPACE
SPACE					25	26				
					27	28				
					29	30				
					31	32				
					33	34				
					35	36				
					37	38				
					39	40				
					41	42				

TOTAL WATTS: 20,800
TOTAL PANEL LOAD 20.8 KVA 86.7 AMPS
120/240 VOLTS 1 PHASE 3 WIRE, S.N.
200 AMP. MAIN LUGS AMP.MAIN BRK.

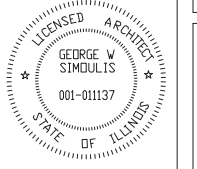


ERR ARCHITECTURAL DESIGN, LLC.
GEORGE W. SIMOULIS ARCHITECT
EWA ROMANOWSKA PROJECT DESIGNER
2640 HIGHPOINT DR.
LINDSEYBURST, IL 60046
Tel: (847) 347-0877

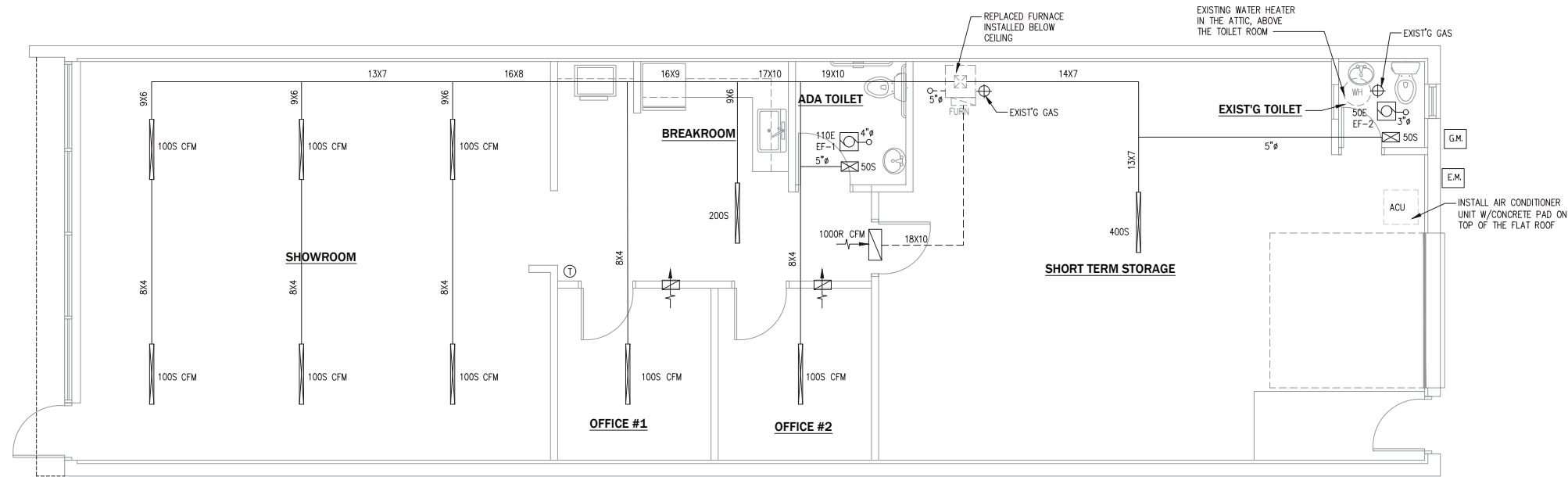
INTERIOR RENOVATION OF THE EXISTING
1-STORY COMMERCIAL BUILDING
1773 E OAKTON ST. DES PLAINES, IL 60018

ELECTRICAL PLAN
PANEL SCHEDULE
ELECTRICAL SERVICE DIAGRAM

PERMIT
DATE: 06/21/2021
CORRECTIONS:
DATE:



A-4



MECHANICAL PLAN
SCALE: 1/4"=1'-0"

SPACE	FLOOR AREA	LIGHT AND VENT SCHEDULE							
		NATURAL				MECHANICAL VENTILATION			
		REQ.	ACT.	REQ.	ACT.	REQ. CFM	EXH. CFM	SUPPLY CFM	EXH. CFM
SHORT TERM STORAGE	691	N.R.	--	N.R.	--	N.R.	N.R.	400	--
EXIST'G TOILET	25	N.R.	5.64	N.R.	2.82	N.R.	50	50	50
SHOWROOM	634	N.R.	130.00	N.R.	20.00	380.4	190.2	600	600
OFFICE #1	89	N.R.	--	N.R.	--	53.4	26.7	100	50
OFFICE #2	89	N.R.	--	N.R.	--	53.4	26.7	100	50
BREAKROOM	101	N.R.	--	N.R.	--	151.5	151.5	200	200
ADA TOILET	46	N.R.	--	N.R.	--	N.R.	92	50	110
TOTAL								1,500	1,060

GAS FURNACE
CARRIER, MODEL # 59SC2D100E21-20,
100,000 BTU, 92% AFUE

4 TON EVAPORATOR N. COIL
CARRIER, MODEL # CNHP4821ALA

4 TON AIR CONDITIONER
CARRIER, MODEL # CA13NA048BNG,
13 SEER, REFRIGERANT R-410A

EF-1: QTY. 1
MANUFACTURER "BROAN", MODEL AE110K,
FAN UNIT
110 CFM 1.0 SONES
INCLUDED 4" DUCT
120V/60 Hz/0.3 AMPS

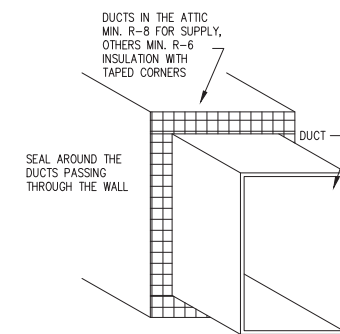
EF-2: QTY. 1
MANUFACTURER "BROAN", MODEL 670,
FAN UNIT
50 CFM 3.5 SONES
INCLUDED 3" DUCT
120V/60 Hz/0.8 AMPS

MECHANICAL SYMBOL LIST

- SUPPLY AIR REGISTER
- RETURN AIR REGISTER
- SUPPLY DUCT
- RETURN DUCT
- CFM CUBIC FEET OF AIR PER MINUTE
- 100E CFM EXHAUST
- 100S CFM SUPPLY
- 100R CFM RETURN
- THERMOSTAT
- GAS
- EF EXHAUST FAN
- VENT UP TO ROOF
- EXHAUST FAN

MECHANICAL NOTES

- ALL DUCT WORK MUST CONFORM TO SMACNA.
- CLEARANCES FOR FORCED AIR FURNACES MUST CONFORM TO MANUFACTURER'S REQUIREMENTS.
- NO VOLUME DAMPERS ARE PERMITTED IN THE AIR INLET TO FURNACES.
- FUEL-BURNING DEVICES THAT PRODUCE CONDENSATE MUST BE DRAINED.
- OVERFLOW DRAINS SHOULD DISCHARGE IN A CONSPICUOUS LOCATION.
- NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK PIPE WITH 150# MALLEABLE IRON FITTINGS. GAS PIPING LARGER THAN 2" INSIDE DIA. OR CARRYING MORE THAN 5 PSIG SHALL BE SCHEDULE 40 WELDED BLACK PIPE WITH STANDARD WELD FITTINGS.
- COMBUSTION AIR INTAKE SHOULD NOT BE LESS THAN 2 SQ. INCHES PER 1,000 BTU OUTPUT.
- OUTSIDE AIR NOT TO BE TAKEN FROM TOILET ROOMS, BATHROOMS, KITCHENS, GARAGES OR MECHANICAL ROOMS.
- ALL ATTIC DUCTS SHALL BE INSULATED.
- CONNECTION TO THE DIFFUSER AND REGISTER CAN BE MADE WITH INSULATED RIGID DUCT. THE MAXIMUM LENGTH SHALL BE 5'-0".



PROVIDE INSULATION FOR DUCTS IN UNHEATED SPACE

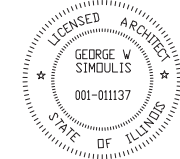
DUCT INSULATION

ERR ARCHITECTURAL DESIGN, LLC.
GEORGE W. SIMOULIS ARCHITECT
EWA ROMANOWSKA PROJECT DESIGNER
2540 HIGHPOINT DR.
LINDENHURST, IL 60046
Tel: (847) 347-0837

INTERIOR RENOVATION OF THE EXISTING
1-STORY COMMERCIAL BUILDING
1773 E OAKTON ST. DES PLAINES, IL 60018

MECHANICAL PLAN
LIGHT & VENT SCHEDULE

PERMIT
DATE: 06/21/2021
CORRECTIONS:
DATE:



A-5

EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The City of Des Plaines, Illinois ("**City**");

WHEREAS, Dawid Lenart ("**Petitioner**") applied to the City of Des Plaines for a conditional use permit to allow a Trade Contractor Use ("**Conditional Use Permit**") on that certain property commonly known as 1773 E. Oakton Street, Des Plaines, Illinois ("**Subject Property**") pursuant to Section 12-7-3.F.3 and 12-7-3.K of the City of Des Plaines Zoning Ordinance of 1998, as amended; and

WHEREAS, the Subject Property is owned by DGL Home Improvement, INC ("**Owner**"), who consented to the Petitioner's application; and

WHEREAS, Ordinance No. Z-43-21 adopted by the City Council of the City of Des Plaines on _____, 2021 ("**Ordinance**"), grants approval of the Conditional Use Permit, subject to certain conditions; and

WHEREAS, the Petitioner and the Owner each desires to evidence to the City its unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in said Ordinance, and its consent to recording the Ordinance and this Unconditional Agreement and Consent against the Subject Property;

NOW, THEREFORE, the Petitioner and the Owner do hereby agree and covenant as follows:

1. Petitioner and Owner hereby unconditionally agree to accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of that certain Ordinance No. Z-43-21, adopted by the City Council on _____, 2021.
2. Petitioner and Owner acknowledge and agree that the City is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the City's review and approval of any plans for the Subject Property, or the issuance of any permits for the use and development of the Subject Property, and that the City's review and approval of any such plans and issuance of any such permits does not, and shall not, in any way, be deemed to insure Petitioner or Owner against damage or injury of any kind and at any time.
3. Petitioner and Owner acknowledge that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the procedures required by Section 12-4-7 of the City's Zoning Ordinance are followed.

4. Petitioner agrees to and do hereby hold harmless and indemnify the City, the City's corporate authorities, and all City elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with (a) the City's review and approval of any plans and issuance of any permits, (b) the procedures followed in connection with the adoption of the Ordinance, (c) the development, construction, maintenance, and use of the Subject Property, and (d) the performance by Petitioner of its obligations under this Unconditional Agreement and Consent.

5. Petitioner hereby agrees to pay all expenses incurred by the City in defending itself with regard to any and all of the claims mentioned in this Unconditional Agreement and Consent. These expenses shall include all out-of-pocket expenses, such as attorneys' and experts' fees, and shall also include the reasonable value of any services rendered by any employees of the City.

ATTEST:

DAWID LENART

By: _____

By: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 2021.

Its: _____

Notary Public

ATTEST:

DGL HOME IMPROVEMENT, INC

By: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 2021.

Notary Public



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 25, 2021

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: John T. Carlisle, AICP, Economic Development Manager *JTC*

Subject: Amendments to Title 15 of the City Code to Clarify and Expand the O'Hare Corridor Privilege Tax Area (Tax on Hotel/Motel Rooms) and the O'Hare Corridor Privilege Area Parking Tax

Issue: Consider amendments to Chapters 5 and 6 within Title 15 of the City Code (Municipal Taxation). The proposed changes clarify and expand the boundaries of the tax areas, potentially generating additional revenue from both hotel/motel occupancy and paid parking.

Analysis: For commercial properties along Higgins Road and Mannheim Road in the southern portion of Des Plaines, there remains demand for hotels and paid parking, particularly for O'Hare Airport travelers. This market was evident to the City in the 2000s when it adopted Ordinance M-65-04 to create the O'Hare Corridor Privilege Tax Area, bounded by Mannheim Road, Higgins Road, and the Canadian National (formerly Wisconsin Central) rail line. See Attachment 1 for a map of existing boundaries. This tax applies to hotel/motel rooms and is levied in addition to the citywide seven percent Hotel-Motel Operators Occupation Tax, amounting to a total tax of 11 percent.

Last amended by Ordinance M-19-13, a parking tax for the same geographic area was also created. The parking tax entitles the City to \$1 per vehicle per day. The City envisioned the following at the time:

- Hotels could be developed in the area and could charge guests a daily fee for parking;
- Standalone off-site airport parking centers (e.g. Park N Jet, Wally Park) could be developed; and/or
- Existing businesses might rent their excess spaces for off-site airport parking or event parking for Allstate Arena (defined as "Commercial Parking Lot" in the Zoning Ordinance).

Although COVID-19 has significantly affected air travel and in-person events in 2020 and 2021, the City is nonetheless considering land use entitlement and 7b property tax incentive requests for a new hotel at 1700 Higgins Road. This potential hotel is not within the current privilege area but would lie within the amended one. Additionally, the City expects to consider a commercial parking use proximate to the Holiday Inn Express at 3001 Mannheim, part of the Orchards at O'Hare development and within the existing boundaries.

Since 2015, the City's average overall revenue from all hotel/motel taxes was \$1,800,179 (2020 was significantly affected by the pandemic and was \$763,390). The privilege area accounts for approximately \$35,000. The proposed 107-room hotel at 1700 Higgins would be Des Plaines' 12th hotel and if mapped into

area would likely generate tens of thousands of dollars in additional revenue per year through the privilege tax, both for rooms and parking (if the hotel charges for parking). An 11 percent total room tax rate is in line with the range of 7 to 12 percent for hotels in nearby municipalities such as Chicago, Elk Grove Village, and Rosemont. If approved, the 7b property tax incentive (tentatively scheduled for consideration at the September 20 City Council meeting) would reduce the annual property tax bill by approximately \$600,000 for the life of the incentive.

Finally, if these amendments and the 1700 Higgins development are approved, the proposed hotel or parking garage may in the future have excess spaces that could be repurposed for commercial parking, which would be subject to the tax.

Proposed Amended Sections

Attached Ordinance M-11-21 contains the following proposed amendments to Chapters 15-5 and 15-6 of the City Code. Additions are **bold underline**. Deletions are ~~struckthrough~~.

15-5-1: DEFINITIONS:

O'HARE CORRIDOR PRIVILEGE TAX AREA: The area bounded by **a straight line extending Lunt Avenue from its intersection with Greco Avenue to its intersection with Mannheim Road, Mannheim Road from its intersection with Lunt Avenue to its intersection with Higgins Road, Higgins Road from Mannheim Road to its intersection with I-90, I-90 from its intersection with Higgins Road to its intersection with the rail lines located west of Willow Creek, and the Wisconsin Central rail line from its intersection with I-90 to the straight line drawn extending Lunt Avenue from Greco Avenue to Mannheim Road** and depicted on the map attached as ~~exhibit A to the ordinance codified herein.~~

* * *

15-6-1: DEFINITIONS:

O'HARE CORRIDOR PRIVILEGE TAX AREA: The area bounded by ... **a straight line extending Lunt Avenue from its intersection with Greco Avenue to its intersection with Mannheim Road, Mannheim Road from its intersection with Lunt Avenue to its intersection with Higgins Road, Higgins Road from Mannheim Road to its intersection with I-90, I-90 from its intersection with Higgins Road to its intersection with the rail lines located west of Willow Creek, and the Wisconsin Central rail line from its intersection with I-90 to the straight line drawn extending Lunt Avenue from Greco Avenue to Mannheim Road** and located within TIF 6.

* * *

Recommendation: Staff recommends the City Council approve Ordinance M-11-21, which amends the City Code to clarify and expand the definitions for the O'Hare Privilege Tax Area for both hotel rooms and parking.

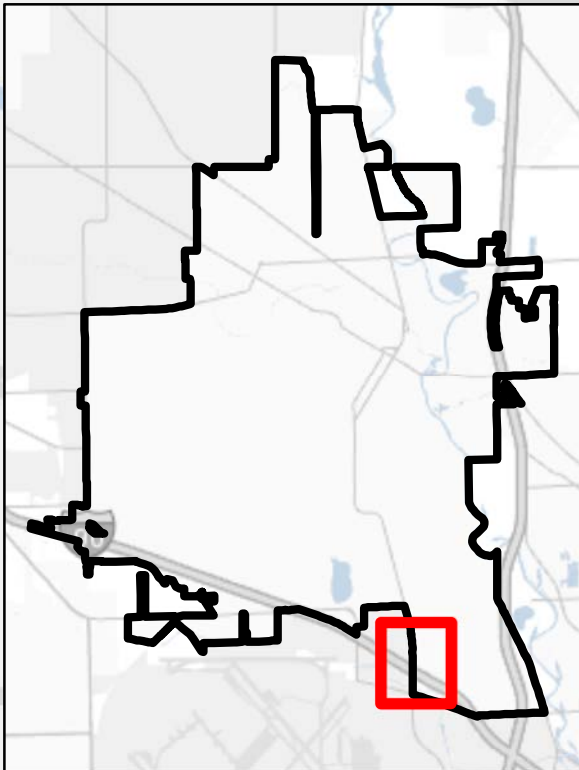
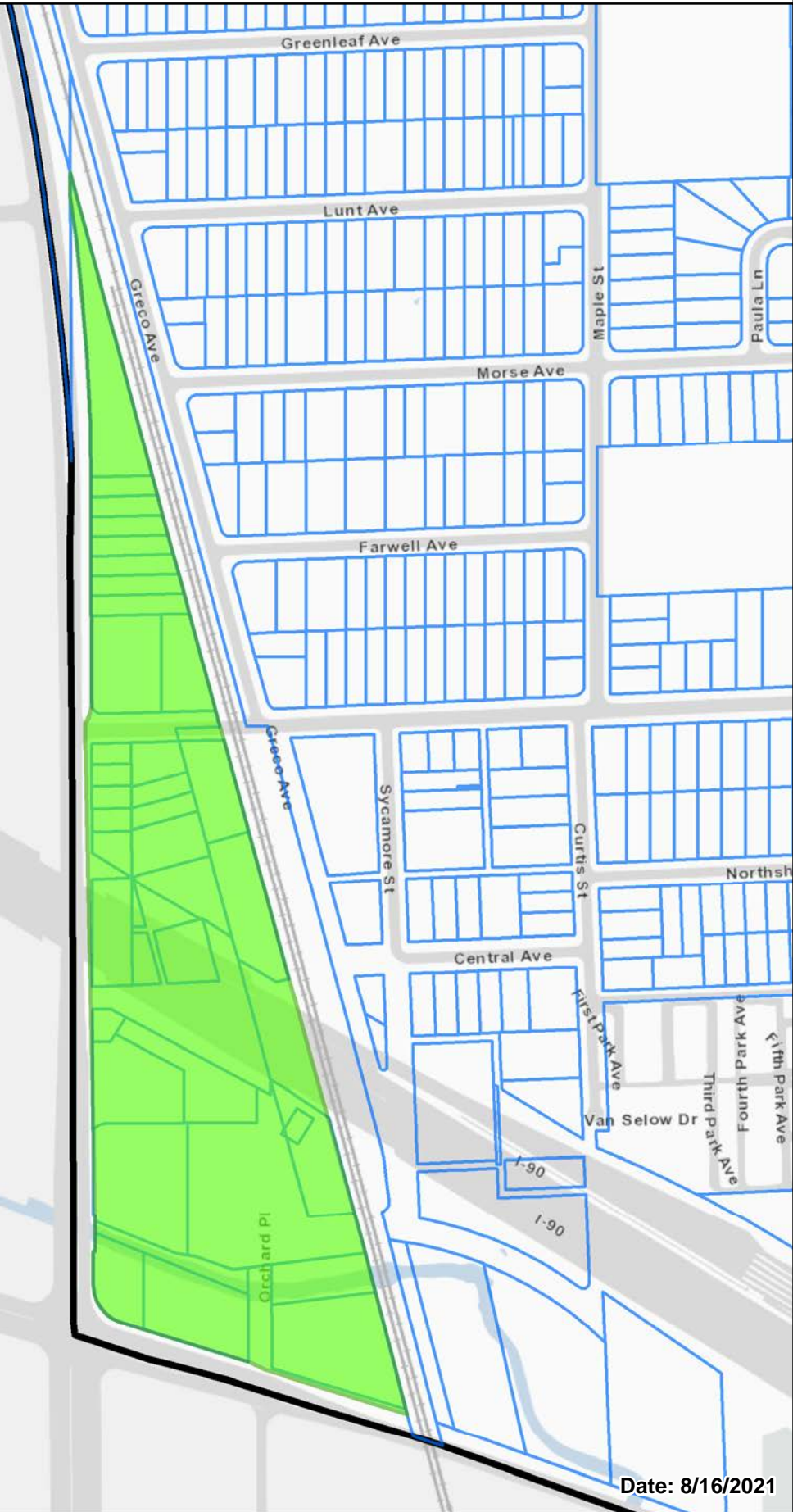
Attachments:

- Attachment 1: Current O'Hare Privilege Tax and Parking Tax Area
 - Attachment 2: Proposed O'Hare Privilege Tax and Parking Tax Area
- Ordinance M-11-21

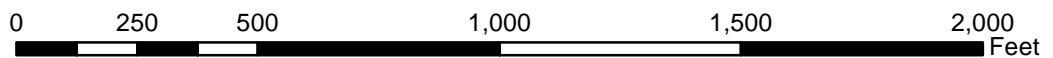
EXISTING O'HARE PRIVILEGE TAX AREA: HOTEL/MOTEL AND PARKING

Legend

- Existing O'Hare Privilege Tax Area
- Des Plaines Parcels
- Municipal Boundary






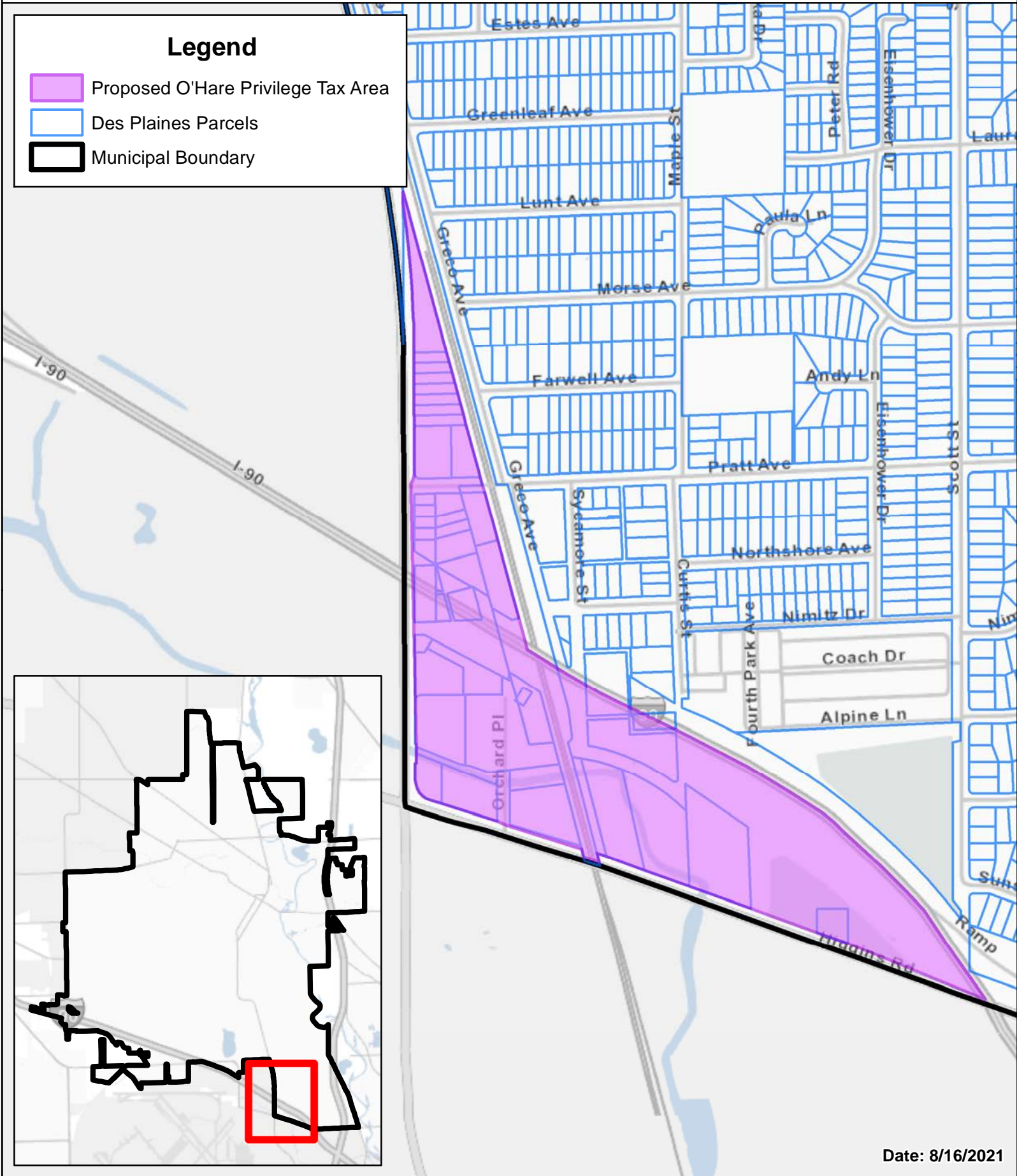
Date: 8/16/2021



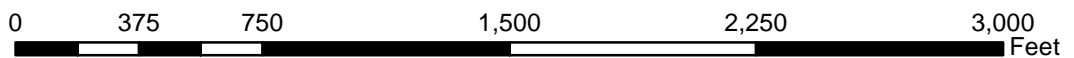
PROPOSED O'HARE PRIVILEGE TAX AREA: HOTEL/MOTEL AND PARKING

Legend

-  Proposed O'Hare Privilege Tax Area
-  Des Plaines Parcels
-  Municipal Boundary



Date: 8/16/2021



CITY OF DES PLAINES

ORDINANCE M - 11 - 21

**AN ORDINANCE AMENDING TITLE 15 OF THE
DES PLAINES CITY CODE REGARDING THE O'HARE
CORRIDOR PRIVILEGE TAX AREA.**

WHEREAS, the City is a home rule municipal corporation in accordance with Article VII, Section 6(a) of the Constitution of the State of Illinois of 1970; and

WHEREAS, Chapter 5 of Title 15 of the City Code of the City of Des Plaines, as amended ("*City Code*") imposes a use tax on the renting hotel or motel rooms within a certain designated area of the City ("*O'Hare Corridor Privilege Tax Area*"); and

WHEREAS, Chapter 6 of Title 15 of the City Code sets forth rules and regulations regarding a tax imposed on the privilege of parking vehicles for a fee within the O'Hare Corridor Privilege Tax Area; and

WHEREAS, the City desires to amend the boundaries of the O'Hare Corridor Privilege Area pursuant to its home rule authority; and

WHEREAS, the City Council has determined that it is in the best interest of the City to amend the City Code as set forth in this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof.

SECTION 2. AMENDMENTS TO SECTION 15-5-1. Section 15-5-1, titled "Definitions," of Chapter 5, titled "O'Hare Corridor Privilege Tax Area," of Title 15, titled "Municipal Taxes," of the City Code is hereby amended as follows:

"15-5-1: DEFINITIONS:

O'HARE CORRIDOR PRIVILEGE TAX AREA: The area bounded by **a straight line extending Lunt Avenue from its intersection with Greco Avenue to its intersection with Mannheim Road, Mannheim Road from its intersection with Lunt Avenue to its intersection with Higgins Road, Higgins Road from Mannheim Road to its intersection with I-90, I-90 from its intersection with Higgins Road to its intersection with the rail lines located west of Willow Creek, and the Wisconsin Central rail line from its intersection with I-90 to the**

{00121986.1}

Additions are bold and double-underlined; deletions are struck through.

straight line drawn extending Lunt Avenue from Greco Avenue to Mannheim Road and depicted on the map attached as exhibit A to the ordinance codified herein.

* * *

SECTION 3. AMENDMENTS TO SECTION 15-6-1. Section 15-6-1, titled “Definitions,” of Chapter 6, titled “O’Hare Corridor Privilege Tax Area Parking Tax,” of Title 15, titled “Municipal Taxes,” of the City Code is hereby amended as follows:

“15-6-1: DEFINITIONS:

O’HARE CORRIDOR PRIVILEGE TAX AREA: The area bounded by a straight line extending Lunt Avenue from its intersection with Greco Avenue to its intersection with Mannheim Road, Mannheim Road from its intersection with Lunt Avenue to its intersection with Higgins Road, Higgins Road from Mannheim Road to its intersection with I-90, I-90 from its intersection with Higgins Road to its intersection with the rail lines located west of Willow Creek, and the Wisconsin Central rail line from its intersection with I-90 to the straight line drawn extending Lunt Avenue from Greco Avenue to Mannheim Road and located within TIF 6.

* * *

SECTION 4. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form according to law.

[SIGNATURE PAGE FOLLOWS]

{00121986.1}

Additions are bold and double-underlined; deletions are struck through.

PASSED this _____ day of _____, 2021.

APPROVED this _____ day of _____, 2021.

VOTE: Ayes _____ Nays _____ Absent _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
____ day of _____, 2021

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

{00121986.1}

Additions are bold and double-underlined; ~~deletions are struck through.~~



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 26, 2021

To: Michael G. Bartholomew, MCP, LEED-AP, City Manager

From: John T. Carlisle, AICP, Economic Development Manager *JTC*
Jonathan Stytz, Planner *JS*

Subject: **1700 Higgins Road: Case #21-005-FPLAT-V-PUD-A** – Approve an amended development proposal, which previously consisted of an existing office building, a new freestanding restaurant, and parking areas. The amended proposal is for an existing office building, a hotel, and redesigned parking areas including a parking garage, which requires vacation of public right of way.

Issue: The petitioner is requesting the following under the Zoning Ordinance and Subdivision Regulations: (i) a Major Amendment to the existing Planned Unit Development (PUD) to allow for a five-story, 64,760-square-foot hotel in lieu of the Class A restaurant approved in Ordinance Z-21-19; (ii) a Final Plat of Subdivision to resubdivide the existing property from two lots to four lots; (iii) Major Variations to allow a lot depth of 6 feet for Lots 3 and 4 where a minimum lot depth of 125 feet is required; and (iv) Major Variations to allow a reduction in the number of required parking spaces from 541 to 338 for Lot 1 and a reduction in the number of required parking spaces from 110 to 63 spaces on Lot 2.

Under 8-1-9 of the City Code, the petitioner requests a Vacation of Right of Way to convey a 1,821-square-foot parcel of unimproved Webster Avenue to accommodate a proposed parking garage.

Address: 1700 Higgins Road

Owner: Andrew Saunders, Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Petitioner: Mark Rogers on behalf of Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Case Number: 21-005-FPLAT-PUD-V-A

Real Estate Index Numbers (Existing): 09-33-309-007-0000; 09-33-310-004-0000

Existing Zoning C-3, General Commercial District

Existing Land Uses	Multi-tenant Office Building and Surface Parking
Surrounding Zoning	North: I-90 Tollway; R-1, Single Family Residential South: G, Government and Institutional (Rosemont) East: C-2, Limited Office Commercial District West: C-3, General Commercial District
Surrounding Land Use	North: I-90 Tollway; Single Family Residences South: Health & Fitness / Village Manor Apartments (Rosemont) East: Open Space / Park West: Vacant lot
Street Classification	Higgins Road is classified as a minor arterial street.
Comprehensive Plan	The Comprehensive Plan designates this property as Commercial.

Final Planned Unit Development (Major Change)

Project Description The applicant, Mark Rogers on behalf of Mariner Higgins Centre, LLC, is requesting a Major Amendment to the PUD approved by Ordinance Z-21-19 to allow for a five-story, 64,760-square foot hotel in lieu of the Class A restaurant that was a part of the original Final PUD. The existing property consists of two parcels containing a six-story office building with 135,000-square feet of leasable office space and 392 parking spaces, including 358 surface spaces, 28 indoor spaces, and six accessible spaces. With all lots combined, the property encompasses 5.75 acres. Ordinance Z-21-19 granted a Final PUD with exceptions, major variations for lot depth and parking, and a Final Plat of Subdivision for (i) substantial renovations of the existing office building; (ii) a new 6,000-square-foot freestanding restaurant in the out-lot near Higgins Road; (iii) construction of an 88-space parking lot on vacant property located across Willow Creek; and (iv) significant infrastructure upgrades.

Since December 2018, the existing office building has undergone major renovations as identified in the Project Narrative (Attachment 1). However, the property owner now desires to sell the out-lot to a separate developer who would construct a hotel instead of the restaurant. The hotel is tentatively a Homes2Suite Hotel by Hilton at an estimated cost of \$7.5 million. As a result of the change of project scope, the Plat of Subdivision and Plat of PUD boundaries must be updated.

The hotel is proposed in the southeast corner, where the original restaurant building was planned. The hotel has a larger ground-floor footprint necessitating a shift in parking location for the development overall. To accommodate parking for the office, a 34,658-square-foot garage (68,290 square feet including the ground and top tiers) is now proposed on the northwest portion. The garage will have 207 spaces, bringing the total for the development to 401.

As with the original proposal, the new proposal still represents a unique mixed-use development with multiple structures, unique lot configurations, additional parking availability for use of the entire development, and improvements for stormwater detention. To achieve the intent of PUDs for these types of developments, Section 12-3-5(C) of the Zoning Ordinance allows for permitted exceptions to the bulk regulations of the Zoning Ordinance. Due to the unique property characteristics identified above, the petitioner has requested the following exceptions:

- A building height, per the definition of “Building Height” in the Zoning Ordinance, of approximately 59 feet for the proposed hotel where the maximum allowed is 45 feet in the C-3 district.
- An exception to the back-of-curb setback from the southern and eastern edges of the proposed off-street parking lot to the south and east property lines respectively for the new hotel (Section 12-9-6-D); the required setback is 3.5 feet, and the closest back-of-curb setback is 2.07-feet.
 - The petitioner seeks to provide ample room for parking, circulation, and fire truck movements on the new hotel site by reducing the proposed back-of-curb setback.
- An exception to the five-foot perimeter parking lot landscaping area requirement for the proposed hotel parking lot (Section 12-10-8-C).
 - The amount of space available for landscaping is limited behind the southern and eastern parking space rows. However, the petitioner proposes to add a row of landscaping in these areas as well as additional landscaping in the corner of these parking areas and throughout the hotel site.

It is important to note that PUD exceptions were awarded to the subject property in 2019, given that the existing office building was built in 1986 under different zoning regulations, making elements of the property non-conforming. Thus, there is currently a deficit of parking for the existing office building. However, with the addition of the new parking garage, the entire development will have a positive gain on the parking count, which reduces the extent of the request for relief. The attached Parking and Traffic Study discusses the parking and trip generation in more detail (Attachment 5). The parking exception request is explained in the Major Variations section of this report.

Final Plat of Subdivision

Project Description

The petitioner has submitted a revised Final Plat of Subdivision to re-subdivide the existing lots into four new lots to reflect the change in scope for the redevelopment of this property. Here is the proposed new lot configuration:

Final Plat of Subdivision - Lot Matrix

Proposed Lot Number	Proposed/Existing Use	Proposed Land Area	Proposed Acreage
Lot 1	Existing Office Building & Proposed Parking Garage	197,350 SF	4.531
Lot 2	Proposed Hotel	52,774 SF	1.212
Lot 3	Western Billboard	36 SF	0.001
Lot 4	Eastern Billboard	36 SF	0.001

A description of each proposed lot is as follows:

- Lot 1 – The existing office building is currently situated across both of the existing parcels but will be reconfigured on the revised Plat of Subdivision so that Lot 1 includes the entire office building and the proposed parking garage. The petitioner has indicated that a portion of the proposed parking garage will be located on property currently owned by the City of Des Plaines (Webster Avenue right of way), which will need to be vacated/sold to the petitioner so it can be incorporated into Lot 1.
- Lot 2 – The proposed hotel and the proposed surface parking area will be located on a separate lot at the southeast corner of the property. Lot 2 will be reduced to accommodate the new hotel and to create two separate lots for the existing billboards.
- Lot 3 – This lot encompasses the base of the westernmost billboard sign.
- Lot 4 – This lot encompasses the base of the easternmost billboard sign.

Major Variations

Project Description

The petitioner has submitted variation requests for parking and lot depth due to the unique size and shape of the development. The existing office building property contains 392 parking spaces. As part of the development proposal, the petitioner is requesting a major variation to reduce the off-street parking requirement for the existing office building on the new Lot 1 from the required 541 spaces to 338. Pursuant to Section 12-9-7, the proposed hotel requires a total of 110 parking spaces. Since the hotel site on the new Lot 2 will only contain 63 spaces, the petitioner is also requesting a major variation to reduce the parking from 110 spaces to 63 spaces.

Consider that although the office will effectively lose parking spaces to the east because of the hotel, the 207-space parking garage on the northwest corner of the lot would bring the parking total for the entire development to 401 spaces, which is a net gain of nine compared to the current approval from 2019.

Additionally, the petitioner is requesting major variances to reduce the lot depths from 125 feet to six feet for Lots 3 and 4, which entail the base of the

billboards. These requests are a deviation from Subdivision Code Section 13-2-5.R. However, staff does not have a concern with the lot depth variance requests as the lot configuration is for tax purposes. All variation requests are summarized in the table below:

Regulation	Required	Proposed
Parking – Office Building (Lot 1)	541 spaces	338 spaces
Parking – Hotel (Lot 2)	110 spaces	63 spaces
Lot Depth (Lot 3)	125 feet	6 feet
Lot Depth (Lot 4)	125 feet	6 feet

Plat of Vacation

Project Description

The petitioner has submitted a request for the City to vacate approximately 1,821 square feet of unimproved Webster Avenue to accommodate a portion of the proposed deck garage in the northwest portion of the property. The petitioner could not design the garage at its proposed capacity to fit within the property lines. The proposed vacation parcel lies between the property and I-90 (Tollway). This parcel has never been developed and serves as drainage for the Property and the Tollway. If the vacation is approved, the proposed parking garage deck will be designed and constructed on piers spanning a drainage easement. Additionally, the City maintains a sanitary sewer line in the Webster Avenue right-of-way that will remain in a Sanitary Sewer Easement.

Per City Municipal Code Section 8-1-9: Vacation of Public Streets and Alleys, any ordinance to vacate public streets or alleys shall not become effective until fair market value is paid to the City. An appraisal was performed by JMS Appraisal Group, Inc. dated March 24, 2021. The appraisal estimates the value of the proposed vacated portion of Webster Avenue to be \$25,000.

Alignment with the Comprehensive Plan

As found in the City of Des Plaines’ 2019 Comprehensive Plan, there are several parts of the Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Future Land Use Map:
 - The property is marked for commercial land use. The proposed expanded parking garage will further enhance the existing office building property, reduce the existing parking non-conformity, and allow for mixed use development on the site. This will also allow the subject property to support multiple uses in close proximity to transit and the higher density commercial corridor in its immediate vicinity.
- Under Economic Development:
 - The Comprehensive Plan recognizes the economic vitality of the surrounding area and its importance to the broader region. The proposed enhancements of this site would be in-keeping with prior development efforts from the office building.

Findings of Fact

As required, the Planning and Zoning Board (PZB) reviewed the proposed development in terms of the standards in Section 12-3 of the Zoning Ordinance for the various requests. The PZB’s recommendation to approve is based on affirmative findings that the requests meet the required standards. The full comment and rationale for the findings is included in the excerpt to the March 23, 2021 meeting minutes (Attachment 9).

PZB Review: The PZB held a public hearing on March 23, 2021 to consider the requests. The petitioner provided a detailed presentation beginning with the existing site information and previous work completed on the existing office building located on site. He then provided details on the proposed five-story, 107-room hotel and 207-space parking garage that are proposed to be constructed on site in lieu of the Class A restaurant and surface parking lot/bridge over Willow Creek that were approved in Ordinance Z-21-19. Additional site work, including stormwater management and the addition of a new fire hydrant on the proposed hotel lot, were discussed briefly. The petitioner touched on the Final Plat of Subdivision request that entails the resubdivision of the existing property into four new lots, one for the existing office building, new hotel, and the two existing billboards located at the rear of the site. Furthermore, he touched on the major variations for parking and lot depth that are proposed as part of the development, commenting that parking counts for the revised sites containing the existing office building and the new hotel will not meet current code individually, but that the proposed parking garage would provide a net gain of nine parking spaces for the entire property once completed and decrease the existing parking non-conformity. He discussed the KLOA traffic and parking study to justify the request for the parking variations and to conclude that the parking provided on site for this development is sufficient for all uses. The petitioner also stated that a lot depth variation is needed for the two new billboard lots since the Subdivision Regulations require a minimum lot depth of 125 feet, which would not be practical for the two new lots that contain the base of the existing billboards.

PZB members asked about the vacant property across the creek located west of the subject property, if the property owner currently owns that property, and the proposed plans for that property; how the existing available parking on site will accommodate the existing office building during construction; and if a proposed restaurant was still part of plan per the Lot 2 description on the staff report.

Community and Economic Development staff recommended approval of the request with the condition that drawings may have to be amended to comply with all applicable codes and regulations. No one from the public spoke on this request. The Planning and Zoning Board *recommended* (5-0) that the City Council *approve* the request with the one condition found in the staff report.

Recommendation: The PZB forwards its 5-0 recommendation for approval to the City Council. The Council can consider Ordinance Z-44-21 for (i) a Major Amendment to the existing PUD; (ii) a Final Plat of Subdivision; and (iii) Major Variations to allow for the construction of a five-story, 64,760-square-foot hotel at 1700 Higgins Road in lieu of the Class A restaurant approved in Ordinance Z-21-19. If the Council chooses to approve, staff and the PZB recommend a condition that construction drawings be amended, if necessary but still substantially conforming to ordinance exhibits, to comply with all applicable codes and regulations.

Staff also recommends consideration of Z-45-21 to vacate the necessary portion of public right-of-way for the proposed parking garage and to designate the vacated right of way in the C-3 zoning district, which is the same as the subject property.

Attachments:

- Attachment 1: Project Narrative
- Attachment 2: Petitioner’s Responses to Standards
- Attachment 3: Location Map
- Attachment 4: Plat of Survey
- Attachment 5: Parking and Traffic Study without Appendices
- Attachment 6: Turning Radius Diagram
- Attachment 7: Site and Context Photos
- Attachment 8: Chairman Szabo Memo
- Attachment 9: Excerpt of Minutes from the March 23, 2021 Planning and Zoning Board Meeting
- Attachment 10: Rendering of Proposed Hotel

Ordinance Z-44-21

- Exhibit A: Amended Plat of PUD
- Exhibit B: Final Plat of Subdivision
- Exhibit C: Parking Count Exhibit
- Exhibit D: Select Architectural Plans
- Exhibit E: Select Engineering Plans
- Exhibit F: Landscape Plan
- Exhibit G: Electrical and Photometric Site Plans
- Exhibit H: Unconditional Agreement and Consent

Ordinance Z-45-21

- Exhibit A: Plat of Vacation



33 NORTH LASALLE STREET, 28TH FLOOR CHICAGO, ILLINOIS 60602
BRIAN P. LISTON (312) 580-1594 PETER TSANTILIS (312) 604-3808 FACSIMILE (312) 580-1592

March 16, 2021

VIA MAIL & EMAIL

Mike McMahon
Economic Development Coordinator
City of Des Plaines
1420 Miner Street
Des Plaines, Illinois 60016

RE: Development Application Narrative
Mariner Higgins Centre, LLC
1700 W. Higgins Road
Des Plaines, Illinois 60018
PINs: 09-33-310-004; 09-33-309-007-0000

Dear Mike:

Mariner Higgins Centre, LLC (the “Applicant”) is the owner of the property located at 1700 W. Higgins Road, Des Plaines, Illinois 60018 (09-33-310-004-0000; 09-33-309-007-0000). The Applicant is requesting approval from the City of Des Plaines (the “City”) of a Final Planned Unit Development (PUD), a Final Plat of Subdivision and three major variances. Applicant is also requesting that CED staff review and approve the proposed hotel design & user.

The requested Final PUD includes an existing 139,000 square foot commercial building which has recently been renovated, construction of an approximately 64,760 square foot hotel, construction of a new decked parking garage, digitization of a billboard and significant infrastructure and storm-water management upgrades.

Since December of 2018, the Applicant has invested approximately \$3,789,917 for major renovations at the existing office building. One of the largest projects required for the property was a complete elevator modernization which was finished in 2019. The other major project for the office was the installation of a business generator/incubator spaces, with Applicant spending over \$500,000 to construct and furnish the areas. The goal is now having growing companies enter the O’Hare office sub-market and eventually grow into larger spaces within the building. Relatedly, the Applicant has also finished rehabilitating some of its previously vacant suites (450, 300, 680 & 690), replaced the roof, installed new furniture for the common areas, completed work in the corridor, finished remodeling the café, resurfaced the parking lot, installed sidewalks, parking lot LEDs, terrazzo floor, revolving doors and more

Since completion, the Applicant has attracted a number of new tenants to both the generator space and formerly vacant suites. Fi-Tek, LLC is currently working out of generator space 7, with plans to potentially move operations to suite 550 later in 2021. Tech USA also started utilized the generator space while suite 450 was being finished. Chepov & Scott are currently in suite 430 and will also be expanding into suite 440. Physicians Immediate Care is in suite 600 (11,686 SF), and as of early February the Law Offices of Samuel Bae has been set up in generator space 6. The Applicant also has Efrutti under contract to lease suite 680 starting in June 2021. Pre-COVID, employment number for the existing office building were around 250, but currently the number is likely half based on alternating schedules and working from home.

Additionally, the Applicant plans to construct a new 64,760 square foot Homes 2Suites Hotel by Hilton on the subject property, including 63 off street parking spaces, including six (6) ADA spots. Homes2 Suite is a modern mid-scale hotel featuring all suites, focusing on the extended stay traveler. Besides the first, each floor of the hotel will feature 15 queen studios, 6 queen studios (connecting), and one ADA accessible queen studio. The measurement for the highest point of the building is 68' 2 ½". The building materials comply with Section 12-3-11 of the zoning ordinance, and a copy of the materials to be used is included on the Hotel elevation sheets A-4.1 & A-4.2 included in the enclosed packet. The Dumpster Details sheet (SP-2) was erroneously left out of the initial packet, but is now included with the Hotel design documents. Please see the breakdown below for the dimensions for all hotel areas devoted to offices:

- **First Floor Offices**

- Sales Office:
 - Area: 133 Sq. Ft. – Dimensions: 11' 10 13/16 " x 9' 4 ½ "
- Engineer Office:
 - Area: 71.4 Sq. Ft. – Dimensions: 11' 10 13/16 " x 6'
- Manager Office:
 - Area: 112.8 Sq. Ft. – Dimensions 11' x 9' 3 1/8 "
- B.O.H.:
 - Area: 858.5 Sq. Ft.
- Food Prep:
 - Area: 269.4 Sq. Ft.

- **Typical Floor**

- No office sheets for 1.2 through 1.5, but there is a housekeeping room that measures 434.29 Sq. Ft.

Please also see the enclosed fire truck turning exhibits and updated drawings including placement of a new fire hydrant on the east side of the hotel (see sheet UT1). As to trash pickup and disposal, a collection pad is proposed near the ramp of the new parking garage with a trash enclosure is proposed on the east side of the hotel (please see sheet GM1). Construction is planned to begin around mid to late 2021, with completion by mid-2022. The Final PUD or other controlling document will include an easement which allows for shared parking across both lots. The Hotel and Office parking will work synergistically with one another, with office parking demand declining in the afternoon while Hotel parking increases. The parking will be fully open with the exception that priority will be given to the parking spaces on Lot 2 to the Hotel after normal working hours. This will allow the Hotel to utilize the parking directly north for the peak check in hours.

The site currently consists of two parcels which include an existing 139,000 square foot commercial building surrounding by a parking lot on each end. The total land square footage of these two parcels is approximately 230,126 square feet of land. The site currently has 392 parking spaces including 358 outdoor parking spaces, 28 indoor parking spaces, and six handicap parking spaces. According to a study done on April 3rd, 2019, peak parking demand was 136 vehicles (35 percent) occurring at 11:00 A.M. with a surplus of 256 parking spaces. It should be noted that, at the time the parking occupancy survey was conducted, the existing six-story office building had approximately 74,291 square feet of vacant space. In order to determine the parking demand of the fully occupied office building, the parking demand of the vacant space was estimated based on the results of the parking occupancy survey. As a result, the peak parking demand of the fully occupied office building will occur at 11:00 A.M. with a parking demand of 302 spaces.

As a result of the hotel development, the existing office building will be losing 82 parking spots. However, Applicant will be constructing a new 34,658 square foot decked parking garage, with a total gross square footage of 68,290 (including the ground and top tiers). The proposed 207-space parking garage will be replacing the existing surface parking spaces. Overall, the site will provide a total parking supply of 401 spaces, which is a net increase of nine (9) parking spaces over the existing supply.

Stormwater management is required for this project and will be designed to meet Metropolitan Water Reclamation District of Greater Chicago (MWRD) standards. The project is tributary to Willow. The site is currently developed as an office building and surrounding parking lot. The proposed plan consists of a new hotel East of the office building with an underground stormwater vault under the parking lot for detention and volume control. The stormwater vault is sized based on the hotel development area (area disturbed for new hotel). The vault is tributary to an existing sewer on-site that outfalls to Willow Creek. No additional stormwater management is required for areas not disturbed for construction of the hotel.

In addition, a parking garage is proposed northwest of the existing office building with an underground stormwater vault under the parking garage for detention and volume control. The stormwater vault is sized based the parking garage development area (area disturbed for new parking garage). The vault is tributary to an existing sewer on-site that outfalls to Willow Creek. No additional stormwater management is required for areas not disturbed for construction of the garage.

The Applicant is also requesting three major variances. The first variances request is for Lot 3 and 4 to reduce the 125' lot depth requirement to 6' pursuant to 13-2-5-R of the subdivision regulations. Second, Applicant requests a variance for Lot 1 to reduce the parking requirement from 541 spaces to 338 spaces pursuant to 12-9-7 of the zoning ordinance. The third and final variance request is to reduce the parking requirement from 110 spaces to 63 spaces on Lot 2, pursuant to 12-9-7 of the zoning ordinance.

The total projected parking demand of the overall site was calculated adding the projected parking demand for the proposed hotel to the projected parking demand of the office building assuming full occupancy. It should be noted that in order to provide for a conservative analysis, the highest hourly parking demand for each land use was utilized (City of Des Plaines Code for the all-suites hotel and ITE rates for the office building). Table 7 below of the enclosed KLOA Traffic/Parking Study shows the total projected hourly parking demand for the site. A review of Table 7 indicates that the projected peak parking demand for the overall site will be 363 vehicles (91 percent occupancy) occurring at 10:00 A.M. with a surplus of 38 parking spaces. Therefore, the results of the parking evaluation show that the proposed parking supply of 401 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses.

Table 7
WEEKDAY TOTAL PROJECTED PARKING DEMAND

Time	Office ¹	Hotel ²	Total	Surplus	Percent Occupancy
5:00 AM	4	95	99	302	0.25
6:00 AM	20	95	115	286	0.29
7:00 AM	65	87	152	249	0.38
8:00 AM	181	77	258	143	0.64
9:00 AM	282	76	358	43	0.89
10:00 AM	312	51	363	38	0.91
11:00 AM	314	44	358	43	0.89
12:00 PM	275	31	306	95	0.76
1:00 PM	275	32	307	94	0.77
2:00 PM	290	27	317	84	0.79
3:00 PM	273	36	309	92	0.77
4:00 PM	251	46	297	104	0.74
5:00 PM	161	41	202	199	0.50
6:00 PM	51	43	94	307	0.23
7:00 PM	28	39	67	334	0.17
Proposed Parking Supply: 401 spaces					
1 – Hourly parking demand based on ITE rates at full occupancy					
2 – Hourly parking demand based on City of Des Plaines Code					

The Applicant is requesting the City's approval of the attached Final Plat of Subdivision. The proposed subdivision seeks to re-subdivide the existing lots into five new lots to reflect the redevelopment of this property:

<u>Proposed Lot Number</u>	<u>Proposed/Existing Use</u>	<u>Proposed Land Area</u>
Lot 1	Office/Garage	179,154 SF
Lot 2	Hotel	52,774 SF
Lot 3	Billboard	36 SF
Lot 4	Billboard	36 SF

The office building is currently sited on across both existing parcels, but is being reconfigured on the Plat so that the Eastern boundary of existing Parcel #1 will be extended further to include the entirety of the office building. The decked parking garage will be constructed to the North-West of the office building on existing Parcel #1. A portion of the garage will be located within the Webster Avenue Tollway owned by the City of Des Plaines. Said portion is being vacated/sold to the Applicant to incorporate it into the new proposed Lot 1. Once the PUD has been submitted and recorded, the office and decked parking site will be on a single parcel.

The area of land to become Proposed Lot 2 is located on current Parcel #2, and will be the site of a new 64,760 square foot hotel. The exterior color and building materials for the future hotel building will complement the existing office building and comply with the Building Design Standards in the Zoning Ordinance. The Applicant is under contract with a hotel developer, with plans to begin construction of the Hotel mid to late 2021. Lastly, Proposed Lots 3 and 4 encompass the base of the two billboards, with Lot 3 encompassing the westernmost billboard and Lot 4 encompassing the easternmost billboard.

Ultimately, the Applicant requests that the City of Des Plaines approve of the proposed Final PUD, Final Plat of Subdivision, zoning variances and approval of the Hotel user. Should you need any additional documentation or have any questions or concerns, do not hesitate to contact me at (312) 604-3898.

Best Regards,



Mark Rogers

STANDARDS FOR PLANNED UNIT DEVELOPMENTS

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Planned Unit Development in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly.

Project: 1700 W. Higgins Road

1. **The extent to which the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations set forth in subsection A of this section;**

Response: The proposed plan is consistent with the planned unit development regulations listed in subsection A. This plan would not be possible under the strict application of other sections as this development has many unique features, such as being located on and along Willow Creek, the fact that the development encompasses both existing buildings and proposed new ones, and the general size of the development. The current plan proposes a new decked parking garage to the North-West of the existing office building to support both the office and the newly proposed Hotel. Not only will the project add a new revenue generating hotel, but will also increase the net number parking spaces at the Subject Property by nine (9).

2. **The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations;**

Response: The proposed plan meets all the requirements and standards of the PUD regulations in section 12-3-5. The plan is allowable in both C-2 and C-3 zoning districts, and it meets the minimum size of two (2) acres for said districts. The Final PUD will be under single ownership.

3. **The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are or are not deemed to be in the public interest;**

Response: The proposed plan departs from the regulations only slightly. The existing office building at the Subject Property was constructed in 1986, before the C-2 and C-3 zoning districts were in existence. Once introduced the zoning districts made some components of the existing property non-conforming.

Identified exceptions include a building height exception of 72 feet, an exception to the back of curb setback from the northern edge of the existing off street parking lot to the north property line (the required setback is 3.5 feet and the closest back of curb setback is .8 feet.), an exception to the seven-foot perimeter parking lot landscaping area requirement, and an exception to the seven foot perimeter parking lot landscaping area requirement for the existing parking lot.

The building height and seven foot perimeter parking lot landscaping area requirements were introduced after the office building was developed as mentioned above, and its departure from the regulations will have no effect on the public interest as Applicant is only looking to protect the building with a PUD exception. The proposed plan will not be detrimental to surrounding properties, and will only serve to increase public safety and accessibility by adding additional parking for the development.

- 4. The extent to which the physical design of the proposed plan does or does not make adequate provision for public services, provide adequate control over vehicular traffic, provide for and protect designated common open space, and further the amenities of light and air, recreation and visual enjoyment;**

Response: The physical design on the proposed plan makes adequate provisions for public services, control of vehicular traffic, common open space and furthers the amenities of light, air, recreation and visual enjoyment.

A shared access and parking easement is noted on the plat or other controlling document allowing said tenants, guests and patrons to share parking on each of the new lots. An easement for the air/billboard overhand rights is also listed on the face of the plat, allowing the billboard faces to cross over their respective lots and project onto the proposed Lot 1. The plan also furthers the amenities of light, air and visual enjoyment through the installation of new signage, updated landscaping, and the substantial rehabilitation of the existing office building.

- 5. The extent to which the relationship and compatibility of the proposed plan is beneficial or adverse to adjacent properties and neighborhood;**

Response: The plan is compatible with the current conditions and the overall character of existing development in the immediate vicinity as the properties to the west across the Canadian National Railroad. Further, the property to the southwest in Rosemont is zoned for

commercial uses and has similar characteristics as the proposed development: mixed use commercial and office space. The plan is also beneficial to adjacent properties and neighborhood as proposed businesses and Hotel will cater to the O'Hare Airport travelers, local residents, nearby works and motorists traveling on Mannheim Road and the Tollway. The plan will also be beneficial by generally increasing the economic activity of the development through the addition of the 64,760 square foot Hotel.

The substantial rehabilitation of the existing office and the planned landscaping will also further the visibility of the development, and eventually lead to a higher tax base resulting from the improved building, new decked parking garage, and hotel.

6. The extent to which the proposed plan is not desirable to the proposed plan to physical development, tax base and economic well-being of the entire community; and

Response: Applicant does not believe the proposed plan will be undesirable to physical development, tax base, and economic wellbeing of the entire community. As mentioned above, the proposed plan will substantially increase the amount of taxes generated at the property, will beautify the area and its surrounds, bring in new business to the City, and otherwise increase the economic activity in the area from hotel patrons and employees.

7. The extent to which the proposed plan is not in conformity with the recommendations of the comprehensive plan

Response: The proposed plan is in conformity with the recommendations of the comprehensive plan. The 2019 City of Des Plaines Comprehensive Plan designates the area as Commercial. "Commercial areas include retail, office, and service-oriented uses that primarily service day-to-day needs of local residents." See page 12 of Des Plaines Comprehensive Plan. The proposed commercial development plans for a hotel to be located to the east of the existing office building commonly known as 1700 Higgins Centre. The proposed hotel will further Des Plaines Economic Development goal to "enhance existing commercial and industrial areas and expand employment opportunities." See page 7 of Des Plaines Comprehensive Plan. The proposed development will take advantage of area to the North-West of the existing office building to construct a new deck parking garage to service not only the office, but the proposed Hotel to the East. This garage will open up more space to be developed on the existing site for the proposed hotel and enhancing the commercial area along Higgins Road.

STANDARDS FOR VARIATIONS

In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each). Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

Requested Variations:

- Variation request for Lot 1 to reduce the parking requirement from 541 spaces to 338 spaces pursuant to 12-9-7 of the zoning ordinance
- Variation request for Lot 2 to reduce the parking requirement from 115 spaces to 63 spaces pursuant to 12-9-7 of the zoning ordinance.
- Variation request for Lot 3 and Lot 4 to reduce the 125' lot depth requirement to 6' pursuant to 13-2-5-R of the subdivision regulations.

-
1. **Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

Response: Proposed Lot 1 will encompasses the 135,204 sq. ft. office building and the proposed decked parking garage. The office building currently has off street parking in the amount of 359 (including 28 interior parking spaces) whereas 12-9-7 of the zoning ordinance requires a total of 541 off street parking spaces. Due to the nature of the development, the presence of the floodplain/Willow Creek, and age of the office building, 541 off street parking spaces is not feasible in this location. Lot 2 will contain the proposed 64,760 square foot restaurant and 63 off-street parking spots. Similar to the issue above, zoning ordinance section 12-9-7 requires 1 spot per guest room and an additional spot for every 200 square feet of office space, resulting in 110 required spaces. In order to alleviate the parking deficit, The Applicant will construct a new 34,658 square foot decked parking garage, with a total gross square footage of 68,290 (including the ground and top tiers). The proposed 207-space parking garage will be replacing the existing surface parking spaces. Overall, the site will provide a total parking supply of 401 spaces, which is a net increase of nine (9) parking spaces over the existing supply.

According to the KLOA's traffic and parking study (see figure 7), the projected peak parking demand for the overall site will be 363 vehicles (91 percent occupancy) occurring at 10:00 A.M. with a surplus of 38 parking spaces. Therefore, the results of the parking evaluation show that the proposed parking supply of 401 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses.

The variance request for Lots 3 and 4 to reduce the required lot depth from 125' to 6' is necessary to protect the billboard monopoles that are already erected and in place. This PUD and Plat simply created a separate lot for each of the existing monopoles. Applicant is not proposing any additional work or changes to the billboards, but rather to protect the existing monopole with the proposed PUD variance. Without the variance, the Applicant will not be able to complete the development as planned; a lot depth of 125' for a monopole is not feasible.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

Response: The Subject Property is exceptional mainly due to the location of the lots on and around Willow Creek. The location of the lots in relation to the creek make construction around the area extremely difficult, requiring a storm-water management facility and permission from multiple agencies. Applicant has done the above due diligence, and will be constructing a new 207 space decked parking garage to remedy lost parking spots from the proposed Hotel. Additionally, the unique lot configuration (existing and proposed new buildings within the same development), in conjunction with the new parking garage servicing multiple parcels in the development, make the deficit on these lots more than a mere inconvenience or personal situation of the owner.

As to the Lots 3 & 4, they are exceptional in the fact that they are not 'normal' lots intended for building construction. Lots 3 & 4 are 36 square feet each, and include only a billboard monopole. It would not be prudent or possible to remove the billboards and increase the lot depth by 119' for a simple monopole. The billboards already exist, and this variance is simply to allow each to become its own Lot.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Response: The unique physical conditions of these lots is not the result of inaction of the current owner or predecessor in title as the uniqueness derives mostly from the topographical features of the site. Additionally, at the time the development was created, the C-2 & C-3 Limited Office Commercial District did not exist. Once the zoning district was introduced, it made some components of the property non-conforming. The billboards on proposed lot 3 and 4 existed prior to this proposed plan, and Applicant is only looking to put each billboard monopole on its own Lot.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Response: Carrying out the strict letter of the provision would deprive owner the opportunity to develop the project as proposed, as it is not physically possible to add additional off-street parking on the proposed Lot 1 & 2 beyond what is proposed due to the nature of the existing building and improvements. In order to remedy these deficiencies, Applicant is to construct a new parking garage on proposed Lot 1, which will support 207 off street parking spaces. Without these variations, the development could not move forward; the existing office building would stay as-is, and the hotel as proposed could not be constructed.

As to the lot depth variances, carrying out the strict letter of the provision would force Applicant to remove the currently existing monopoles and increase lot depth by 119', simply to reinstall a single monopole. Apart from being ineffective and expensive, it may be physically impossible due to the nature of the existing improvements.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.**

Response: The deficit in parking is not merely the inability of the owner to enjoy special privileges, but rather the inability of the site to support the necessary parking. Applicant has shown that it is willing to cooperate with the Village to create additional off street parking to help remedy the deficit. Similarly, the variance to the lot depths is not merely the inability of the owner to enjoy special privileges, but a necessity due to the nature of the existing improvements.

- 6. Title and Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.**

Response: The variance will not alter the intent, use or development of the comprehensive plan, as the actual use of the development will not change. Rather, the Applicant is proposing a new parking garage to help remedy the parking deficit and to minimize the effect of the variance. The variance and new lot will be in harmony with the development, and will assist further development on other parcels due to the shared parking easement. The proposed development will take advantage of area to the North-West of the office building to develop a new parking garage to remedy the spots lost due to the Hotel. This shift will open up more space to be developed on the existing site for the proposed Hotel and enhancing the commercial area along Higgins Road. The proposed Hotel will further Des Plaines Economic Development goal to “enhance existing commercial and industrial areas and expand employment opportunities.” See page 7 of Des Plaines Comprehensive Plan. The lot depth variances will have no effect on the general purpose and intent on the comprehensive plan other than being an item for which the development depends on.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Response: To Applicant’s knowledge, there is no other means other than the requested variation and proposed new parking garage to avoid the requirements of 12-9-7 of the zoning ordinance. The proposed parking garage will include 207 off street parking spots, which can be utilized by each of the development’s tenants, and will remedy or greatly decrease the effect of the parking deficit.

As mentioned previously, there is also no other feasible remedy other than a variation to the lot depth. Due to the nature of the existing billboards and improvements, it is neither prudent nor possible to increase the lot depth by 119’ for billboard monopoles.

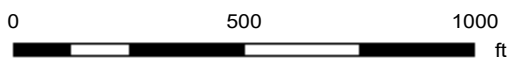
- 8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Response: The requested variation is the minimum measure of relief necessary to alleviate the parking deficit that currently exists. Applicant has only requested the amount of parking spots that currently exist be granted a variance on Lot 1. As to Lot 2, there is not enough physical space to fit over 100 spots. To remedy the potential effects of the variance, Applicant will build a new parking garage with 207 off street parking spots for

use by all patrons and employees of the development. Likewise, Applicant is only asking that the lot depth for the currently existing billboards be granted a variance to continue as currently configured.



Legend

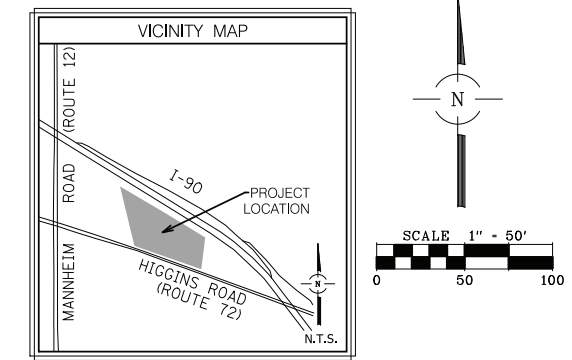


Print Date: 3/17/2021

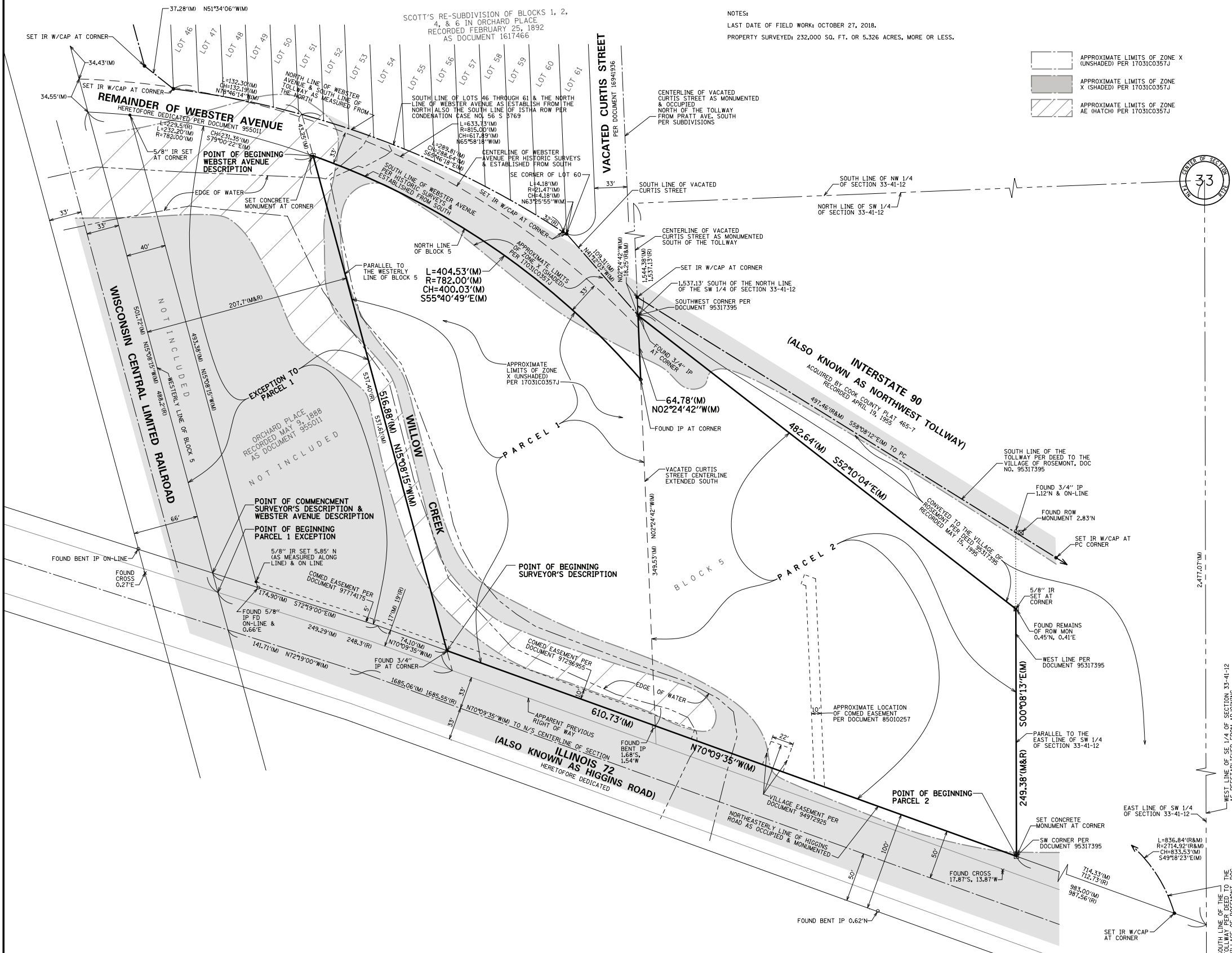
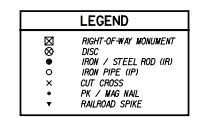
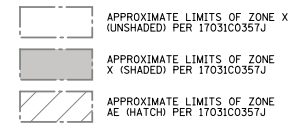
Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

PLAT OF SURVEY



NOTES:
 LAST DATE OF FIELD WORK: OCTOBER 27, 2018.
 PROPERTY SURVEYED: 232,000 SQ. FT. OR 5.326 ACRES, MORE OR LESS.



PROPERTY DESCRIPTION (PER TITLE COMMITMENT NUMBER/FILE NO.): NCS-931718-MKE#

PARCEL 1:
 BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE NORTH LINE OF SAID BLOCK 5; THENCE WESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
 COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
 THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #189, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1988 AS DOCUMENT NUMBER 955011;
 THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2011), NAD83 (2011) ADJUSTMENT, ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.90 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.10 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
 THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED CURVE, HAVING A RADIUS OF 1782.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 26, 1892 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 55 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, 482.64 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT A CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG A WESTERLY LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER OUT-TO-TO DEED RECORDED MAY 15, 1995 AS DOCUMENT NUMBER 95317395; THENCE NORTH TO DEGREES 09 MINUTES 35 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S NOTES:
 NO DOCUMENTS WERE PROVIDED FOR THE DEDICATION OR CONVEYANCE OF HIGGINS ROAD, A REQUEST WAS MADE TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE VILLAGE OF ROSEMONT, THE CITY OF DES PLAINES, AND THE TITLE COMPANY WITH NO SUCCESS. THE RIGHT OF WAY OF HIGGINS ROAD IS SHOWN BASED ON PREVIOUS SURVEYS, AS OCCUPIED AND TAX MAPS.

NOTES:
 THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
 PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18 BOOK #189, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE: 13335.PDF

AN AMBIGUITY EXISTS WITH THE WIDTH AND LOCATION OF WEBSTER AVENUE, THE SOUTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM HISTORIC SURVEYS, MONUMENTS AND OCCUPATION, THE NORTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM THE EXISTING SUBDIVISION TO THE NORTH OF THE TOLLWAY AS MONUMENTED AND OCCUPIED, THE RECORD WIDTH OF WEBSTER AVENUE IS 66 FEET WIDE, IN REALITY, BASED ON MONUMENTATION FOUND AND OCCUPATION THE MEASURED WIDTH IS MUCH LESS. THIS SURVEYOR CAN NOT RESOLVE OR EXPLAIN HOW THIS AMBIGUITY HAS OCCURRED OVER THE LAST 133 YEARS.

STATE OF ILLINOIS)
 COUNTY OF COOK) SS

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 15TH DAY OF JANUARY, 2021 IN ROSEMONT, ILLINOIS.

C. Brian Lounsbury
 C. BRIAN LOUNSBURY, I.P.L.S., No. 035-2841
 LICENSE EXPIRES: 11-30-2022






(VALID ONLY IF EMBOSSED SEAL AFFIXED)
 COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.

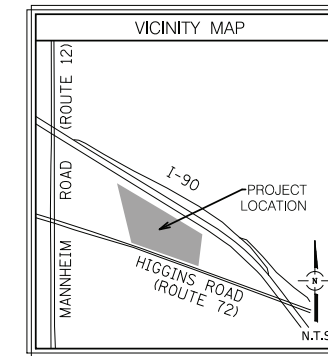
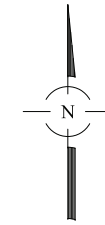
PREPARED FOR & OWNER:
 ANDREW SAUNDERS
 QUATTRO ASSET MANAGEMENT
 GPO BOX 4358
 SYDNEY NSW 2001

REVISIONS:		CONSULTING ENGINEERS	DATE: 01/15/2021
		SITE DEVELOPMENT ENGINEERS	JOB NO: 8779.02
		LAND SURVEYORS	FILENAME: 8779.02SUR-01
			SHEET 1 OF 2












































9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

PLAT OF SURVEY

-  APPROXIMATE LIMITS OF ZONE X (UNSHADED) PER 1703IC0357J
-  APPROXIMATE LIMITS OF ZONE X (SHADED) PER 1703IC0357J
-  APPROXIMATE LIMITS OF ZONE AE (HATCH) PER 1703IC0357J



LEGEND

- | | |
|---|---------------------------------|
|  | STORM SEWER |
|  | SANITARY SEWER |
|  | COMBINED SEWER |
|  | WATER MAIN |
|  | GAS MAIN |
|  | UNDERGROUND TELEPHONE LINE |
|  | UNDERGROUND ELECTRIC LINE |
|  | UNDERGROUND CATV LINE |
|  | OVERHEAD WIRES ON UTILITY POLES |
|  | FIBER OPTIC LINE |
|  | RAILROAD |
|  | FENCE |
|  | QUADRANGLE |
|  | EDGE OF WATER |
|  | WATERLAND LIMITS |
|  | SANITARY MANHOLE |
|  | STORM MANHOLE |
|  | CATCH BASIN |
|  | MANHOLE |
|  | FLARED END SECTION |
|  | ELECTRIC MANHOLE |
|  | TELEPHONE MANHOLE |
|  | TELEPHONE UPRIGHT |
|  | ELECTRIC UPRIGHT |
|  | CABLE TV UPRIGHT |
|  | FIRE HYDRANT |
|  | VALVE AND VAULT |
|  | WATER VALVE |
|  | AIR VALVE |
|  | AUXILIARY VALVE |
|  | STEEL |
|  | GAS VALVE |
|  | HAND HOLE |
|  | STREET LIGHT |
|  | UTILITY POLE |
|  | TRAFFIC SIGNAL |
|  | TRAFFIC SIGNAL BOX |
|  | SPRINKLER HEAD |
|  | BOLLARD |
|  | MANHOLE |
|  | SIGN |
|  | UNIDENTIFIED MANHOLE |
|  | ARCH OF WAY MONUMENT |
| | DIKE |
| | IRON |
| | STEEL ROD |
| | IRON PIPE |
| | COT CROSS |
| | PKY MAG NAIL |
| | RAILROAD SPIKE |
| | SOIL BORING |
| | BACK OF CURB |
| | BACK OF CURB CORNER |
| | BUILDING CORNER |
| | CENTER |
| | EDGE OF CONCRETE CORNER |
| | EDGE OF GRAVEL CORNER |
| | GUARD RAIL |
| | LIGHT POLE |
| | LP |
| | T PED |
| | TSB |
| | WALL |
| | WALL CORNER |
| | ASPHALT |
| | CONCRETE |
| | GRAVEL |

PREPARED FOR & OWNER:
ANDREW SALINDERS
QUATTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

REVISIONS:



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 01/15/2021
JOB NO: 8779.02
FILENAME:
8779.02SUR-01
SHEET
2 OF 2

Traffic and Parking Impact Study Proposed Hotel

Des Plaines, Illinois



Prepared For:



February 11, 2021

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic and parking impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed hotel to be located at 1700 W. Higgins Road in Des Plaines, Illinois. As proposed, the 107-room hotel will occupy an outlot parcel within the parking lot that serves the existing office building. A new 207-space parking garage is also proposed on the west side of the existing office building and will replace existing surface parking spaces. Access will continue to be provided via the existing access drive that is signalized at its intersection with Higgins Road.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed hotel.

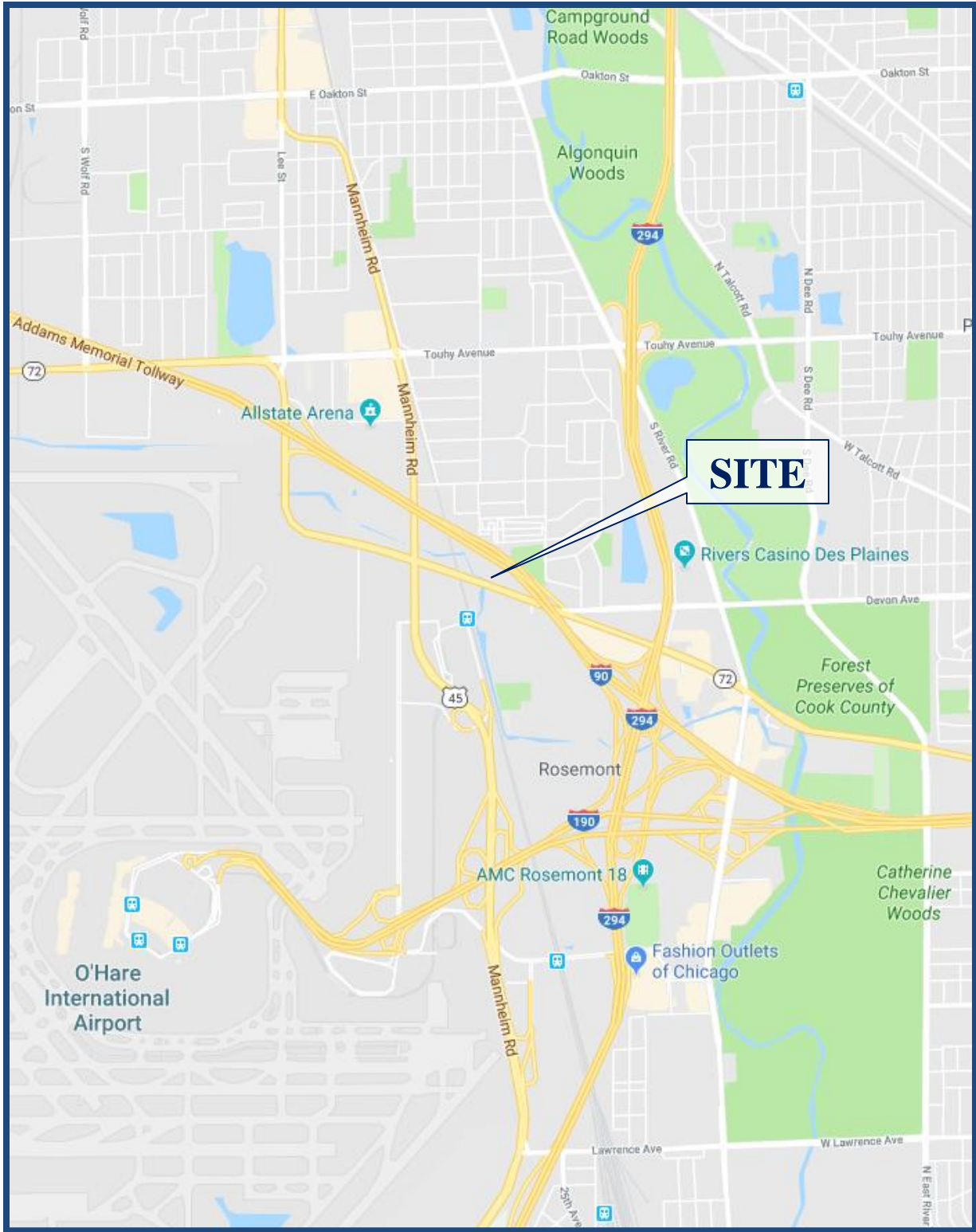
Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed hotel
- Directional distribution of the hotel traffic
- Vehicle trip generation for the proposed hotel
- Future traffic conditions including access to the proposed hotel
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system
- Evaluation of the parking needs of the office building and the proposed hotel

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Condition - Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Future Condition – Analyzes the projected traffic volumes which includes the existing traffic volumes increased by an ambient area growth factor (growth not attributable to any particular development) and the traffic estimated to be generated by the proposed hotel.



Site Location

Figure 1



Aerial View of Site

Figure 2

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

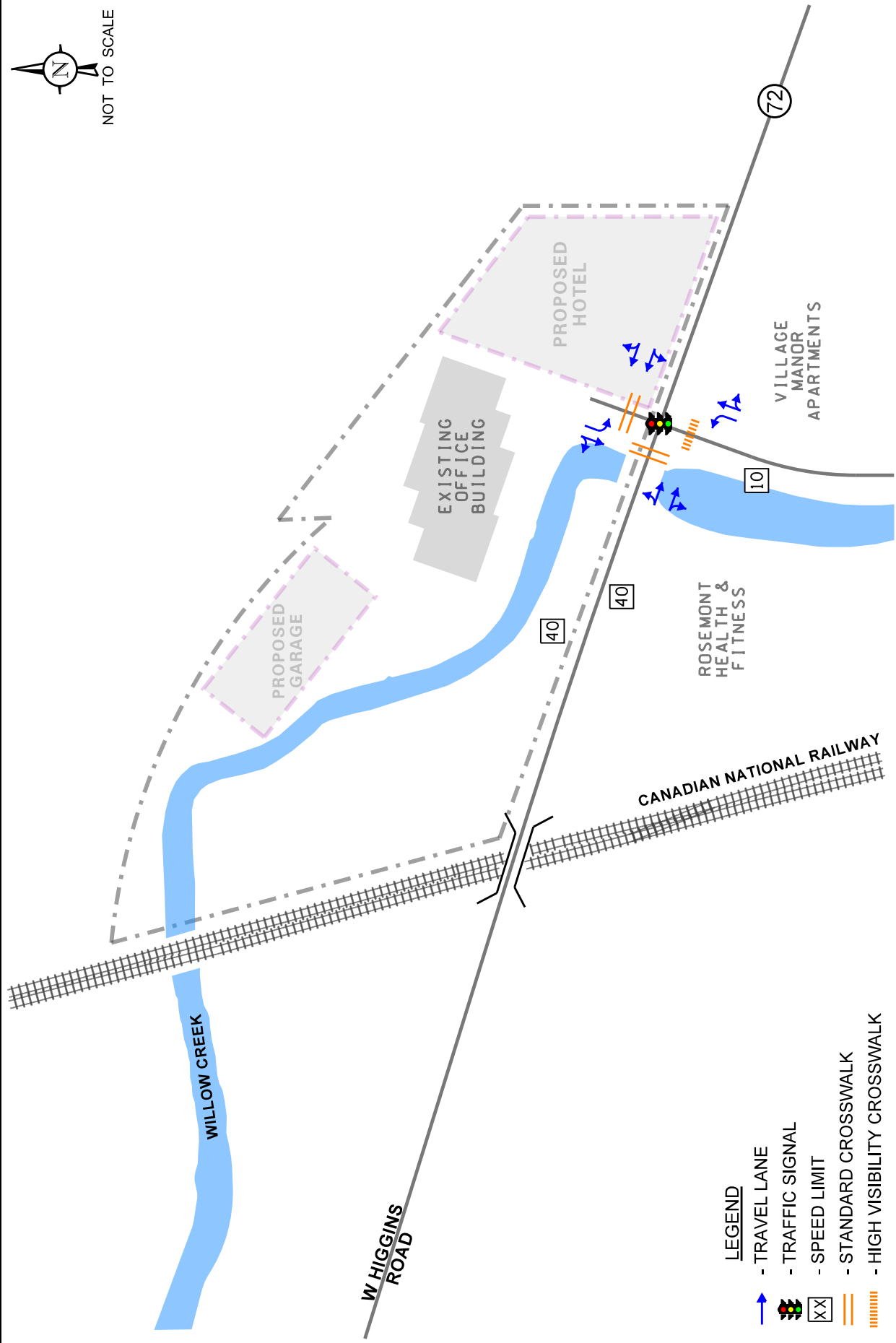
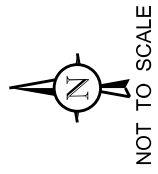
The site, which is currently occupied by a six-story, 135,204 square-foot office building, a 392-space parking lot, and vacant land, is located east of the Canadian National Railway tracks at 1700 West Higgins Road. Land uses in the vicinity of the site include Rosemont Health & Fitness to the south, a park to the east, the Canadian National Railway tracks to the west, and Interstate 90 (I-90) to the north.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

Higgins Road (IL 72) is an east-west minor arterial that provides two through lanes in each direction. At its signalized intersection with the access drive serving Rosemont Health & Fitness and the access drive serving the existing office building, Higgins Road provides a combined through/left-turn lane and a combined through/right turn lane on both approaches. Additionally, Higgins Road provides a standard style crosswalk on the west leg of this intersection. Higgins Road is under the jurisdiction of the Illinois Department of Transportation (IDOT), is not classified as a Strategic Regional Arterial (SRA) in the vicinity of the site, carries an annual average daily traffic (AADT) volume of 23,900 vehicles (IDOT 2017), and has a posted speed limit of 40 miles per hour.

It should be noted that the access drive serving Rosemont Health & Fitness and the access drive serving the existing office building provide an exclusive left-turn lane and a combined through/right-turn lane on their approaches at their signalized intersection with Higgins Road. Additionally, the existing office building access drive and the Rosemont Health & Fitness access drive provide a standard style crosswalk on the north leg and a high-visibility crosswalk on the south leg of this intersection. Furthermore, the traffic signal is interconnected to the adjacent traffic signals at Mannheim Road to the west and Scott Street to the east.



- LEGEND**
- TRAVEL LANE
 - TRAFFIC SIGNAL
 - SPEED LIMIT
 - STANDARD CROSSWALK
 - HIGH VISIBILITY CROSSWALK

Existing Roadway Characteristics

Proposed Hotel
Des Plaines, Illinois

Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts using Miovision Scout Video Collection Units on Wednesday, April 3, 2019 during the weekday morning (7:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:00 P.M.) peak periods at the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site.

The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:30 A.M. to 8:30 A.M. and the weekday evening peak hour of traffic occurs from 4:45 P.M. to 5:45 P.M. **Figure 4** illustrates the existing peak hour traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.

Crash Analysis

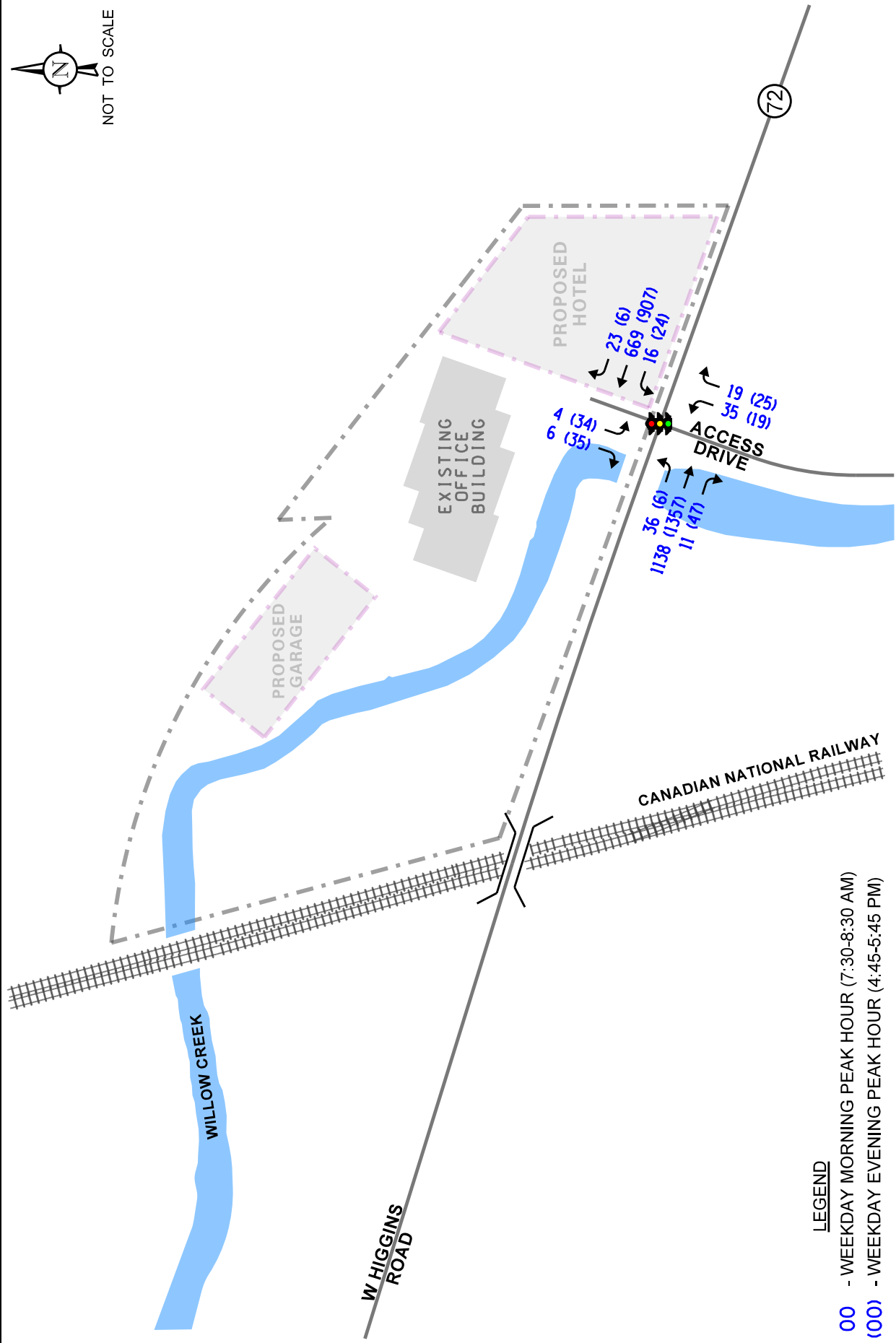
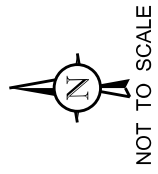
KLOA, Inc. obtained crash data¹ from IDOT for the most recent available five years (2013 to 2017) for the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site. The crash data for this intersection is summarized in **Table 1**. A review of the crash data indicated that no fatalities were reported at this intersection.

Table 1

HIGGINS ROAD WITH ROSEMONT HEALTH & FITNESS CLUB – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Pedestrian	Object	Rear End	Sideswipe	Turning	Other	
2013	0	0	0	2	0	2	0	4
2014	0	0	0	3	0	5	0	8
2015	1	0	1	0	0	1	0	3
2016	1	0	0	0	0	2	0	3
2017	<u>0</u>	<u>0</u>	<u>0</u>	<u>3</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>3</u>
Total	2	0	1	8	0	10	0	21
Average	<1.0	0	<1.0	1.6	0	2.0	0	4.2

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



LEGEND
 00 - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
 (00) - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Existing Traffic Volumes

Proposed Hotel
 Des Plaines, Illinois

3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

As proposed, the 107-room hotel will occupy an outlot parcel within the parking lot that serves the existing office building. In addition, approximately 63 parking spaces will serve the hotel. A new 207-space parking garage is also proposed on the west side of the existing office building and will replace existing surface parking spaces. Access to the site will continue to be provided via the existing access drive that is signalized at its intersection with Higgins Road. A copy of the preliminary site plan depicting the proposed development and access is included in the Appendix.

Directional Distribution

The directions from which patrons and employees of the proposed hotel will approach and depart the site, as determined from the traffic counts, indicate that approximately 40 percent will approach and depart the site from the east and approximately 60 percent will approach and depart the site from the west.

Estimated Site Traffic Generation

The volume of traffic generated by the proposed hotel was estimated using data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 10th Edition. “All Suites Hotel” (Land-Use Code 311) was used for the proposed hotel. It should be noted that the existing 135,204 square-foot office building contains 74,291 square feet of vacant space. The “General Office Building” (Land-Use Code 710) was used for the vacant space that will be converted into office uses. **Table 2** tabulates the estimated trips for the proposed hotel as well as the full occupancy of the vacant space within the office building. The trip rate graphs are included in the Appendix.

Table 2
ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily
		In	Out	Total	In	Out	Total	
311	All Suites Hotel (107 rooms)	19	17	36	19	20	39	477
710	General Office Building ¹ (74,291 s.f.)	83	13	96	14	72	86	724
Total New Trips		102	30	132	33	92	125	1,201

¹ Vacant office space

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

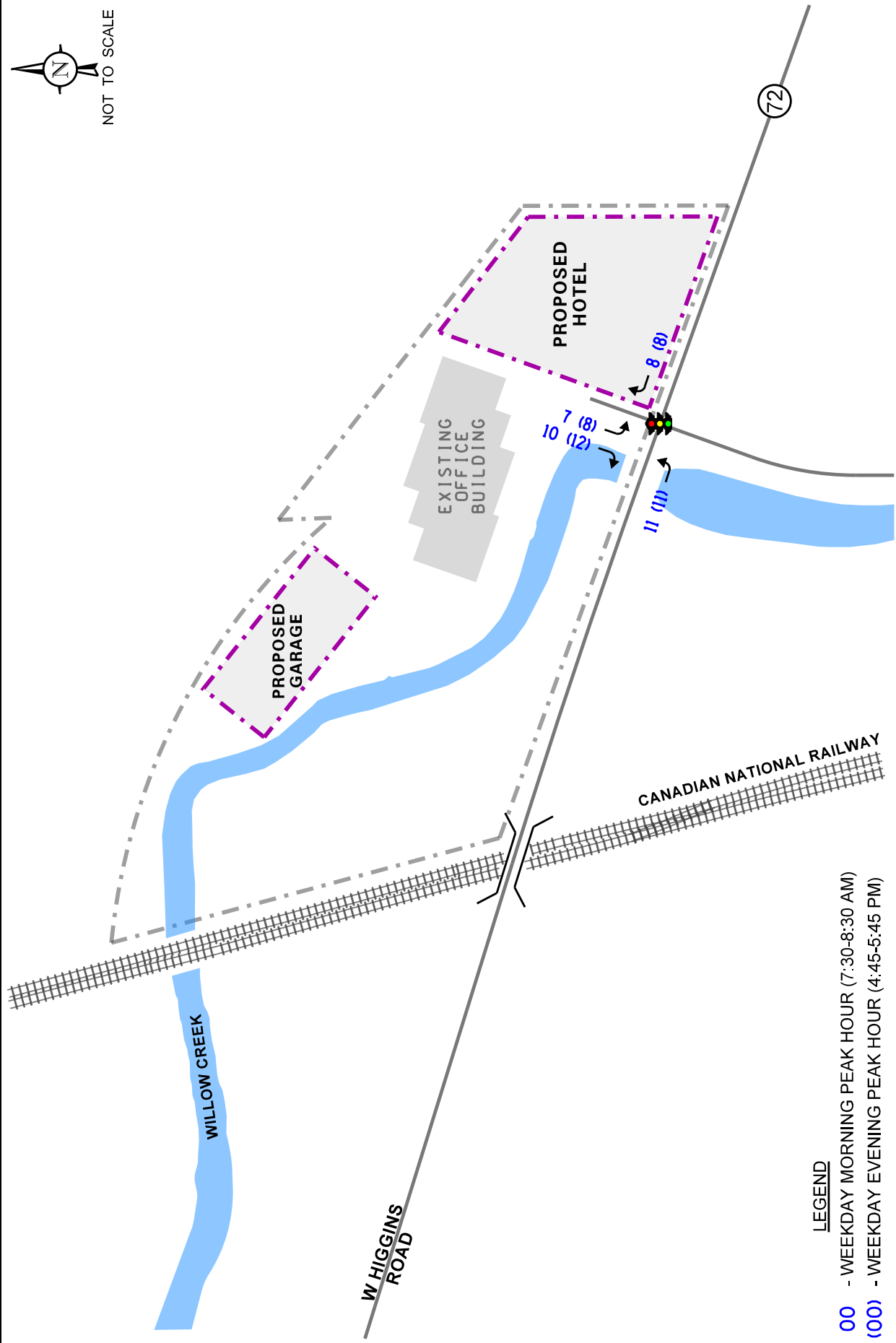
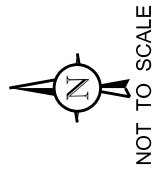
The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed hotel and full occupancy of the office building were assigned to the roadway system in accordance with the previously described directional distribution. The site traffic assignment for the proposed hotel is illustrated in **Figure 5** and the total site traffic assignment for the hotel and the full occupancy of the office vacant space is illustrated in **Figure 6**.

Background Traffic Conditions

The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on 2050 Average Daily Traffic (ADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated April 24, 2019, the existing traffic volume were increased by an annually compounded growth rate for eight years (one-year buildout plus seven years) totaling four percent to represent Year 2027 total projected conditions. A copy of the CMAP 2050 projections letter is included in the Appendix.

Total Projected Traffic Volumes

The development-generated traffic (Figure 6) was added to the existing traffic volumes increased by a regional growth factor to determine the Year 2027 total projected traffic volumes, as illustrated in **Figure 7**.

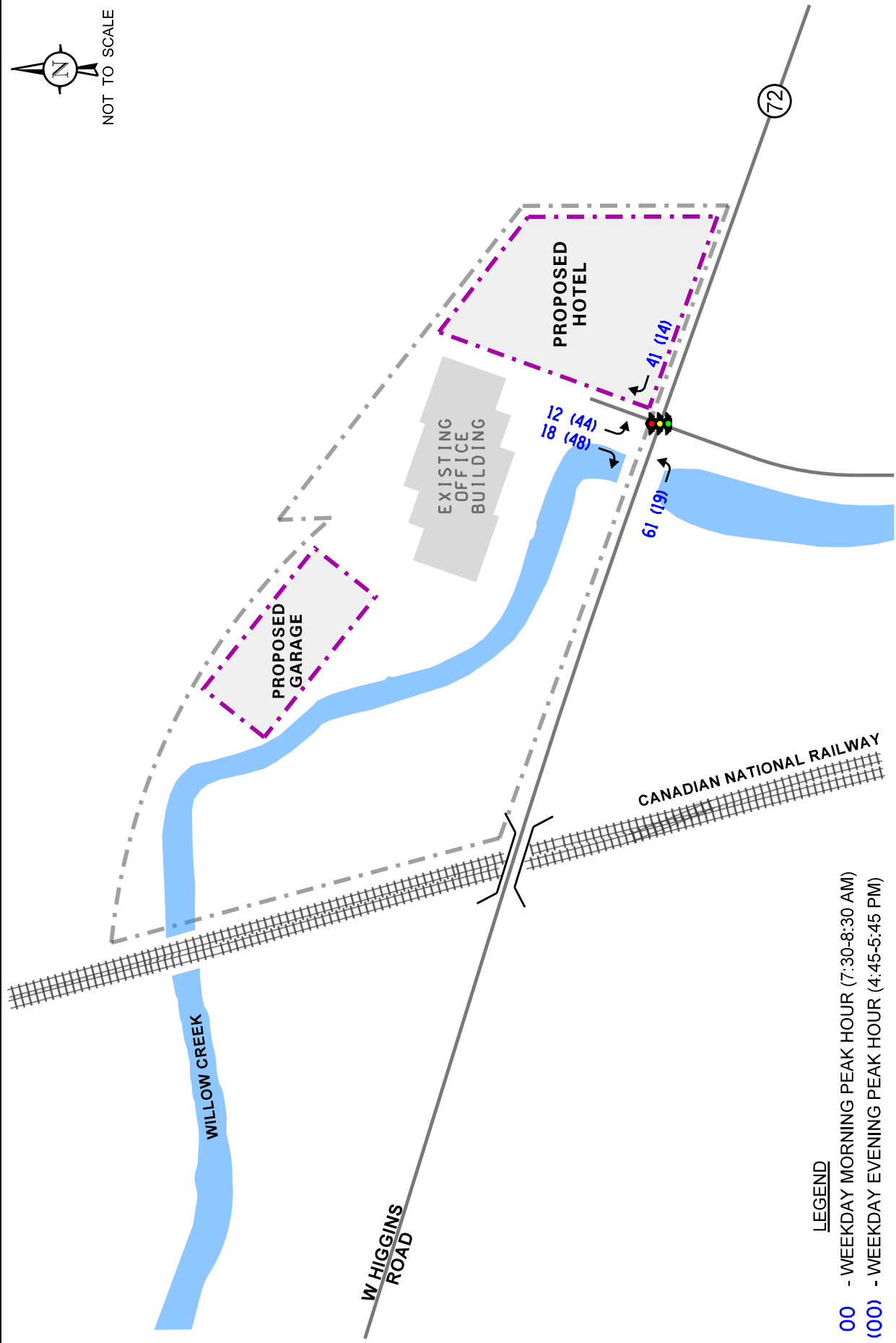
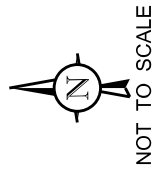


LEGEND

- 00** - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
Des Plaines, Illinois

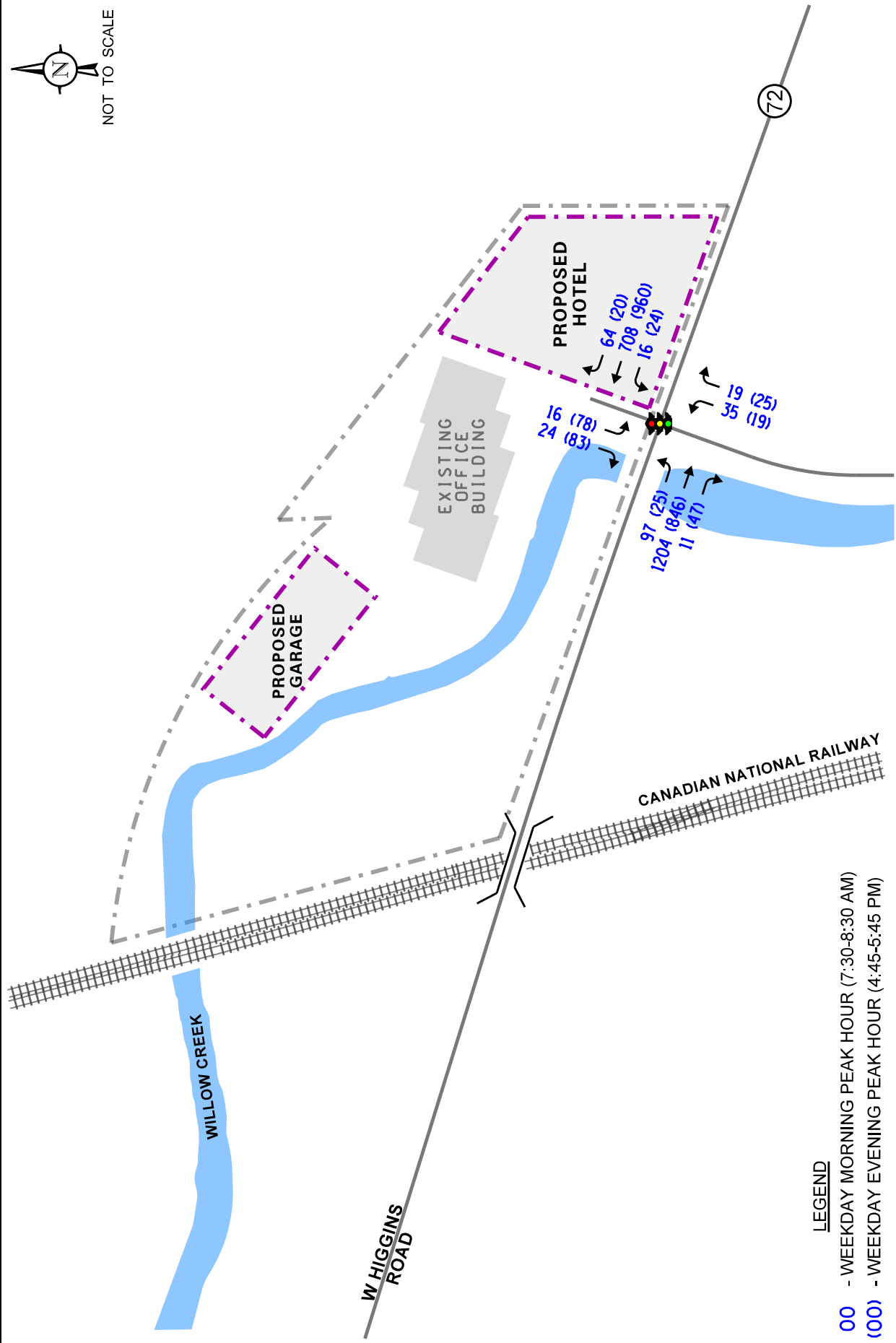
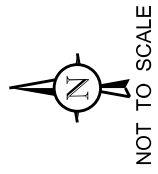
Estimated Site-Generated Traffic Volumes
(Hotel)



LEGEND
 00 - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)
 (00) - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
 Des Plaines, Illinois

Estimated Total Site-Generated Traffic Volumes



LEGEND

00 - WEEKDAY MORNING PEAK HOUR (7:30-8:30 AM)

(00) - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Proposed Hotel
Des Plaines, Illinois

Total Projected Traffic Volumes

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the existing (Year 2019) and future projected (Year 2027) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using the Synchro/SimTraffic 10 computer software. The analyses for the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness was completed utilizing actual cycle lengths, phasings, and offsets.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2027 total projected conditions are presented in **Table 3**. A discussion of the intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 3
CAPACITY ANALYSIS RESULTS – HIGGINS ROAD WITH THE ROSEMONT HEALTH & FITNESS ACCESS DRIVE – SIGNALIZED

Peak Hour	Eastbound		Westbound		Northbound		Southbound		Overall
	L/T/R	L/T/R	L	T/R	L	T/R	L	T/R	
Year 2019 Existing Conditions	Weekday Morning Peak Hour	A 3.9	A 2.9	D	D	D	D	D	A 5.0
				52.6	47.6	45.0	45.2		
				D – 50.8		D – 45.1			
Year 2027 Total Projected Conditions	Weekday Evening Peak Hour	A 3.9	A 3.1	E	E	E	E	E	A 6.3
				59.4	59.2	64.6	61.7		
				E – 59.3		E – 63.1			
Year 2027 Total Projected Conditions	Weekday Morning Peak Hour	A 5.4	A 3.1	D	D	D	D	D	A 6.4
				52.7	47.5	47.6	48.3		
				D – 50.9		D – 48.0			
Year 2027 Total Projected Conditions	Weekday Evening Peak Hour	A 7.1	A 5.1	D	D	E	E	E	B 10.5
				52.6	52.3	68.4	63.5		
				D – 52.4		E – 65.8			

Letter denotes Level of Service; Delay is measured in seconds.

L = Left Turn, T = Through, R = Right Turn

Discussion and Recommendations

The following summarizes how the intersection of Higgins Road with the access drive serving Rosemont Health & Fitness and the access drive serving the site is projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development traffic.

Higgins Road with the Access Drive Serving Rosemont Health & Fitness/Access Drive Serving the Site

The results of the capacity analysis indicate that overall this intersection currently operates at Level of Service (LOS) A during the weekday morning and evening peak hours. It should be noted that the eastbound and westbound approaches currently operate at LOS A during both peak hours. Furthermore, the northbound and southbound approaches currently operate at LOS D during the weekday morning peak hour and at LOS E during the weekday evening peak hour.

Under projected conditions, the intersection is projected to operate at LOS A during the weekday morning peak hour and at LOS B during the weekday evening peak hour with increases in delay of approximately one second and four seconds, respectively. It should be noted that the eastbound and westbound approaches are projected to continue to operate at LOS A during the weekday morning and evening peak hours with increases in delay of approximately three seconds or less during both peak hours. Furthermore, the northbound approach is projected to operate at LOS D during both peak hours with increases in delay of less than one second. Additionally, the southbound approach is projected to operate at LOS D during the weekday morning peak hour and at LOS E during the weekday evening peak hour with increases in delay of less approximately three seconds. As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed hotel.

Parking Evaluation

A parking evaluation to assess the adequacy of the parking supply of the office building in accommodating the increase in parking demand that will be generated by the full occupancy of the office building and the parking demand that will be generated by the proposed hotel was conducted. In order to do that, the following tasks were undertaken:

- A parking occupancy survey of the office building was conducted by KLOA, Inc. on a weekday.
- Projected parking demand was generated for the proposed hotel.
- The adequacy of the available parking within the parking lot of the office building was evaluated to assess its ability in accommodating the increase in parking demand.

Parking Occupancy Survey

In order to determine the existing parking demand, a parking occupancy survey was conducted at the office building on Wednesday, April 3, 2019. The count was conducted in one-hour intervals from 5:00 A.M. to 8:00 P.M. and the results of the parking occupancy survey are summarized in **Table 4**.

The results of the parking occupancy survey indicated the following:

- The site currently has 392 parking spaces including 358 outdoor parking spaces, 28 indoor parking spaces, and six handicap parking spaces.
- Peak parking demand was 136 vehicles (35 percent) occurring at 11:00 A.M. with a surplus of 256 parking spaces.

Table 4
WEEKDAY PARKING OCCUPANCY SURVEY – EXISTING OFFICE BUILDING

Time	Parking Occupancy	Percentage Occupancy
5:00 AM	4	1%
6:00 AM	20	5%
7:00 AM	42	11%
8:00 AM	96	24%
9:00 AM	125	32%
10:00 AM	134	34%
11:00 AM	136	35%
12:00 PM	124	32%
1:00 PM	126	32%
2:00 PM	124	32%
3:00 PM	106	27%
4:00 PM	100	26%
5:00 PM	61	16%
6:00 PM	15	4%
7:00 PM	8	2%
Inventory: 392 spaces		

Parking Demand Adjustments

It should be noted that, at the time the parking occupancy survey was conducted, the existing six-story office building had approximately 74,291 square feet of vacant space. In order to determine the parking demand of the fully occupied office building, the parking demand of the vacant space was estimated based on the results of the parking occupancy survey. As a result, the peak parking demand of the fully occupied office building will occur at 11:00 A.M. with a parking demand of 302 spaces.

For comparison purposes, KLOA, Inc. also calculated the hourly parking demand of the office building using rates for a general office (Land-Use Code 710) found in the *ITE Parking Generation Manual*, 5th Edition. **Table 5** summarizes the projected hourly parking demand for the office building assuming full occupancy based on the parking occupancy survey and based on ITE rates.

The results of the parking demand adjustments indicated the following:

- Peak parking demand based on the survey rates will be 302 vehicles (77 percent) occurring at 11:00 A.M. with a surplus of 90 parking spaces.
- Peak parking demand based on ITE rates will be 314 vehicles (80 percent) occurring at 11:00 A.M. with a surplus of 78 parking spaces.

Based on the above, the projected parking demand of the office building at full occupancy is very similar either using the parking survey rates or the ITE rates.

Table 5
 PROJECTED WEEKDAY HOURLY PARKING DEMAND
 OFFICE BUILDING AT FULL OCCUPANCY

Time	Parking Survey Rates			ITE Parking Rates		
	Existing Demand	Vacant Space Demand	Total	Existing Demand	Vacant Space Demand	Total
5:00 AM	4	5	9	4	0	4
6:00 AM	20	24	44	20	0	20
7:00 AM	42	51	93	42	23	65
8:00 AM	96	117	213	96	85	181
9:00 AM	125	152	277	125	157	282
10:00 AM	134	163	297	134	178	312
11:00 AM	136	166	302	136	178	314
12:00 PM	124	151	275	124	151	275
1:00 PM	126	154	280	126	149	275
2:00 PM	124	151	275	124	166	290
3:00 PM	106	129	235	106	167	273
4:00 PM	100	122	222	100	151	251
5:00 PM	61	74	135	61	100	161
6:00 PM	15	18	33	15	36	51
7:00 PM	8	10	18	8	20	28
Inventory: 392 spaces						

Parking Demand of the Proposed Hotel

It should be noted that the proposed hotel will occupy the southeast corner of the lot which provides parking to the existing office building, resulting in a loss of approximately 82 parking spaces. The proposed 207-space parking garage will be replacing the existing surface parking spaces. Overall, the site will provide a total parking supply of 401 spaces, which is a net increase of nine parking spaces over the existing supply.

The parking demand of the proposed hotel was estimated based on the City of Des Plaines Zoning Code and on parking rates published by ITE in its *Parking Generation Manual*, 5th Edition. Land-Use Code 311 (All Suites Hotel) was utilized. Below is a breakdown of the required parking spaces based on the two aforementioned sources.

- City of Des Plaines Zoning Code
 - 107 parking spaces (ratio of one space per guestroom, plus one space per 200 square feet of area devoted to offices). No area devoted to offices within the hotel was assumed in the study.
- ITE *Parking Generation Manual*, 5th Edition
 - 82 parking spaces (ratio of 0.77 spaces per rooms)

The parking demand for the all-suites hotel for both methods was distributed on an hourly basis based on information provided in the ITE *Parking Generation Manual*.

Table 6 summarizes the projected hourly parking demand for the proposed hotel. Based on these methodologies, the following parking demand of the proposed hotel was determined:

- Peak parking demand based on the City of Des Plaines Code will be 107 vehicles occurring between 12:00 A.M. and 4:00 A.M.
- Peak parking demand based on ITE rates will be 82 vehicles occurring between 12:00 A.M. and 4:00 A.M.
- Peak parking demand (between 5:00 A.M. and 7:00 P.M.) based on the City of Des Plaines Code will be 95 spaces occurring at 5:00 A.M. and 6:00 A.M.
- Peak parking demand (between 5:00 A.M. and 7:00 P.M.) based on the City of Des Plaines Code will be 73 spaces occurring at 5:00 A.M. and 6:00 A.M.

Table 6
 PROJECTED WEEKDAY HOURLY PARKING DEMAND - HOTEL

Time	City of Des Plaines Zoning Code	ITE Rates
5:00 AM	95	73
6:00 AM	95	73
7:00 AM	87	66
8:00 AM	77	59
9:00 AM	76	58
10:00 AM	51	39
11:00 AM	44	34
12:00 PM	31	24
1:00 PM	32	25
2:00 PM	27	21
3:00 PM	36	28
4:00 PM	46	35
5:00 PM	41	31
6:00 PM	43	33
7:00 PM	39	30

Total Projected Parking Demand

The total projected parking demand of the overall site was calculated adding the projected parking demand for the proposed hotel to the projected parking demand of the office building assuming full occupancy. It should be noted that in order to provide for a conservative analysis, the highest hourly parking demand for each land use was utilized (City of Des Plaines Code for the all-suites hotel and ITE rates for the office building). **Table 7** shows the total projected hourly parking demand for the site.

A review of Table 7 indicates that the projected peak parking demand for the overall site will be 363 vehicles (91 percent occupancy) occurring at 10:00 A.M. with a surplus of 38 parking spaces.

Therefore, the results of the parking evaluation show that the proposed parking supply of 401 parking spaces will be adequate in accommodating the projected peak parking demand of the two land uses.

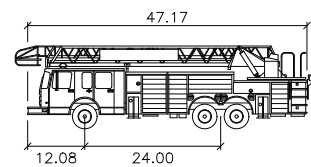
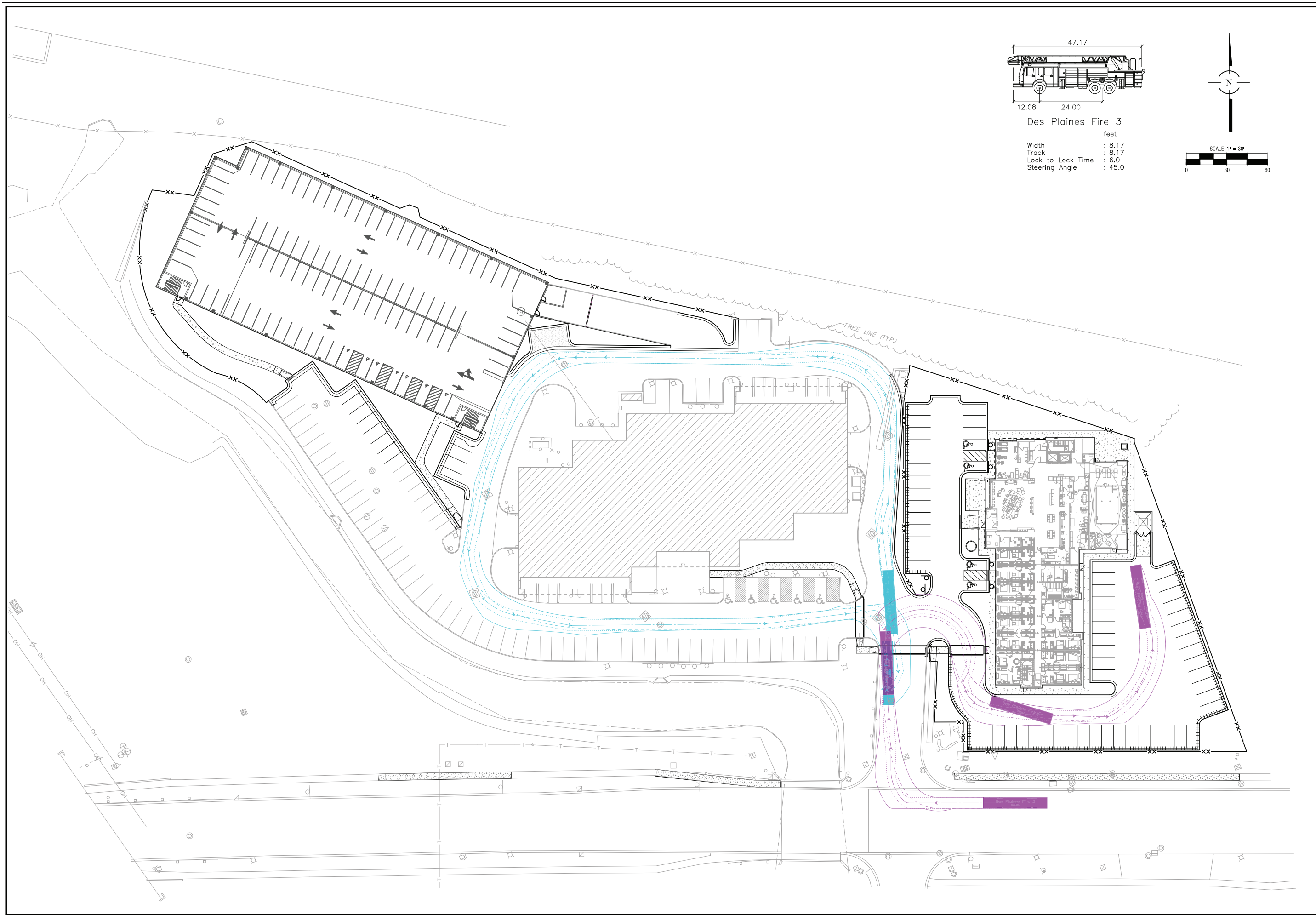
Table 7
WEEKDAY TOTAL PROJECTED PARKING DEMAND

Time	Office ¹	Hotel ²	Total	Surplus	Percent Occupancy
5:00 AM	4	95	99	302	0.25
6:00 AM	20	95	115	286	0.29
7:00 AM	65	87	152	249	0.38
8:00 AM	181	77	258	143	0.64
9:00 AM	282	76	358	43	0.89
10:00 AM	312	51	363	38	0.91
11:00 AM	314	44	358	43	0.89
12:00 PM	275	31	306	95	0.76
1:00 PM	275	32	307	94	0.77
2:00 PM	290	27	317	84	0.79
3:00 PM	273	36	309	92	0.77
4:00 PM	251	46	297	104	0.74
5:00 PM	161	41	202	199	0.50
6:00 PM	51	43	94	307	0.23
7:00 PM	28	39	67	334	0.17
Proposed Parking Supply: 401 spaces					
1 – Hourly parking demand based on ITE rates at full occupancy					
2 – Hourly parking demand based on City of Des Plaines Code					

6. Conclusion

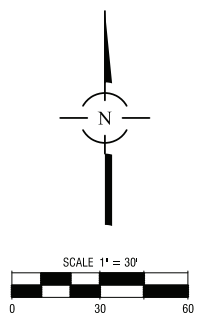
Based on the preceding analyses and recommendations, the following conclusions have been made:

- The traffic that will be generated by the proposed hotel will not be significant.
- The existing signalized access drive off Higgins Road has adequate reserve capacity to accommodate the increase in traffic resulting from the proposed hotel as well as the full occupancy of the office building.
- The results of the parking evaluation indicate that the proposed number of parking spaces will be adequate in accommodating the projected peak parking demand of both land uses.
- The projected peak parking demand could be lower than that estimated in the evaluation given that some of the customers of the hotel will be employees of the adjacent office building.



Des Plaines Fire 3

feet
 Width : 8.17
 Track : 8.17
 Lock to Lock Time : 6.0
 Steering Angle : 45.0



NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	03/10/21	PER CITY OF DES PLAINES

FIRE TRUCK EXHIBIT - 1
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



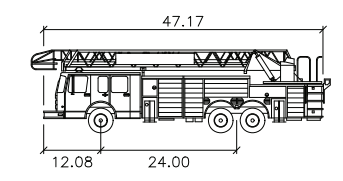
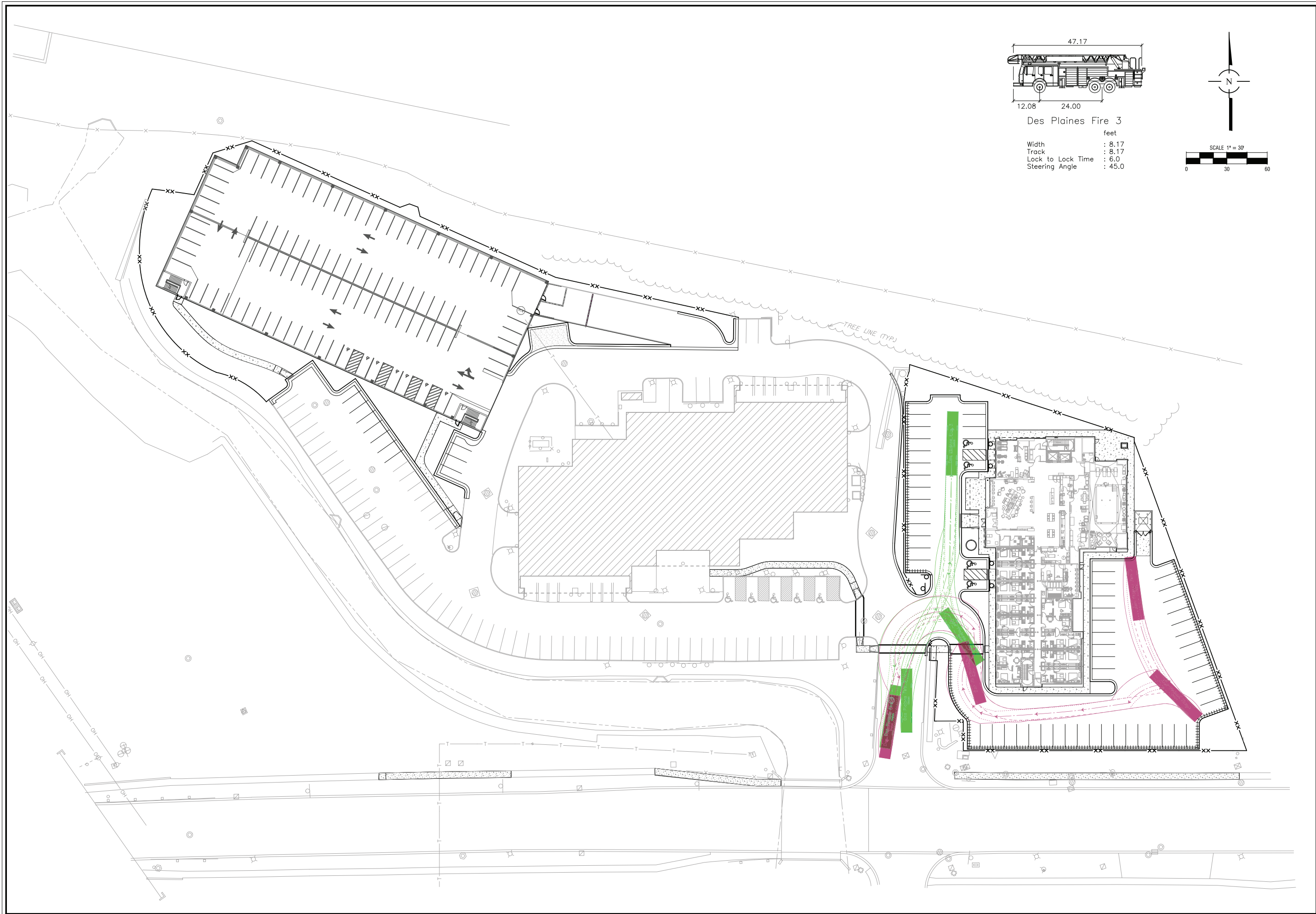
SPACECO INC.

FILENAME:
8779.03FIRETRUCK_EXH

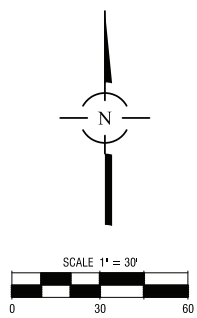
DATE:
03/02/21

JOB NO.
8779.03

SHEET
ATURN
1 OF 2



Des Plaines Fire 3
 feet
 Width : 8.17
 Track : 8.17
 Lock to Lock Time : 6.0
 Steering Angle : 45.0



NO.	DATE	REMARKS

1	03/10/21	PER CITY OF DES PLAINES

FIRE TRUCK EXHIBIT - 2
1700 W. HIGGINS ROAD
 DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.03FIRETRUCK_EXH

DATE:
03/02/21

JOB NO.
8779.03

SHEET
ATURN
2 OF 2



1700 W. Higgins Rd – Public Notice



1700 W. Higgins Rd – Looking Northwest at Front of Site



1700 W. Higgins Rd – Billboard 1 & Area for Proposed Parking Garage



1700 W. Higgins Rd – Billboard 2 & Area for Proposed Hotel



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

March 24, 2021

To the Mayor and Des Plaines City Council
CITY OF DES PLAINES

Subject: Planning and Zoning Board, 1700 W. Higgins Road, 21-005- FPLAT-V-PUD-A, 6th Ward
RE: Consideration of Conditional Use at 1700 W. Higgins Road, Case #21-005- FPLAT-V-PUD-A (6th Ward)

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board met on March 23, 2021 to consider the following: (i) a Major Amendment to the existing Planned Unit Development (PUD) under Section 12-3-5 of the Des Plaines Zoning Ordinance, as amended; (ii) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations; and (iii) Major Variations under Sections 12-7-3(K) and 12-9-7 of the Des Plaines Zoning Ordinance to allow for the construction of a five-story, 64,760-square-foot hotel in lieu of the Class A restaurant approved in Ordinance Z-21-19.

1. The petitioner provided a detailed overview of the requests utilizing a PowerPoint presentation beginning with the existing site information and previous work completed on the existing office building located on site. He then provided details on the proposed five-story, 107-room hotel and 207-space parking garage that are proposed to be constructed on site in lieu of the Class A restaurant and surface parking lot/bridge over Willow Creek that were approved in Ordinance Z-21-19. Additional site work, including stormwater management and the addition of a new fire hydrant on the proposed hotel lot, were discussed briefly. The petitioner touched on the Final Plat of Subdivision request that entails the resubdivision of the existing property into four new lots, one for the existing office building, new hotel, and the two existing billboards located at the rear of the site. Furthermore, he touched on the major variations for parking and lot depth that are proposed as part of the development, commenting that parking counts for the revised sites containing the existing office building and the new hotel will not meet current code individually, but that the proposed parking garage would provide a net gain of nine parking spaces for the entire property once completed and decrease the existing parking non-conformity. He discussed the KOLA traffic and parking study for the site to justify the request for the parking variations and to conclude that the parking provided on site for this development is sufficient for all uses. The petitioner also stated that a lot depth variation is needed for the two new billboard lots since the Subdivision Regulations require a minimum lot depth of 125-feet, which would not be practical for the two new lots that contain the base of the existing billboards.
2. The Planning and Zoning Board (PZB) Members asked about the vacant property across the creek located west of the subject property, if the property owner currently owns that property, and the proposed plans are for that property; how the existing available parking on site will accommodate the existing office building during construction; and if a proposed restaurant was still part of plan per the Lot 2 description on the staff report. The petitioner responded that the new parking garage will be taking place of the original proposed and bridge construction over Willow Creek and the surface parking lot addition on the western lot and that the owner of the subject property does not own the vacant parcel to the west; that the project will be constructed in phases allowing the existing surface parking lot to accommodate the existing office building use while the parking garage is under construction and then providing adequate parking availability during the construction of the hotel site; and that while there was an initial proposed restaurant on site, they are now pursuing a hotel building in place of the restaurant at this time.

3. Community and Economic Development staff recommended approval of the request with the condition that drawings may have to be amended to comply with all applicable codes and regulations.
4. No one from the public spoke on this request.
5. The Planning and Zoning Board *recommended* (5-0) that the City Council *approve* the request with the one condition found in the staff report.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "James S. Szabo".

James Szabo,
Des Plaines Planning and Zoning Board, Chairman

Cc: City Officials/Aldermen

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 10

2. **Address:** 1700 Higgins Road

Case Number: 21-005-PUD-A
Public Hearing

The petitioner is requesting an amendment to an existing Planned Unit Development under Section 12-3-5 of the Des Plaines Zoning Ordinance, as amended, to construct a four-story, 107-room hotel building and 207-space parking garage in lieu of the approved restaurant use at 1700 Higgins Road, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-33-309-007-0000; 09-33-310-004-0000
Petitioner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia
Owner: Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Chairman Szabo swore in Mark Rogers, Attorney for the Petitioner, Bret Duffy representing SpaceCo and Julie Piszczek, representing Monoceros Corp.

Mr. Rogers provided a thorough overview of the request, including a major amendment to the Final Planned unit Development, a major amendment to the Final Plat of Subdivision, three major variations for off-street parking and subdivision variations to allow for the construction of a new freestanding hotel, new decked parking lots and other improvements, as well as any zoning reliefs that may be necessary.

Amendments to the Planned Unit Development include construction of five story hotel, renovations to the existing office building, and parking garage. The three major variations include a reduction of off street parking in Lot 1 from 541 spaces to 338 spaces, a reduction of the required number of spaces in Lot 2 from 110 to 63, and a reduction of lot depth requirements from 125' to 6' for Lots 3 and 4 for the billboards.

The Final Plat of Subdivision request includes subdividing the property into four new lots.

Chairman Szabo asked if the Board had any questions.

Member Hofherr asked about what is happening to the property on the west side of the creek that was to be connected via bridge. Mr. Rogers stated that the parking garage will be taking the place of that project and that the bridge will not be constructed over the creek.

Member Fowler asked what the plans were for that space. Ms. Piszczek stated that the land on the west side over the creek is not part of the ownership and will remain undeveloped.

Chairman Szabo inquired about the building of the parking deck and a temporary parking provision for the office building. Ms. Piszczek stated phased construction is planned, with the hotel and parking deck constructed at different times.

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 11

Member Hofherr had a comment regarding page four and the proposed restaurant; Lot 2 with existing office building and proposed restaurant. The Petitioner clarified that the restaurant was in the previous plan and there are no plans for a restaurant at this time.

Chairman Szabo asked if there were any questions or concerns from the public. There were no questions.

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting: (i) a Major Amendment to the existing Planned Unit Development (PUD) to allow for the construction of a five-story, 64,760-square foot hotel in lieu of the Class A restaurant approved in Ordinance Z-21-19; (ii) a Final Plat of Subdivision to resubdivide the existing property from two lots to four lots; (iii) Major Variations to allow a lot depth of 6-feet for Lots 3 and 4 where a minimum lot depth of 125-feet is required; (iv) Major Variations to allow a reduction in the number of required parking spaces from 541 to 338 spaces for Lot 1 and a reduction in the number of required parking spaces from 110 to 63 spaces on Lot 2; and (v) the approval of any other such variations, waivers, and zoning relief as may be necessary for the property at 1700 W. Higgins Road.

Analysis:

Address: 1700 W. Higgins Road

Owner: Andrew Saunders, Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Petitioner: Mark Rogers, Mariner Higgins Centre, LLC, 117 Macquarie Street, Sydney, NSW 2000, Australia

Case Number: 21-005-FPLAT-PUD-A

Real Estate Index

Numbers: 09-33-309-007-0000; 09-33-310-004-0000

Existing Zoning C-3, General Commercial District

Existing Land Uses Multi-tenant Office Building and Surface Parking

Surrounding Zoning

North: I-90 Tollway; R-1, Single Family Residential
 South: G, Government and Institutional (Rosemont)
 East: C-2, Limited Office Commercial District
 West: C-3, General Commercial District

Surrounding Land Use

North: I-90 Tollway; Single Family Residences
 South: Health & Fitness / Village Manor Apartments (Rosemont)
 East: Open Space / Park
 West: Vacant lot

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 12

Street Classification Higgins Road is classified as a minor arterial street.

Comprehensive Plan The Comprehensive Plan designates this property as Commercial.

Final Planned Unit Development

Project Description The applicant, Mark Rogers on behalf of Mariner Higgins Centre, LLC, is requesting a Major Amendment to the PUD to amend Ordinance Z-21-19 to allow for the construction of a five-story, 64,760-square foot hotel in lieu of the Class A restaurant that was a part of the Final PUD approved August 19, 2019. The existing property consists of two parcels containing a six-story office building with 135,000-square feet of leasable office space and a 392 parking spaces, including 358 surface spaces, 28 indoor spaces, and six handicap accessible parking spaces. With all lots combined, the property encompasses 5.744 acres in land area.

This request comes after the approval of Ordinance Z-21-19, which granted a Final PUD with exceptions, major variations for lot depth and parking, and a Final Plat of Subdivision for (i) substantial renovations of the existing office building; (ii) construction of a new 6,000-square foot out lot building for use as a restaurant; (iii) construction of an 88-space parking lot on vacant property located across Willow Creek; and (iv) installing significant infrastructure upgrades to all parcels including the addition of both above-ground and below-ground stormwater detention facilities and new box culvert bridge over Willow Creek connecting the proposed parking lot to the subject property. Since December of 2018, the existing office building has undergone major renovations as identified in the Project Narrative, including, but not limited to, the modernization of elevators, installation of business generator/incubator spaces, rehabilitating suites, remodeling the café, and replacement of the roof. However, the property owner is now desirous to construct a hotel instead of the 6,000-square foot restaurant previously approved with Ordinance Z-21-19. As a result in the change of project scope, the sale and use of the vacant property became unavailable to the petitioner requiring the Plat of Subdivision and Plat of PUD boundaries to be updated.

The major amendment to the existing PUD has been revised to show the proposed hotel positioned in the southeast corner of the property where the original restaurant out lot building was intended and a new 34,658-square foot parking deck (total gross square footage of 68,290 including the ground and top tiers) proposed on the northwest portion of the development. The new hotel development will result in a loss of 82 parking spaces for the site as a whole. However, the proposed parking garage will consist of 207 parking spaces bringing the total number of parking spaces on site to 401 and providing a net increase of nine parking

Case 21-004-CU
Case 21-005-PUD-A
Case 21-006-V

110 S. River Rd
1700 Higgins Rd
800 Beau Dr

Conditional Use
PUD Amendment
Major Variation

March 23, 2021
Page 13

spaces. The property owner proposes to conduct the following enhancements to the existing property:

- Construction of an approximately 67,500-square foot hotel on the southeast corner of the lot;
- Construction of a new 207-space off street parking garage on the northwest corner of the lot; and
- Significant infrastructure upgrades to all properties including the addition of stormwater detention facilities to accommodate run-off.

The petitioner successfully obtained Final PUD approvals in 2019 given the multiple uses, the unique lot configurations, the notion of existing office building and proposed restaurant building within the same development, the concept of the proposed parking lot to serve the existing office building and the proposed restaurant, and the proposed level of open space with the new parking lot to accommodate stormwater run-off. While the new request offers a hotel in place of the restaurant and a parking garage in place of a surface parking lot, the proposal still represents a unique mixed use development with multiple structures, unique lot configurations, additional parking availability for use of the entire development, and improvements for storm-water detention. To achieve the intent of PUDs for these types of developments, Section 12-3-5(C) of the Zoning Ordinance allows for permitted exceptions to the bulk regulations of the Zoning Ordinance. Due to the unique property characteristics identified above, the petitioner has requested the following exceptions to the bulk regulations of the Zoning Ordinance:

- A building height exception of 59'-1/8" for the proposed hotel building where the maximum allowed is 45 feet.
 - In the C-3 district, the maximum building height is 45 feet. The property owner received a PUD exception for building height of the existing office building that was legally non-conforming. The new hotel building would not be as tall as the existing office building but would not meet the maximum height requirement. Thus, the petitioner looks to protect this building with the proposed PUD exception (Section 12-7-3.L).
- An exception to the back of curb setback from the southern and eastern edges of the proposed off street parking lot to the south and east property lines, respectively for the new hotel (Section 12-9-6-C) – the required setback is 3.5 feet and the closest back

Case 21-004-CU
Case 21-005-PUD-A
Case 21-006-V

110 S. River Rd
1700 Higgins Rd
800 Beau Dr

Conditional Use
PUD Amendment
Major Variation

March 23, 2021
Page 14

of curb setback is 2.07-feet.

- The property owner is proposing to provide ample room for parking, circulation, and fire truck movements on the new hotel site by reducing the proposed back of curb setback.
- An exception to the five-foot perimeter parking lot landscaping area requirement for the proposed hotel parking lot (Section 12-10-8-C).
 - The amount of space available for landscaping is limited behind the southern and eastern parking space rows. However, the petitioner proposes to add a row of landscaping in these areas as well as additional landscaping in the corner of these parking areas and throughout the hotel site.

It is important to note that PUD exceptions were awarded to the subject property in 2019 given that the existing office building was built in 1986 prior to the establishment of modern zoning regulations making elements of the property non-conforming. Note, there is currently a deficit of parking for the existing office building as the office building was built under a different parking requirement. With the addition of the new parking garage to the west, the entire development will have a positive gain on the parking count which reduces the extent of the variance request. The attached traffic study discusses the parking and trip generation in more detail. The parking variance request is explained in the Major Variations section of the staff report below.

Final Plat of Subdivision

Project Description

The petitioner has submitted a revised Final Plat of Subdivision in order to re-subdivide the existing lots into four new lots to reflect the change in scope for the redevelopment of this property. The proposed new lot

configuration is found below:

Final Plat of Subdivision - Lot Matrix

Proposed Lot Number	Proposed/Existing Use	Proposed Land Area	Proposed Acreage
Lot 1	Existing Office Building & Proposed Parking Garage	197,350 SF	4.531
Lot 2	Proposed Hotel	52,774 SF	1.212
Lot 3	Western Billboard	36 SF	0.001
Lot 4	Eastern Billboard	36 SF	0.001

A description of each proposed lot is as follows:

- Lot 1 – The existing office building is currently situated across both of the existing parcels, but will be reconfigured on the revised Plat of Subdivision so that Lot 1 includes the entire office building and the proposed parking garage. The petitioner has indicated that a portion of the proposed parking garage will be located on property owned by the City of Des Plaines, which will be vacated/sold to the petitioner so it can be incorporated into Lot 1.
- Lot 2 – The proposed hotel and the proposed surface parking area will be located on a separate lot at the southeast corner of the property. Lot 2 will lot for the existing office building will be reduced to accommodate the new proposed restaurant and to create two separate lots for the existing billboards.
- Lot 3 – This lot encompasses the base of the westernmost billboard sign.
- Lot 4 – This lot encompasses the base of the easternmost billboard sign.

Major Variations

Project Description

The petitioner has submitted variance requests for parking and lot depth due to the unique size and shape of the development. The existing office building property contains 392 parking spaces, which is a non-conforming parking count for today’s standards. However, this office building was constructed under a different parking regulation. Thus, as part of the development proposal, the petitioner is requesting a major variation to reduce the off street parking requirement for the existing office building on the new Lot 1 from the required 541 spaces to 338 off street parking spaces. Pursuant to Section 12-9-7, the proposed hotel requires a total of 110 parking spaces. Since the hotel site on the new Lot 2 will only contain 63 spaces, the petitioner is also requesting a major variation to reduce the parking from 110 spaces to 63 spaces. The proposed hotel building footprint will remove 82 spaces from the site. However, the petitioner is constructing a brand new 207-space parking garage on the northwest

Case 21-004-CU
Case 21-005-PUD-A
Case 21-006-V

110 S. River Rd
1700 Higgins Rd
800 Beau Dr

Conditional Use
PUD Amendment
Major Variation

March 23, 2021
Page 16

corner of the lot directly east of Willow Creek bringing the parking total for the entire development to 401 spaces, which is a net gain of nine off street parking spaces compared to the current parking total. It is important to note that some of the existing office parking spaces will be transitioned to the new hotel as necessary. However, the new parking garage will provide additional parking for the existing office use and effectively reduce the nonconforming status.

Additionally, the petitioner is requesting major variances to reduce the lot depths from 125 feet to six feet for Lots 3 and 4, which entail the base of the billboards. These requests are a deviation from Subdivision Code Section 13-2-5.R. However, staff does not have a concern with the lot depth variance requests as the lot configuration is for tax purposes. All variation requests are summarized in the table below:

Regulation	Required	Proposed
Parking – Office Building (Lot 1)	541 spaces	338 spaces
Parking – Hotel (Lot 2)	110 spaces	63 spaces
Lot Depth (Lot 3)	125-feet	6-feet
Lot Depth (Lot 4)	125-feet	6-feet

Compliance with the Comprehensive Plan

As found in the City of Des Plaines’ 2019 Comprehensive Plan, there are several parts of the Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Future Land Use Map:
 - The property is marked for commercial land use. The proposed expanded parking garage will further enhance the existing office building property, reduce the existing parking non-conformity, and allow for mixed use development on the site. This will also allow the subject property to support multiple uses in close proximity to transit and the higher density commercial corridor in its immediate vicinity.
- Under Economic Development:
 - The Comprehensive Plan recognizes the economic vitality of the surrounding area and its importance to the broader region. The proposed enhancements of this site would be in-keeping with prior development efforts from the office building.

Planned Unit Development (PUD) Findings

As required, the proposed development is reviewed in terms of the findings contained in Section 3-5-5 of the Zoning Ordinance. In reviewing these standards, staff has the following comments:

A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5-1 and is a stated Conditional Use in the subject zoning district:

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 17

Comment: A PUD is a listed conditional use in the C-3 zoning district. The proposed project meets the stated purpose of the PUD. Additionally, the proposed improvements of the subject parcels will enhance the neighboring area, but also be cognizant of nearby land uses. Please also see the responses from the applicant.

B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

Comment: The proposed development will be in-keeping with the City’s prerequisites and standards regarding planned unit development regulations. Please also see the responses from the applicant.

C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

Comment: The proposed project is in-line with the intent of a PUD as exceptions for building height, back of curb setback, and a five-foot landscape setback have been proposed for the new hotel and parking garage plans on the subject property. Aside from variation requests for parking and lot depth, all other aspects of the revised development proposal comply with the Zoning Ordinance. Please also see the responses from the applicant.

D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

Comment: All provisions for public services, adequate traffic control and the protection of open space are being accommodated in the development. The petitioner is proposing to adjust the main entrance and drive- aisle areas to the site to accommodate the building expansion, improve circulation and access throughout the site, and allow for sufficient emergency vehicle turning radii throughout the site. Please also see the responses from the applicant.

E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

Comment: The proposed expansion complements existing development to the east, west and south as all surrounding properties, except for the Rosemont Park District property directly east of the subject property are built up. Additionally, measurements will be made to reduce any impact on the nearby properties as all elements will have to comply with the Des Plaines Subdivision and Zoning Ordinances.

F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:

Comment: The proposed project will contribute to an improved physical appearance within the City by adding a new use to the existing office building property with updated landscaping, utility connections, and vehicular access and circulation. This will contribute positively to the tax base and economic well-being of the community. Please also see the responses from the applicant.

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 18

G. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

Comment: The proposed development meets the goals, objectives and recommendations of the 2019 Comprehensive Plan. Please also see the responses from the applicant.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:**

Comment: Carrying out the strict letter of this code would create a practical difficult for the property owner as the existing office building was developed in 1986 prior to the establishment of modern zoning regulations for parking. Thus, the existing office building was developed under a parking regulation that does not meet modern standards. The proposal includes the construction of a 207-space parking garage which will reduce the non-conforming parking count, but will by no means meet the minimum parking standards requiring the petitioner to request a variation. The subject property also contains two active billboards, one on the east side and the other on the west side of the property, which are currently incorporated with the existing office lots. As part of the development, the site will be resubdivided to include an individual lot for each billboard for taxing purposes. The minimum lot depth requirement of 125-feet for the intended use is not practical for the subject property. Please see the Petitioner’s responses to Standards for Variations.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:**

Comment: The existing access and location of the subject property creates a unique physical condition that limits the available development of this site and prevents full compliance with current zoning standards. The site is landlocked by the I-90 Tollway to the north, the Rosemont Park District to the east, Willow Creek to the west, and Higgins Road to the south, which serves as the site’s only access point. The petitioner originally had an opportunity to construct a bridge across Willow Creek to construct additional parking on property owned by the Village of Rosemont. However, this arrangement fell through limiting the development of the site to its current boundaries. Additionally, the petitioner is unable to meet the required lot depth requirements for the two new billboard lots given that the billboards are located in close proximity to the existing office building and that the reallocation of ownership involved with the expansion of each billboard lot to the minimum standards could cause more parking concerns.

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 19

Please see the Petitioner’s responses to Standards for Variations.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:**

Comment: The physical conditions described above are of no fault to the petitioner as the existing property consists of these characteristics prior to the development proposal for the new hotel. As previously mentioned, the office building was built before the establishment of modern zoning regulations creating several non-conformities. Staff is not aware of any action of the current or previous owner which created the conditions described above. Please see the Petitioner’s responses to Standards for Variations.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:**

Comment: Carrying out the strict letter of this code could deprive the existing property owner of substantial rights enjoyed by other owners of similarly zoned lots by limiting the redevelopment of the property with uses enjoyed by similar developments in the area. The PUD located west of the subject property and south of the I-90 Tollway includes a mixed use development with a hotel/Class A Restaurant, Fuel Center/Class B restaurant, and car wash contains multiple structures and parking areas similar to the design for the proposed development. Please see the Petitioner’s responses to Standards for Variations.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:**

Comment: The granting of this variation for density would not provide any special privilege of the property owner or petitioner as similar developments in the C-3 zoning district have the opportunity for this request for development proposals permitted in the C-3 district. This variation would allow for the redevelopment of the existing site and the increase in mixed use developments in Des Plaines. Please see the Petitioner’s responses to Standards for Variations.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:**

Comment: The proposed multi-family development would be harmonious with the surrounding multi-use developments to the east and west of the subject property. The mixed use development proposal supports the goals and objectives of the Comprehensive Plan, which strives to incorporate multiple uses on single lots. Please see the Petitioner’s responses to Standards for Variations.

Case 21-004-CU	110 S. River Rd	Conditional Use
Case 21-005-PUD-A	1700 Higgins Rd	PUD Amendment
Case 21-006-V	800 Beau Dr	Major Variation

March 23, 2021
Page 20

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: There are no other reasons that the aforementioned hardships can be avoided or remedied as the property is land-locked and cannot be expanded to meet minimum standards for larger commercial development intended for a C-3 zoned property. Please see the Petitioner’s responses to Standards for Variations.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: This would be the minimum amount of relief necessary to alleviate the aforementioned hardships and allow the petitioner to redevelop the subject property with a multi-use development. The proposed meets or exceeds all other requirements of the Des Plaines Zoning Ordinance. Please see the Petitioner’s responses to Standards for Variations.

Recommendations: Staff supports the following requests for the development at 1700 W. Higgins: (i) a Major Amendment to the existing Planned Unit Development (PUD) to allow for the construction of a five-story, 64,760-square foot hotel in lieu of the Class A restaurant approved in Ordinance Z-21-19; (ii) a Final Plat of Subdivision to resubdivide the existing property from two lots to four lots; (iii) Major Variations to allow a lot depth of 6-feet for Lots 3 and 4 where a minimum lot depth of 125-feet is required; (iv) Major Variations to allow a reduction in the number of required parking spaces from 541 to 338 spaces for Lot 1 and a reduction in the number of required parking spaces from 110 to 63 spaces on Lot 2 with the condition that drawings may have to be amended to comply with all applicable codes and regulations.

Planning and Zoning Board Procedure:

The Planning and Zoning Board may vote to *recommend* approval, approval with modifications, or disapproval over the requested Major Amendment for the Planned Unit Development, Final Plat of Subdivision, and Variation requests for 1700 W. Higgins Road. The City Council has final authority over the proposal.

A motion was made by Board Member Saletnik, seconded by Board Member Hofherr, to recommend approval of an amendment of the Planned Unit Development and the approval of any such other variations, waivers, and zoning relief, as presented.

AYES: Saletnik, Hofherr, Fowler, Veremis, Szabo
 NAYES: None
 ABSTAIN: None

*****MOTION CARRIED UNANIMOUSLY*****

HOMER 2

SUITES BY HILTON

Des Plaines, Illinois

5 STORY, 107 UNIT W/ INDOOR POOL
 1700 E HIGGINS ROAD
 Des Plaines IL
 60018



ORINATION
 DESIGN

Architecture, Planning, Interior Design

3050 ROYAL BLVD S #175,
 ALPHARETTA, GA 30005
 O: 678.387.1814
 M: 404.542.0838
 WWW.ORINATIONDESIGN.COM



1700 E Higgins Road
 Des Plaines IL, 60018

COVER SHEET



- DRAWINGS ISSUED FOR:
- PRELIM. FLOOR PLAN
30 %
 - CLIENT/CORP. REVIEW
90%
 - BIDDING
 - PERMITTING
 - PERMIT REVISIONS
 - FINAL CONST.

No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 24 x 36 INCHES.

Project Number	202005
Date	06/15/20
Drawn By	S.S.
Checked By	J.G.

CS-1

CITY OF DES PLAINES

ORDINANCE Z - 44 - 21

AN ORDINANCE APPROVING A MAJOR AMENDMENT TO AN EXISTING PLANNED UNIT DEVELOPMENT, FINAL PLAT OF SUBDIVISION, AND MAJOR VARIATIONS FOR 1700 W. HIGGINS ROAD, DES PLAINES, ILLINOIS (CASE #21-005-FPLAT-V-PUD-A).

WHEREAS, Mariner Higgins Centre, LLC (“*Applicant*”) is the owner of the real property located at 1700 W. Higgins Road, which is referred to herein as the (“*Subject Property*”); and

WHEREAS, the Subject Property is located in the C-3 General Commercial District of the City; and

WHEREAS, in 2019, the City Council adopted Ordinance Z-9-19 approving a conditional use for a local alternative sign regulation (“*LASR*”), tentative plat of subdivision, map amendment, and preliminary planned unit development (collectively, the “*Preliminary PUD*”); and

WHEREAS, on August 19, 2019, the City Council adopted, Ordinance Z-21-19, approving a conditional use for final planned unit development (“*Final Planned Unit Development*”), a final plat of subdivision (“*Final Plat*”), and major variations (“*Variations*”) for the Subject Property to allow the redevelopment of the existing office building development, which includes a 139,000 square foot office building (“*Office Building*”) and multiple parking lots totaling 358 outdoor spaces and indoor parking lots totaling 28-spaces (“*Parking Lots*”) (collectively, the Final Planned Unit Development, the Final Plat, and the LASR are the “*Initial Approvals*”); and

WHEREAS, the Applicant proposes to alter the original redevelopment plan for the Subject Property previously approved under Ordinance Z-21-19 to provide for (i) the construction of a 64,760 square foot, four-story, 107-room hotel (“*Hotel*”) and (ii) a 207-space multi-deck parking garage (“*Parking Garage*”) to serve the Office Building; and (iii) stormwater detention facilities (“*Stormwater Improvements*”) in place of the previously approved surface parking lot/bridge over Willow Creek (collectively, “*Proposed Improvements*”); and

WHEREAS, the configuration of the proposed Parking Garage will extend outside the original bounds of the Subject Property onto an unimproved portion of the Webster Avenue public right-of-way, which the Applicant has requested the City vacate for incorporation into the planned unit development (“*Vacation Parcel*”); and

WHEREAS, on September 20, 2021 the City adopted Ordinance Z-45-21 which vacated the Vacation Parcel to the Applicant for incorporation in the Subject Property; and

WHEREAS, the Proposed Improvements constitute a major change to the Planned Unit Development approved by Ordinances Z-9-19 and Z-21-19 (collectively, the “*Initial PUD Approvals*”) pursuant to Section 12-3-5.G.1 of the Des Plaines Zoning Ordinance of 1998, as

{00119765.5}

amended (“*Major Amendment*”); and

WHEREAS, the Applicant, through its agent Mark Rogers of Liston & Tsantilis Law Office (collectively with the Applicant, the “*Petitioner*”), has applied to the City of Des Plaines for approval of the Major Amendment to the PUD Approvals to allow for Proposed Improvements on the Subject Property (“*Requested Relief*”); and

WHEREAS, the Petitioner’s application for the Requested Relief was referred by the Department to the Planning and Zoning Board of the City of Des Plaines (“*PZB*”) within 15 days after the receipt thereof; and

WHEREAS, within 90 days after the date of the Petitioner’ application, a public hearing was held by the PZB on March 23, 2021, pursuant to notice published in the *Journal & Topics* on March 3, 2021; and

WHEREAS, notice of the public hearing was mailed to all owners of property located within 300 feet of the Subject Property; and

WHEREAS, during the public hearing, the PZB heard competent testimony and received evidence with respect to how the Petitioner intended to satisfy and comply with the applicable provisions of the Zoning Ordinance; and

WHEREAS, pursuant to Section 12-3-5 of the Zoning Ordinance, the PZB filed a written report with the City Council on March 24, 2021, summarizing the testimony and evidence received by the Board and stating the Board's recommendation, by a vote of 5-0, to approve the Petitioner's application for the Requested Relief; and

WHEREAS, the Petitioner made certain representations to the PZB with respect to the Requested Relief, which representations are hereby found by the City Council to be material and upon which the City Council relies in approving this request for the Requested Relief, subject to certain terms and conditions; and

WHEREAS, the City Council has considered the written report of the PZB, together with the applicable standards for map amendments and planned unit developments set forth in the Zoning Ordinance, and the Community and Economic Development Staff Memorandum dated March 15, 2021, including the attachments and exhibits thereto, and has determined that it is in the best interest of the City and the public to grant the Petitioner’ application for the Requested Relief in accordance with the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for this Ordinance.

{00119765.5}

SECTION 2. LEGAL DESCRIPTION OF SUBJECT PROPERTY. The Subject

Property is legally described as follows:

PARCEL 1:

BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE NORTH LINE OF SAID BLOCK 5; THENCE WESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:

COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

ALSO

WEBSTER AVENUE VACATION PARCEL:

ALL OF VACATED WEBSTER AVENUE, (AS DEDICATED AS PART OF ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE SUBDIVISION PLAT THEREOF RECORDED MAY 9, 1888 AS DOCUMENT NUMBER 955011) ACCORDING TO THE PLAT OF VACATION RECORDED _____, AS DOCUMENT NUMBER _____, IN THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS.

PINs: 09-33-310-004-0000; 09-33-309-007-0000

Commonly known as 1700 W. Higgins Road, Des Plaines, Illinois 60018

SECTION 3. APPROVAL OF REQUESTED RELIEF.

A. Subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in Section 8 of this Ordinance, the City Council hereby approves a Major Amendment to the Conditional Use for a Planned Unit Development granted by the PUD Approvals, to authorize the construction of the Proposed Improvements, all as depicted in that certain “Final Plan of Planned Unit Development,” prepared by SPACECO, Inc., consisting of two sheets, with a latest revision date of February 18, 2021 (“*Amended Plat of PUD*”) a copy of which is attached to, and by this reference made a part of, this Ordinance as *Exhibit A*.

B. Subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in Section 8 of this Ordinance, the City Council hereby approves a revised Final Plat of Subdivision for the Subject Property prepared by SPACECO, Inc., consisting of three sheets with a latest revision date of March 10, 2021 (“*Revised Final Plat*”), a copy of which is attached to and, by this reference made a part of, this Ordinance as *Exhibit B*.

C. All provisions of the Initial PUD Approvals not amended by this grant of approval shall remain in full force and effect.

SECTION 4. CONDITIONS OF APPROVAL. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance and the Subdivision Ordinance, and any other rights that the Petitioner may have, the approvals granted in Section 3 this Ordinance are subject to and contingent upon compliance with each and all of the following conditions, restrictions, limitations, and provisions:

{00119765.5}

A. Compliance with Law and Regulations. The development, use, operation, and maintenance of the Subject Property must comply with all applicable City codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.

B. Compliance with Plans. Except for minor changes and site work approved by the City's Director of Community and Economic Development or Director of Public Works and Engineering (for matters within their respective permitting authorities) in accordance with all applicable City standards, the development, use, operation, and maintenance of the Proposed Development and the Subject Property must comply with the following plans and documents (collectively, "*Final Plans*"):

1. The Amended Plat of PUD;
2. The Parking Count Exhibit prepared by SPACECO, Inc., consisting of two sheets labeled EXH, with a latest revision date of January 18, 2021, a copy of which is attached to and, by this reference made a part of, this Ordinance as *Exhibit C*;
3. Select Architectural Plans prepared by Origination Design, consisting of 11 sheets labeled SP-1, SP-2, SP-3.3, A-1.1, A-1.2, A-1.3, A-1.4, A-1.5, A-2.1, A-4.1, and A-4.2 with a latest revision date of January 17, 2021, a copy of which is attached to and, by this reference made a part of, this Ordinance as *Exhibit D*;
4. Select Engineering Plans prepared by SPACECO, Inc., consisting of six sheets labeled EC1, DEMO, GM1, GR1, UT1, and PP1 with a latest revision date of March 10, 2021, a copy of which is attached to and, by this reference made a part of, this Ordinance as *Exhibit E*;

5. The Revised Final Plat;
7. The Overall Landscape Plan, prepared by Kathryn Talty Landscape Architecture, consisting of three sheets with a latest revision date of February 16, 2021, a copy of which is attached to and, by this reference, made a part of this Ordinance as *Exhibit F*; and
8. The Electrical and Photometric Site Plans, prepared by Kornacki and Associates Consulting Electrical Engineers, consisting of three sheets with a latest revision date of February 17, 2021, a copy of which is attached to and, by this reference, made a part of this Ordinance as *Exhibit G*.

C. Additional Condition. The development, use, and maintenance of the Subject Property shall be subject to and contingent upon the additional condition that drawings may have to be amended to comply with all applicable codes and regulations.

SECTION 5. RECORDATION; BINDING EFFECT. A copy of this Ordinance and the Revised Final Plat must be recorded in the Office of the Cook County Clerk. This Ordinance and the privileges, obligations, and provisions contained herein run with the Subject Property and inure to the benefit of, and are binding upon, the Petitioner and its personal representatives, successors, and assigns, including, without limitation, subsequent purchasers and owners of the Subject Property.

SECTION 6. FAILURE TO COMPLY WITH CONDITIONS.

A. Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall be fined not less than \$75.00 or more than seven hundred and \$750.00 for each offense. Each and every day that a violation of this Ordinance is allowed to remain in effect shall constitute a complete and separate offense. In addition, the appropriate authorities of the City may take such other action as

{00119765.5}

they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person, firm or corporation violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

B. In the event that the Petitioner fails to develop or maintain the Subject Property in accordance with the plans submitted, the requirements of the Zoning Ordinance, the Subdivision Regulations, or the conditions set forth in Section 8 of this Ordinance, the approvals granted by Sections 3 of this Ordinance may be revoked after notice and hearing before the Zoning Administrator of the City, all in accordance with the procedures set forth in Section 12-4-7 of the Zoning Ordinance. In the event of revocation, the development and use of the Subject Property will be governed solely by the regulations of the C-3 District. Further, in the event of such revocation, the City Manager and the City's General Counsel are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Petitioner and the Applicant acknowledge that public notices and hearings have been held with respect to the adoption of this Ordinance, have considered the possibility of the revocation provided for in this Section, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice and hearing required by Section 12-4-7 of the Zoning Ordinance is provided to the Petitioner and the Applicant.

SECTION 7. AMENDMENTS. Any amendment to any provision of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance and the Subdivision Regulations.

SECTION 8. SEVERABILITY. If any paragraph, section, clause or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

{00119765.5}

SECTION 9. EFFECTIVE DATE. This Ordinance will be effective only upon the occurrence of the following events:

- A. Passage by the City Council in the manner required by law;
- B. Publication in pamphlet form in the manner required by law;
- C. The filing with the City Clerk by the Applicant of an unconditional agreement and consent in substantially the form attached to and, by this reference, made a part of this Ordinance as *Exhibit H*, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance, and demonstrating the Applicant’s consent to its recordation;
- E. At Petitioner’s sole cost and expense, the recordation of this Ordinance and the Revised Final Plat, together with such exhibits as the City Clerk deems appropriate for recordation, with the office of the Cook County Clerk.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
____ day of _____, 2021.

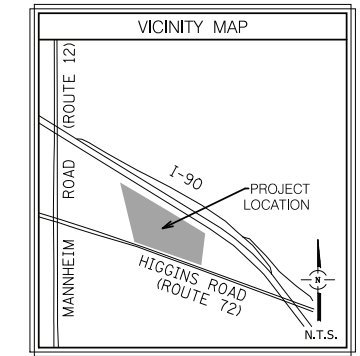
Approved as to form:

CITY CLERK

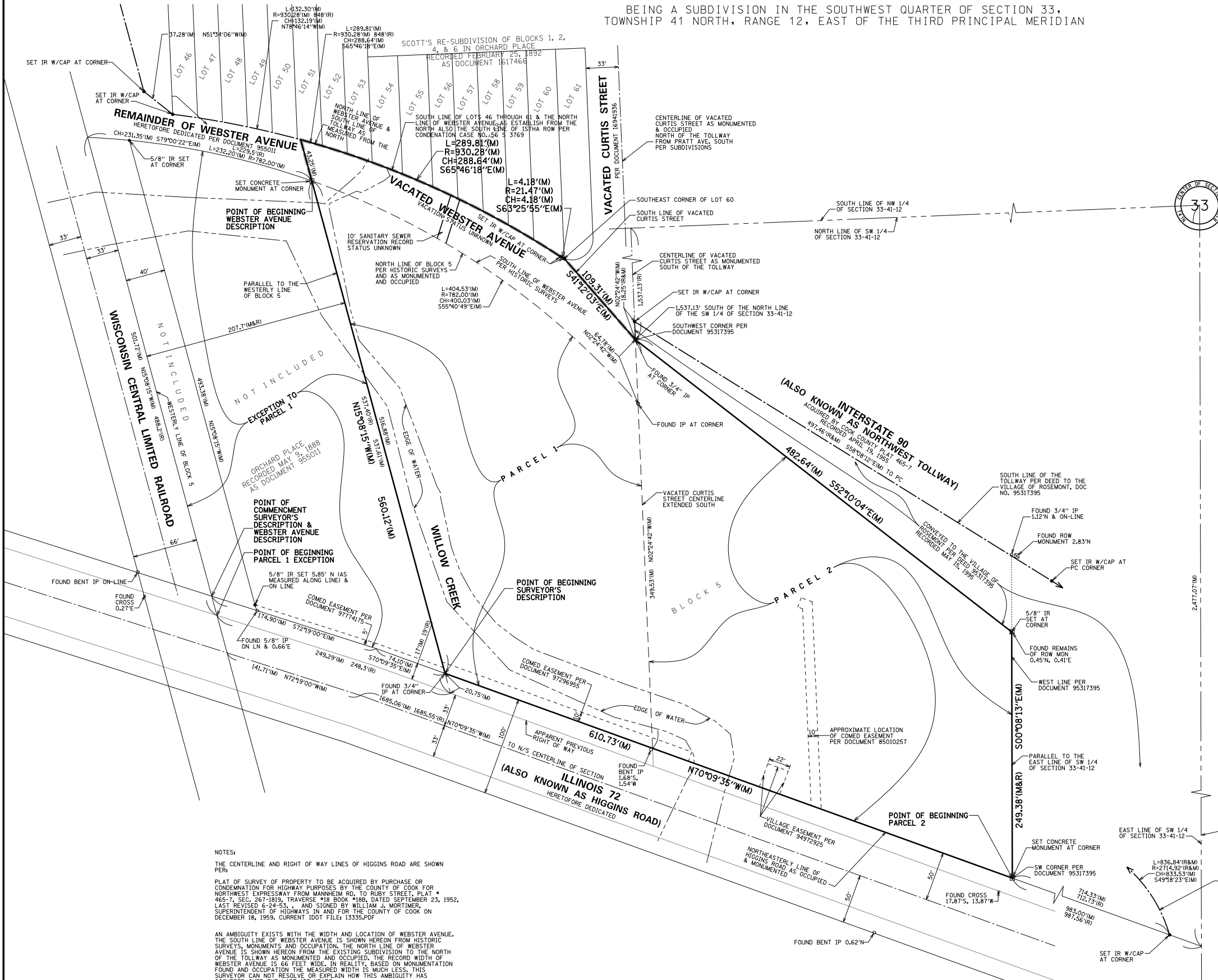
Peter M. Friedman, General Counsel

FINAL PLAN OF PLANNED UNIT DEVELOPMENT 1700 WEST HIGGINS ROAD

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN



LEGEND	
	RIGHT-OF-WAY MONUMENT
	DISC
	IRON / STEEL ROD (IR)
	IRON PIPE (IP)
	CUT CROSS
	PK / MAG NAIL
	RAILROAD SPIKE



PARCEL 1:
BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 248.3 FEET; THENCE NORTHERLY PARALLEL TO THE WESTERLY LINE OF SAID BLOCK 5, 537.4 FEET, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE WESTERLY ALONG SAID WESTERLY LINE, MORE OR LESS TO THE WESTERLY LINE OF SAID BLOCK 5; THENCE SOUTHERLY SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHEASTERLY ALONG SAID LINE TO A POINT IN THE CENTERLINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTERLINE OF CURTIS STREET, AND SAID STREET EXTENDING SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1995 AS DOCUMENT NUMBER 955011;

THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2011), NAD83 (2011 ADJUSTMENT), ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.30 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.00 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP IN CONCRETE, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE, PER SAID ORCHARD PLACE, AS MONUMENTED AND OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 182.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 25, 1992 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 55 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE OF CURTIS AVENUE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT BY THE COUNTY OF COOK PER QUIT CLAIM DEED RECORDED MAY 15, 1995 AS DOCUMENT 95317395; THENCE SOUTH 52 DEGREES 10 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, 482.64 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT A CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG A WESTERLY LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER QUIT CLAIM DEED RECORDED MAY 15, 1995 AS DOCUMENT 95317395; THENCE NORTH TO DEGREES 09 MINUTES 35 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF WEBSTER AVENUE
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1995 AS DOCUMENT NUMBER 955011;

THENCE NORTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2011), NAD83 (2011 ADJUSTMENT), ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.30 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.00 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD; THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP IN CONCRETE, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS MONUMENTED AND OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5, SAID POINT BEING THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG SAID PARALLEL LINE 43.25 FEET TO A POINT ON THE SOUTH LINE OF THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY RIGHT OF WAY, INTERSTATE 90, PER FINAL JUDGMENT ORDER, SUPERIOR COURT OF COOK COUNTY CONDEMNATION CASE NO. 57 S 14630, ENTERED JANUARY 31, 1958, BEING THE SOUTH LINES OF LOTS 46 TO 60 IN BLOCK 4 OF SAID SCOTT'S RE-SUBDIVISION AFORESAID, ALSO BEING THE NORTH LINE OF SAID WEBSTER AVENUE; THENCE SOUTHEASTERLY 288.81 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE SOUTH RIGHT OF WAY LINE OF SAID HIGGINS ROAD AS MONUMENTED AND OCCUPIED, HAVING A RADIUS OF 930.28 FEET AND WHOSE CHORD BEARS SOUTH 63 DEGREES 28 MINUTES 45 SECONDS EAST 418 FEET TO THE SOUTHEAST CORNER OF SAID LOT 60; ALSO BEING THE SOUTH LINE OF VACATED CURTIS STREET PER ORDINANCE RECORDED AS DOCUMENT NUMBER 16941936; THENCE SOUTH 41 DEGREES 12 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF VACATED CURTIS STREET, 109.31 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF SAID VACATED CURTIS STREET AS MONUMENTED, SAID POINT BEING 1537.13 FEET (RECORDED) SOUTH OF THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE SOUTH 02 DEGREES 24 MINUTES 42 SECONDS EAST ALONG THE SOUTHERLY EXTENSION OF SAID CENTERLINE OF SAID CURTIS STREET 64.78 FEET TO A 3/4" IRON PIPE FOUND ON THE SOUTH LINE OF SAID WEBSTER AVENUE AS MONUMENTED AND OCCUPIED; THENCE NORTHWESTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE LEFT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 782.00 FEET AND WHOSE CHORD BEARS NORTH 55 DEGREES 40 MINUTES 49 SECONDS WEST 400.03 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

NOTES:
THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE: 13335.PDF
AN AMBIGUITY EXISTS WITH THE WIDTH AND LOCATION OF WEBSTER AVENUE. THE SOUTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM HISTORIC SURVEYS, MONUMENTS AND OCCUPATION. THE NORTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM THE EXISTING SUBDIVISION TO THE NORTH OF THE TOLLWAY AS MONUMENTED AND OCCUPIED. THE RECORD WIDTH OF WEBSTER AVENUE IS 66 FEET WIDE. IN REALITY, BASED ON MONUMENTATION FOUND AND OCCUPATION THE MEASURED WIDTH IS MUCH LESS. THIS SURVEYOR CAN NOT RESOLVE OR EXPLAIN HOW THIS AMBIGUITY HAS OCCURRED OVER THE LAST 133 YEARS.
THE NORTH AND SOUTH LINES OF WEBSTER AVENUE, AS SHOWN ON THE ATTACHED DRAWING, ARE LOCATED AND SHOWN AS MONUMENTED AND OCCUPIED AND ARE IN MY PROFESSIONAL OPINION THE BEST RESOLUTION OF THE ABOVE DESCRIBED AMBIGUITY.

PREPARED FOR & OWNER:
ANDREW SAUNDERS
QUATTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

EXISTING BOUNDARY INFORMATION

REVISIONS: 02/18/2021	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 01/13/2021 JOB NO: 8779.02 FILENAME: 8779.02PUD-02 SHEET: 1 OF 2
--------------------------	---	---

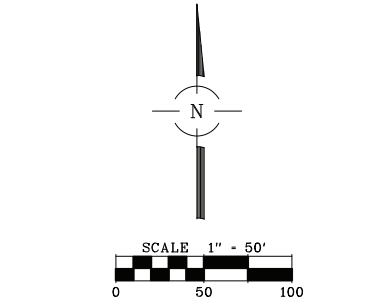
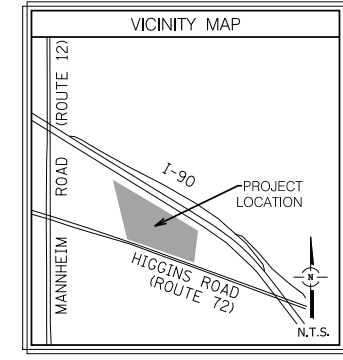
9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

SPARCO INC.

FOR REVIEW
PURPOSES ONLY

FINAL PLAN OF PLANNED UNIT DEVELOPMENT 1700 WEST HIGGINS ROAD

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN

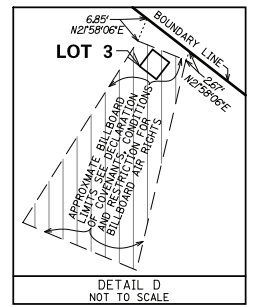
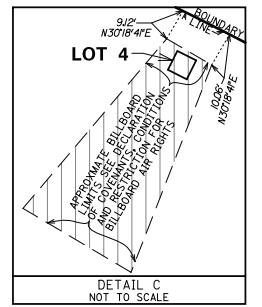
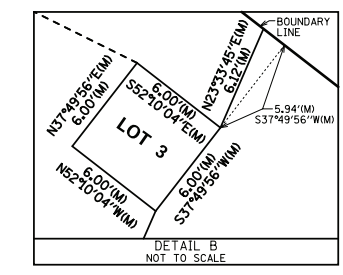
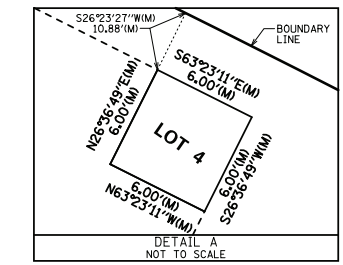


	SQUARE FEET	ACRES
LOT 1	197,350	4.531
LOT 2	52,774	1.212
LOT 3	36	0.001
LOT 4	36	0.001
TOTAL	250,195	5.744

NOTES:
UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.
PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.
PER ATLAS, EXISTING UTILITY IS SHOWN ON THE PLAN BASED ON UTILITY COMPANY PROVIDED ATLAS SHEETS. LOCATION WAS NOT BEEN SURVEYED. DEPTH AND LOCATION OF EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS. NOTE THAT EXISTING UTILITIES IN ADDITION TO WHAT ARE SHOWN MAY BE PRESENT.

THIS PLAT DOES NOT GRANT ANY EASEMENTS. SEE PLAT OF SUBDIVISION FOR EASEMENTS TO BE GRANTED.

- TO BE GRANTED EASEMENT FOR ACCESS
- TO BE GRANTED EASEMENT FOR STORM SEWER
- TO BE GRANTED EASEMENT FOR PUBLIC UTILITIES
- TO BE GRANTED EASEMENT FOR STORM WATER DETENTION AREA
- TO BE GRANTED BLANKET PEDESTRIAN & VEHICLE ACCESS & PARKING EASEMENT
- APPROXIMATE BILLBOARD LIMITS SEE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTION FOR BILLBOARD AIR RIGHTS



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

AIR RIGHTS BILLBOARD OVERHAND EASEMENT PROVISIONS
EASEMENT FOR THE PURPOSE OF ACCESS, INGRESS AND EGRESS, TO AND FROM EACH PARCEL HEREIN DESCRIBED AS LOT 1, LOT 2, LOT 3 AND LOT 4, TO FACILITATE MAINTENANCE, OPERATION AND REPAIR OF EASEMENT OF BILLBOARDS, BASES/PADS AND OTHER COMPONENTS LOCATED ON LOTS 1 THROUGH 4, PURSUANT TO THE TERMS OF THAT RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDERS OF DEEDS AS DOCUMENT NO. 184-001157.

BLANKET CROSS ACCESS AND PARKING EASEMENT PROVISIONS
EASEMENT FOR THE PURPOSES OF VEHICULAR AND PEDESTRIAN ACCESS, INGRESS, EGRESS, PARKING, LOADING/UNLOADING, DELIVERIES, AS WELL AS MAINTENANCE, REPAIR, REPLACEMENT AND CONSTRUCTION ACROSS AND UPON EACH PARCEL HEREIN DESCRIBED AS LOT 1, LOT 2, LOT 3 & LOT 4, EXCEPT THAT THE PATRONS, EMPLOYEES AND DELIVERY PERSONNEL OF LOT 2 (HOTEL) SHALL HAVE PRIORITY AS TO THE BENEFITS OF SUCH EASEMENTS PURSUANT TO THE TERMS OF THAT RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDERS OF DEEDS AS DOCUMENT NO. 184-001157.

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF COOK) SS

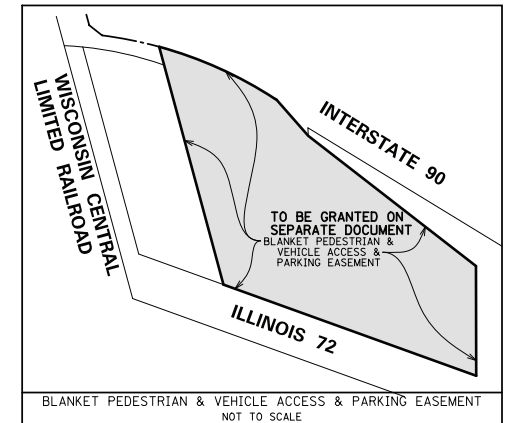
WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT WE HAVE SURVEYED AND SUBDIVIDED THE PROPERTY AS HEREON DESCRIBED, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND PLANNED UNIT DEVELOPMENT PLAT.
WE FURTHER DECLARE THAT BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 17031C0297J MAP WITH AN EFFECTIVE DATE OF AUGUST 19, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADDED) - AREA OF MINIMAL FLOOD HAZARD; ZONE X (SHADDED) - 0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE; AND ZONE AE (HATCH) - REGULATORY FLOODWAY AS IDENTIFIED BY SAID F.I.R.M. MAP.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 2021, IN ROSEMONT, ILLINOIS.

C. BRIAN LOUNSBURY, I.P.L.S. No. 035-2841
LICENSE EXPIRES: 11-30-2022

PROPOSED LOT & EASEMENT LAYOUT

REVISIONS: 02/18/2021 03/10/2021		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 01/13/2021 JOB NO: 8779.02 FILENAME: 8779.02PUD-02 SHEET: 2 OF 2
--	--	--	---

FOR REVIEW PURPOSES ONLY

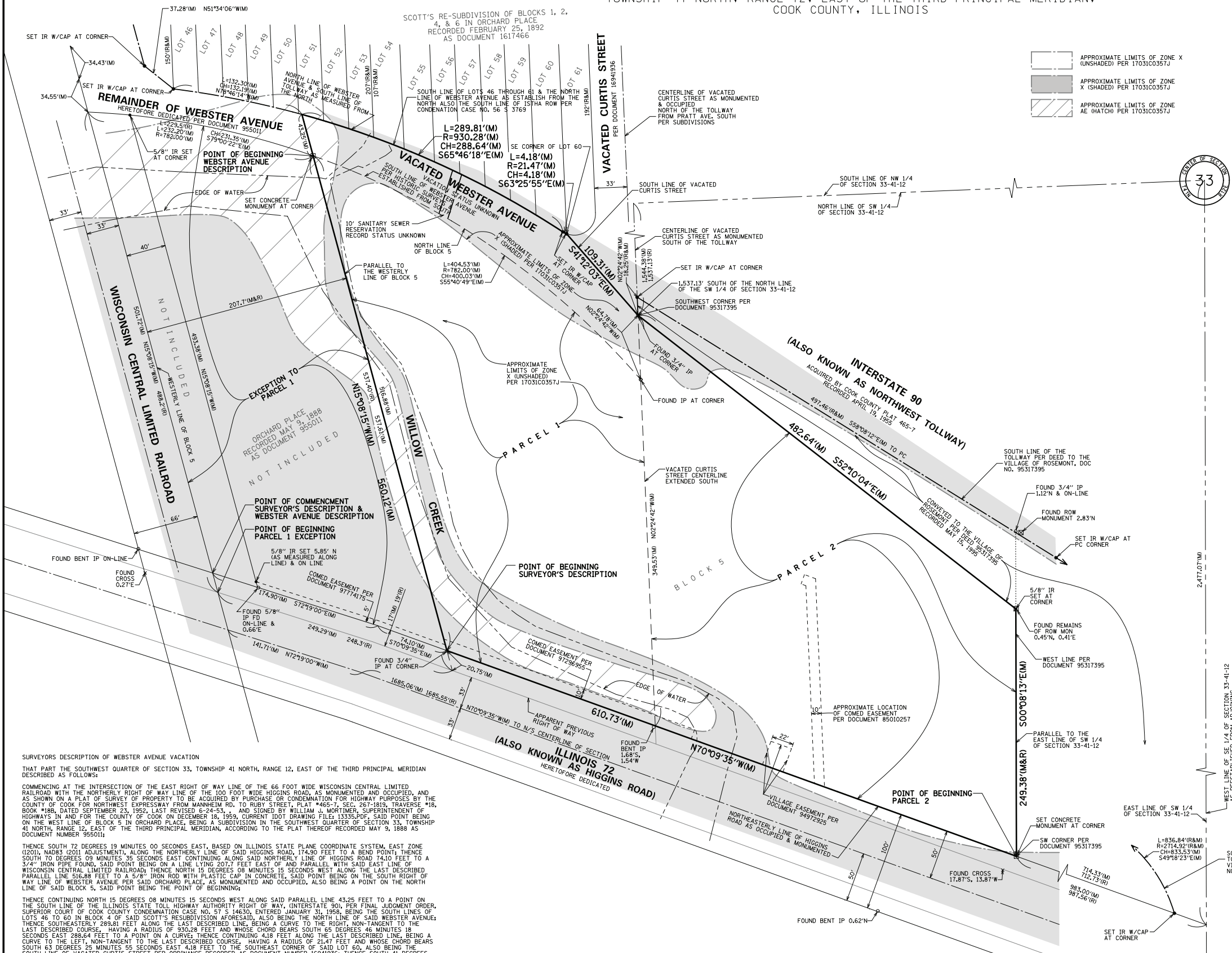
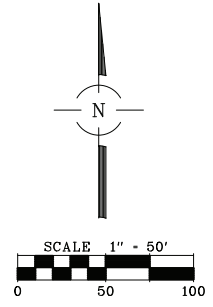
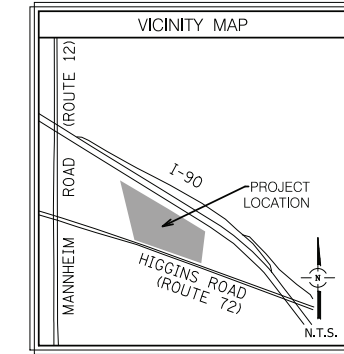


TABULATION TABLE		
	LOT 1 (OFFICE & GARAGE)	LOT 2 (HOTEL)
NUMBER OF BUILDINGS	2	1
FLOOR AREA (NET)	135,204 SQ. FT. (OFFICE)	52,940 SQ. FT.
BUILDING HEIGHT	72' (6 STORIES)	68.83' (5 FLOORS)
HOURS OF OPERATION	N/A	SU-SA 24 HOURS
• OF EMPLOYEES	N/A	4
SPECIFIC USES	OFFICE USE & 3,338 SF OF LAB SPACE	HOTEL
• OF DWELLING UNITS PER ACRE	N/A	N/A
OFF-STREET PARKING REQUIRED	541	115
OFF-STREET PARKING PROVIDED	338 TOTAL (207 GARAGE + 131 SITE) - INCLUDES 28 INTERIOR PARKING	63

PREPARED FOR & OWNER:
ANDREW SAUNDERS
QUATTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

FINAL PLAT OF 1700 WEST HIGGINS ROAD SUBDIVISION

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
COOK COUNTY, ILLINOIS



LEGEND

- Right-of-Way Monument
- Disc
- Iron / Steel Rod (IR)
- Iron Pipe (IP)
- Cut Cross
- PK / MAG NAL
- Railroad Spike
- Subdivision Limits

APPROXIMATE LIMITS OF ZONE X (UNSHADED) PER 17031C0357J

APPROXIMATE LIMITS OF ZONE X (SHADED) PER 17031C0357J

APPROXIMATE LIMITS OF ZONE AE (HATCH) PER 17031C0357J

PROPERTY DESCRIPTION (PER TITLE COMMITMENT NUMBER/FILE NO.: NCS-931718-MKE)

PARCEL 1:
BLOCK 5 IN ORCHARD PLACE (BY SCOTT), BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM BLOCK 5 THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF HIGGINS ROAD, 249.38 FEET; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET; THENCE WESTERLY ALONG SAID NORTHERLY LINE, 229.5 FEET; THENCE WESTERLY ALONG SAID WESTERLY LINE, 488.2 FEET MORE OR LESS TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, DESCRIBED AS FOLLOWS:
COMMENCING ON THE NORTHERLY LINE OF SAID HIGGINS ROAD, 987.56 FEET NORTHWESTERLY OF THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER, 249.38 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE TO A POINT IN THE CENTER LINE OF CURTIS STREET, SAID POINT BEING 1537.13 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE SOUTH ALONG THE CENTER LINE OF CURTIS STREET, AND SAID STREET EXTENDED SOUTH TO THE NORTHERLY LINE OF HIGGINS ROAD; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYORS DESCRIPTION OF PARCELS 1 AND 2
THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1888 AS DOCUMENT NUMBER 955011;

THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (1203), NAD83 (2011 ADJUSTMENT), ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.90 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.10 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG SAID PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5; THENCE SOUTHEASTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 782.00 FEET (AS SHOWN ON SCOTT'S RE-SUBDIVISION, RECORDED FEBRUARY 25, 1892 AS DOCUMENT NUMBER 1617466) WHOSE CHORD BEARS SOUTH 56 DEGREES 40 MINUTES 49 SECONDS EAST 400.03 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF CURTIS AVENUE AS MONUMENTED; THENCE NORTH 02 DEGREES 24 MINUTES 42 SECONDS WEST ALONG SAID CENTERLINE AS MONUMENTED 64.78 FEET TO A 3/4" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT BY THE COUNTY OF COOK PER QUIT CLAIM DEED RECORDED MAY 15, 1996 AS DOCUMENT 95317395; THENCE SOUTH 52 DEGREES 10 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, 482.64 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT A CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT; THENCE SOUTH 09 DEGREES 08 MINUTES 13 SECONDS EAST ALONG A WESTERLY LINE OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID LINE BEING PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33, A DISTANCE OF 249.38 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP AT THE SOUTHWEST CORNER OF THE LAST DESCRIBED PROPERTY CONVEYED TO THE VILLAGE OF ROSEMONT, SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD AS MONUMENTED AND OCCUPIED, WHICH POINT IS 983.00 FEET NORTHWESTERLY OF SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 33, AS MEASURED, 987.56 FEET RECORD PER QUIT CLAIM DEED RECORDED MAY 15, 1996 AS DOCUMENT 95317395; THENCE NORTH TO DEGREES 09 MINUTES 35 SECONDS WEST ALONG SAID NORTHERLY LINE OF HIGGINS ROAD AS MONUMENTED AND OCCUPIED 610.73 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S NOTES:
NO DOCUMENTS WERE PROVIDED FOR THE DEDICATION OR CONVEYANCE OF HIGGINS ROAD, A REQUEST WAS MADE TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE VILLAGE OF ROSEMONT, THE CITY OF DES PLAINES, AND THE TITLE COMPANY WITH NO SUCCESS. THE RIGHT OF WAY OF HIGGINS ROAD IS SHOWN BASED ON PREVIOUS SURVEYS, AS OCCUPIED AND TAX MAPS.

NOTES:
THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18 BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE: 13335.PDF

AN AMBIGUITY EXISTS WITH THE WIDTH AND LOCATION OF WEBSTER AVENUE, THE SOUTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM HISTORIC SURVEYS, MONUMENTS AND OCCUPATION. THE NORTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM THE EXISTING SUBDIVISION TO THE NORTH OF THE TOLLWAY AS MONUMENTED AND OCCUPIED. THE RECORD WIDTH OF WEBSTER AVENUE IS 66 FEET WIDE, IN REALITY, BASED ON MONUMENTATION FOUND AND OCCUPATION THE MEASURED WIDTH IS MUCH LESS. THIS SURVEYOR CAN NOT RESOLVE OR EXPLAIN HOW THIS AMBIGUITY HAS OCCURRED OVER THE LAST 133 YEARS.
THE NORTH AND SOUTH LINES OF WEBSTER AVENUE, AS SHOWN ON THE ATTACHED DRAWING, ARE LOCATED AND SHOWN AS MONUMENTED AND OCCUPIED AND ARE IN MY PROFESSIONAL OPINION THE BEST RESOLUTION OF THE ABOVE DESCRIBED AMBIGUITY.

SURVEYORS DESCRIPTION OF WEBSTER AVENUE VACATION
THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1952, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1888 AS DOCUMENT NUMBER 955011;

THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (1203), NAD83 (2011 ADJUSTMENT), ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.90 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS EAST CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.10 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG SAID PARALLEL LINE 43.25 FEET TO A POINT ON THE SOUTH LINE OF THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY RIGHT OF WAY, (INTERSTATE 90), PER FINAL JUDGMENT ORDER, SUPERIOR COURT OF COOK COUNTY CONDEMNATION CASE NO. 57 S 14630, ENTERED JANUARY 31, 1968, BEING THE SOUTH LINES OF LOTS 46 TO 60 IN BLOCK 4 OF SAID SCOTT'S RE-SUBDIVISION AFORESAID, ALSO BEING THE NORTH LINE OF SAID WEBSTER AVENUE; THENCE SOUTHEASTERLY 289.81 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 930.28 FEET AND WHOSE CHORD BEARS SOUTH 65 DEGREES 46 MINUTES 18 SECONDS EAST 289.64 FEET TO A POINT ON A CURVE, THENCE CONTINUING 4.18 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE LEFT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 21.47 FEET AND WHOSE CHORD BEARS SOUTH 63 DEGREES 25 MINUTES 58 SECONDS EAST 4.18 FEET TO THE SOUTHWEST CORNER OF SAID LOT 60, ALSO BEING THE SOUTH LINE OF VACATED CURTIS STREET PER ORDINANCE RECORDED AS DOCUMENT NUMBER 169419366; THENCE SOUTH 41 DEGREES 12 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF VACATED CURTIS STREET, 109.31 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF SAID VACATED CURTIS STREET, AS MONUMENTED, SAID POINT BEING 1537.13 FEET (RECORD) SOUTH OF THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE SOUTH 02 DEGREES 24 MINUTES 42 SECONDS EAST ALONG THE SOUTHERLY EXTENSION OF SAID CENTERLINE OF VACATED CURTIS STREET 64.78 FEET TO A 3/4" IRON PIPE FOUND ON THE SOUTH LINE OF SAID WEBSTER AVENUE AS MONUMENTED AND OCCUPIED; THENCE SOUTHWESTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE LEFT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 782.00 FEET AND WHOSE CHORD BEARS NORTH 55 DEGREES 40 MINUTES 49 SECONDS WEST 400.03 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

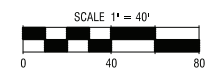
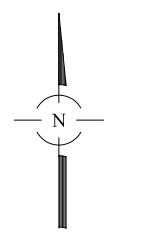
PREPARED FOR & OWNER:
ANDREW SAUNDERS
QUANTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

FOR REVIEW
PURPOSES ONLY

REVISIONS: 02/18/2021		CONSULTING ENGINEERS DATE: 01/13/2021
SITE DEVELOPMENT ENGINEERS JOB NO: 8779.02		
LAND SURVEYORS FILENAME: 8779.02PLAT-02	9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	SHEET 1 OF 3

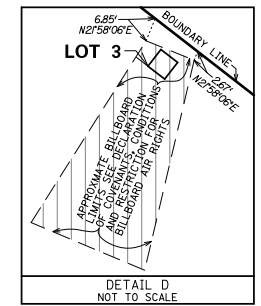
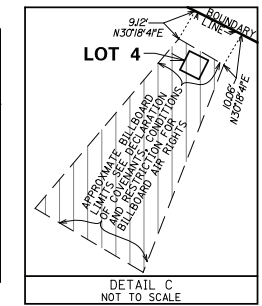
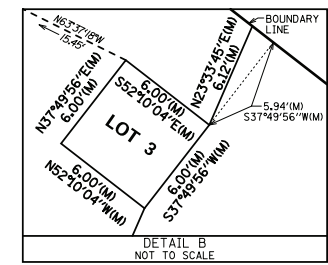
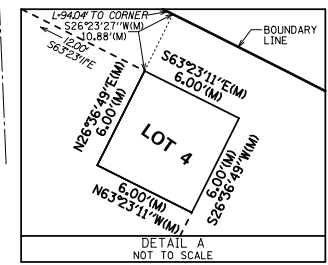
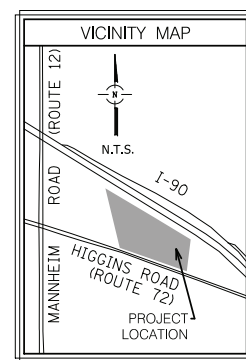
FINAL PLAT OF 1700 WEST HIGGINS ROAD SUBDIVISION

BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
COOK COUNTY, ILLINOIS



NOTE: ALL BEARINGS AND DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED.

	SQUARE FEET	ACRES
LOT 1	197,350	4.531
LOT 2	52,774	1.212
LOT 3	36	0.001
LOT 4	36	0.001
TOTAL	250,195	5.744



- HEREBY GRANTED EASEMENT FOR ACCESS
- HEREBY GRANTED EASEMENT FOR STORM SEWER
- HEREBY GRANTED EASEMENT FOR PUBLIC UTILITIES
- HEREBY GRANTED CREEK MAINTENANCE EASEMENT
- HEREBY GRANTED STORM WATER DETENTION AREA
- HEREBY GRANTED BLANKET PEDESTRIAN & VEHICLE ACCESS & PARKING EASEMENT
- APPROXIMATE BILLBOARD LIMITS SEE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTION FOR BILLBOARD AIR RIGHTS

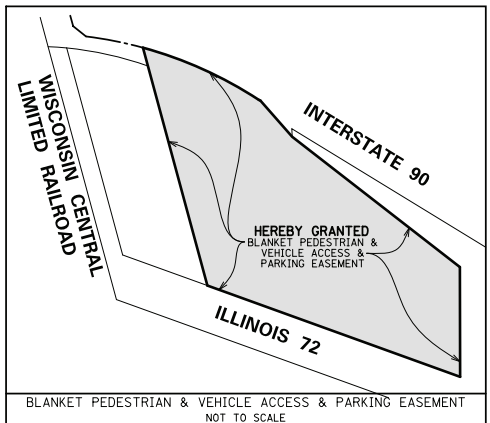
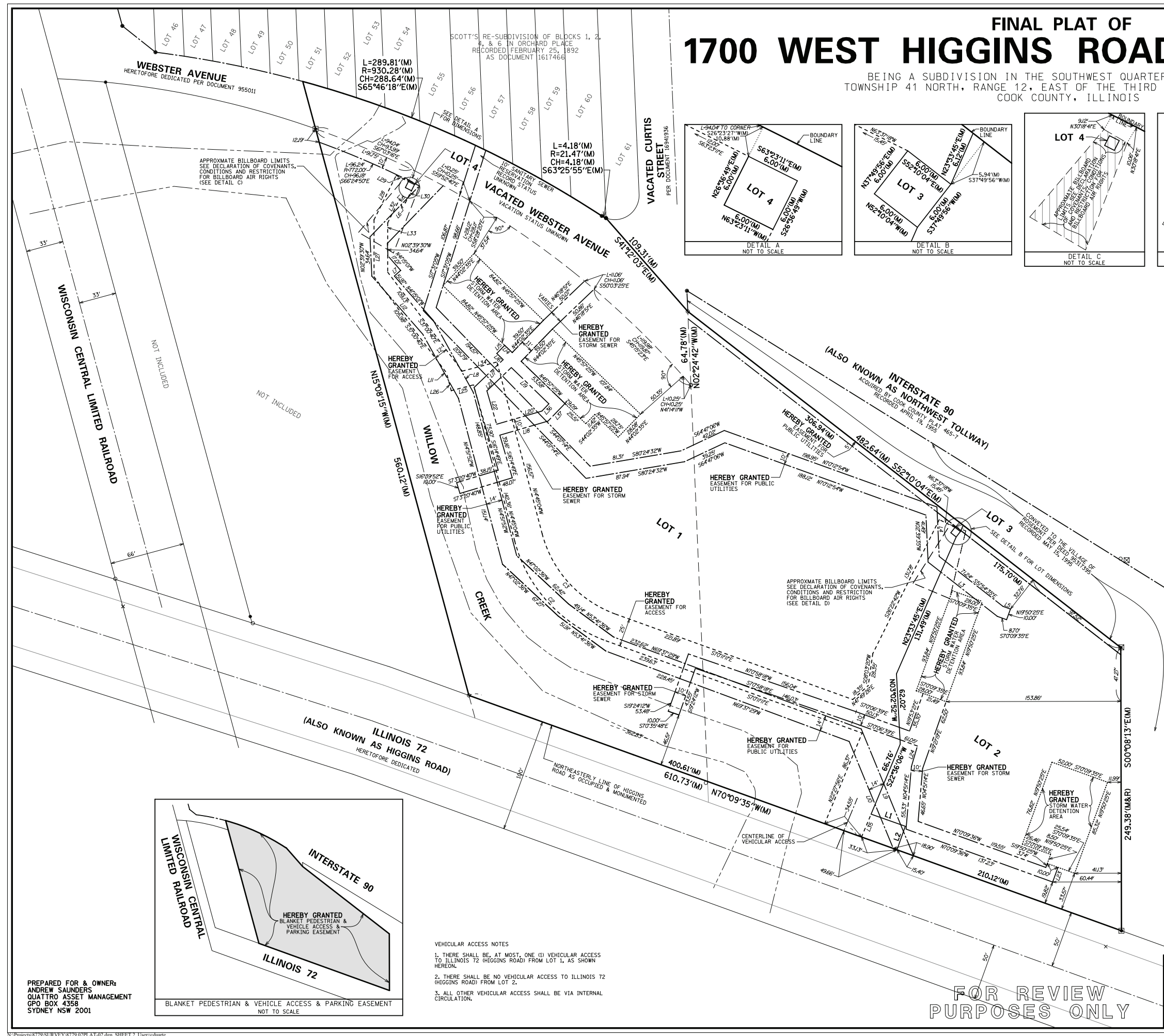
LINE TABLE		
LINE	DISTANCE	BEARING
L1	31.98'	S70°26'39"E
L2	21.96'	N19°34'46"E
L3	71.43'	S5°54'38"E
L4	43.60'	S02°39'39"E
L5	7.87'	S70°09'39"E
L6	62.44'	N44°02'35"E
L7	7.44'	N48°44'52"E
L8	72.52'	N29°04'05"W
L9	120.70'	S22°21'46"E
L10	101.88'	S22°21'46"E
L11	64.54'	N29°04'05"W
L12	68.04'	N41°51'0"W
L13	57.96'	N19°50'30"E
L14	9.24'	S45°51'25"E
L15	10.00'	N44°02'35"E
L16	7.84'	N45°51'25"W
L17	35.44'	N46°18'5"E
L18	44.77'	S73°45'11"W
L19	42.42'	N45°51'25"W
L20	41.51'	S73°45'11"W
L21	29.76'	N46°18'5"E
L22	30.59'	S16°14'49"E
L23	13.74'	S19°50'25"W
L24	16.84'	N16°21'48"E
L25	20.33'	N75°11'0"E
L26	16.28'	N44°48'50"W
L27	50.23'	S00°00'00"E
L28	43.61'	N26°36'49"E
L29	12.00'	S63°23'11"E
L30	12.00'	N26°36'49"E
L31	6.00'	S53°31'11"E
L32	22.77'	N26°36'49"E
L33	43.37'	S00°00'00"E
L34	31.53'	N75°11'0"E
L35	21.83'	N22°36'06"E
L36	8.84'	S44°02'35"W
L37	21.49'	S44°02'35"W

CURVE TABLE			
CI	NA	RADIUS	CHORD
C1	NA	NA	NA
C2	123.84'	128.00'	119.07'
C3	99.66'	103.00'	95.81'

PROPOSED LOT & EASEMENT LAYOUT

REVISIONS: 02/11/2021 SAN SEM 02/18/2021 03/10/2021		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 01/13/2021 JOB NO: 8779.02 FILENAME: 8779.02PLAT-02 SHEET 2 OF 3
--	--	--	---

FOR REVIEW PURPOSES ONLY



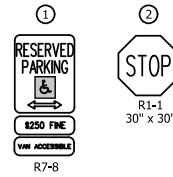
- VEHICULAR ACCESS NOTES
1. THERE SHALL BE, AT MOST, ONE (1) VEHICULAR ACCESS TO ILLINOIS 72 (HIGGINS ROAD) FROM LOT 1, AS SHOWN HEREON.
 2. THERE SHALL BE NO VEHICULAR ACCESS TO ILLINOIS 72 (HIGGINS ROAD) FROM LOT 2.
 3. ALL OTHER VEHICULAR ACCESS SHALL BE VIA INTERNAL CIRCULATION.

PREPARED FOR & OWNER:
ANDREW SAUNDERS
QUATTRO ASSET MANAGEMENT
GPO BOX 4358
SYDNEY NSW 2001

NOTES:

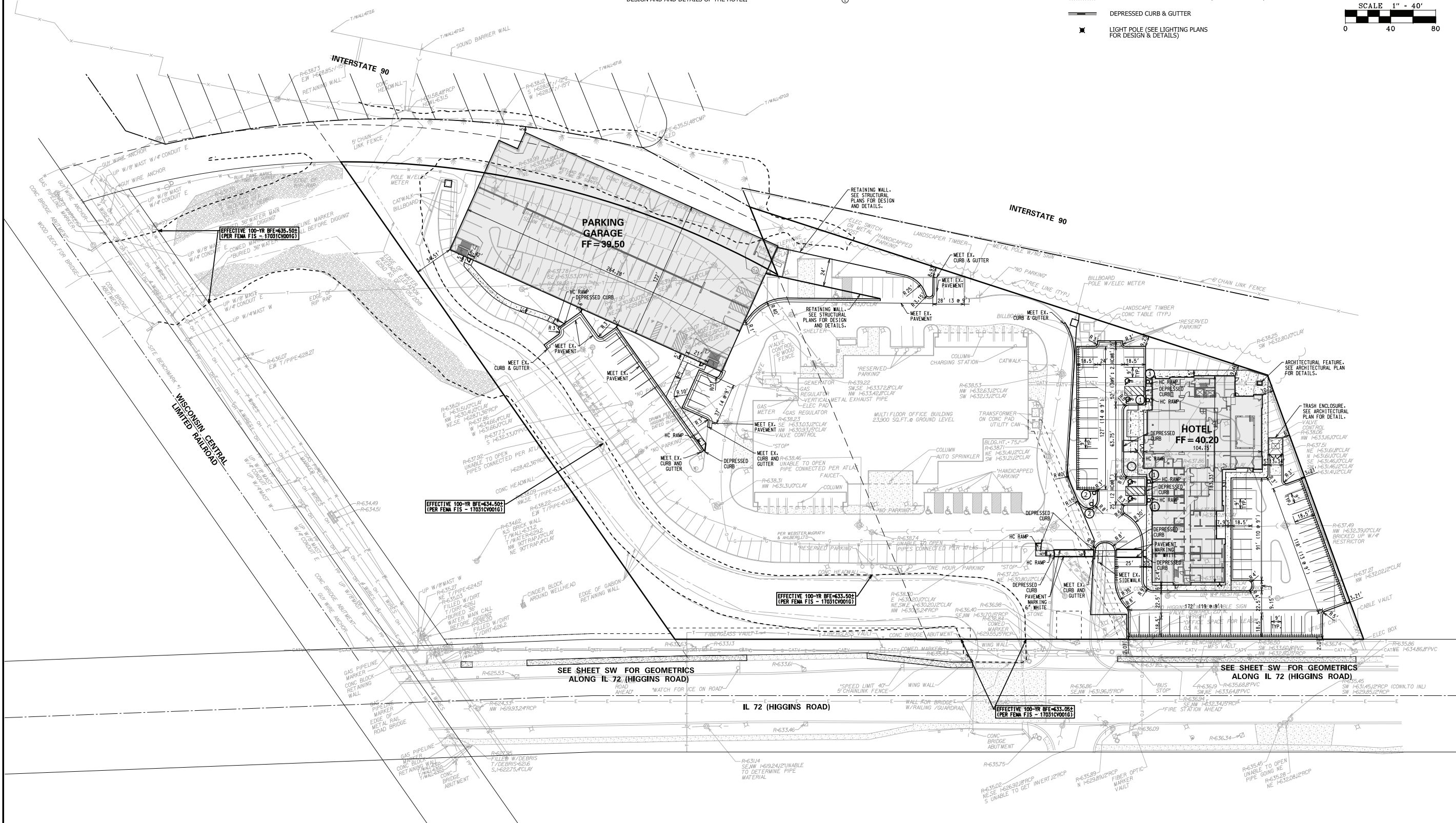
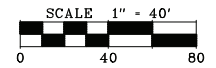
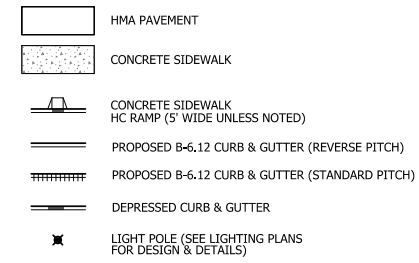
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER IS REVERSE PITCH (PITCH OUT) B.6.12 UNLESS OTHERWISE NOTED.
3. SEE SHEET GN FOR PAVEMENT SECTIONS.
4. ALL ON-SITE PAVEMENT MARKINGS SHALL BE PAINT UNLESS OTHERWISE NOTED.
5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
6. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DESIGN AND DETAILS OF THE HOTEL.

SIGN LEGEND:



NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②

LEGEND



NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.03GM1

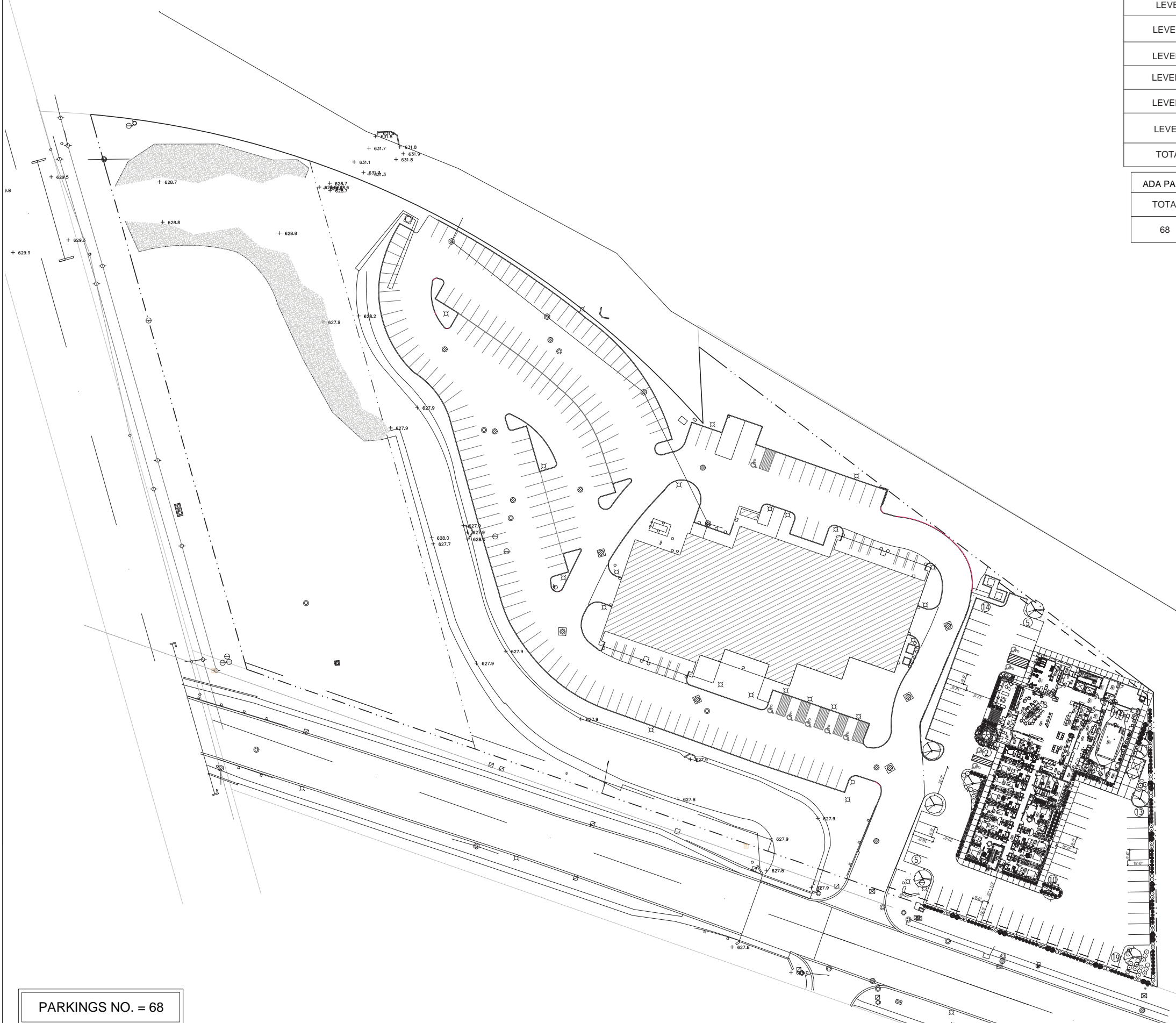
DATE:
01/15/20

JOB NO.
8779.03

SHEET
GM1

5 OF 24

CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.



GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO		
LEVEL	GROSS SQFT	TOTAL GUESTROOMS
LEVEL 1	14,768SF	11
LEVEL 2	12,498 SF	24
LEVEL 3	12,498 SF	24
LEVEL 4	12,498 SF	24
LEVEL 4	12,498 SF	24
TOTAL	64,760SF	107

ADA PARKING REQUIREMENT		
TOTAL	REQUIRED	PROVIDED
68	4	4

PARKINGS NO. = 68

01 SITE PLAN
Exhibit D



3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



1700 E Higgins Road
Des Plaines IL, 60018

SITE PLAN



No.	Description	Date

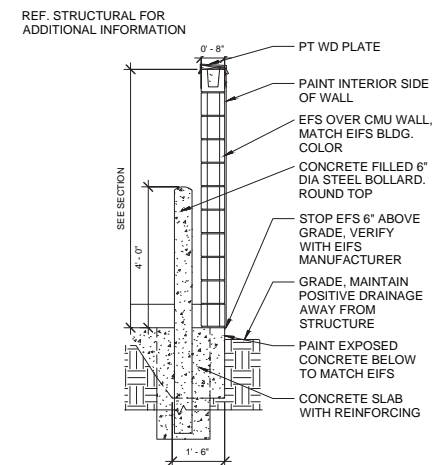
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

Project Number	202005
Date	09/04/20
Drawn By	M.N.
Checked By	J.G.

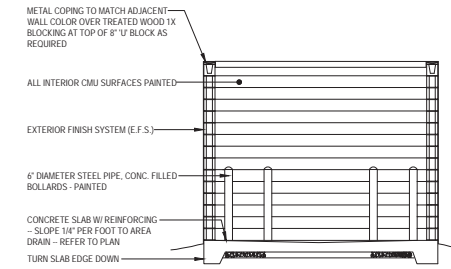
No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

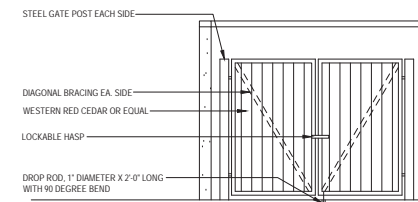
Project Number	202005
Date	01/17/21
Drawn By	Y.D.
Checked By	J.G.



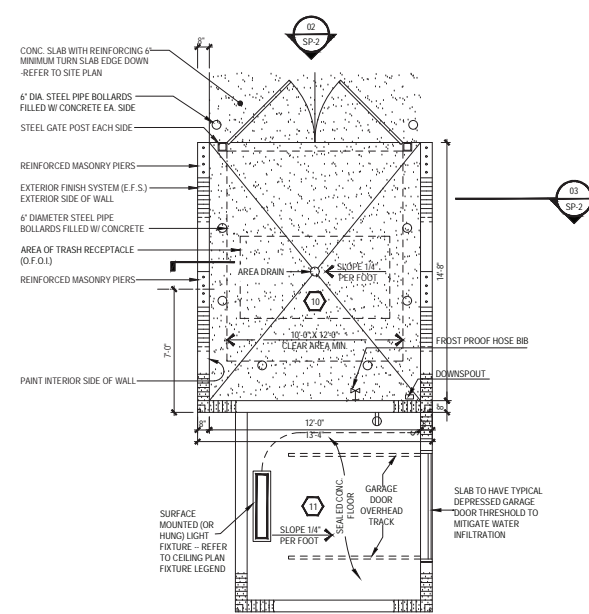
04 WALL SECTION
SCALE: 1/2" = 1'-0"



03 EXTERIOR REFUSE RECEPTACLES SECTION
SCALE: 1/4" = 1'-0"



02 EXTERIOR REFUSE RECEPTACLES ELEVATION
SCALE: 1/4" = 1'-0"



01 EXTERIOR REFUSE RECEPTACLES PLAN
SCALE: 1/4" = 1'-0"



3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM

INTERIOR ELEVATIONS & DETAILS POOL



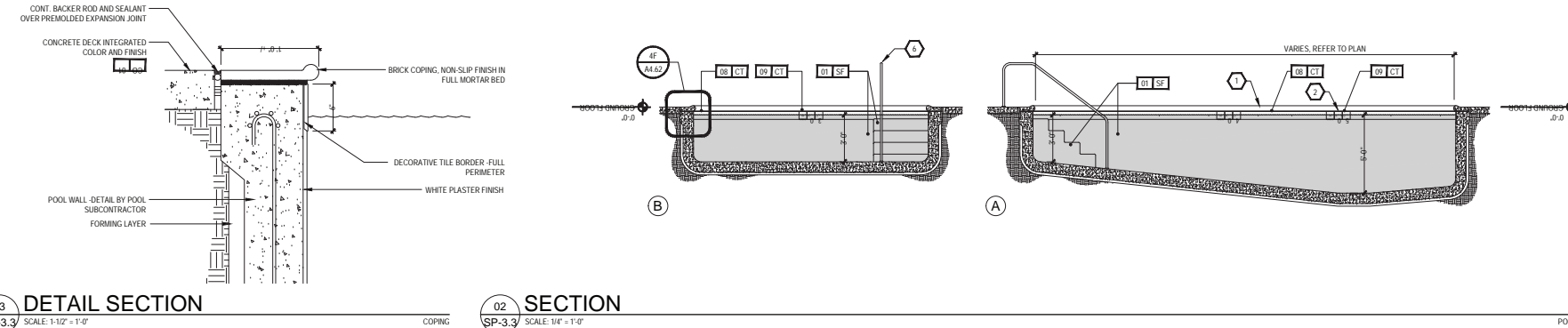
No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

Project Number	202005
Date	09/29/20
Drawn By	Y.D.
Checked By	J.G.

SP- 3.3
Page 81 of 108

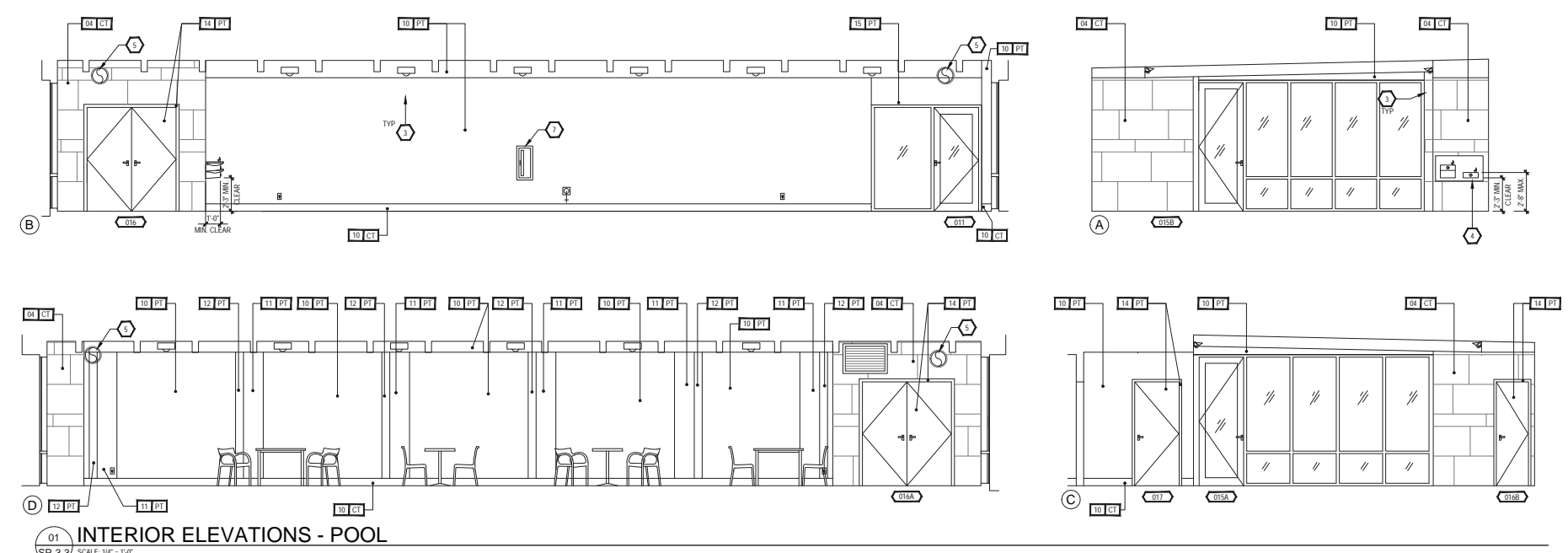
KEY NOTES:	
1	BRICK COPING AT PERIMETER OF POOL
2	POOL DEPTH MARKERS AS REQUIRED BY CODE. INSET FLUSH WITH CEILING TILE BAND. WALL LOCATION ALSO INDICATES CORRESPONDING POOL DECK TILE LOCATION. DECK AND WALL TILES TO BE ALIGNED. POOL CONTRACTOR TO VERIFY POOL DEPTHS PRIOR TO INSTALLATION.
3	WALL SCORE (A, WET LABEL)
4	DRINKING FOUNTAIN LOCATION
5	EXPOSED HVAC. STAINLESS SPIRAL DUCT
6	RAILS MUST COMPLY WITH LOCAL CODES FOR SIZE, STRENGTH, OFFSET FROM STAIRS
7	FIRE EXTINGUISHER CABINET
FINISH LEGEND:	
PT	PAINT
PL	PLASTIC LAMINATE
ST	STONE
SF	SPECIAL FINISH
CD	CONCRETE
CP	CAPORET
CT	CEILING
C	GLASS
QT	QUARRY TILE
VB	VINYL BASE
WCT	WALL COVERING
WC	WALLCOVERING
NOTE: REFER TO SEPARATE FF&E SPECIFICATIONS MANUAL AND SEPARATE COLOR AND MATERIALS SPECIFICATIONS MANUAL FOR FURNITURE ITEMS NOT IDENTIFIED WITH THESE DRAWINGS	
POWER AND SIGNAL LEGEND:	
TEMP	THERMOSTAT
VO	VOICE OUTLET
PO	POWER OUTLET
DO	DATA OUTLET
CD	CCTV DEVICE
WJ	WALL MOUNTED JUNCTION BOX
ES	ELECTRICAL SWITCH
SD	SMOKE DETECTOR
SWS	SIDE WALL SPRINKLER HEAD
FS	FIRE SPEAKER
HBB	HOSE BBB
GENERAL NOTES:	
1.	REFER TO FF&E PACKAGE FOR FURNITURE, BUILT IN MILLWORK AND FINISH SPECIFICATIONS
2.	SMOKE DETECTORS, SPRINKLERS, AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. INDICATED FOR INTENT ONLY.
3.	PROVIDE EMERGENCY LIGHTING PER LOCAL CODE.
4.	WALL DEVICES TO BE MOUNTED AT 48" A.F.F. TYPICAL U.N.O.
5.	REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITION GUESTROOM, GUESTROOM BATH, GUESTROOM KITCHEN AND INDOOR POOL REQUIREMENTS.



03 DETAIL SECTION
SP-3.3 SCALE: 1/2" = 1'-0"

02 SECTION
SP-3.3 SCALE: 1/4" = 1'-0"

POOL



01 INTERIOR ELEVATIONS - POOL
SP-3.3 SCALE: 1/4" = 1'-0"



3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



FIRST FLOOR PLAN



- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL, ELECTRICAL AND PLUMBING CHASE
 - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUSCH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
 - CANOPY ROOF OVERFLOW SCOPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. ISOLATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HMD FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
 - ROOF OF POOL BELOW
 - NOT USED
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - NOT USED
 - WIRE SHELVING SYSTEM - REFER TO FF&E
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4' 4" F.
 - MEMBRANE ROOF. SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAIN/GUTTERS
 - TAPERED INSULATION CRICKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH. SEE PER LOCAL BUILDING CODES. ACCESSSED VIA AN ALTERNATING TREAD STAIR
 - ROOF PARAPET
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON. REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER'S INDOOR LOCAL CODE PROVISIONS
 - KEYCARD HEADER ENTRANCE HARDWARE MOUNTED SO THAT TOP OF HEADER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
 - PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
 - SLASHLOCK
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CMU CORNER TO HAVE 1" RADIIUS BULLNOSE
 - MILK MILK PROTECTION PAD IN CONTRACTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2 HOUR RATED SHAFT WITH RATED DOOR

SYMBOL / FIXTURES KEY:

[Symbol]	ACCESSIBLE ROOM
[Symbol]	COMMUNICATION FEATURES ROOM. REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
[Symbol]	MAGNETIC DOOR HOLD OPERATED TO BUILDING ALARM SYSTEM. REFER TO DOOR SCHEDULE, ELEC. & ALARM DRAWINGS

GENERAL NOTES THIS SHEET:

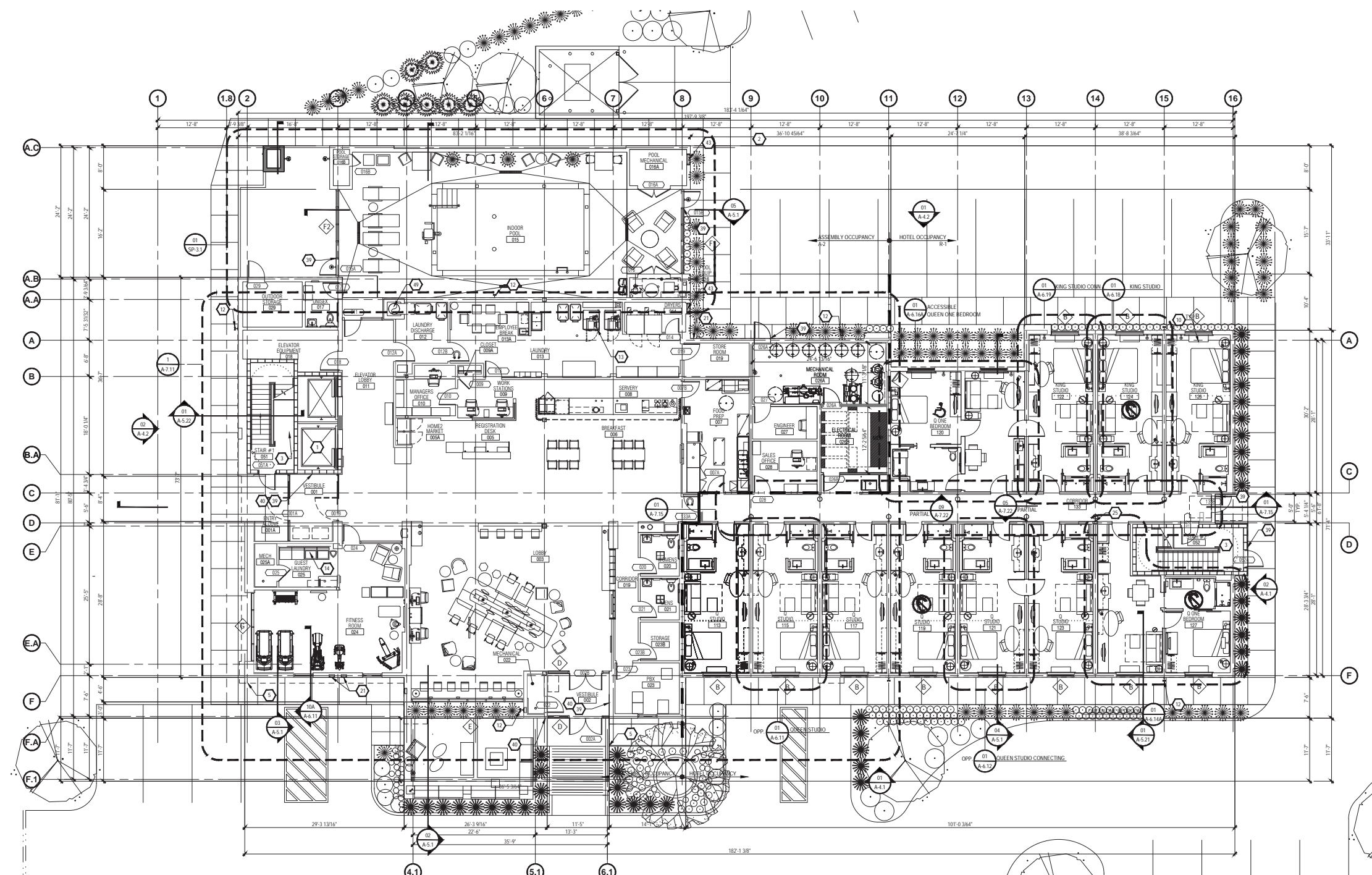
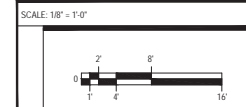
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
- ROOF SLOPE & NUMBER OF ROOF DRAINAGE PER LOCAL BUILDING CODES
- REFER TO STANDARDS FOR FUTURE EQUIPMENT REQS
- REFER TO HMD FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & COMMON AREAS
- THE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS. COMPLYING WITH NFPA 72 (7-99 OR 2002) ADDITIONAL AS REQ'D BY LOCAL AUTHORITIES. ALARMS NOT BE LOCATED IN PUBLIC COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "QUIET ROOMS". COMMUNICATION FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISUAL ALARMS CAN BE INTEGRATED INTO THE SYSTEM UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

FURNISHINGS LEGEND:

PA-001	ROOM SHADE
PA-002	ART WORK
PA-003	CONSOLE TABLE
PA-004	WIRE SHELVING
PA-005	ICE MAKER

FINISH LEGEND:

PT	PAINT
PL	PLASTER/LAMINATE
ST	STONE
SS	SOLID SURFACE
SF	SPECIAL FINISH
CO	CONCRETE
CP	CARPET
CT	TILE
GL	GLASS
QT	QUARRY TILE
WB	WALL BASE
WF	WALL FLOORING



01 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO

FLOOR AREA (SF)	KING		QUEEN				QUEEN QUEEN	TOTAL		
	KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO		QUEEN QUEEN STUDIO			
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING				
LEVEL 1	14,768 SF	2	1	1	1 con.	4	2	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	24
SUBTOTAL		15	1	5	5	39	7	2	2	32
TOTAL	64,760 SF	14	1	10			50			107
PERCENTAGES		13%	1%	9%			47%			100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS, JL

TOTAL NUMBER OF GUEST UNITS: 107 UNITS

	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM #: 201, 301	2	2	1.224.(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM #: 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM #: 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F.) ROOM #: 119,124,127,201,212,214,231,301,312,331,419,421	12	12	1.224.(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



3225 Shallowford Rd., Suite 920
 Marietta, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORIGINATIONDESIGN.COM



SECOND FLOOR PLAN

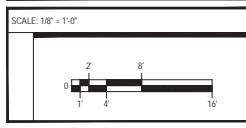
- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE
 - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 90'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - CANOPY ROOF OVERLAP ON SCUPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRUSS BELOW
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - NOT USED
 - WIRE SHELVING SYSTEM - REFER TO FINE
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4' 6" A.F.F.
 - MEMBRANE ROOF: SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAIN/SCUPPERS
 - TAPERED INSULATION CRACKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR
 - ROOF PAD/APFT
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OR FINISH FLOOR
 - POSITION INTERCOM OR HOUSE PHONE OPTIPOINT VIDEO MONITORING: MOUNT TO TOP OF SERVICE IS MINIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT SERVICE.
 - FLASHBLOCK
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CORNER TO HAVE 1" RADIUS BULLNOSE
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF: SUPPLY A NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESSABLE VISIBLE ALARMS (COMPLYING WITH IFPA 2011) OR 2012 ADDITION & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" OR COMMUNICATING FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS. THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CARE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

- XXX FURNISHINGS LEGEND:**
- PA-001 FURNISHING
 - PA-002 ART WORK
 - PA-003 CONSOLE TABLE
 - PA-004 WIRE SHELVING
 - PA-005 ICE MAKER

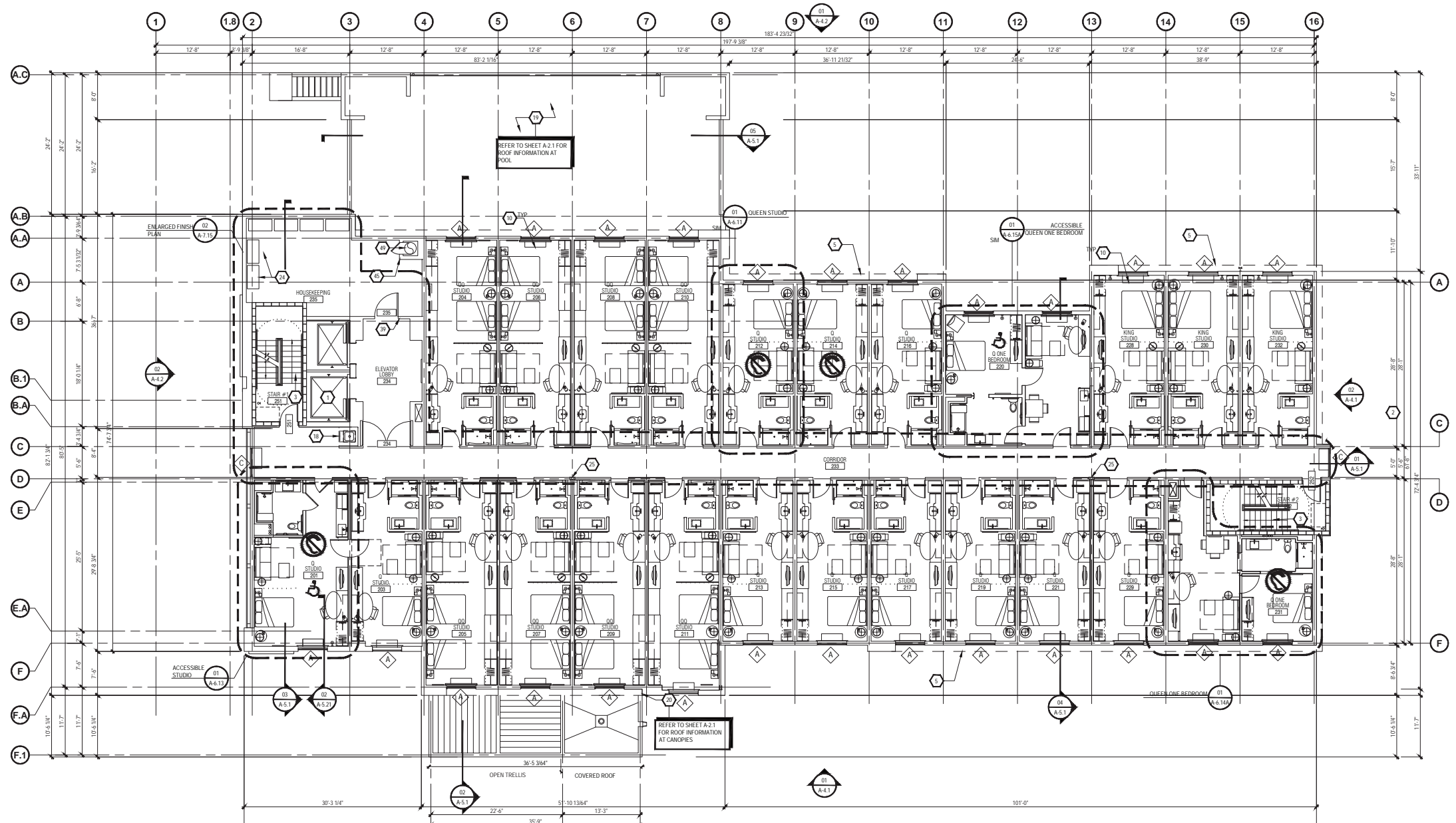
- FINISH LEGEND:**
- PT PART
 - PL PLASTIC LAMINATE
 - ST STONE
 - SS SOLID SURFACE
 - SP SPECIAL FINISH
 - CD CONCRETE
 - CP CARPET
 - CT TILE
 - G GLASS
 - QT QUARRY TILE
 - WB VINYL BASE
 - VF VINYL FLOORING



No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

Project Number 202005
 Date 10/20/20
 Drawn By M.N.
 Checked By J.G.



01 SECOND FLOOR PLAN
 A-1.2 SCALE: 1/8" = 1'-0"

FLOOR AREA (SF)	KING		QUEEN						QUEEN QUEEN	TOTAL	
	KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO		QUEEN QUEEN STUDIO	TOTAL			
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING					
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1	10		50				32	
PERCENTAGES		13%	1%	9%		47%				30%	100%

TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201 , 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401 , 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



3225 Shallowford Rd., Suite 920
 Marietta, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORIGINATIONDESIGN.COM



1700 E Higgins Road
 Des Plaines, IL 60018



THIRD FLOOR PLAN

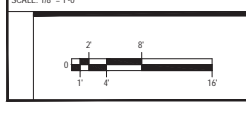
- KEY NOTES:**
- THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE
 - CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 90'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - CANOPY ROOF OVERLIES ON SCUPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON'S STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRUSS BELOW
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - NOT USED
 - WIRE SHIELDING SYSTEM - REFER TO FEE
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
 - MEMBRANE ROOF SLOPE STRUCTURE TO DRAIN TOWARDS ROOF SCRAPERS/CUTTERS
 - TAPERED INSULATION CRACKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR
 - ROOF PAD/APET
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OR FINISH FLOOR
 - POSITIONITION INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT TO TOP OF DEVICE IS MINIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
 - FLASHBLOCK
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CORNER TO HAVE 7" RADIUS BULLNOSE
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

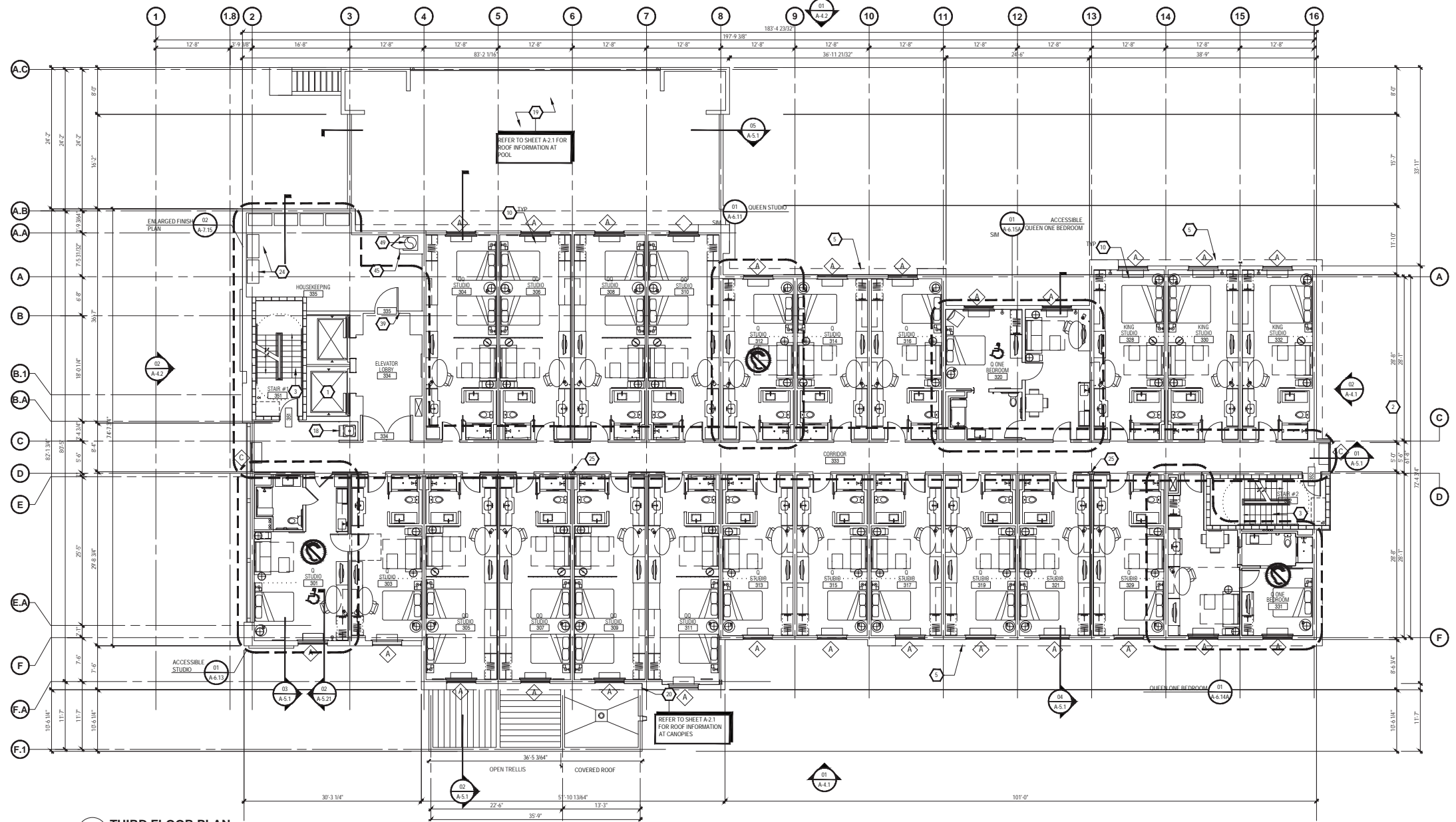
- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF SLOPE: A NUMBER OF ROOF SCAPERS PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESSABLE VISIBLE ALARMS (COMPLYING WITH IFM 10/1998 OR 2022 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" WITH COMMUNICATING FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE ADDRESS ALARMS. THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CARE BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

- FURNISHINGS LEGEND:**
- PA-401 FURNISHING
 - PA-503 ART WORK
 - PA-800 CONSOLE TABLE
 - 801 WIRE SHIELDING
 - 432 ICE MAKER

- FINISH LEGEND:**
- PT PART
 - PL PLASTIC LAMINATE
 - ST STONE
 - SS SOLID SURFACE
 - SP SPECIAL FINISH
 - CD CONCRETE
 - CP CARPET
 - CT TILE
 - G GLASS
 - Q QUARRY TILE
 - WB VINYL BASE
 - VF VINYL FLOORING



SCALE: 1/8" = 1'-0"



01 THIRD FLOOR PLAN
 A-1.3 SCALE: 1/8" = 1'-0"

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING		QUEEN						QUEEN QUEEN		TOTAL
	KING STUDIO	KING STUDIO CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO				QUEEN QUEEN STUDIO		
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING	QUEEN STUDIO-M.F. R.I.S.	QUEEN STUDIO-M.F.&C.F. R.I.S.			
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	
TOTAL	64,760 SF	14	1	10			50			32	107
PERCENTAGES		13%	1%	9%			47%			30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS ,IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201 , 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401 , 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F)&122,201(M.F)&203,301(M.F.)&303,401(M.F.)&403, 501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN,LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN,LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 X 42 INCHES.

Project Number 202005
 Date 10/20/20
 Drawn By M.N.
 Checked By J.G.



3225 Shallowford Rd., Suite 920
 Marietta, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORIGINATIONDESIGN.COM

HOMER
 SUITES BY HILTON
 1700 E Higgins Road
 Des Plaines, IL, 60018



FOURTH FLOOR PLAN

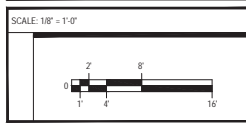
- KEY NOTES:**
- THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE.
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF.
 - LINE OF ROOF CANOPY ABOVE.
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS.
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE.
 - CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED.
 - NOT USED.
 - PTAC UNIT.
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE.
 - HOSE BIB - FROST FREE WHERE REQUIRED.
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
 - CANOPY ROOF OVERLAP ON SCUPPER.
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE EQUIPMENT. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON'S STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
 - ROOF OF POOL BELOW.
 - CANOPY TRELLIS BELOW.
 - DRYER VENT LOUVER - REFER TO ELEVATIONS.
 - NOT USED.
 - NOT USED.
 - WIRE SHELVING SYSTEM - REFER TO FINE.
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
 - MEMBRANE ROOF SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINAGE/SCUPPERS.
 - TAPERED INSULATION CRACKET.
 - ROOF LEADER AND OVERFLOW DRAIN.
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR.
 - ROOF FLASHPOT.
 - GRAVEL STOP EDGE.
 - EXHAUST FAN.
 - MAKE UP AIR UNIT ON ROOF CURB.
 - ELEVATOR OVER RUN PENTHOUSE.
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS.
 - LAUNDRY CHUTE VENT.
 - ALUMINUM GUTTER AND DOWNSPOUT.
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS.
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
 - POSITION INTERCOM OR HOUSE PHONE OPTIONAL VIDEO MONITORING. MOUNT TO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
 - FLASHBLOCK.
 - NOT USED.
 - MECHANICAL LOUVER.
 - NOT USED.
 - EXPOSED CORNER TO HAVE 1" RADIUS ROUNDOFF.
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF.
 - ALTERNATING TREAD STAIR TO UPPER ROOF.
 - NOT USED.
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR.

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF SLOPES A NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESSABLE VISIBLE ALARMS (COMPLYING WITH NFPA 72 (1999) OR 2022 ADDITIONS) & RECD BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS. REASONABLE "GUEST ROOMS" OR COMMUNICATIONS FEATURES AT A MINIMUM WHERE EMPLOYEE AREAS HAVE ADDRESS ALARMS. THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.

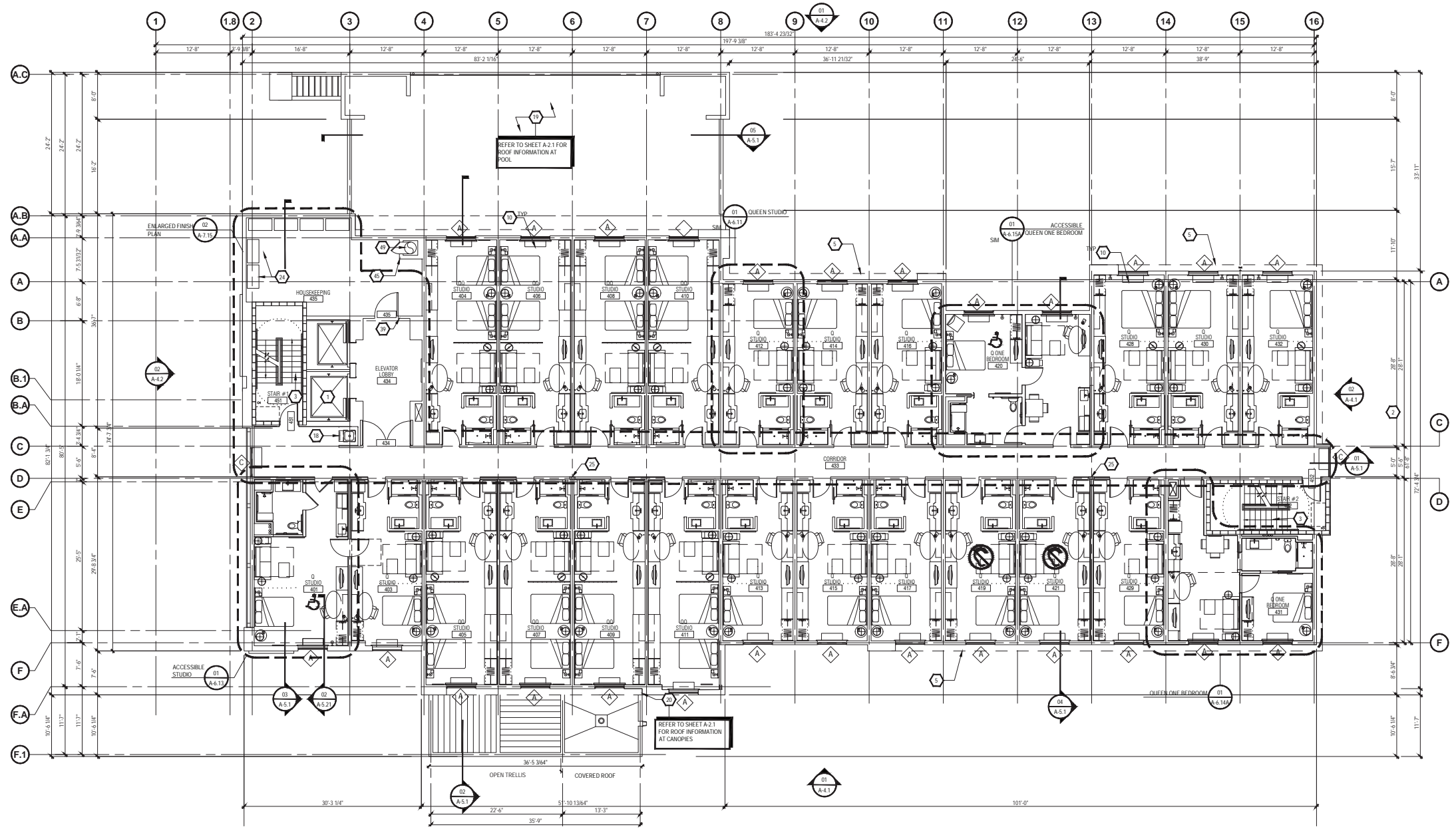
- XXX FURNISHINGS LEGEND:**
- PA-001 FURNISHING
 - PA-002 ART WORK
 - PA-003 CONSOLE TABLE
 - PA-004 WIRE SHELVING
 - PA-005 ICE MAKER

- FINISH LEGEND:**
- PT PART
 - PL PLASTIC LAMINATE
 - ST STONE
 - SS SOLID SURFACE
 - SP SPECIAL FINISH
 - CD CONCRETE
 - CP CARPET
 - CT TILE
 - G GLASS
 - QT QUARRY TILE
 - WB WOOD BASE
 - VF VINYL FLOORING



THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

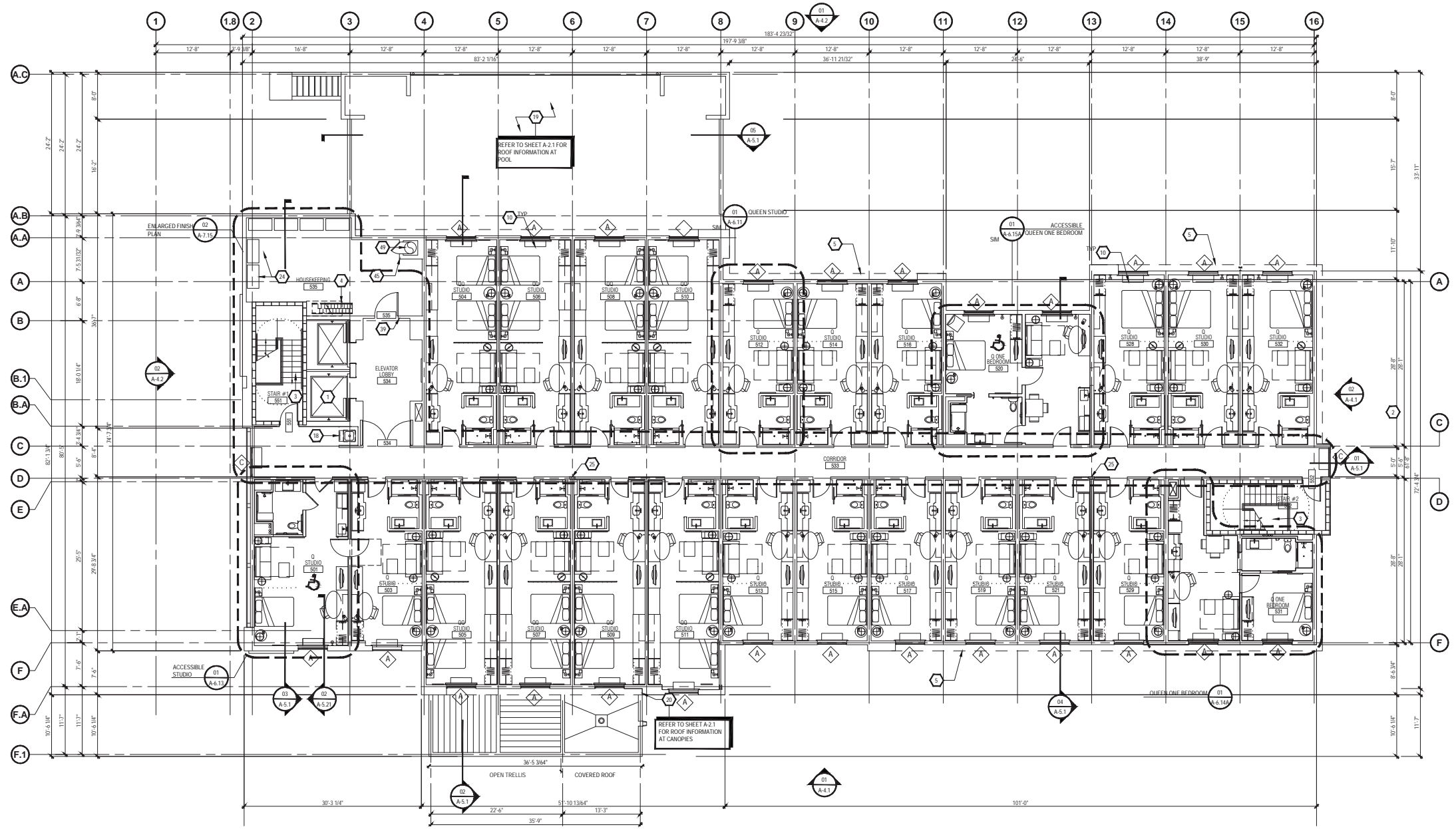
Project Number 202005
 Date 10/20/20
 Drawn By M.N.
 Checked By J.G.



01 FOURTH FLOOR PLAN
 A-1.4 SCALE: 1/8" = 1'-0"

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING		QUEEN					QUEEN QUEEN		TOTAL	
	KING STUDIO	KING CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO			QUEEN QUEEN STUDIO			
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING	QUEEN STUDIO-M.F. R.I.S.		QUEEN STUDIO-M.F.&C.F. R.I.S.		
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	
TOTAL	64,760 SF	14	1	10		50				32	107
PERCENTAGES		13%	1%	9%		47%				30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS, IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201, 301	2	2	1.224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1.224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



01 FIFTH FLOOR PLAN
 A-1.5
 SCALE: 1/8" = 1'-0"

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO											
FLOOR AREA (SF)	KING KING STUDIO	KING KING CONNECTING	QUEEN				QUEEN QUEEN		TOTAL	TOTAL	
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING	QUEEN STUDIO-M.F. R.I.S.	QUEEN STUDIO-M.F.&C.F. R.I.S.			QUEEN QUEEN STUDIO
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1		10			50		32	
PERCENTAGES		13%	1%		9%			47%		30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME2 SUITS, IL			
TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201, 301	2	2	1,224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C.F) ROOM # : 119,124,127,201,212,214,231,301,312,321,419,421	12	12	1,224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403, 501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)

- KEY NOTES:**
- THIS ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP-OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE
 - CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - NOT USED
 - PYAC UNIT
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 90'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - CANOPY ROOF OVERLAP ON SCUPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE EQUIPMENT. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON'S STANDARDS MANUAL AND HMC FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRUSS BELOW
 - DRYER VENT LOUVER - REFER TO ELEVATIONS
 - NOT USED
 - NOT USED
 - WIRE SHELVING SYSTEM - REFER TO F&E
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS: INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
 - MEMBRANE ROOF SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINS/GUTTERS
 - TAPERED INSULATION CRACKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH: SIZE PER LOCAL BUILDING CODES. ACCESSIBLE VIA AN ALTERNATING TREAD STAIR
 - ROOF PAD/APT
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN PENTHOUSE
 - LAMINATED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
 - KEYCARD READER ENTRANCE HARDWARE: MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OR FINISH FLOOR
 - POSITION INTERCOM OR HOUSE PHONE OPTIIONAL VIDEO MONITORING. MOUNT TO TOP OF SERVICE IS MINIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT SERVICE.
 - SPLASHBLOCK
 - NOT USED
 - MECHANICAL LOUVER
 - NOT USED
 - EXPOSED CORNER TO HAVE 1" RADIUS ROUNDOFF
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR

SYMBOL / FIXTURES KEY:

	ACCESSIBLE ROOM
	COMMUNICATION FEATURES ROOM. REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
	MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

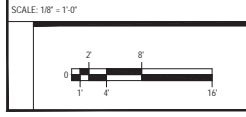
- GENERAL NOTES TO THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS.
 - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR ROOFING MATERIALS
 - ROOF SLOPES A NUMBER OF ROOF SCUPPERS PER LOCAL BUILDING CODES
 - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS
 - REFER TO HMBG FOR FURTHER ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ADDRESS & VISIBLE ALARMS (COMPETING OR WITHIN 10' OR 20' ADDITIONS & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS REASONABLE "GUEST ROOMS W/ COMMUNICATING FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREA HAVE ADDRESS ALARMS, THE WIRING SHALL BE DESIGNED TO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

XXXI FURNISHINGS LEGEND:

PA-001	TRIMM DRESSER
PA-003	ART WORK
PA-008	CONSOLE TABLE
091	WIRE SHELVING
432	ICE MAKER

FINISH LEGEND:

PT	PART
PL	PLASTIC LAMINATE
ST	STONE
SS	SOLES SURFACE
SP	SPECIAL FINISH
CD	CONCRETE
CP	CARPET
CT	TILE
G	GLASS
Q	QUARRY TILE
WB	WIRE BASE
VF	VINYL FLOORING



ORINATION DESIGN
 Architecture • Planning • Interior Design

3225 Shallowford Rd., Suite 920
 Marietta, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORINATIONDESIGN.COM

HOMESUITES BY HILTON
 1700 E Higgins Road
 Des Plaines, IL 60018

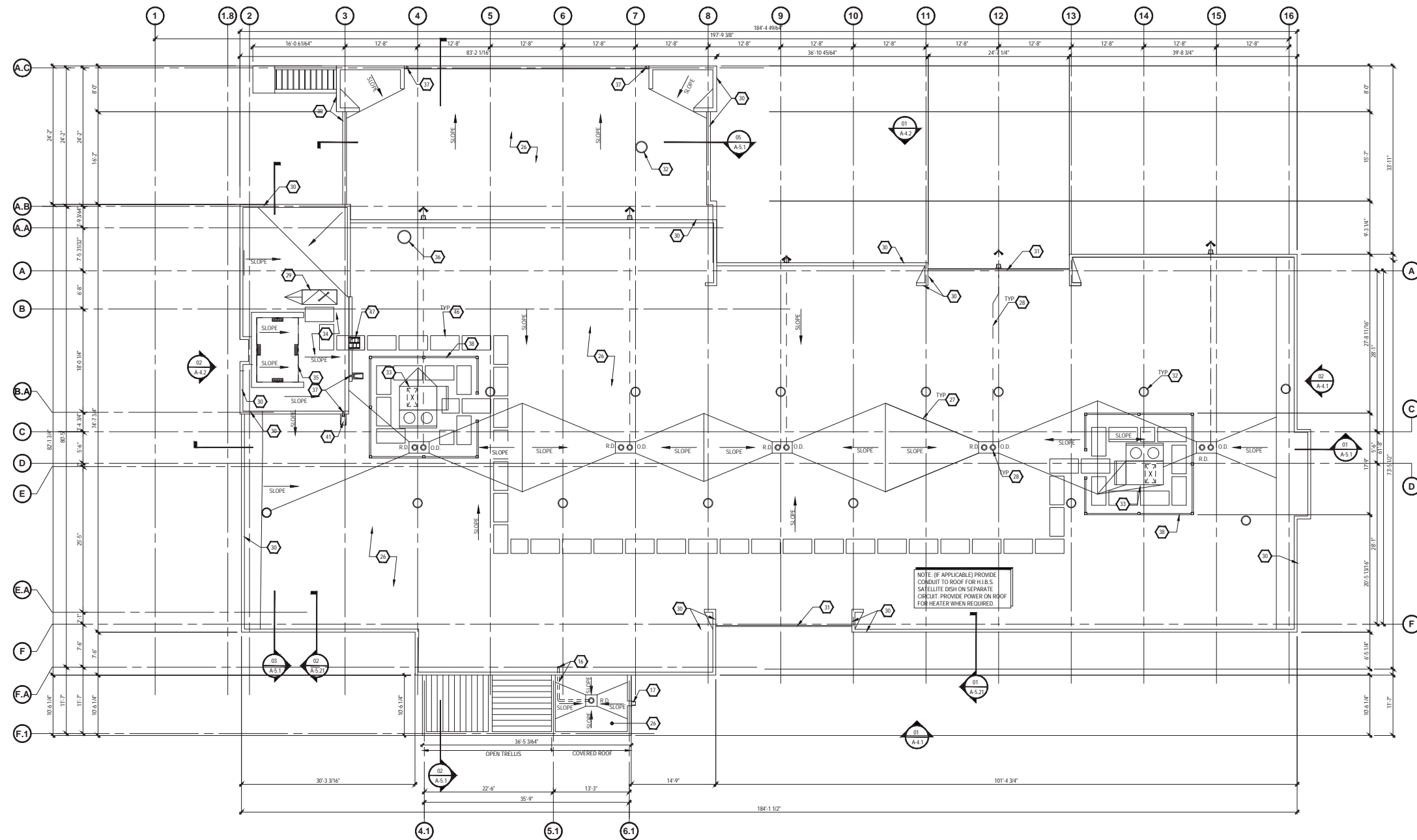
FIFTH FLOOR PLAN

NEXGEN HOTELS

No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

Project Number: 202005
 Date: 10/20/20
 Drawn By: M.N.
 Checked By: J.G.



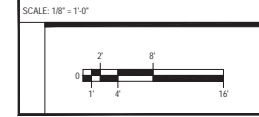
01 ROOF PLAN
SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
 - LINE OF ROOF CANOPY ABOVE
 - VEHICULAR DROP OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL ELECTRICAL AND PLUMBING CHASE
 - CARRY CABINET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED
 - FLOOR DRAIN
 - PTAC UNIT
 - STAND PIPE MUST NOT ENCRUSH INTO AREA OF REFUGE
 - HOSE BIB - FROST FREE WHERE REQUIRED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - CANOPY ROOF OVERFLOW SCUPPER
 - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAINS CENTER UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRELLIS BELOW
 - DRYER VENT LOWWER - REFER TO ELEVATIONS
 - 3/4" x 3/4" MIP-58M LOCATION
 - MAINTENANCE DESK
 - WIRE SHELVING SYSTEM - REFER TO FINE
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS. INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4'-4"
 - MEMBRANE ROOF. SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINSCUTTERS
 - TAPERED INSULATION CROCKET
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH. SIZE PER LOCAL BUILDING CODES. ACCESSED VIA AN ALTERNATING TREAD STAIR
 - ROOF PARAPET
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - MAKE UP AIR UNIT ON ROOF CURB
 - ELEVATOR OVER RUN/PENTHOUSE
 - LAMINATED GLASS BEACON. REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREENS TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURERS AND/OR LOCAL CODE PROVISIONS
 - KEYCARD READER ENTRANCE HARDWARE. MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR
 - PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE
 - SPLASHBLOCK
 - FRP WINGS/STIFF 4" HIGH ON ALL SIDES INDICATED. PROVIDE APPROPRIATE WIND EDGE TREATMENT
 - MECHANICAL LOWWER
 - FLUORESCENT FLOODLIGHT
 - EXPOSED CHAMF CORNER TO HAVE 1" RADIUS BALLNOSE
 - WALKWAY PROTECTION PAD IN CONTRASTING COLOR TO ROOF
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - NOT USED
 - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2 HOUR RATED SHAFT WITH RATED DOOR

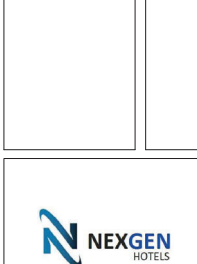
- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
 - COMMUNICATION FEATURES ROOM - REFER TO ENLARGED GUEST ROOM PLANS FOR POWER AND SIGNAL
 - MAGNETIC DOOR HOLD ORDER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC & ALARM DRAWINGS

GENERAL NOTES THIS SHEET:

- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL BEDS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL BEDS FOR STORAGE AREAS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL BEDS FOR MECHANICAL, ELECTRICAL & EQUIPMENT ROOMS
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATORS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL BEDS FOR ROOFING MATERIALS
- ROOF SLOPES & NUMBER OF ROOF DRAINS PER LOCAL BUILDING CODES
- REFER TO STANDARDS FOR FUTURE EQUIPMENT ROOMS
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR PUBLIC SPACES & EQUIPMENT
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2022 EDITION) & AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS (RESIDENTIAL) AS NOTED ON THIS DRAWING. ALARMS SHALL BE INTEGRATED TO THE SYSTEM UNLESS GREATER STANDARDS ARE SET BY LOCAL AUTHORITIES



3225 Shallowford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

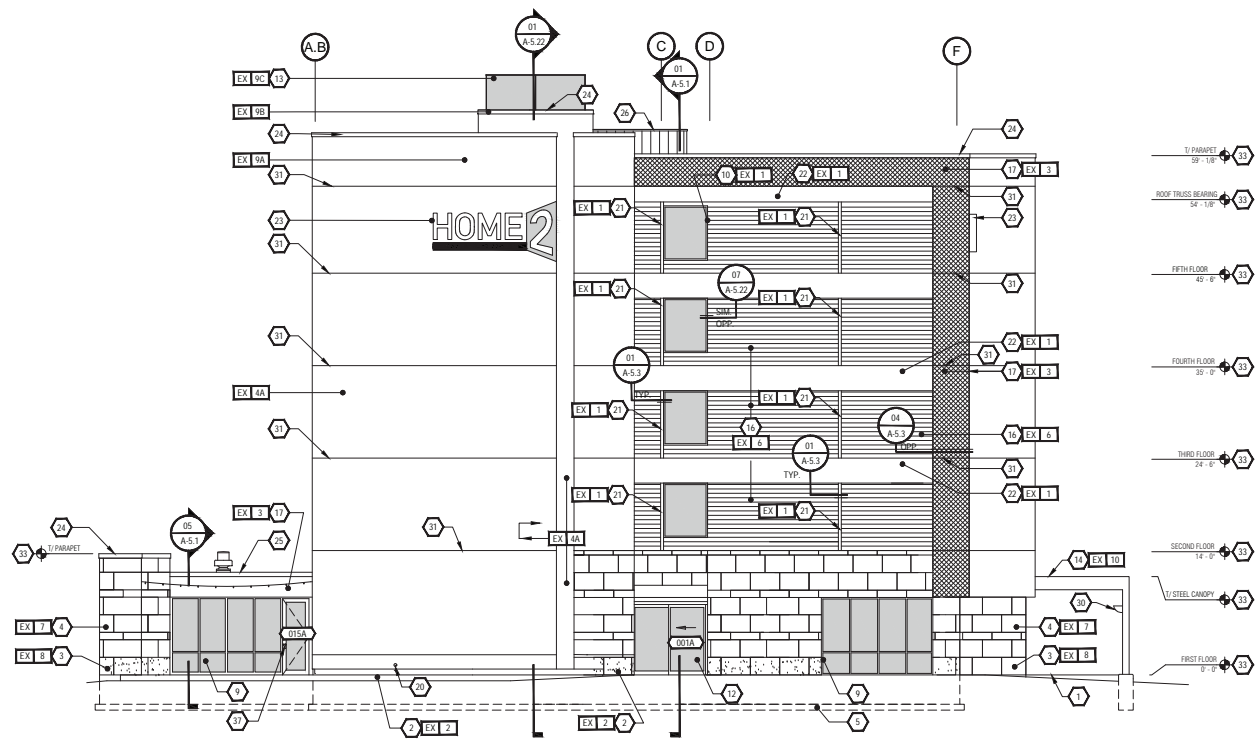
Project Number	202005
Date	10/20/20
Drawn By	M.N.
Checked By	J.G.

GUEST UNIT MATRIX - HOME 2 SUITES, CHICAGO

FLOOR AREA (SF)	KING		QUEEN				QUEEN QUEEN	TOTAL			
	KING STUDIO	KING CONNECTING	QUEEN ONE BEDROOM		QUEEN STUDIO		QUEEN QUEEN				
			QUEEN ONE BEDROOM	QUEEN ONE BEDROOM-M.F.	QUEEN STUDIO	QUEEN STUDIO CONNECTING					
LEVEL 1	14,768SF	2	1	1	1 con.	4	2	0	0	0	11
LEVEL 2	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 3	12,498 SF	3	0	1	1	9	1	0	1	8	24
LEVEL 4	12,498 SF	3	0	1	1	9	1	1	0	8	24
LEVEL 5	12,498 SF	3	0	1	1	9	1	1	0	8	24
SUBTOTAL		15	1	5	5	39	7	2	2	32	107
TOTAL	64,760 SF	14	1	10		50				32	107
PERCENTAGES		13%	1%	9%		47%				30%	100%

GUEST ACCESSIBILITY & CONNECTING UNIT MATRIX - HOME 2 SUITES, IL

TOTAL NUMBER OF GUEST UNITS : 107 UNITS			
	UNITS PROVIDED	UNITS PROVIDED	CODE REFERENCE
MOBILITY FEATURES(M.F.) & COMMUNICATION FEATURES (C.F.) ROOM # : 201, 301	2	2	1,224.2(ADA2010)
MOBILITY FEATURES(M.F.) W/ROLL-IN SHOWER (R-I-S) ROOM # : 401, 501	2	2	
MOBILITY FEATURES(M.F.) ROOM # : 120,220,320,420,520	5	5	
TOTAL MOBILITY FEATURES	9	9	
COMMUNICATION FEATURES (C-F) ROOM # : 119,124,127,201,212,214,231,301,312,331,419,421	12	12	1,224.2(ADA2010)
CONNECTING ROOMS 121&123,120(M.F.)&122,201(M.F.)&203,301(M.F.)&303,401(M.F.)&403,501(M.F.)&503	12	12	HILTON HOME 2 BRAND STANDARDS S.2510(10%)



02 EXTERIOR ELEVATION
A-4.2 SCALE: 1/8" = 1'-0"



01 EXTERIOR ELEVATION
A-4.2 SCALE: 1/8" = 1'-0"

ARCHITECTURAL ELEMENTS:

ENVELOPE: exterior skin	
EX 1	ACCENT BAND: articulation Vertical 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX 2	CORE: direct finish
EX 3	WRAP: wrapper Unfired element set proud (1/2" min) from the CORE.
EX 4	LINK: connection Piece to break up large segments of the WRAP.
EX 5	KEEP: element of the BEACON (see below)
EX 6	ACCENT BAND: articulation Horizontal 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
EX 7	CORE: body Backdrop for layering of all other materials.
EX 8	SUPPORT: base Material extends into the Lobby Area.
EX 9	CANOPY: covered roof system Welcome cover at post entry and pedestrian entrance. Covered in front of doors, hinged in weather/shelter areas. Hidden gutter system, minimal joints. Flush/hidden fasteners. Sloped, non-slip surface at driveway under the CANOPY at the post cocher.
BEACON: iconic tower	
EX 10	KEEP: foreground Placed on primary building entry elevation in conjunction with the post cocher and with color visibility from the heritage road. Extends up beyond the WRAP. Background for primary building sign.
EX 11	GLAM: vertical element Set back in plane from the KEEP. Extends to the ground. Composed of three elements: EX 11A: REVEAL: vertical element extending through the KEEP EX 11B: BAND: horizontal element capping the reveal EX 11C: GLASS CROWN: movable element resting on the BAND, intended to be visible from the site and beyond. Flush/hidden white glass or opaque acrylic with minimal, unobtrusive structure.

PROTOTYPICAL MATERIALS:

SUPPORT	Materiality: Building material authentic and substantial material with clean, crisp lines such as brick, cast stone, decorative masonry units (2m) or brick. Color: Light to medium warm neutral, inherent to material. Texture: Sandstone-like, ground face, brush-hammered or smooth. Contrast: High to medium contrast to WRAP and ACCENT BAND. Medium color contrast to all other elements. High material contrast to all other elements.
CORE	Materiality: Building material with strong directionality and high nod to create shadow and shadow such as textured EPS, stucco, brick wood Siding, cement fiber board or corrugated metal. Color: Medium value, 40-60% value, earth-toned/painted or natural depending on material. Texture: Medium to coarse texture. Contrast: High to medium contrast to WRAP and ACCENT BAND. Medium to high contrast to WRAP and ACCENT BAND. Low to medium material contrast to WRAP & ACCENT BAND.
WRAP	Materiality: Building material with a minimal amount of joints and connections and a smooth finish such as EPS, stucco or metal panels. Color: Light to medium value, painted. Texture: Smooth to fine finish. Contrast: Low to medium contrast to SUPPORT. Medium to high to medium contrast to CORE. Low to high contrast to SUPPORT and ACCENT BAND. Low to high material contrast to CORE.
LINK & KEEP	Materiality: Building material with a strong horizontal direction and high nod to create shadow and shadow. Smooth finish, textured EPS and stucco. Strong horizontal materials, brick, wood cement fiber board or metal. Color: Medium to Dark value, painted or natural depending on material. Texture: Smooth to Coarse. Contrast: Low to high material contrast to WRAP and ACCENT BAND. High color contrast to WRAP. Low to high material contrast to WRAP.
ACCENT BAND	Materiality: Building material with a minimum amount of joints and connections and smooth finish ACCENT BAND on the BEACON elevation must always be metal. Finish ACCENT BAND on other elevations must be metal, finish, EPS or Stucco. Color: Light to dark value. Color must match to complement window and door frames throughout the design. Texture: Smooth to fine finish. Contrast: Low to high contrast to WRAP. Medium to high color contrast to WRAP and CORE. Low material contrast to WRAP. Low to high material contrast to CORE.
CANOPY	Materiality: Must be durable material such as metal, the overhead of soft or trellis must be warm, natural wood. Smooth joints with no exposed fasteners. Color: High visual contrast to the other building elements. Off white/light gray preferred. Dark or metallic gray acceptable. Texture: Smooth painted finish.

ADDITIONAL EXTERIOR ELEMENTS:

ROOFTOP EQUIPMENT:
Roofing Equipment must be screened and not draw any attention from below. The screening materials must match the color of the WRAP.

ANCILLARY BUILDINGS:
Ancillary buildings must be minimal structures created to screen the garden storage and waste areas. They must be finished and painted to match the CORE material of the building.

WINDOWS:
Windows must be standard aluminum storefront, thermally broken, with clear glass glazing with a factory painted finish. Louvers for the wall fixed units must be integrated with windows and provided by window manufacturer.

LIGHTING:
Lighting must be provided to highlight the KEEP, entry and exterior gathering areas, patio, and outdoor lounge. Light levels must be low to medium contrast to avoid harsh shadows and not intrude into adjacent parcels. Fixtures the entire building with signs is not permitted. Refer to the Illumination Standards for correct foot candle requirements.

PAVING:
Paving is required to highlight the entry and gathering areas. Color must reference earth tones and natural stone and walls. Texture must be distinctive, yet smooth enough for comfortable use by guests.

SIGNAGE:
Signage must include, at a minimum, (1) primary building sign on the most prominent elevation, ideally facing the heritage road, and (2) monument sign marking the entry to the property. Both signs must show the licensed State of Illinois brand logo in its entirety and be internally illuminated for visibility at night. For material and finish details, please refer to the Vendor's Catalog Sheet Manual.

KEY NOTES:

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASHLAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL CODES/DEPARTMENTS
- OCULUS
- NOT USED
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- EXHAUST, REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR WITH INSULATED GLAZING
- BEACON - BEAM - REFER TO AS ID SECTIONS FOR MORE INFORMATION
- PAINTED TUBE STEEL CANOPY WITH STAINED WOOD TRELLIS
- TONGUE IN GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH - REFER TO AS ID
- ENVELOPE - WRAP FINISH - REFER TO AS ID
- FINISH CONTROL JOINT
- OVERFLOW SCOPPER - BASIS OF DESIGN NESCO MFG INC. MODEL # SCF164 - REFER ALSO TO DETAIL A-4.4.12
- TEMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12' A.F.F.
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS NECESSARILY SCREENED.
- NOT USED
- PAINTED ALUMINUM OUTSIDE CORNER BY VEY REGLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
- EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE - REFER TO CEILING PLAN
- EXPANSION JOINT AT FLOOR LINE WITH BACKER ROD AND SEALANT
- ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT WALL
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FRAME BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
- CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
- ACCESS OPENING INTO BEACON
- ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CARD READER W/ WIRE TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT
- POOL PERIMETER FENCE AS REQUIRED BY CODE WITH 2' GATE
- PRECAST COPING

FINISH KEY:

EX 1	ENVELOPE - ACCENT METAL BAND
EX 2	ENVELOPE - CORE DIRECT FINISH
EX 3	ENVELOPE - WRAP
EX 4	ENVELOPE - LINK
EX 5	ENVELOPE - KEEP
EX 6	ENVELOPE - ACCENT OPTION
EX 7	ENVELOPE - CORE
EX 8	ENVELOPE - SUPPORT
EX 9	ENVELOPE - SUPPORT
EX 10	BEACON - BEAM REVEAL
EX 11	BEACON - BEAM BAND
EX 12	ENVELOPE - BEAM GLASS CROWN
EX 13	ENVELOPE - CANOPY

BUILDING SIGNAGE:

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.

MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL SIGN REQUIREMENT.

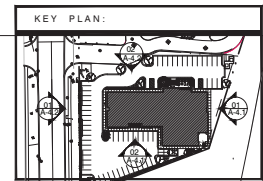
BACKWAYS WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FINISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSULATION PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

Notice:

HATCHED INDICATES AREA OF FACADE WHICH EXTENDS MINIMUM 1/2" PROUD OF ADJACENT FINISH



3225 Shawford Rd., Suite 920
Marietta, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM



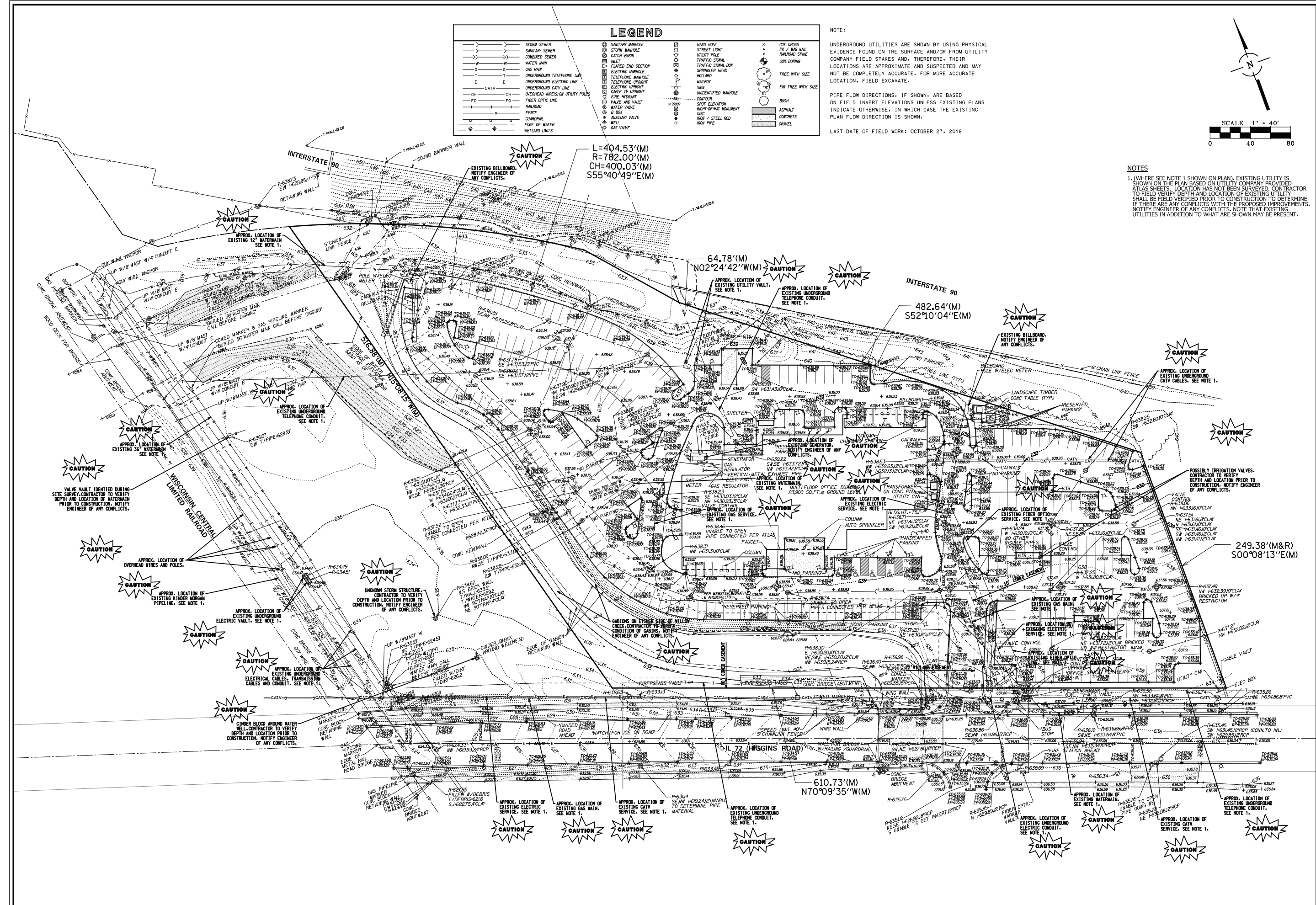
EXTERIOR ELEVATIONS



No.	Description	Date

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF ORIGINATION DESIGN, LLC AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF ORIGINATION DESIGN, LLC. SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

Project Number 202005
Date 01/17/21
Drawn By M.N.
Checked By J.G.



LEGEND

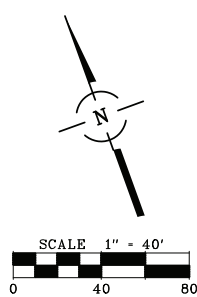
—○—	STORM SEWER	○	SANITARY MANHOLE	○	HAND HOLE	×	CUT CROSS
—○—	STORM SEWER	○	STORM MANHOLE	○	STREET LIGHT	—○—	PR / MAN HOLE
—○—	COMBINED SEWER	○	CATCH BASIN	○	UTILITY POLE	—○—	RAILROAD SPIKE
—○—	WATER MAIN	○	FLARED END SECTION	○	TRAFFIC SIGNAL	○	SOIL BORING
—○—	GAS MAIN	○	ELECTRIC MANHOLE	○	TRAFFIC SIGNAL BOX	○	SPRINKLER HEAD
—○—	UNDERGROUND TELEPHONE LINE	○	TELEPHONE UPRIGHT	○	WALKBOX	○	SKR
—○—	UNDERGROUND ELECTRIC LINE	○	ELECTRIC UPRIGHT	○	UNIDENTIFIED MANHOLE	○	SKR
—○—	UNDERGROUND CATV LINE	○	FIRE HYDRANT	○	CONTOUR	○	SKR
—○—	CATV	○	WALK AND VAULT	○	SPOT ELEVATION	○	SKR
—○—	OVERHEAD WIRE/ON UTILITY POLES	○	WATER VALVE	○	RIGHT-OF-WAY MONUMENT	○	SKR
—○—	FIBER OPTIC LINE	○	WELL	○	DISC	○	SKR
—○—	RAILROAD	○	WETLAND LIMITS	○	IRON / STEEL ROD	○	SKR
—○—	FENCE	○		○	IRON PIPE	○	SKR
—○—	GENERAL EDGE OF WATER	○		○		○	SKR
—○—		○		○		○	SKR

NOTES:

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE. IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: OCTOBER 27, 2018



NOTES

1. (WHERE SEE NOTE 1 SHOWN ON PLAN), EXISTING UTILITY IS SHOWN ON THE PLAN BASED ON UTILITY COMPANY PROVIDED ATLAS SHEETS. LOCATION HAS NOT BEEN SURVEYED. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITY. SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS. NOTIFY ENGINEER OF ANY CONFLICTS. NOTE THAT EXISTING UTILITIES IN ADDITION TO WHAT ARE SHOWN MAY BE PRESENT.

NO.	DATE	REMARKS

NO.	DATE	REMARKS

EXISTING CONDITIONS PLAN

1700 W HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4040 Fax: (847) 694-4045



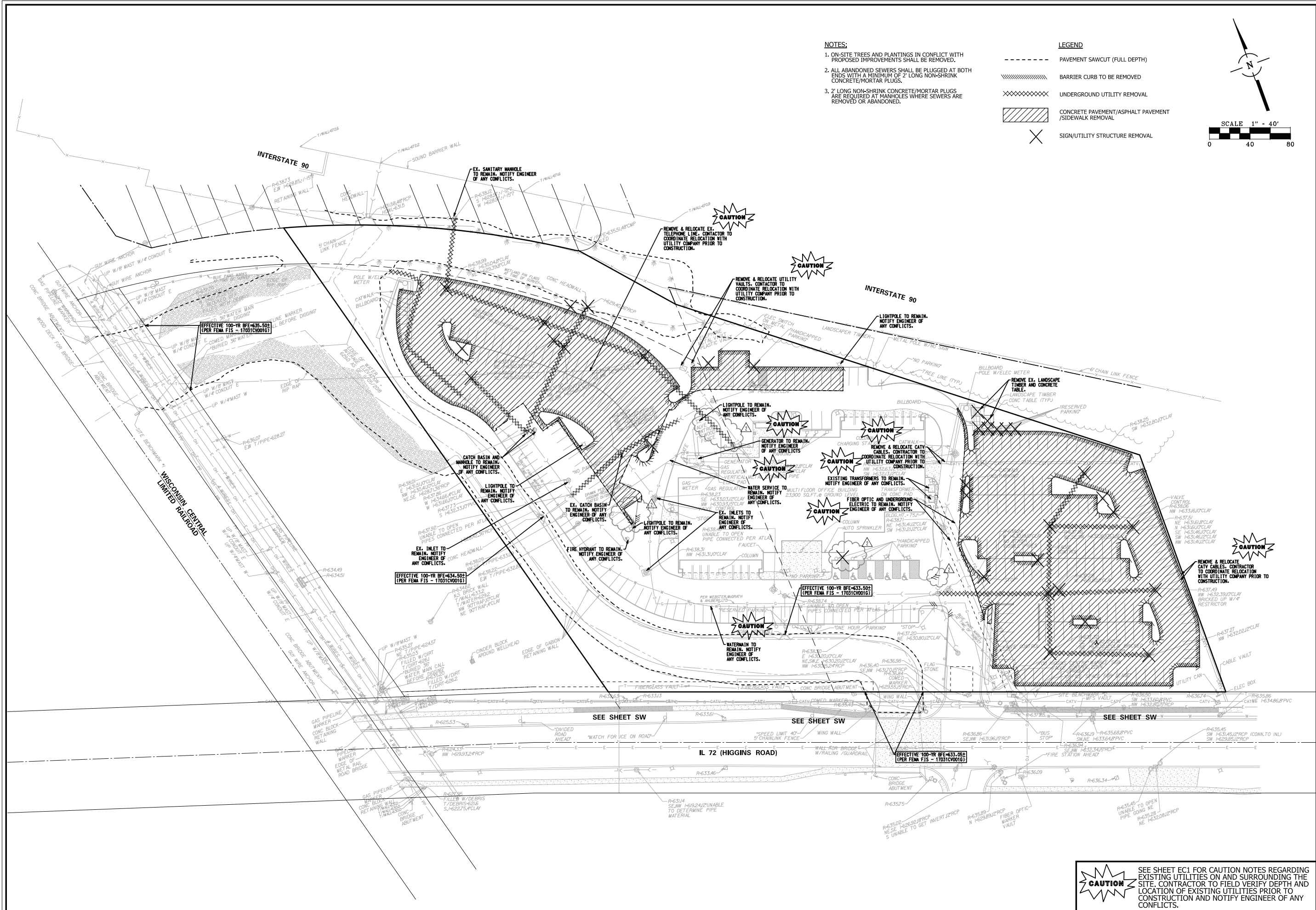
SPACECO INC.

FILENAME:
8779.03EC1

DATE:
01/15/21

JOB NO.
8779.03

SHEET
EC1
3 OF 24

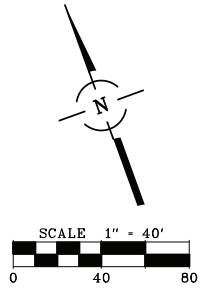


NOTES:

1. ON-SITE TREES AND PLANTINGS IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED.
2. ALL ABANDONED SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS.
3. 2' LONG NON-SHRINK CONCRETE/MORTAR PLUGS ARE REQUIRED AT MANHOLES WHERE SEWERS ARE REMOVED OR ABANDONED.

LEGEND

- PAVEMENT SAWCUT (FULL DEPTH)
- ||||| BARRIER CURB TO BE REMOVED
- XXXXXX UNDERGROUND UTILITY REMOVAL
- ▨ CONCRETE PAVEMENT/ASPHALT PAVEMENT /SIDEWALK REMOVAL
- ✕ SIGN/UTILITY STRUCTURE REMOVAL



NO.	DATE	REMARKS

DEMOLITION PLAN

1700 W HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
8779.03DEMO

DATE:
01/15/21

JOB NO.
8779.03

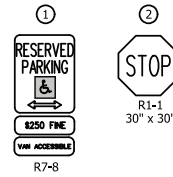
SHEET
DEMO
4 OF 24

CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

NOTES:

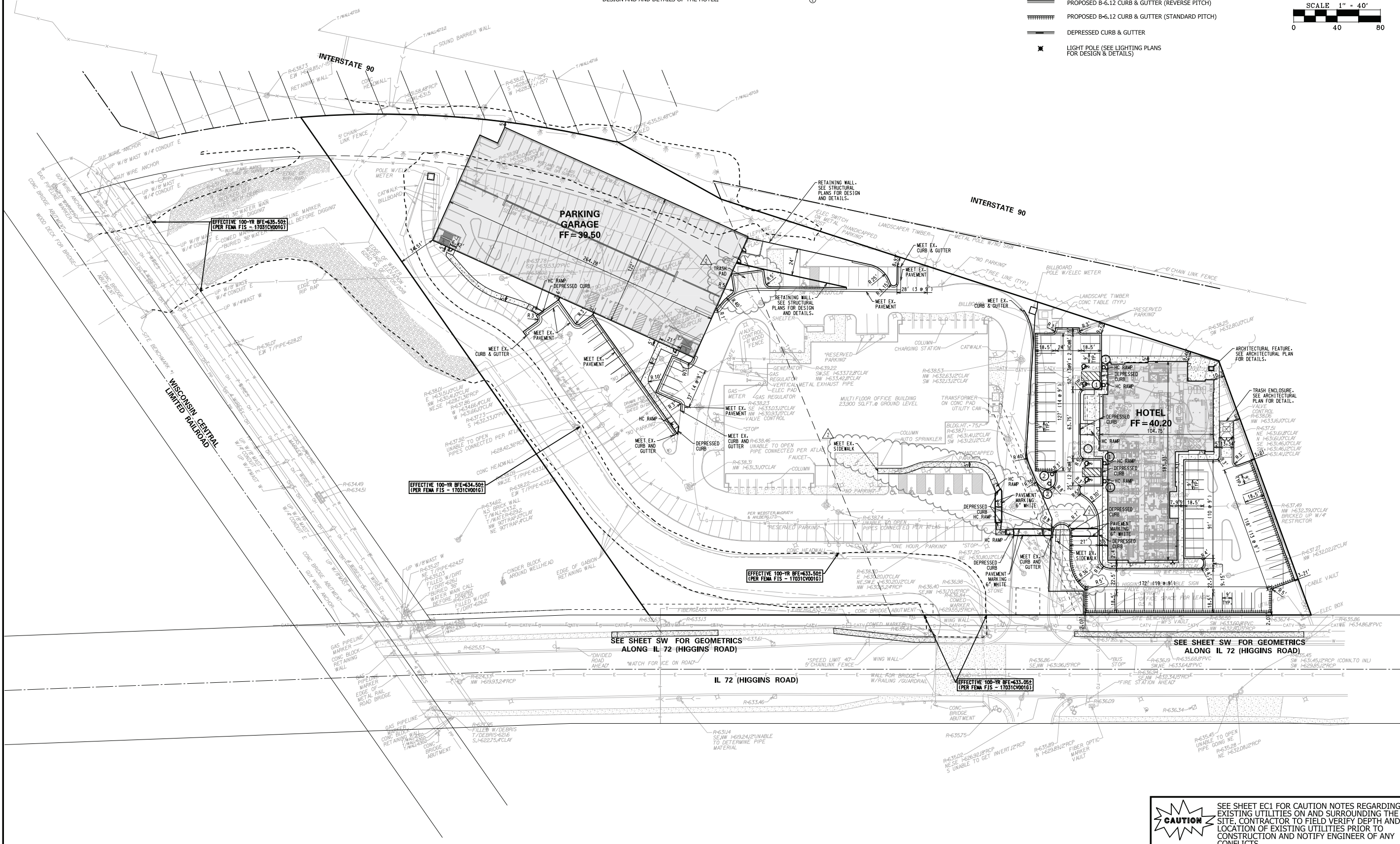
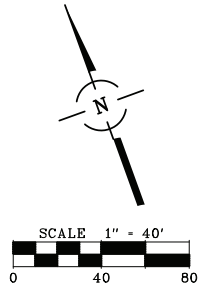
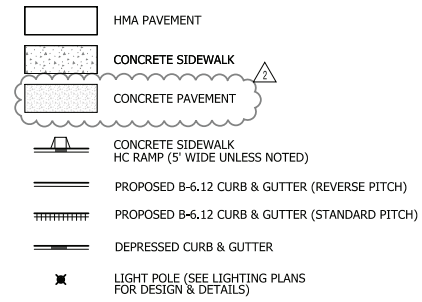
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER IS REVERSE PITCH (PITCH OUT) B.6.12 UNLESS OTHERWISE NOTED.
3. SEE SHEET GN FOR PAVEMENT SECTIONS.
4. ALL ON-SITE PAVEMENT MARKINGS SHALL BE PAINT UNLESS OTHERWISE NOTED.
5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
6. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DESIGN AND DETAILS OF THE HOTEL.

SIGN LEGEND:



NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②

LEGEND



NO.	DATE	REMARKS
1	02/02/21	PER SPACECO
2	03/10/21	PER CITY OF DES PLAINES

NO.	DATE	REMARKS
1	02/02/21	PER SPACECO
2	03/10/21	PER CITY OF DES PLAINES

GEOMETRIC PLAN

1700 W. HIGGINS ROAD

DES PLAINES, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065



FILENAME: 8779.03GM1
DATE: 01/15/21
JOB NO. 8779.03
SHEET GM1 5 OF 24

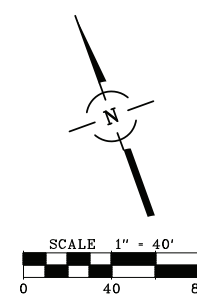
CAUTION

SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS APPROVED FOR USE BY THE CITY ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

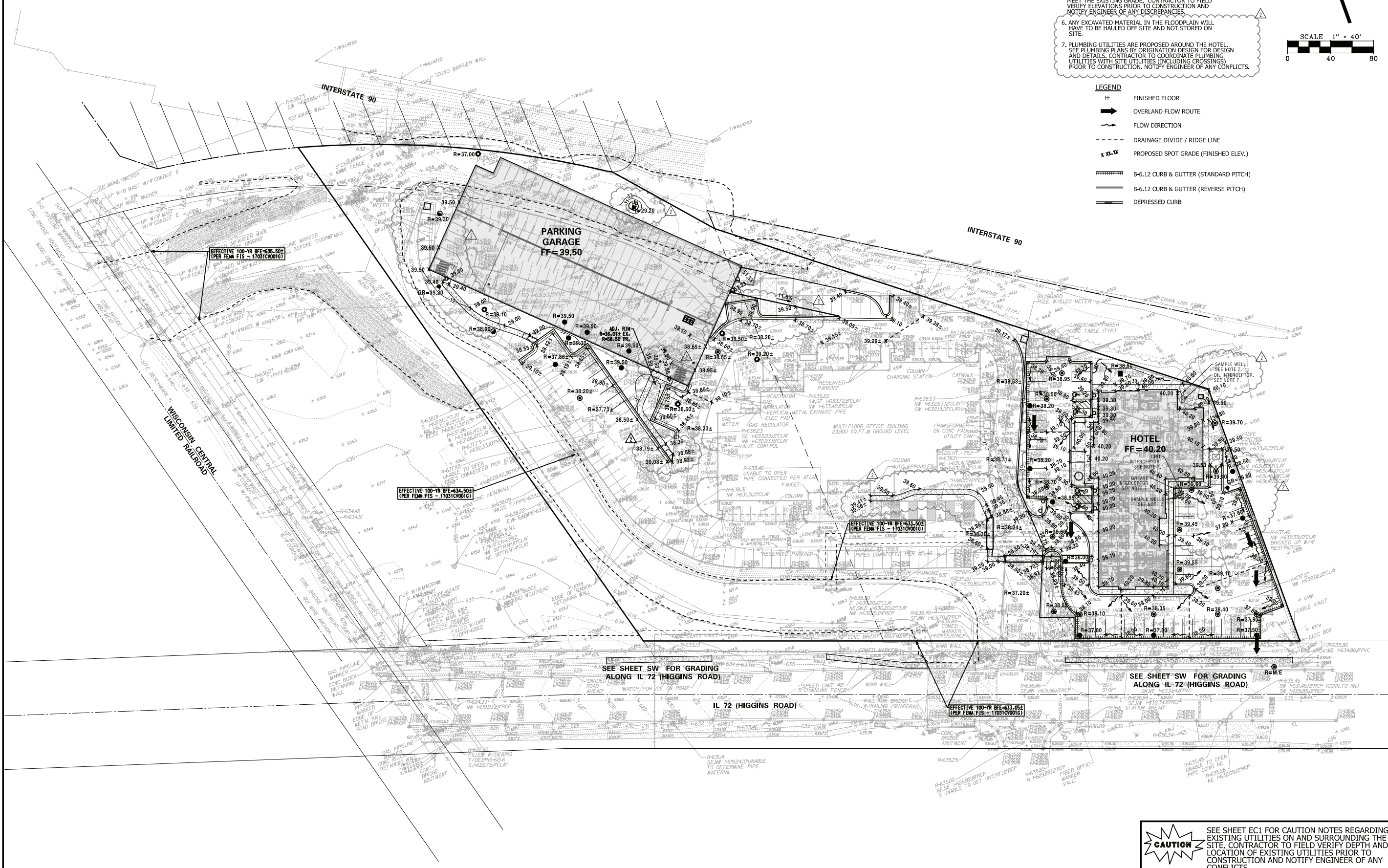
NOTES:

1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX
2. ALL CURB AND GUTTER IS REVERSE PITCH (PITCH OUT) B-6.12 UNLESS NOTED OTHERWISE.
3. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
4. H.C. STALLS SHALL HAVE A MAXIMUM SLOPE OF 2.0% AS MEASURED IN ANY DIRECTION.
5. ALL SPOT GRADES SHOWN AS XX.XX+/- OR M.E. SHALL MEET THE EXISTING GRADE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. ANY EXCAVATED MATERIAL IN THE FLOODPLAIN WILL HAVE TO BE HAULED OFF SITE AND NOT STORED ON SITE.
7. PLUMBING UTILITIES ARE PROPOSED AROUND THE HOTEL. SEE PLUMBING PLANS BY ORIGINATOR DESIGN FOR DESIGN AND DETAILS. CONTRACTOR TO COORDINATE PLUMBING UTILITIES WITH SITE UTILITIES (INCLUDING CROSSINGS) PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.



LEGEND

- FF FINISHED FLOOR
- ➔ OVERLAND FLOW ROUTE
- FLOW DIRECTION
- - - DRAINAGE DIVIDE / RIDGE LINE
- x x x x PROPOSED SPOT GRADE (FINISHED ELEV.)
- ===== B-6.12 CURB & GUTTER (STANDARD PITCH)
- ===== B-6.12 CURB & GUTTER (REVERSE PITCH)
- ===== DEPRESSED CURB



NO.	DATE	REMARKS

2	03/10/21	PER CITY OF DES PLAINES
1	02/02/21	PER SPACECO

GRADING PLAN
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4040 Fax: (847) 694-4045



SPACECO INC.

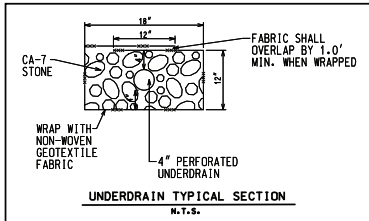
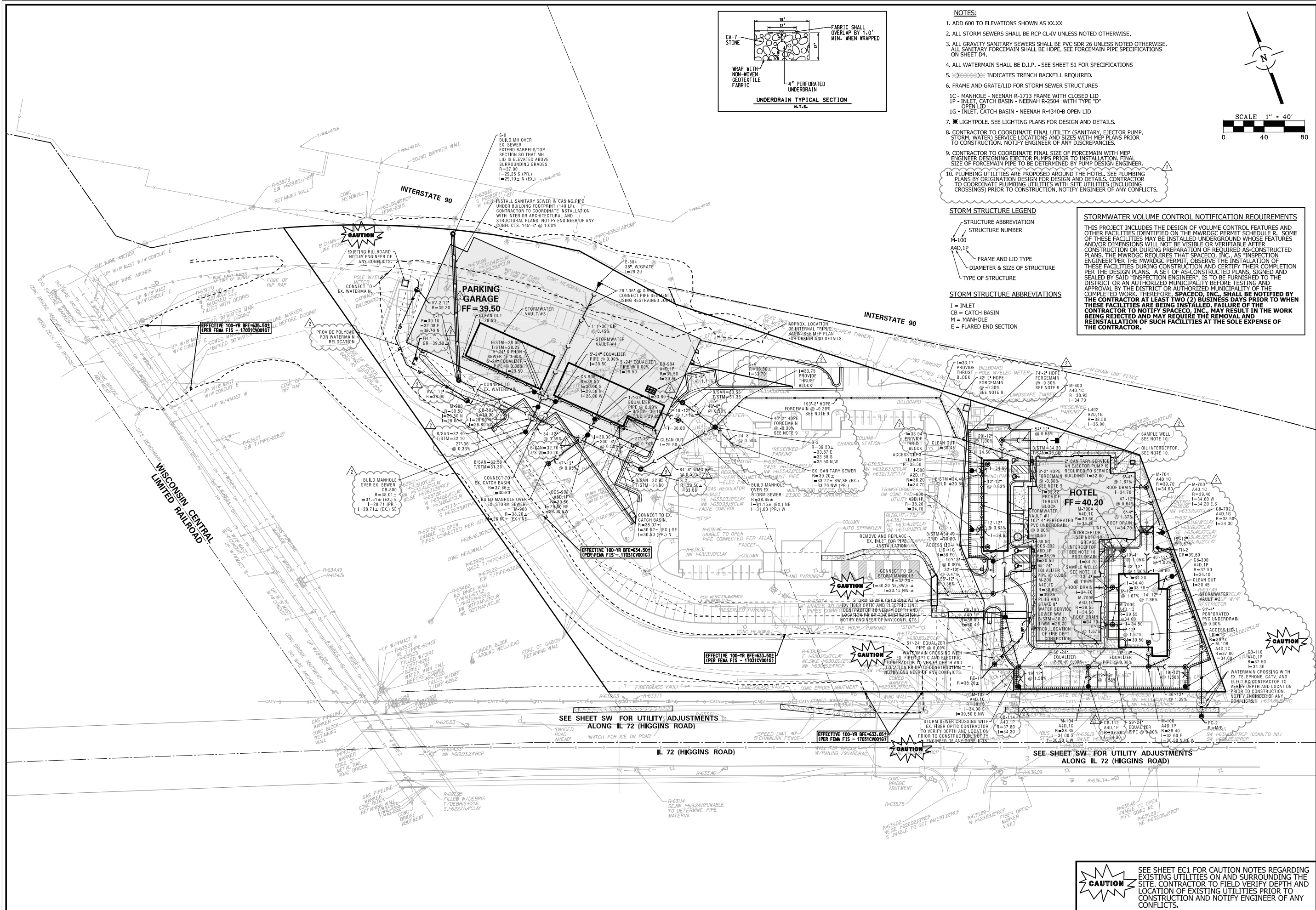
FILENAME:
8779.03GR1

DATE:
01/15/21

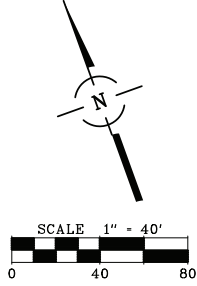
JOB NO.
8779.03

SHEET
GR1
6 OF 24

CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.



- NOTES:**
- ADD 600 TO ELEVATIONS SHOWN AS XX.XX
 - ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 - ALL GRAVITY SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE. ALL SANITARY FORCEMAIN SHALL BE HDPE. SEE FORCEMAIN PIPE SPECIFICATIONS ON SHEET D4.
 - ALL WATERMAIN SHALL BE D.I.P. - SEE SHEET S1 FOR SPECIFICATIONS
 - INDICATES TRENCH BACKFILL REQUIRED.
 - FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 - MANHOLE - NEENAH R-1713 FRAME WITH CLOSED LID
 1P - INLET, CATCH BASIN - NEENAH R-2504 WITH TYPE 'D' OPEN LID
 1G - INLET, CATCH BASIN - NEENAH R-4340-B OPEN LID
 - LIGHTPOLE. SEE LIGHTING PLANS FOR DESIGN AND DETAILS.
 - CONTRACTOR TO COORDINATE FINAL UTILITY (SANITARY, EJECTOR PUMP, STORM, WATER) SERVICE LOCATIONS AND SIZES WITH MEP PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR TO COORDINATE FINAL SIZE OF FORCEMAIN WITH MEP ENGINEER DESIGNING EJECTOR PUMPS PRIOR TO INSTALLATION. FINAL SIZE OF FORCEMAIN PIPE TO BE DETERMINED BY PUMP DESIGN ENGINEER.
 - PLUMBING UTILITIES ARE PROPOSED AROUND THE HOTEL. SEE PLUMBING PLANS BY ORIGINATOR DESIGN FOR DESIGN AND DETAILS. CONTRACTOR TO COORDINATE PLUMBING UTILITIES WITH SITE UTILITIES (INCLUDING CROSSINGS) PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.



- STORM STRUCTURE LEGEND**
- STRUCTURE ABBREVIATION
 - STRUCTURE NUMBER
 - M-100
 - A4D, 1P
 - FRAME AND LID TYPE
 - DIAMETER & SIZE OF STRUCTURE
 - TYPE OF STRUCTURE
- STORM STRUCTURE ABBREVIATIONS**
- I = INLET
 - CB = CATCH BASIN
 - M = MANHOLE
 - E = FLARED END SECTION

STORMWATER VOLUME CONTROL NOTIFICATION REQUIREMENTS

THIS PROJECT INCLUDES THE DESIGN OF VOLUME CONTROL FEATURES AND OTHER FACILITIES IDENTIFIED ON THE MWRDGC PERMIT SCHEDULE R. SOME OF THESE FACILITIES MAY BE INSTALLED UNDERGROUND WHOSE FEATURES AND/OR DIMENSIONS WILL NOT BE VISIBLE OR VERIFIABLE AFTER CONSTRUCTION. BEFORE PREPARATION OF REQUIRED AS-CO-CONSTRUCTED PLANS, THE MWRDGC REQUIRES THAT SPACECO, INC., AS INSPECTION ENGINEER PER THE MWRDGC PERMIT, OBSERVE THE INSTALLATION OF THESE FACILITIES DURING CONSTRUCTION AND CERTIFY THEIR COMPLETION PER THE DESIGN PLANS. A SET OF AS-CO-CONSTRUCTED PLANS, SIGNED AND SEALED BY SAID "INSPECTION ENGINEER" IS TO BE FURNISHED TO THE DISTRICT OR AN AUTHORIZED MUNICIPALITY BEFORE TESTING AND APPROVAL BY THE DISTRICT OR AUTHORIZED MUNICIPALITY OF THE COMPLETED WORK. THEREFORE, **SPACECO, INC. SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST TWO (2) BUSINESS DAYS PRIOR TO WHEN THESE FACILITIES ARE BEING INSTALLED. FAILURE OF THE CONTRACTOR TO NOTIFY SPACECO, INC. MAY RESULT IN THE WORK BEING REJECTED AND MAY REQUIRE THE REMOVAL AND REINSTALLATION OF SUCH FACILITIES AT THE SOLE EXPENSE OF THE CONTRACTOR.**

NO.	DATE	REMARKS
2	03/10/21	PER CITY OF DES PLAINES
1	02/02/21	PER SPACECO

NO.	DATE	REMARKS
2	03/10/21	PER CITY OF DES PLAINES
1	02/02/21	PER SPACECO

UTILITY PLAN

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4040 Fax: (847) 694-4045



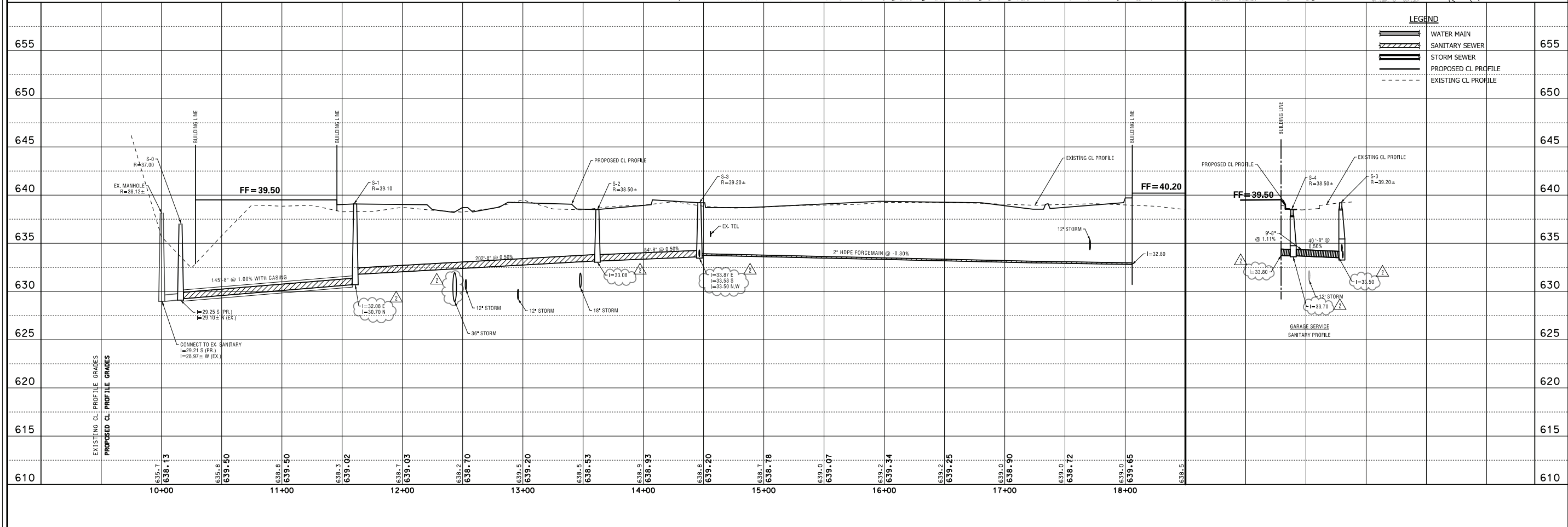
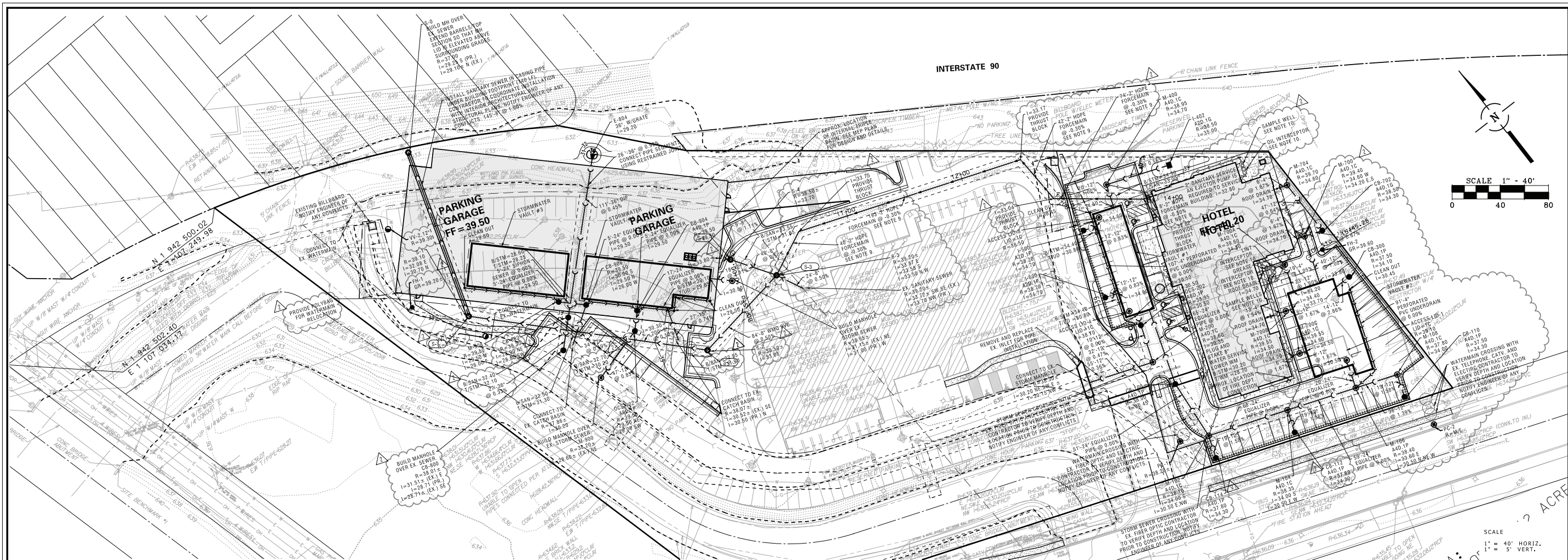
FILENAME:
8779_03UT1

DATE:
01/15/21

JOB NO.
8779.03

SHEET
UT1
7 OF 24

CAUTION SEE SHEET EC1 FOR CAUTION NOTES REGARDING EXISTING UTILITIES ON AND SURROUNDING THE SITE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.



NO.	DATE	REMARKS
2	03/10/21	PER CITY OF DES PLAINES
NO.	DATE	REMARKS

SANITARY SEWER PLAN AND PROFILE

1700 W. HIGGINS ROAD

DES PLAINES, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

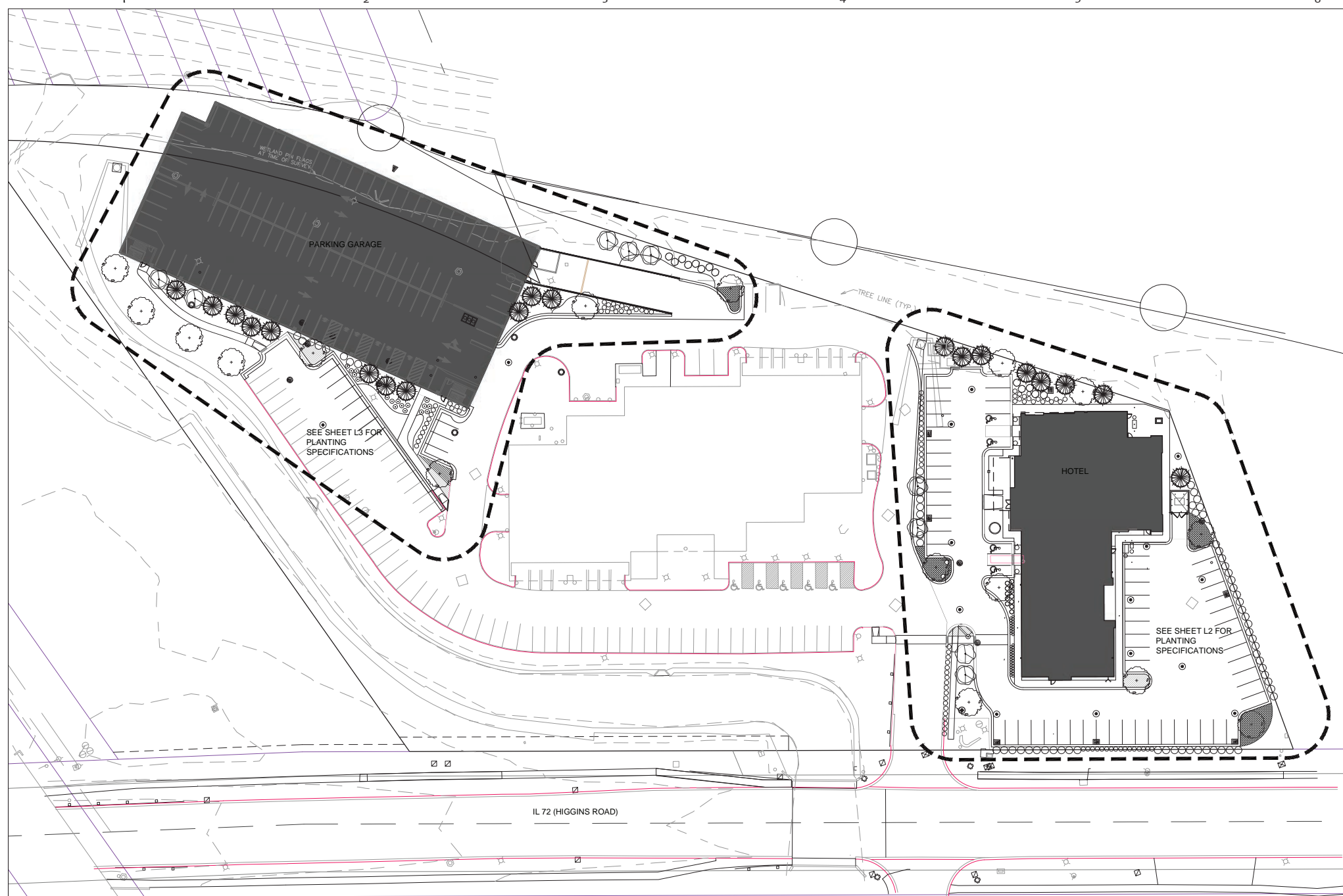
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065

SPACECO INC.

FILENAME: 8779_03PP1
DATE: 01/15/21
JOB NO. 8779.03

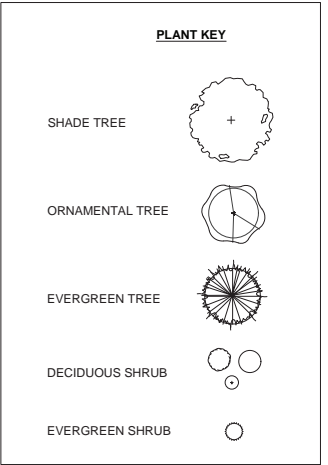
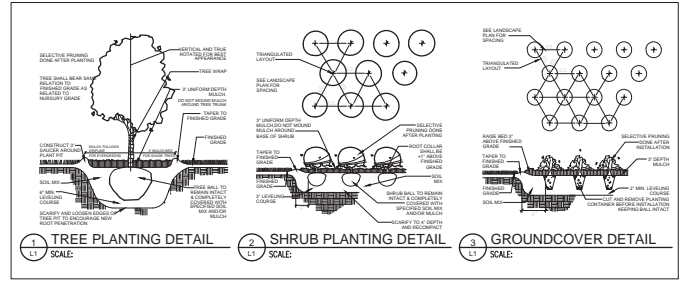
SHEET
PP1
8 OF 24



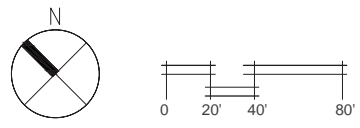
Master Plant List					
Symbol	Quantity	Botanical Name	Common Name	Size	Notes
Shade Trees					
AFR	2	ACER X FREEMAN 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3' BB	
CEC	4	CELTIS OCCIDENTALIS	HICKBERRY	3' BB	
L	3	LIRIODENDRON TULIPIFERA	TULIP TREE	3' BB	
CB	5	QUERCUS BICOLORE	SWAMP WHITE OAK	3' BB	
TAR	2	TILIA AMERICANA REDYCKO	REDYCKO AMERICAN LINDEN	3' BB	
Evergreen Trees					
PAS	2	PICEA ABIES	NORWAY SPRUCE	3' BB	
PCV	11	PICEA OMORICA	SERBIAN SPRUCE	3' BB	
PSL	6	PSEUDOTSUGA MENZES	DOUGLAS FIR	3' BB	
Ornamental Trees					
AC	5	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	3' BB	
CC	2	CRATAEGUS CRUGATA VAR. NERMIS	THORNLESS HAWTHORN	3' BB	
MA	2	MAULS ADAMS	CRABAPPLE	3' BB	20' RED PINK
Evergreen Shrubs					
JCM	12	JUNIPERUS CHENSIS 'MINI LULLY'	'MINI LULLY' SPREADING JUNIPER	24" BB	
Deciduous Shrubs					
AV	41	ARONIA MELANOCARPA 'ROLOIS BEAUTY'	IRROLOIS BEAUTY BLACK CHOCHEBERRY	24" BB	
CA	17	CLETHRA ALNIFOLIA 'HILMINGBRO'	HILMINGBRO CLETHRA	5' GA.	
EA	15	EUCYMIUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	36" BB	
IV	13	HAMAMELIS VERNALIS	VERNAL WITCH HAZEL	48" BB	
HP	32	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB	
PF	17	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA	5' GA.	
RA	41	RHUS AROMATICA 'GRO LOW'	GRO LOW SILVAC	5' GA.	
VD	25	VIBURNUM IDENTATUM 'CHAGO LUSTRE'	CHAGO LUSTRE ARROWWOOD V. SURNJY	48" BB	
Groundcover					
ef		EUCYMIUS FORTUNEI 'CO. CRATLS'	PURPLE LEAF WATERCREEPER	3" FOTS	
Grasses					
ov	42	PANDANUS VAGATUM 'NORTH WIND'	SWITCH GRASS	3' GA.	4'

GENERAL CONSTRUCTION NOTES

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.



OVERALL LANDSCAPE PLAN
SCALE: 1" = 40'-0"



Kathryn Talty
landscape architecture
Winnetka, Illinois 60093
847.612.5154
www.ktaltysdesign.com

no.	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	02-16-21

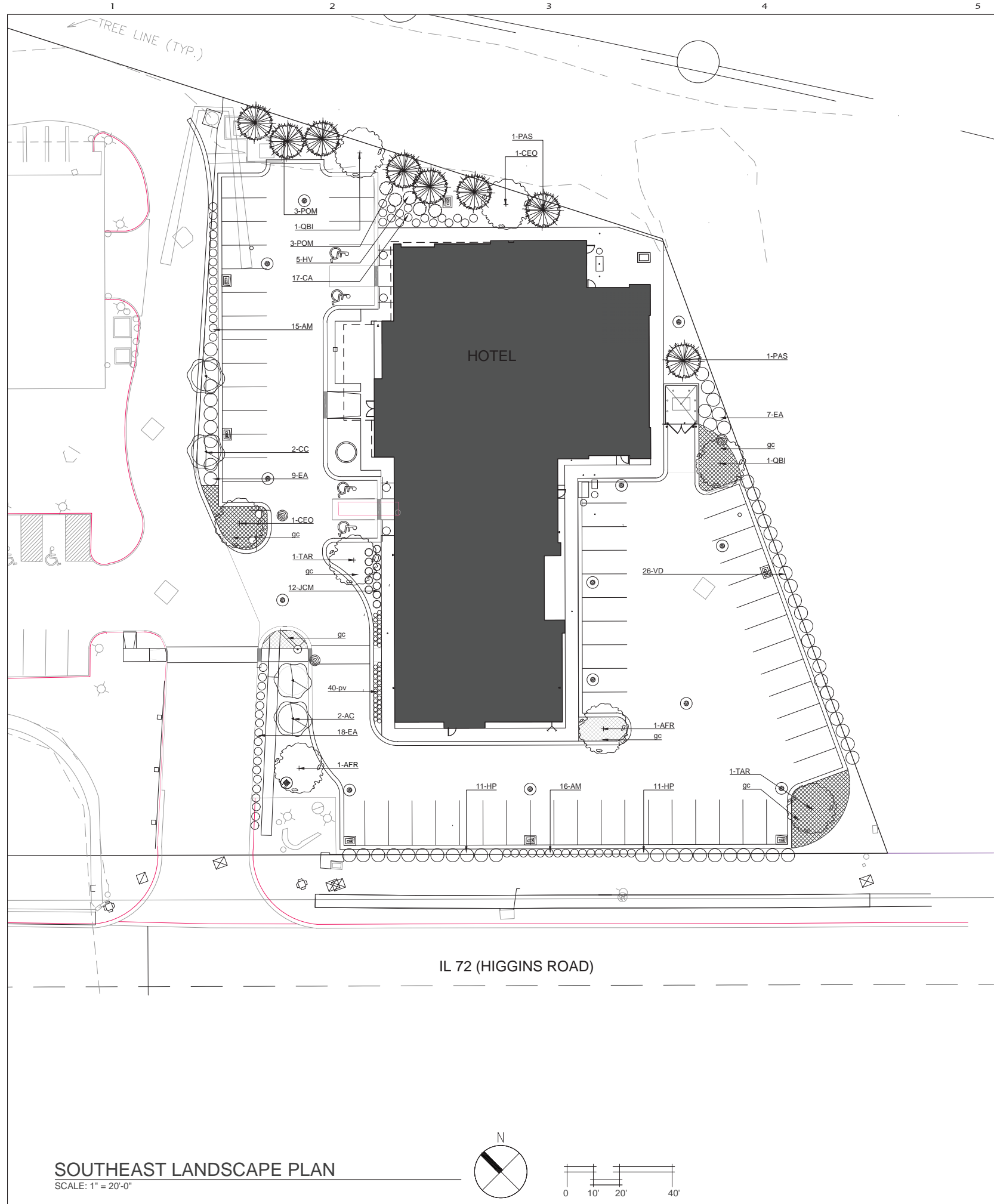
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

LANDSCAPE PLAN

date	drawn	checked
02-09-21	KMT	KMT

job no. 21080

sheet no. L1



SOUTHEAST LANDSCAPE PLAN
SCALE: 1" = 20'-0"

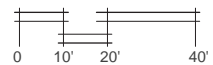
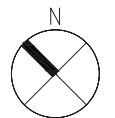


Exhibit F



Kathryn Talty
landscape architecture
Winnetka, Illinois 60093
847.612.5154
www.kmtaltydesign.com

no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	02-16-21

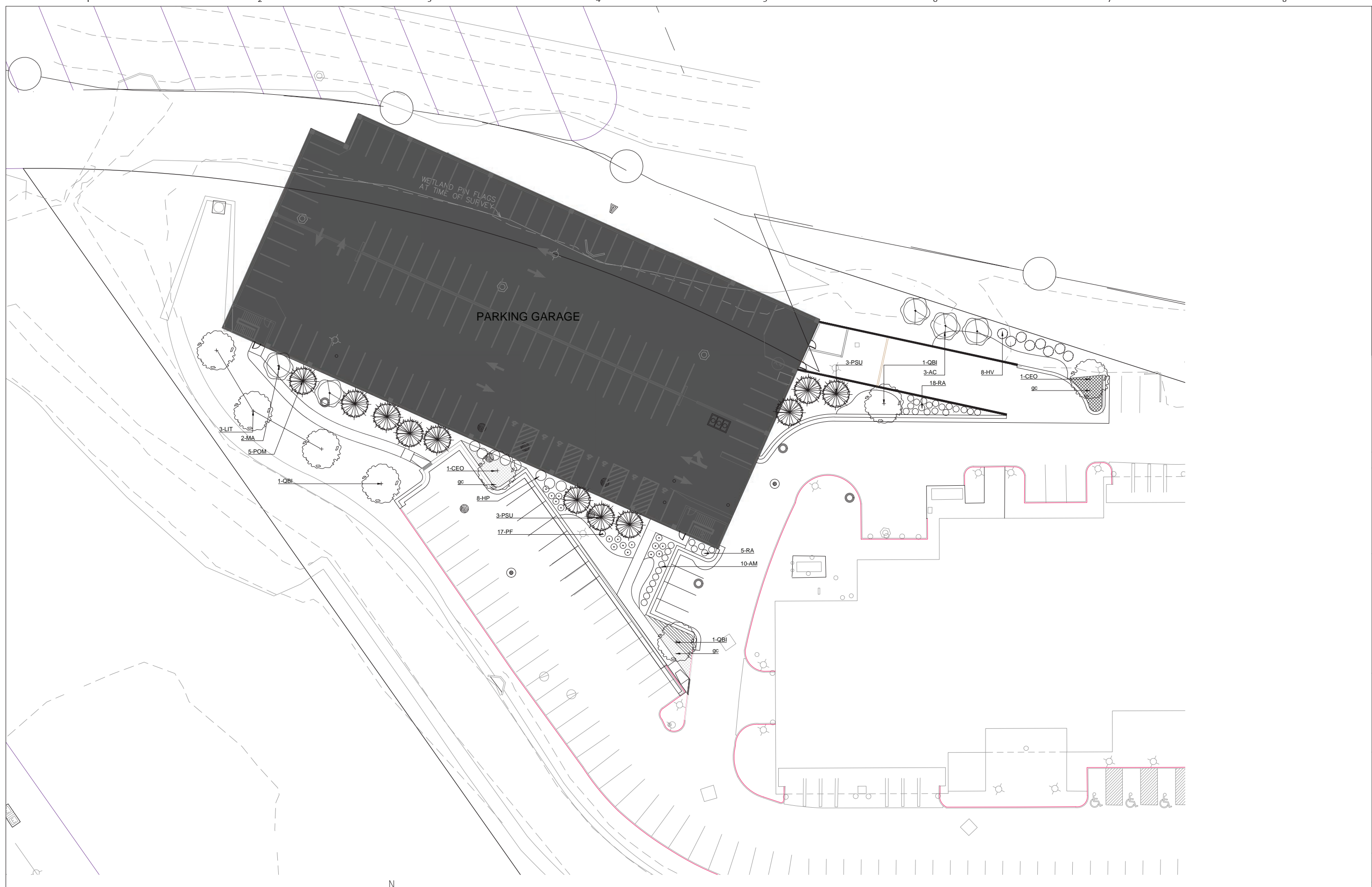
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

LANDSCAPE PLAN

date	02-09-21
drawn	KMT
checked	KMT

job no.
21080

sheet no.
L2



NORTHWEST LANDSCAPE PLAN
SCALE: 1" = 20'-0"

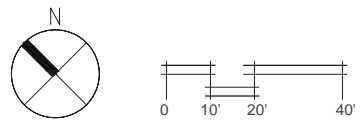
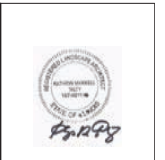


Exhibit F



Kathryn Talty
landscape architecture
Winnetka, Illinois 60093
847.612.5154
www.kmtaltdesign.com

no.	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	02-16-21

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

LANDSCAPE PLAN

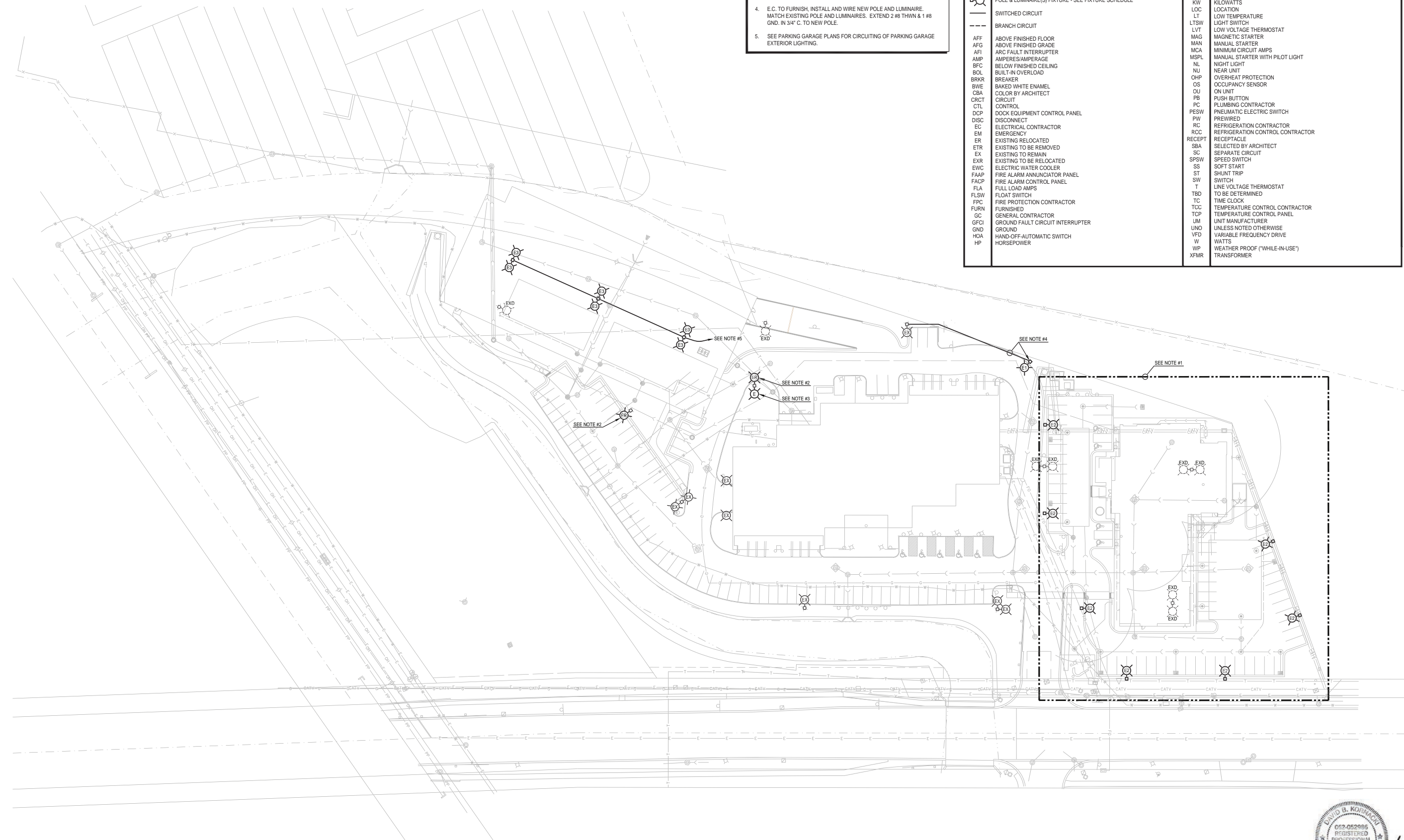
date	02-09-21
drawn	KMT
checked	KMT

job no. **21080**

sheet no. **L3**

- NOTES:
- SEE HOTEL PLANS FOR CIRCUITING OF HOTEL EXTERIOR LIGHTING.
 - EXISTING POLE AND LUMINAIRE. E.C. TO ADJUST LUMINAIRE FOR PROPER AIMING OF LIGHT FIXTURE.
 - E.C. TO FURNISH AND INSTALL ADDITIONAL LUMINAIRE TO EXISTING POLE AND LUMINAIRE. MATCH EXISTING LUMINAIRE.
 - E.C. TO FURNISH, INSTALL AND WIRE NEW POLE AND LUMINAIRE. MATCH EXISTING POLE AND LUMINAIRES. EXTEND 2 #8 THWN & 1 #8 GND. IN 3/4" C. TO NEW POLE.
 - SEE PARKING GARAGE PLANS FOR CIRCUITING OF PARKING GARAGE EXTERIOR LIGHTING.

SYMBOLS / ABBREVIATIONS		
WALL BRACKET/WALL SCONCE FIXTURE - SEE FIXTURE SCHEDULE	HVAC	HEATING AND VENTILATING CONTRACTOR
SURFACE/PENDANT FIXTURE - SEE FIXTURE SCHEDULE	IG	ISOLATED GROUND
RECESSED DOWNLIGHT FIXTURE - SEE FIXTURE SCHEDULE	IR	IN ROOM
POLE & LUMINAIRE(S) FIXTURE - SEE FIXTURE SCHEDULE	IU	IN UNIT
SWITCHED CIRCUIT	JB	JUNCTION BOX
BRANCH CIRCUIT	KW	KILOWATTS
AFF	LOC	LOCATION
AFG	LT	LOW TEMPERATURE
AFI	LTSW	LIGHT SWITCH
AMP	LVT	LOW VOLTAGE THERMOSTAT
BFC	MAG	MAGNETIC STARTER
BOL	MAN	MANUAL STARTER
BRKR	MCA	MINIMUM CIRCUIT AMPS
BWE	MSP	MANUAL STARTER WITH PILOT LIGHT
CBA	NL	NIGHT LIGHT
CRCT	NU	NEAR UNIT
CTL	OHP	OVERHEAT PROTECTION
DCP	OS	OCCUPANCY SENSOR
DISC	OU	ON UNIT
EC	PB	PUSH BUTTON
EM	PC	PLUMBING CONTRACTOR
ER	PESW	PNEUMATIC ELECTRIC SWITCH
ETR	PH	PREWIRED
EX	RC	REFRIGERATION CONTRACTOR
EXR	RCC	REFRIGERATION CONTROL CONTRACTOR
EWC	RECEPT	RECEPTACLE
FAFP	SBA	SELECTED BY ARCHITECT
FACP	SC	SEPARATE CIRCUIT
FLA	SPSW	SPEED SWITCH
FLSW	SS	SOFT START
FPC	ST	SHUNT TRIP
FURN	SW	SWITCH
GC	T	LINE VOLTAGE THERMOSTAT
GFCI	TBD	TO BE DETERMINED
GND	TC	TIME CLOCK
HDA	TCC	TEMPERATURE CONTROL CONTRACTOR
HP	TCP	TEMPERATURE CONTROL PANEL
	UM	UNIT MANUFACTURER
	UNO	UNLESS NOTED OTHERWISE
	VFD	VARIABLE FREQUENCY DRIVE
	W	WATTS
	WP	WEATHER PROOF ("WHILE-IN-USE")
	XFMR	TRANSFORMER



ELECTRICAL SITE PLAN
SCALE: 1"=40'-0"

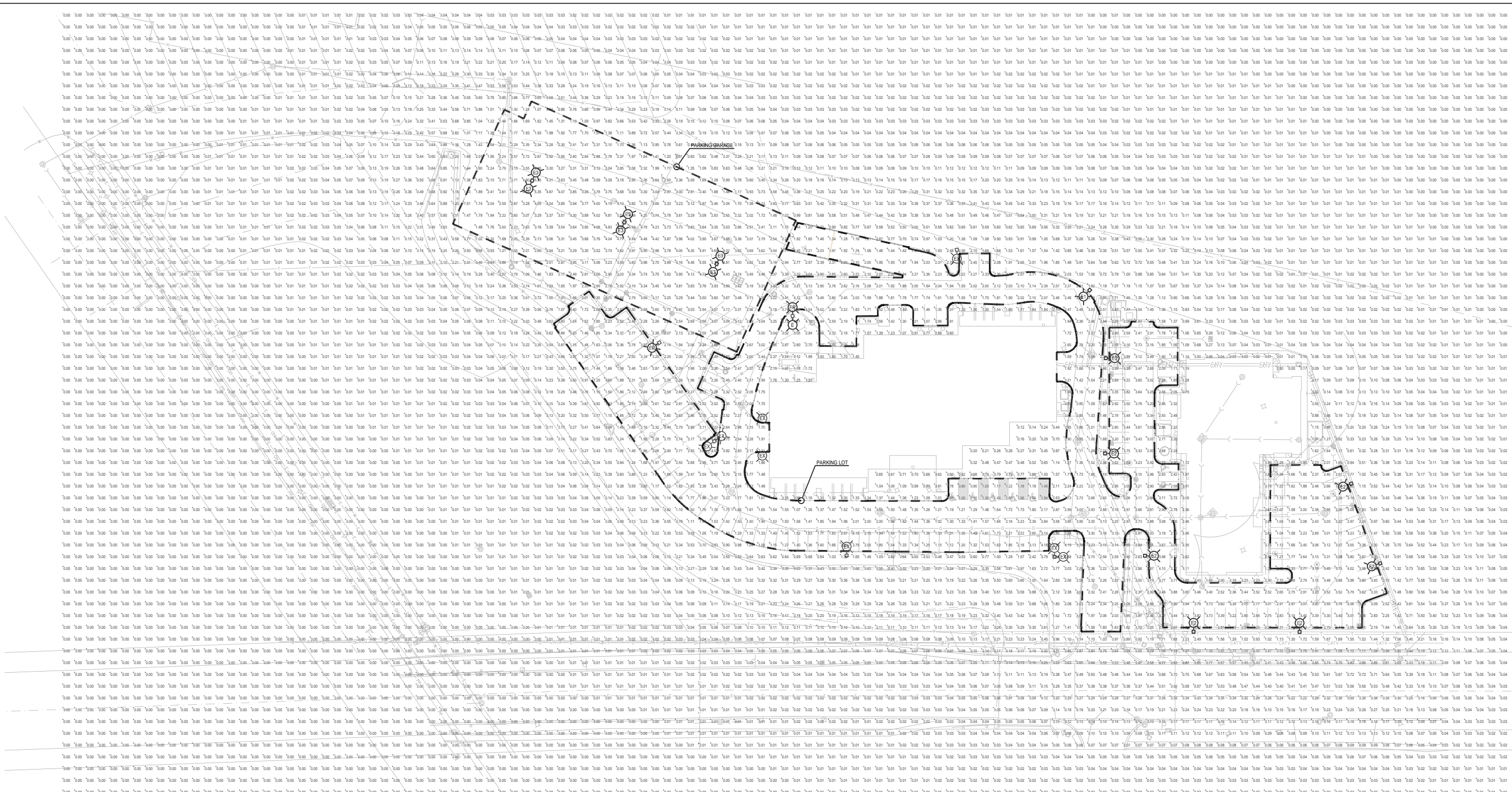


ISSUED FOR PERMIT & BID		NO.	DATE	REMARKS
1	02/17/21			

ELECTRICAL SITE PLAN	
1700 W. HIGGINS ROAD	
DES PLAINES, ILLINOIS	

Cooperation Registration #84-000374
KORNAKCI & ASSOCIATES, INC.
 CONSULTING ELECTRICAL ENGINEERS
 5400 S. WILSON AVE.
 NEW BERN, IL 63107
 (262) 784-3323 Fax: (262) 784-5014

K&A JOB NO. 21009
DATE: 02/17/21
JOB NO. 8779.02
SHEET E1 1 OF 3



PHOTOMETRIC SITE PLAN
SCALE: 1"=40'-0"

- LIGHTING ANALYSIS NOTES:**
(PARKING LOT)
1. AVERAGE FOOTCANDLES: 2.38
 2. MAXIMUM FOOTCANDLES: 4.56
 3. MINIMUM FOOTCANDLES: 0.80
 4. MAXIMUM/MINIMUM RATIO: 5.7:1
 5. AVERAGE/MINIMUM RATIO: 3.0:1

- LIGHTING ANALYSIS NOTES:**
(PARKING GARAGE)
1. AVERAGE FOOTCANDLES: 3.12
 2. MAXIMUM FOOTCANDLES: 5.99
 3. MINIMUM FOOTCANDLES: 1.07
 4. MAXIMUM/MINIMUM RATIO: 5.6:1
 5. AVERAGE/MINIMUM RATIO: 2.9:1

NO.	DATE	REMARKS
1	02/17/21	ISSUED FOR PERMIT & BID

NO.	DATE	REMARKS
1	02/17/21	ISSUED FOR PERMIT & BID

PHOTOMETRIC SITE PLAN
1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

Corporation Registration #04-000374
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5405 S. WILSON AVENUE
NEW BERN, NH 03055
(603) 794-3303 Fax: (603) 794-804




K&A JOB NO. 21009
DATE: 02/17/21
JOB NO. 8779.02
SHEET E2 2 OF 3

Date: 02/17/21
Lic. Exp.: 11/30/21

FIXTURE SCHEDULE

21009

TYPE	INPUT WATTS	VOLTS	LUMENS	COLOR TEMP	CRI			DESCRIPTION	MANUFACTURER	CATALOG NUMBER	SHIELDING	FINISH	MOUNTING	CONTROLS		SEE NOTES
					70+	80+	90+							INTEGRAL	REMOTE	
E								LUMINAIRE		MATCH EXISTING		MATCH EXISTING	EXISTING POLE		X	
E1								POLE & LUMINAIRE		MATCH EXISTING		MATCH EXISTING	MATCH EXISTING POLE & LUMINAIRE		X	
E2	183	VERIFY	20746	4000K				POLE & LUMINAIRE	LITHONIA	DSX1 LED-P7-40K-T3M-MVOLT-SPA-SBA		SBA	SEE DETAIL 1/E3		X	
E3	(2) 183	VERIFY	20746	4000K				POLE & (2) LUMINAIRES	LITHONIA	(2) DSX1 LED-P7-40K-T3M-MVOLT-SPA-SBA		SBA	SEE DETAIL 2/E3		X	



D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.01 ft²
 Length: 33"
 Width: 13"
 Height H1: 7-1/2"
 Height H2: 3-1/2"
 Weight (max): 27 lbs

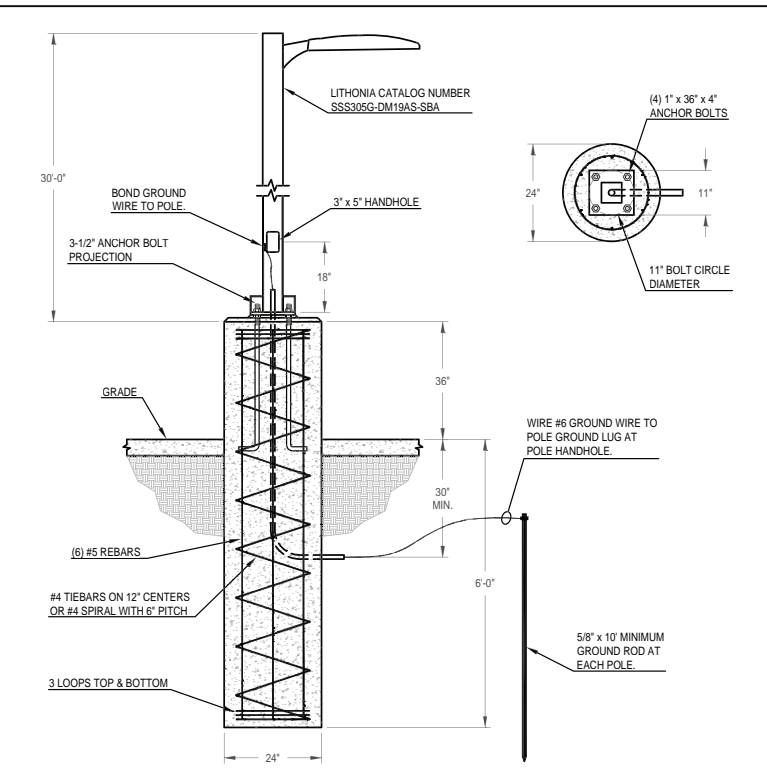
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

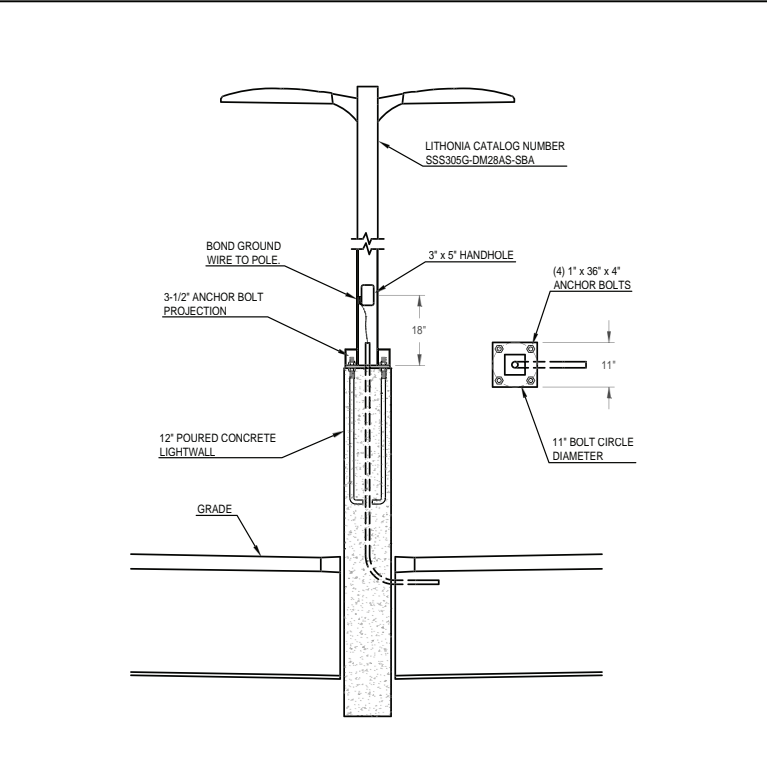
The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD**

Series	LED	Color Temperature	Distribution	Package	Mounting
DSX1 LED	Forward optics	30K	3000 K	T15 Type I short (Automated)	DV15 Type V very short
		40K	4000 K	T25 Type II short	T35 Type V short
		50K	5000 K	T35 Type II short	T3M Type V medium
Related optics	P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K	3000 K	T24 Type II medium	T3W Type V wide
				T35 Type II short	BLC Beamlight corner
				T3M Type II medium	LC22 Left corner cast
Shipped separately	KMA2 DDBXD U	400*	medium	T3M Type II medium	RC22 Right corner cast
				T3M Type II medium	RC22 Right corner cast
				T3M Type II medium	RC22 Right corner cast



1 ELECTRICAL FIXTURE TYPE 'E2' MOUNTING DETAIL NOT TO SCALE



2 ELECTRICAL FIXTURE TYPE 'E3' MOUNTING DETAIL NOT TO SCALE

NO.	DATE	REMARKS
1	02/17/21	ISSUED FOR PERMIT & BID

SCHEDULES & DETAILS

1700 W. HIGGINS ROAD
DES PLAINES, ILLINOIS

Corporation Registration #84000374

KORNACKI & ASSOCIATES, INC.
 CONSULTING ELECTRICAL ENGINEERS
 5400 S. WISCONSIN AVE.
 NEW BERN, WI 53051
 (262) 794-3303 Fax: (262) 794-5044

Date: 02/17/21
 Lic. Exp.: 11/30/21

K&A JOB NO. 21009
DATE: 02/17/21
JOB NO. 8779.02
SHEET E3 3 OF 3

EXHIBIT H

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The City of Des Plaines, Illinois ("**City**");

WHEREAS, Mariner Higgins Centre, LLC ("**Applicant**") is the owner of the real property located at 1700 W. Higgins Road, which is referred to herein as the ("**Subject Property**"); and

WHEREAS, the Subject Property is located in the C-3 General Commercial District of the City; and

WHEREAS, in 2019, the City Council adopted Ordinance Z-9-19 approving a conditional use for a local alternative sign regulation ("**LASR**"), tentative plat of subdivision, map amendment, and preliminary planned unit development (collectively, the "**Preliminary PUD**"); and

WHEREAS, on August 19, 2019, the City Council adopted, Ordinance Z-21-19, approving a conditional use for final planned unit development ("**Final Planned Unit Development**"), a final plat of resubdivision ("**Final Plat**"), and major variations ("**Variations**") for the Subject Property to allow the redevelopment of the existing office building development, which includes a 139,000 square foot office building ("**Building**") and multiple parking lots totaling 358 outdoor spaces and indoor parking lots totaling 28-spaces ("**Parking Lots**") (collectively, the Final Planned Unit Development, the Final Plat, and the LASR are the "**Initial Approvals**"); and

WHEREAS, the Applicant proposes to alter the original redevelopment plan for the Subject Property previously approved under Ordinance Z-21-19 to provide for (i) the construction of a four-story, 107-room hotel and (ii) a 207-space multi-deck parking garage ("**Parking Garage**") in place of the previously approved surface parking lot/bridge over Willow Creek (collectively, "**Proposed Improvements**"); and

WHEREAS, the Proposed Improvements constitute a major change to the Planned Unit Development approved by Ordinances Z-9-19 and Z-21-19 (collectively, the "**Initial PUD Approvals**") pursuant to Section 12-3-5.G.1 of the Des Plaines Zoning Ordinance of 1998, as amended ("**Major Amendment**"); and

WHEREAS, the Applicant, through its agent Mark Rogers of Liston & Tsantilis Law Office (collectively with the Applicant, the "**Petitioner**"), has applied to the City of Des Plaines for approval of the Major Amendment to the PUD Approvals to allow for Proposed Improvements on the Subject Property ("**Requested Relief**"); and

WHEREAS, Ordinance No. Z-44-21 adopted by the City Council of the City of Des Plaines on September 20, 2021 ("**Ordinance**"), grants approval of the Requested Relief, subject to certain conditions; and

WHEREAS, the Applicant desires to evidence to the City its unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in the Ordinance, and the Applicant desires to evidence its consent to recording the Ordinance against the Subject Property;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant shall, and does hereby, unconditionally agree to, accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of that certain Ordinance No. Z-44-21, adopted by the City Council on September 20, 2021.
2. The Applicant acknowledges and agrees that the City is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the City's review and approval of any plans for the Subject Property, or the issuance of any permits for the use and development of the Subject Property, and that the City's review and approval of any such plans and issuance of any such permits does not, and shall not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
3. The Applicant acknowledges that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the procedures required by Section 124-7 of the City's Zoning Ordinance are followed.
4. The Applicant agrees to and does hereby hold harmless and indemnify the City, the City's corporate authorities, and all City elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with (a) the City's review and approval of any plans and issuance of any permits, (b) the procedures followed in connection with the adoption of the Ordinance, (c) the development, construction, maintenance, and use of the Subject Property, and (d) the performance by the Applicant of its obligations under this Unconditional Agreement and Consent.
5. The Applicant shall, and does hereby agree to, pay all expenses incurred by the City in defending itself with regard to any and all of the claims mentioned in this Unconditional Agreement and Consent. These expenses shall include all out-of-pocket expenses, such as attorneys' and experts' fees, and shall also include the reasonable value of any services rendered by any employees of the City.

[SIGNATURE PAGE FOLLOWS]

ATTEST:

MARINER HIGGINS CENTRE, LLC

By: _____

By: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 2021.

Name: _____

Its: _____

Notary Public

CITY OF DES PLAINES

ORDINANCE Z - 45 - 21

**AN ORDINANCE VACATING
AN UNIMPROVED PORTION OF WEBSTER AVENUE
PUBLIC RIGHT-OF-WAY**

WHEREAS, Mariner Higgins Centre, LLC (“*Owner*”) is the current record title holder of that certain real property commonly known as 1700 W. Higgins Road, Des Plaines, Illinois (“*Subject Property*”); and

WHEREAS, the Subject property is currently improved with a 139,000-square-foot office building (“*Office Building*”) which the Owner has recently improved with approximately \$3.8 million in renovations; and

WHEREAS, the Owner desires to redevelop the Subject Property with a 207-space multi-deck parking garage. (“*Parking Garage*”); and

WHEREAS, the configuration of the proposed Parking Garage will extend outside the original bounds of the Subject Property onto an unimproved portion of the Webster Avenue public right-of-way; and

WHEREAS, in order to construct the Parking Garage, the Owner is requesting the City of Des Plaines to vacate an unimproved portion of the Webster Avenue public right-of-way (the “*Vacation Parcel*”) as depicted in *Exhibit A*; and

WHEREAS, the Subject Property is zoned C-3, General Commercial District.

WHEREAS, JMS Appraisal Group, Inc. performed an appraisal of the Vacation Parcel on behalf of the City and determined the value of the Vacation Parcel to be \$25,000; and

WHEREAS, the City has the power to vacate the Vacation Parcel pursuant to Section 11-91-1 et seq. of the Illinois Municipal Code, 65 ILCS 5/11-91-1 *et seq.*

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows;

SECTION 1: RECITALS. The Recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for the approval of this Ordinance.

SECTION 2: JURISDICTION. The City Council does hereby certify that the Subject Property is located entirely within the corporate limits of the City of Des Plaines and is subject to the jurisdiction of the City of Des Plaines.

SECTION 3: VACATION. Subject to the conditions set forth in Section 6 of this Ordinance, and pursuant to Section 11-91-1 *et seq.* of the Illinois Municipal Code, 65 ILCS 5/11-91-1 *et seq.*, the Vacation Parcel is hereby vacated.

SECTION 4: PLAT OF VACATION. The Plat of Vacation accurately depicting the Vacation Parcel attached to this Ordinance as *Exhibit A* is, by this reference, made a part hereof.

SECTION 5: OWNERSHIP AND ZONING. Upon the vacation provided for in Section 3 of this Ordinance becoming effective pursuant to the terms and conditions of this Ordinance, fee ownership of the Vacation Parcel shall vest in and inure to the benefit of the Owner. The Vacation Parcel shall be zoned in the C-3, General Commercial District and integrated into the Subject Property.

SECTION 6. CONDITION OF VACATION. The vacation provided for in Section 3 of this Ordinance is expressly made subject to and contingent upon payment by the Owner to the City of the costs and expenses related to the vacation of the Vacation Parcel in the amount of \$25,000.

SECTION 7: RECORDATION. The City Manager is hereby directed to cause a certified copy of this Ordinance and the Plat of Vacation to be recorded with the office of the Cook County Clerk.

SECTION 8: EFFECTIVE DATE. This Ordinance shall be in full force and effect only upon, and not before the occurrence of the following events:

- A. Passage, approval, and publication in the manner provided by law;

- B. Satisfaction of the condition set forth in Section 6; and
- C. Recordation of this Ordinance and the Plat of Vacation with the office of the Cook County Clerk.

PASSED this ____ day of _____, 2021.

APPROVED this ____ day of _____, 2021.

VOTE: AYES ____ NAYS ____ ABSENT ____

MAYOR

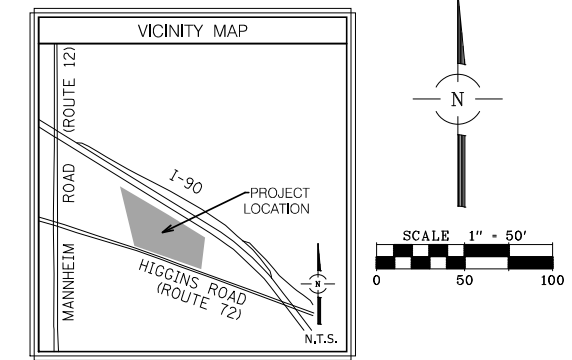
ATTEST:

Approved as to form:

CITY CLERK

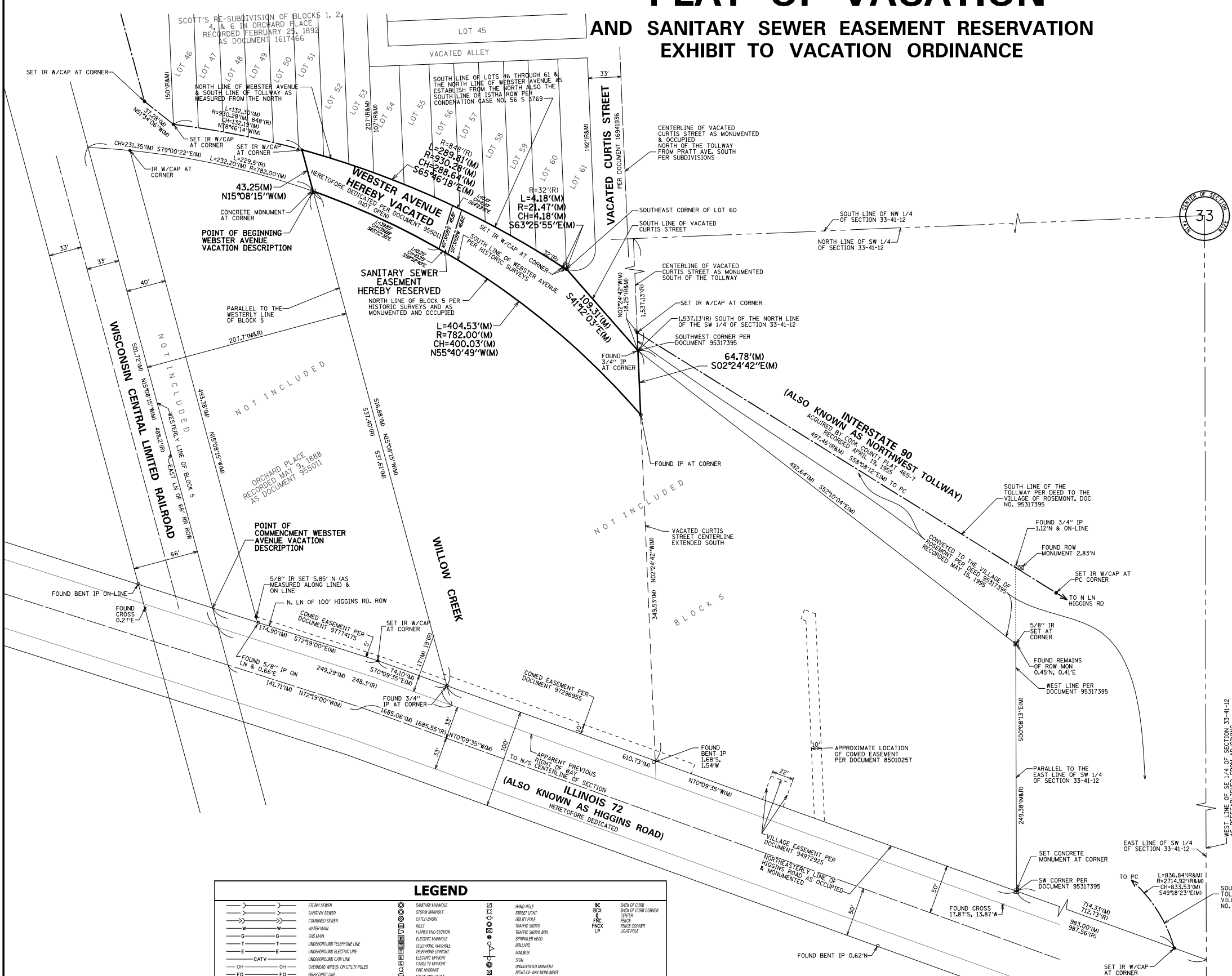
Peter M. Friedman, General Counsel

PLAT OF VACATION AND SANITARY SEWER EASEMENT RESERVATION EXHIBIT TO VACATION ORDINANCE



LEGEND

⊠	RIGHT-OF-WAY MONUMENT
○	DISC
●	IRON / STEEL ROD (IP)
○	IRON PIPE (IP)
○	CUT CROSS
+	PC / MAG NAIL
+	RAILROAD SPIKE



SURVEYORS DESCRIPTION OF WEBSTER AVENUE VACATION
 THAT PART THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF THE 66 FOOT WIDE WISCONSIN CENTRAL LIMITED RAILROAD WITH THE NORTHERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE HIGGINS ROAD, AS MONUMENTED AND OCCUPIED, AND AS SHOWN ON A PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT #465-7, SEC. 267-1819, TRAVERSE #18, BOOK #188, DATED SEPTEMBER 23, 1992, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT DRAWING FILE: 13335.PDF, SAID POINT BEING ON THE WEST LINE OF BLOCK 5 IN ORCHARD PLACE, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1888 AS DOCUMENT NUMBER 955011;

THENCE SOUTH 72 DEGREES 19 MINUTES 00 SECONDS EAST, BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (2002), NAD83 (2011 ADJUSTMENT), ALONG THE NORTHERLY LINE OF SAID HIGGINS ROAD, 174.30 FEET TO A BEND POINT; THENCE SOUTH TO DEGREES 09 MINUTES 35 SECONDS CONTINUING ALONG SAID NORTHERLY LINE OF HIGGINS ROAD 74.00 FEET TO A 3/4" IRON PIPE FOUND, SAID POINT BEING ON A LINE LYING 207.7 FEET EAST OF AND PARALLEL WITH SAID EAST LINE OF WISCONSIN CENTRAL LIMITED RAILROAD; THENCE NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG THE LAST DESCRIBED PARALLEL LINE 516.88 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP IN CONCRETE, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF WEBSTER AVENUE PER SAID ORCHARD PLACE, AS MONUMENTED AND OCCUPIED, ALSO BEING A POINT ON THE NORTH LINE OF SAID BLOCK 5, SAID POINT BEING THE POINT OF BEGINNING;
 THENCE CONTINUING NORTH 15 DEGREES 08 MINUTES 15 SECONDS WEST ALONG SAID PARALLEL LINE 43.25 FEET TO A POINT ON THE SOUTH LINE OF THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY RIGHT OF WAY, INTERSTATE 90, PER FINAL JUDGMENT ORDER, SUPERIOR COURT OF COOK COUNTY CONDEMNATION CASE NO. 57 S 14630, ENTERED JANUARY 31, 1998, BEING THE SOUTH LINES OF LOTS 46 TO 60 IN BLOCK 4 OF SAID SCOTT'S RESUBDIVISION AFORESAID, ALSO BEING THE NORTH LINE OF SAID WEBSTER AVENUE; THENCE SOUTHEASTERLY 288.64 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE RIGHT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 930.28 FEET AND WHOSE CHORD BEARS SOUTH 65 DEGREES 46 MINUTES 18 SECONDS EAST 288.64 FEET TO A POINT ON A CURVE THENCE CONTINUING 4.18 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE LEFT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 21.47 FEET AND WHOSE CHORD BEARS SOUTH 63 DEGREES 25 MINUTES 55 SECONDS EAST 4.18 FEET TO THE SOUTHWEST CORNER OF SAID LOT 60, ALSO BEING THE SOUTH LINE OF VACATED CURTIS STREET PER DOCUMENT NUMBER 16941936; THENCE SOUTH 41 DEGREES 12 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF VACATED CURTIS STREET, 109.31 FEET TO A 3/4" IRON PIPE FOUND ON THE CENTERLINE OF SAID VACATED CURTIS STREET AS MONUMENTED, SAID POINT BEING 1537.13 FEET (RECORDED SOUTH OF THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33); THENCE SOUTH 02 DEGREES 24 MINUTES 42 SECONDS EAST ALONG THE SOUTHERLY EXTENSION OF SAID CENTERLINE OF VACATED CURTIS STREET 64.78 FEET TO A 3/4" IRON PIPE FOUND ON THE SOUTH LINE OF SAID WEBSTER AVENUE AS MONUMENTED AND OCCUPIED; THENCE NORTHWESTERLY 404.53 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVE TO THE LEFT, NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 182.00 FEET AND WHOSE CHORD BEARS NORTH 55 DEGREES 40 MINUTES 49 SECONDS WEST 400.03 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

NOTES
 LAST DATE OF FIELD WORK: JANUARY 14, 2021.
 PROPERTY SURVEYED AND VACATED: 18,195 SQ. FT. OR 0.418 ACRES, MORE OR LESS.
 THE CENTERLINE AND RIGHT OF WAY LINES OF HIGGINS ROAD ARE SHOWN PER:
 PLAT OF SURVEY OF PROPERTY TO BE ACQUIRED BY PURCHASE OR CONDEMNATION FOR HIGHWAY PURPOSES BY THE COUNTY OF COOK FOR NORTHWEST EXPRESSWAY FROM MANNHEIM RD. TO RUBY STREET, PLAT # 465-7, SEC. 267-1819, TRAVERSE #18 BOOK #188, DATED SEPTEMBER 23, 1992, LAST REVISED 6-24-53, AND SIGNED BY WILLIAM J. MORTIMER, SUPERINTENDENT OF HIGHWAYS IN AND FOR THE COUNTY OF COOK ON DECEMBER 18, 1959, CURRENT IDOT FILE NUMBER 13335.PDF.
 AN AMBIGUITY EXISTS WITH THE WIDTH AND LOCATION OF WEBSTER AVENUE. THE SOUTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM HISTORIC SURVEYS, MONUMENTS AND OCCUPATION. THE NORTH LINE OF WEBSTER AVENUE IS SHOWN HEREON FROM THE EXISTING SUBDIVISION TO THE NORTH OF THE TOLLWAY AS MONUMENTED AND OCCUPIED. THE RECORD WIDTH OF WEBSTER AVENUE IS 66 FEET WIDE. IN REALITY, BASED ON MONUMENTATION FOUND AND OCCUPATION THE MEASURED WIDTH IS MUCH LESS. THIS SURVEY CAN NOT RESOLVE OR EXPLAIN HOW THIS AMBIGUITY HAS OCCURRED OVER THE LAST 133 YEARS.
 THE NORTH AND SOUTH LINES OF WEBSTER AVENUE, AS SHOWN ON THE ATTACHED DRAWING, ARE LOCATED AND SHOWN AS MONUMENTED AND OCCUPIED AND ARE IN MY PROFESSIONAL OPINION THE BEST RESOLUTION OF THE ABOVE DESCRIBED AMBIGUITY. THE SOUTH LINE OF WEBSTER AVENUE IS NOT IN DISPUTE.
 THE SOUTH AND EAST BOUNDARY LINES OF VACATED WEBSTER AVENUE AS SHOWN ARE CONTIGUOUS TO THE PROPERTY CURRENTLY OWNED BY MARINER HIGGINS CENTRE, LLC., PER SPECIAL WARRANTY DEED RECORDED FEBRUARY 8, 2007 AS DOCUMENT NUMBER 0703918055.
 WEBSTER AVENUE IS NOT BELIEVED TO BE NARROWER THAN AS SHOWN HEREON.

SANITARY SEWER EASEMENT PROVISIONS
 A NON-EXCLUSIVE, PERMANENT AND PERPETUAL EASEMENT IS HEREBY RESERVED BY THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE SANITARY SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THEREOF, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED AS "SANITARY SEWER EASEMENT" ON THIS PLAT. THE OWNERS OF THE PROPERTY VACATED ON THIS PLAT RESERVE THE RIGHT TO USE THE AREAS DESIGNATED AS "SANITARY SEWER EASEMENT" IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY RESERVED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE SEWER MAINS, EQUIPMENT AND APPURTENANCES WITHIN THE "SANITARY SEWER EASEMENT" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

STATE OF ILLINOIS) SS
 COUNTY OF COOK)
 WE, SPACCO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT THIS MAP OR PLAT IS THE SURVEY AND THAT THE SURVEY IS BASED ON A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND HAS BEEN PREPARED FOR THE PURPOSE OF VACATING SAID STREET.
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
 NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
 GIVEN UNDER OUR HAND AND SEAL THIS 31st DAY OF March, 2021 IN ROSEMONT, ILLINOIS.

C. Brian Lounsbury
 C. BRIAN LOUNSBURY, I.P.L.S., No. 035-2841
 LICENSE EXPIRES: 11-30-2022
 (VALID ONLY IF EMBOSSED SEAL AFFIXED)
 COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.



LEGEND

—	STAIRY SEWER	○	SANITARY MANHOLE	⊠	WOOD HOLE	⊠	BACK OF CURB
—	SANITARY SEWER	○	STAIRY MANHOLE	⊠	STREET LIGHT	⊠	BACK OF CURB CORNER
—	COMBINED SEWER	○	CATCH BASIN	⊠	UTILITY POLE	⊠	CONCRETE
—	WATER MAIN	○	WELL	⊠	TRAFFIC SIGNAL	⊠	GRAVEL
—	Gas MAIN	○	FLARED END SECTION	⊠	TRAFFIC SIGNAL BOX	⊠	
—	UNDERGROUND TELEPHONE LINE	○	ELECTRIC MANHOLE	⊠	SPRINKLER HEAD	⊠	
—	UNDERGROUND ELECTRIC LINE	○	TELEPHONE MANHOLE	⊠	WELLHEAD	⊠	
—	UNDERGROUND CABLE TV LINE	○	TELEPHONE UPRIGHT	⊠	WELLHEAD	⊠	
—	OVERHEAD MISC. ON UTILITY POLES	○	ELECTRIC UPRIGHT	⊠	WELLHEAD	⊠	
—	FIBER OPTIC LINE	○	CABLE TV UPRIGHT	⊠	WELLHEAD	⊠	
—	PARALLEL	○	PRE-INSTALLED VALVE AND VALVE	⊠	WELLHEAD	⊠	
—	FENCE	○	WATER VALVE	⊠	WELLHEAD	⊠	
—	GUARDRAIL	○	WELL	⊠	WELLHEAD	⊠	
—	EDGE OF WATER	○	WELL VALVE	⊠	WELLHEAD	⊠	
—	MET AND LIMITS	○	WELL VALVE	⊠	WELLHEAD	⊠	

PREPARED FOR & OWNER:
 ANDREW SAUNDERS
 QUATTRO ASSET MANAGEMENT
 GPO BOX 4358
 SYDNEY NSW 2001

REVISIONS: 02/18/2021 03/25/2021		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 02/11/2021 JOB NO: 8779.03 FILENAME: 8779Webster-VAC-0 SHEET 1 OF 1
--	--	--	--

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: August 25, 2021

To: Michael G. Bartholomew, MCP, LEED AP, City Manager

From: John T. Carlisle, AICP, Economic Development Manager *JTC*

Subject: **Requested Continuance for 1050 East Oakton Street:** Consideration of a Preliminary Planned Unit Development (PUD), Tentative Plat of Subdivision, Map Amendment, and Conditional Use for a PUD for a proposed a 125-unit attached single-family (townhouse) development in the current C-3 zoning district (proposed R-3 district).

Issue: The petitioner met with City staff, including the Public Works and Engineering Department, on Friday, August 20, to review how to proceed with a potential redesign of the proposed project at 1050 East Oakton Street. The need to consider a redesign resulted from feedback of the City Council at the August 16 meeting, when the matter was continued to September 7.

The petitioner's team is working on a revised concept and analysis, and they intend to present their conclusions on Monday, October 4. They are seeking a continuation of the Council's consideration to that date. The written request is attached.

Recommendation: The City Council may take a motion to approve continuing consideration of the petition to the October 4 meeting. Staff recommends granting the continuance, as it will allow the petitioner's design team to generate necessary cost estimates and visuals to accompany their revised submittal. Further, it will allow City staff to review the petitioner's findings before the next full discussion of the project.

Attachment:
Attachment 1: Request for continuance

From: [Julie M. Workman](#)
To: [John Carlisle](#)
Cc: [Marc McLaughlin](#); [Petermann, Tom](#); [Rich Olson](#); [Carl Peterson](#); [Todd Gawronski](#)
Subject: Continuance Request - Halston Market, 1050 E. Oakton, Des Plaines [LP-Emails.FID886955]
Date: Wednesday, August 25, 2021 10:37:09 AM
Attachments: [image603055.png](#)
[image751491.png](#)
[image826640.png](#)
[image720128.png](#)
[image253119.png](#)
[image711097.png](#)
[image181620.png](#)


Good morning, John,

This email is to request a continuance of the Des Plaines City Council's consideration of the petition by M/I Homes for its proposed project at 1050 East Oakton, known as Halston Market.

Kindly confirm that the petition will be placed on the October 4, 2021 agenda for consideration by the Council.

Best regards,
Julie Workman

JULIE M. WORKMAN (she/her/hers)

 312.476.7583
 708.323.7815
 jworkman@lplegal.com
 LPLegal.com

 **LEVENFELD
PEARLSTEIN, LLC®**

2 N. LaSalle St. Suite 1300
Chicago, Illinois 60602



Sign up for our Newsletter:

LP3: Know, Read, Do

Until further notice, due to office closures/remote work and other protocols enacted to address the spread of COVID-19, we kindly request as a courtesy that all pleadings, notices, correspondence and other documents be served via e-file or email and not regular mail or overnight/priority delivery to our office address. This does not constitute a waiver or any mail/facsimile-service of summons or subpoena or other requirements prescribed by applicable state rules of civil procedure or Federal Rule of Civil Procedure 5, but is requested solely as a precautionary measure during our physical office closures. Should you have any questions or concerns regarding this request, please contact the undersigned via email.

This message (and any associated files) is intended only for the use of the individual or entity to which it is addressed and may contain information that is confidential, subject to copyright or constitutes a trade secret. If you are not the intended recipient you are hereby notified that any dissemination, copying or distribution of this message, or files associated with this message, is strictly prohibited. If you have received this message in error, please notify us immediately by replying to the message and deleting it from your computer.