



Community & Economic Development  
1420 Miner Street, Des Plaines, IL 60016  
P: 847.391.5392 | W: [desplaines.org](http://desplaines.org)

## Planning and Zoning Board Agenda

November 24, 2020

Room 102 – 7:00 P.M.

**Call to Order:**

**Roll Call:**

**Approval of Minutes:** November 10, 2020

**Public Comment:** For matters that are not on the Agenda

**Public Hearing:**

*If you would like to participate in any public hearing on this agenda but do not feel comfortable attending the meeting in-person, please send your comments to [publiccomments@desplaines.org](mailto:publiccomments@desplaines.org) by 5:00 pm on Tuesday, November 24, 2020. Please limit your comments to 400 words or less. All emails received will be acknowledged at the hearing. Individuals with no access to email may leave a message with the City Clerk's Office at 847-391-5311.*

**Old Business:**

**New Business:**

**1. Address:** 1535 Ellinwood Street

**Case Number:** 20-047-V

The petitioner is requesting a Major Variation under Section 12-11-6(B) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a total of 180 square feet of wall sign area on an existing building, where the aggregate building sign area maximum is 125 square feet, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

**PINs:** 09-17-419-034-0000

**Petitioner:** Dan Bourbon, 5270 N. Lincoln Avenue, Skokie, IL 60077

**Owner:** 1460 Library Plaza, LLC, 15660 Midwest Road, Suite 300,  
Oakbrook Terrace, IL 60181

**2. Address:** 10 E. Golf Road

**Case Number:** 20-025-FPUD-LASR CU-V

The petitioner is requesting the following: (i) a Preliminary and Final Planned Unit Development under Section 12-3-5-1 of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a new fuel station at the existing Mariano's grocery store; (ii) a Conditional Use for a Localized Alternative Sign Regulation (LASR) under Section 12-3-4 to allow a modified

monument sign and new canopy signs with price readers; and (iii) approval of any other such variations, waivers, and zoning relief as may be necessary.

**PINs:** 09-18-100-004-0000

**Petitioner:** Tim Kratz, 3025 Highland Parkway, Suite 850, Downers Grove, IL 60015

**Owner:** Realty Income Illinois Properties 2, LLC, 11995 El Camino Real  
San Diego, CA 92130

**Adjournment:**

Next Agenda – December 8, 2020

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.



**DES PLAINES PLANNING AND ZONING BOARD MEETING  
November 10, 2020  
MINUTES**

The Des Plaines Planning and Zoning Board Meeting held its regularly-scheduled meeting on Tuesday, November 10, 2020, at 7:00 p.m. in Room 101 of the Des Plaines Civic Center.

**ZONING BOARD**

Chairman Szabo called the meeting to order at 7:08 p.m. and read this evening's cases. Roll call was established.

PRESENT: Catalano (via phone), Fowler, Hofherr, Saletnik

ABSENT: Bader, Szabo, Veremis

ALSO PRESENT: Mike McMahon/Director, Community & Economic Development  
Wendy Bednarz/Recording Secretary

A quorum was present.

**PUBLIC COMMENT**

There was no Public Comment.

**APPROVAL OF MINUTES**

**A motion was made by Board Member Fowler, seconded by Board Member Hofherr, to approve the minutes of October 13, 2020, as presented.**

AYES: Catalano, Fowler, Hofherr, Saletnik

NAYES: None

ABSTAIN: None

**\*\*\*MOTION CARRIED UNANIMOUSLY\*\*\***

**OLD BUSINESS****NEW BUSINESS****1. Address:** 1495 Howard Avenue**Case Number:** 20-040-TA-MAP-CU

The petitioner is requesting Text Amendments to the following sections of the 1998 Des Plaines Zoning Ordinance, as amended for: (a) to add "Public Utilities – Antenna Support Structures" to Table 5 under Section 12-7-4(G) in the Zoning Ordinance as a conditional use in the M-2 district with a footnote allowing the maximum height of the structure to exceed 100-feet and the minimum setback from property lines to be less than 50-feet as required for similar structures in the M-2 district pursuant to City Council approval; (b) add new section 12-8-14 with specific language regarding antenna support structure ownership, type of use, height, and operations in Section 12-8 of the Zoning Ordinance; and (c) add a new definition for "Public Utilities – Antenna Support Structures" in Section 12-13-3 of the Zoning Ordinance. (d) The petitioner is also requesting a Map Amendment under Section 12-3-7 to rezone the existing property from R-1, Single Family Residential to M-2, General Manufacturing; (e) a Conditional Use under Section 12-7-4 to allow the installation of a Public Utilities – Antenna Support Structure at the existing electrical substation on the subject property; and (f) approval of any other such variations, waivers, and zoning relief as may be necessary.

**PINs:** 09-29-401-002-0000**Petitioner:** Commonwealth Edison Company, c/o One South Dearborn Street, Chicago, IL 60603**Owner:** Commonwealth Edison Company, Three Lincoln Centre, Oakbrook Terrace, IL 60181

Acting Chairman Saletnik swore in the following individuals to provide information regarding the Planning & Zoning Board request:

- Joseph Turnage, External Affairs Manager, Commonwealth Edison Company  
1500 Franklin Blvd, Libertyville, IL 60048
- Scott E Saef, Sidley Austin LLP  
1 S Dearborn, Chicago, IL 60603
- Christopher M Collins, Principal Project Manager, Exelon  
Commonwealth Edison Company, Three Lincoln Centre, Oakbrook Terrace, IL 60181
- Douglas J Gothan, Landscape Architect, Christopher B Burke Engineering LTD  
9575 W Higgins Rd, Rosemont, IL 60018

Acting Chairman Saletnik also swore in Don Miletic, Executive Director for the Des Plaines Park District, 2222 Birch St, Des Plaines, IL 60018.

The applicants provided information about the benefits of the antenna support structure upgrade, including improved reliability of the electric grid through:

- ComEd-only "Smart Grid" Technology
- Coordinated functionality between Substation and Distribution System
- Reduced Distribution Outages
- Decreased Outage Durations
- Increased Voltage Efficiencies for All Users

- Enhanced Operational Effectiveness and Responsiveness

Mr. Chris Collins provided a technical overview of the smart grid infrastructure. Mr. Collins explained how the increase of switches and cap banks along the distribution line limits the amount of outages, duration of outages and voltage along the line.

Member Fowler inquired about the number of current pieces of equipment currently. Mr. Collins stated that there are approximately 12,000 pieces of equipment; they are about 90 flags still to be deployed in the Des Plaines area. ComEd is still deploying switches and cap banks throughout Illinois. Mr. Collins stated that the antennae will only be serving the Des Plaines area.

Mr. Collins went over the structure of the antenna; the structure has five antennas, separated by 15 feet (antennas needs to be at least 10 feet apart). Antennas are five feet tall and the first antenna needs to be approximately 35 feet above grade.

Each of the antennas can handle approximately 40-50 devices.

The pole is approximately 2½ feet in diameter next to the control building, no additional building will be built.

Acting Chairman Saletnik inquired if this ties into the current smartmeters in our homes. Mr. Collins stated that this is a different network, this systems is solely for the electrical distribution system.

Mr. Gotham went over the proposed landscape plan, which includes the planting of White Wood Aster, Northern Bayberry and Blue Muffin Arrowwood Viburnum. The plants will be as close to Howard Street as possible to provide appropriate screening, plants will not top ten feet in height due to ComEd requirements.

Member Fowler asked about screening next to the Park District property next to the baseball field. Mr. Gotham stated there are no plans to add screening to that portion of the property.

Mr. Saef stated that there is very little room between the current property and Park District property line.

Acting Chairman Saletnik asked if the Board had any questions, there were no additional questions.

Acting Chairman Saletnik asked if there were any questions or concerns from the audience.

Park District Director Miletic agreed with the importance of the project. Mr. Miletic asked the Planning & Zoning Board to work with ComEd for burying the east-west power lines and work with the Park District regarding planting on the east side.

Director McMahon stated that he would work with ComEd and the Park District following the meeting, prior to bringing forward to City Council.

Acting Chairman Saletnik stated that the lot line is very close on the east side and is Park District property.

Member Fowler had two questions, 1. Would ComEd be able to bury the power lines and 2. Would ComEd provide additional landscaping.

Mr. Turnage responded that burying power lines is a non-standard function of ComEd and an expense to the municipality. The cost is unknown at this time. ComEd is regulatory utility, therefore, all rate payers would be charged for undergrounding the services in Des Plaines.

Acting Chairman Saletnik asked about the voltage of poles. Mr. Turnage stated that they are low voltage poles.

Mr. Turnage stated that the landscaping not be an issue, but would have be brought back to the ComEd team. Acting Chairman Saletnik stated that an easement or agreement be put in place prior to the planting.

Chairman Szabo asked that the Staff Report be entered into record. Director McMahon provided a summary of the following report:

**Issue:** The petitioner is requesting Text Amendments to the following sections of the 1998 Des Plaines Zoning Ordinance, as amended for: (a) to add “Public Utilities – Antenna Support Structures” to Table 5 under Section 12-7-4(G) in the Zoning Ordinance as a conditional use in the M-2 district with a footnote allowing the maximum height of the structure to exceed 100-feet and the minimum setback from property lines to be less than 50-feet as required for similar structures in the M-2 district pursuant to City Council approval; (b) add new section 12-8-14 with specific language regarding antenna support structure ownership, type of use, height, and operations in Section 12-8 of the Zoning Ordinance; and (c) add a new definition for “Public Utilities – Antenna Support Structures” in Section 12-13-3 of the Zoning Ordinance. (d) The petitioner is also requesting a Map Amendment under Section 12-3-7 to rezone the existing property from R-1, Single Family Residential to M-2, General Manufacturing; (e) a Conditional Use under Section 12-7-4 to allow the installation of a Public Utilities – Antenna Support Structure at the existing electrical substation on the subject property; and (f) approval of any other such variations, waivers, and zoning relief as may be necessary.

**Analysis:**

**Owner:** Commonwealth Edison Company, c/o Scott Saef, Sidley Austin, LLP, One South Dearborn Street, Chicago, IL 60603

**Petitioner:** Commonwealth Edison Company, c/o Mark Primm, Three Lincoln Centre, Oakbrook Terrace, IL 60181

**Case Number:** 20-040-TA-MAP-CU

**Real Estate Index Numbers:** 09-29-401-002-0000

**Ward:** #6, Alderman Malcolm Chester

**Existing Zoning:** R-1, Single Family Residential District

**Existing Land Use:**

ComEd Substation

**Surrounding Zoning:**

North: R-1, Single-Family Residential District  
South: R-1, Single-Family Residential District  
East: R-1, Single-Family Residential District  
West: Railroad; C-3, General Commercial District

**Surrounding Land Use**

North: Single Family Residences  
South: Arndt Park  
East: Arndt Park  
West: Metra Line; Mobil Gas Station; Safeguard Self Storage

**Street Classification**

Howard Avenue is classified as a local street.

**Comprehensive Plan Designation**

The Comprehensive Plan designates this property as Transportation / Utilities / Communication / Other.

**Proposed Text Amendments**

**Project Description**

The petitioner is proposing several text amendments to the Des Plaines Zoning Ordinance, which are as follows:

- Adding “Public Utilities – Antenna Support Structures” to Table 5 under Section 12-7-4(G) in the Zoning Ordinance as a conditional use in the M-2 district with a footnote allowing the maximum height of the structure to exceed 100-feet and the minimum setback from property lines to be less than 50-feet as required for similar structures in the M-2 district pursuant to City Council approval;
- Adding new section 12-8-14 with specific language regarding antenna support structure ownership, type of use, height, and operations in Section 12-8 of the Zoning Ordinance; and
- Adding a new definition for “Public Utilities – Antenna Support Structures” in Section 12-13-3 of the Zoning Ordinance.

The items below are elaborated on in their own respective subsections for ease of following.

**Adding “Public Utilities – Antenna Support Structures” as New Conditional Use for M-2 District**

Currently, the zoning ordinance has specific regulations for antennas, radio transmitting towers for public broadcasting, and commercial mobile radio service facilities as defined in Section 12-13-3. At this time, the proposed 104-foot tall monopole with antennas would be classified as a commercial mobile radio service facility and governed by the regulations in Section 12-8-5. However, the petitioner proposes to classify the structure as a new use identified as a Public Utility – Antenna Support Structure and add it as a new conditional use in the M-2, General Manufacturing district with a footnote that this use could exceed the maximum height and minimum setbacks of similar structures within the M-2, General

Manufacturing district pursuant to City Council approval. The proposed text amendment would allow Public Utility – Antenna Support Structures only in the M-2, General Manufacturing District. The proposed amendment is as follows:

**Add**

**12-7-4.G: Manufacturing Use Matrix:** Adding “Public Utilities – Antenna Support Structures” as a Conditional Use in the M-2, General Manufacturing district.

MANUFACTURING DISTRICT USE MATRIX

	M-1	M-2	M-3
<b>Public Utility – Antenna Support Structures</b>		<u>C'</u>	

**Notes 7. Public Utilities – Antenna Support Structures may exceed the maximum allowable M-2 district height and/or be located within a required M-2 district yard but only when the location and height are approved by the City Council as part of a conditional use.**

**Adding New Section 12-8-14 for Specific Regulations for Public Utilities – Antenna Support Structures**

The petitioner’s proposed text amendments include adding a new, separate section within the zoning ordinance to add specific regulations for the Public Utilities – Antenna Support Structures. The proposed amendments below look to differentiate Public Utilities – Antenna Support Structures from similar telecommunication and utility structures as well as limit their ownership and operation to public utility companies regulated by the Illinois Commerce and/or the Federal Energy Regulatory Commission. The proposed amendments are as follows:

**Add**

**12-8-14: Public Utilities – Antenna Support Structures:** Adding New Section for Public Utilities – Antenna Support Structures

- A. General Requirements: Public Utilities – Antenna Support Structures shall meet the following requirements:**
- 1. Public Utilities – Antenna Support Structures shall be owned and operated by a public utility regulated by the Illinois Commerce Commission and/or Federal Energy Regulatory Commission.**
  - 2. Public Utilities – Antenna Support Structures shall be considered a secondary use located within the boundaries of an existing substation or other public utility-owned property, which substation or property must be in existence prior to the establishment of the Public Utilities – Antenna Support Structure.**
  - 3. Each Public Utilities – Antenna Support Structure shall be of no greater height than permitted by the Federal Aviation Authority.**
- B. Operational Requirements: Every Public Utilities – Antenna Support Structure shall be fully automated. No employees shall be stationed full-time at a structure site to support the**



**structure operation, except when completing periodic or emergency maintenance and repairs.**

### **Adding New Definition for Public Utilities – Antenna Support Structures**

The last proposed text amendment includes the addition of a new definition for Public Utilities – Antenna Support Structures in Section 12-3-3 of the Zoning Ordinance. The intention of this amendment is to fully define Public Utilities – Antenna Support Structures as a new type of structure and use within the Zoning Ordinance. The proposed definition is below:

#### **Add**

**12-13-3: Definitions:** Adding a New Definition for Public Utilities – Antenna Support Structures

**Public Utilities – Antenna Support Structures: A freestanding structure of other than lattice-type construction supporting antennae, which communicate exclusively with public utility transmission and distribution equipment. Such structures may not include third party usage.**

### **Map Amendment & Conditional Use**

#### **Project Description:**

The petitioner has requested a map amendment under Section 12-3-7 to rezone the subject property from R-1, Single Family Residential to M-2, General Manufacturing and a Conditional Use under Section 12-7-4(G) for the proposed Public Utilities – Antenna Support Structure use on the subject property based on the proposed text amendments. The proposed Public Utilities – Antenna Support Structure will exceed both the maximum height and minimum setback restrictions for similar structures within the M-2, General Manufacturing district, which will need to be approved by City Council pursuant to the proposed text amendments.

#### **Compliance with the Comprehensive Plan**

There is a portion of the City of Des Plaines' 2019 Comprehensive Plan that align with the proposed project. Under the Future Land Use Map, this property is marked for Transportation / Utilities / Communication / Other uses. The proposed Public Utilities – Antenna Support Structure will make improvements to the existing electric substation as it will allow it to effectively communicate with other electric substations in the area and increase performance.

**Amendment Findings:** Map and Text Amendment requests are subject to the standards set forth in Section 12-3-7(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

**A. The proposed amendment is consistent with the goals, objectives, and policies of the comprehensive plan, as adopted and amended from time to time by the city council:**

***Comment:*** The Comprehensive Plan strives to improve transportation, utility, and communication services city-wide in order to improve the quality of life for residents. The subject property contains an existing ComEd electric substation that does not fit the scope or proposed development of the R-1 zoning district for which it is located. While the subject property abuts single family residences to the north, the

other surrounding uses, including the Metra railroad and commercial businesses to the west and Arndt Park to the east and south, the map amendment will not have a negative impact on neighboring properties. The rezoning will bring the entire property under a zoning district tailored towards the existing uses present on the subject property and that is consistent with the nearby manufacturing warehouse development. See also the petitioner's responses to standards for amendments.

**B. The proposed amendment is compatible with current conditions and the overall character of existing development in the immediate vicinity of the subject property:**

*Comment:* The subject property is surrounded by a mix of commercial, manufacturing, and residentially-zoned properties. However, the properties also directly south of the subject property are zoned M-2, General Manufacturing, which are compatible with the proposed map amendment for the subject property. See also the petitioner's responses to standards for amendments.

**C. The proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property:**

*Comment:* There are currently adequate public facilities for the existing R-1, Single Family Residential District zoned property to enable it to be rezoned to the M-2, General Manufacturing District. See also the petitioner's responses to standards for amendments.

**D. The proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction:**

*Comment:* The proposal would better address the existing uses operating on the subject property and make the subject property zoning consistent with similar M-2 zoned development in the area. This request would also allow for additional uses to be located on site as proposed in the aforementioned text amendments for improve functionality of the existing ComEd electrical substation. See also the petitioner's responses to standards for amendments.

**E. The proposed amendment reflects responsible standards for development and growth:**

*Comment:* The proposal strives to meet and exceed the responsible standards required for development and growth as it would allow for additional uses to locate on site to further improve the operation of the existing use on the subject property. See also the petitioner's responses to standards for amendments.

**Conditional Use Findings**

Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

**A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:**

*Comment:* The petitioner is proposing a text amendment to add Public Utilities – Antenna Support Structures as a conditional use in Section 12-7-4(G) of the 1998 City of Des Plaines Zoning Ordinance, as amended, for properties in the M-2, General Manufacturing District. If approved by City Council, Public Utilities – Antenna Support Structures will be a conditional use established within the M-2 zoning district, which the petitioner proposes to rezone the subject property to as part of this request. See also the petitioner's responses to standards for conditional uses.

**B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:**

*Comment:* The Comprehensive Plan designates this property as Transportation / Utilities /

Communication / Other given the existing electrical substation on site. The Comprehensive Plan strives to advance transportation, utility, and communication services city-wide in order to improve the quality of life for residents. The proposed Public Utility – Antenna Support Structure will help ComEd upgrade existing equipment on site with newer technology and infrastructure to improve reliability of the electrical grid. See also the petitioner’s responses to standards for conditional uses.

**C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:**

*Comment:* The property and existing building has been designed for an electrical substation use. The petitioner proposes to add one Public Utility – Antenna Support Structure on the site to improve the operation and efficiency of the electrical substation. New landscaping proposed along Howard Avenue will help provide additional screening of the site from the residential development located just north of the subject property. See also the petitioner’s responses to standards for conditional uses.

**D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:**

*Comment:* The existing electrical substation use located on this site and within the existing building are not hazardous or disturbing to existing neighboring uses. Aside from its visibility from surrounding properties, the proposed Public Utility – Antenna Support Structure will not be hazardous or disturbing to neighboring properties. See also the petitioner’s responses to standards for conditional uses.

**E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:**

*Comment:* The current electric substation use on this site is adequately served by essential public facilities and services. Staff does not have concerns that the electric substation with the proposed Public Utility – Antenna Support Structure use will also be adequately served by essential public facilities and services. See also the petitioner’s responses to standards for conditional uses.

**F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:**

*Comment:* The current electric substation use does not create a burden on public facilities or become a detriment to the economic well-being of the community. There is no anticipated burden for public facilities or detriment to the community as a result of the Conditional Use Permit for a Public Utility – Antenna Support Structure. See also the petitioner’s responses to standards for conditional uses.

**G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:**

*Comment:* The proposed Public Utility – Antenna Support Structure use is not anticipated to create additional traffic compared to the previous auto service repair use. See also the petitioner’s responses to standards for conditional uses.

**H. The proposed Conditional Use provides vehicular access to the property designed so that it does not**

**create an interference with traffic on surrounding public thoroughfares:**

Comment: The proposed Public Utility – Antenna Support Structure use will not create an interference with traffic on surrounding public thoroughfares. There will be no changes to the existing two access points onto the property from Howard Avenue utilized by the existing electrical substation. See also the petitioner’s responses to standards for conditional uses.

**I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:**

Comment: The proposed Public Utility – Antenna Support Structure use would not cause the destruction, loss, or damage of any natural, scenic or historic features of major importance. The building and site were already developed for an electrical substation. The petitioner plans to add landscaping and screening to improve the aesthetics of the property. See also the petitioner’s responses to standards for conditional uses.

**J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:**

Comment: With the approval of the text amendments, the use will meet the requirements of the Zoning Ordinance for the M-2 zoning District. See also the petitioner’s responses to standards for conditional uses.

**Recommendations:** Staff recommends approval of the following requests from the petitioner: (i) Text Amendments to Sections 12-7-4, 12-8, and 12-13-3 of the Zoning Ordinance; (ii) Map Amendment under Section 12-3-7 to rezone the property from R-1, Single Family Residential to M-2, General Manufacturing, and (iii) Conditional Use under Section 12-7-4 to allow a Public Utility – Antenna Support Structure at 1495 Howard Avenue.

**Planning and Zoning Board Procedure:**

The Planning and Zoning Board may vote to *recommend* approval, approval with modifications, or disapproval. The City Council has final authority over the proposed Text Amendments, Map Amendment, and Conditional Use requests for 1495 Howard Avenue.

**A motion was made by Board Member Hofherr, seconded by Board Member Fowler to approve with the following additional conditions: a) recommendation of landscape planting on the east side of the property and any appropriate easement agreements for Park District maintenance and b) provide information to the City Council regarding the cost of burying lines as requested by the Park District.**

AYES: Hofherr, Fowler, Catalano, Saletnik

NAYES: None

**\*\*\*MOTION CARRIES \*\*\***

**ADJOURNMENT**

The next meeting is scheduled for November 24, 2020.

Acting Chairman Szabo adjourned the meeting by voice vote at 7:48 p.m.

Sincerely,

Wendy Bednarz, Recording Secretary

cc: City Officials, Aldermen, Zoning Board of Appeals, Petitioners



MEMORANDUM

Date: November 4, 2020  
To: Planning and Zoning Board  
From: Jonathan Stytz, Planner JS  
Cc: Michael McMahon, Director of Community & Economic Development  
Subject: Consideration of Variance Request to Exceed the Maximum Allowable Wall Sign Area at 1535 Ellinwood Street (1<sup>st</sup> Ward)

**Issue:** The petitioner is requesting a Major Variation under Section 12-11-6(B) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a total of 166-square feet of wall sign area on an existing building, where the aggregate building sign area maximum allowed is 125-square feet.

**Analysis:**  
**Address:** 1535 Ellinwood Street  
**Owner:** 1460 Library Plaza, LLC, 15660 Midwest Road, Suite 300, Oakbrook Terrace, IL 60181  
**Petitioner:** Dan Bourbon, 5270 North Lincoln Avenue, Skokie, IL 60077  
**Case Number:** 19-024-V  
**PIN:** 09-17-419-034-0000  
**Ward:** #1, Alderman Mark A. Lysakowski  
**Existing Zoning:** C-5, Central Business District  
**Existing Land Use:** Medical Office (Northshore)  
**Surrounding Zoning:** North: C-5, Central Business District  
South: C-5, Central Business District  
East: C-5, Central Business District  
West: C-5, Central Business District  
**Surrounding Land Use:** North: Railroad; Commercial (Dotombori restaurant)  
South: Multi-family Residential (Library Courte)

East: Commercial (Village Bank & Trust)  
West: Commercial (Shopping center)

**Street Classification:** Ellinwood Street and Pearson Street are classified as local streets.

**Comprehensive Plan:** The Comprehensive Plan designates the site as Higher Density Urban Mix with Residential.

**Project Description:** The petitioner, Dan Bourbon on behalf of Northshore University Health System, is requesting a major variation to allow for 166-square feet of wall signage for the existing immediate care and orthopedics clinic at 1535 Ellinwood Street. This address is located within a one-story, multi-unit commercial building off the southwest corner of Pearson Street and Ellinwood Street with access to shared surface parking lots located north and south of the building. The tenant space where Northshore operates is located at the far east end of the shopping center and fronts both Ellinwood Street and Pearson Street. The existing signage at this address includes window signage on the north and east elevations, a 61.36-square foot wall sign on the north and east elevations, and monument sign tenant panel. The subject property is part of the “Library Plaza Redevelopment” Planned Unit Development approved July 6, 1999 pursuant to Ordinance Z-11-99 for a mixed use retail, residential, and public use development, which included parking, a Plat of Subdivision, a Plat of Vacation, and multiple Variations. However, Ordinance Z-11-99 does not allow for additional sign area in excess of the maximum sign area permitted in Section 12-11-6(B) of the Des Plaines Zoning Ordinance.

Per Section 12-11-6(B), building facades that face a street are allowed two (2) wall signs and building facades that do not face a street are allowed one (1) wall sign provided that the total aggregate sign area for the entire building does not exceed 125-square feet. The total wall sign area at this address is currently 122.72-square feet. The petitioner’s request to allow a wall sign area of 180-square feet where only 125-square feet is permitted constitutes the need for a major variation to Section 12-11-6(B) of the 1998 Des Plaines Zoning Ordinance.

The petitioner is requesting an addition onto the existing wall signs to identify various services that Northshore provides to the public, similar to the window signage installed on the building’s street facing elevations. The proposed wall sign addition would be installed below the existing wall sign on a raceway which matches the color of the building and illuminated like the existing sign, as shown in the Sign Plan (Attachment 6). The petitioner does not plan to alter or add any other signage to this address at this time.

**Variation Findings:** Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:**

*Comment:* Please see the Petitioner’s responses to Standards for Variations.

- 2. Unique Physical Condition:** The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:

Comment: Please see the Petitioner's responses to Standards for Variations.

- 3. Not Self-Created:** The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:

Comment: Please see the Petitioner's responses to Standards for Variations.

- 4. Denied Substantial Rights:** The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:

Comment: Please see the Petitioner's responses to Standards for Variations.

- 5. Not Merely Special Privilege:** The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:

Comment: Please see the Petitioner's responses to Standards for Variations.

- 6. Title And Plan Purposes:** The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:

Comment: Please see the Petitioner's responses to Standards for Variations.

- 7. No Other Remedy:** There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Comment: Please see the Petitioner's responses to Standards for Variations.

- 8. Minimum Required:** The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

Comment: Please see the Petitioner's responses to Standards for Variations.

**Recommendation:** Staff does not recommend approval or disapproval of the requested aggregate wall sign area variation based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined within the City of Des Plaines Zoning Ordinance, as amended.

**Planning and Zoning Board Procedure:** Under Section 12-3-6(F) of the Zoning Ordinance (Major Variations), the Planning and Zoning Board has the authority to *recommend* that the City Council approve,



approve subject to conditions, or disapprove the above-mentioned variance for aggregate wall sign area within the C-5 Zoning District at 1535 Ellinwood Street. The City Council has the final authority on the proposal.

**Attachments:**

Attachment 1: Petitioner's Project Narrative

Attachment 2: Petitioner's Responses to Standards for Variation

Attachment 3: Location Map

Attachment 4: Plat of Survey

Attachment 5: Sign Plan

Attachment 6: Site and Context Photos

## Project Narrative

Date: March 16, 2020

City Council and the Planning and Zoning Board  
Community & Economic Development  
City of Des Plaines  
1420 Miner Street  
Des Plaines, IL 60016

RE: **1535 Ellinwood St.**  
**NorthShore University HealthSystem**  
**Immediate Care and Orthopaedics Clinic**

Dear Planning and Zoning Board;

In consideration of C-5 Central Business zoning regulations for exterior signage, NorthShore University HealthSystem (NorthShore) would like to apply for a zoning variance to increase the allowable exterior square footage for their tenant space signage. NorthShore occupies the retail space, which is located on the corner of Ellinwood Street and Pearson Street. Due to the being located on a corner, NorthShore divided its allowable sign square footage between the East and North façades. The current approved and installed sign reads "NorthShore University HealthSystem." In order for patients to locate our facility and to better understand the available medical services provided, NorthShore requests to install additional signage with the verbiage "Immediate Care & Orthopaedics" on both façades. The proposed future lettering would increase the total sign area by 166 s.f. The reason the variance is needed is because if we decreased the size of our lettering to meet the current zoning standards, the entire sign would become illegible.

Sincerely,

Tyler Bauer  
Vice President  
NorthShore University HealthSystem

## STANDARDS FOR VARIATIONS

**In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each).** Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.**

If NorthShore University HealthSystem were to follow the strict letter of the zoning ordinance, the lettering for our sign would have to be decreased in size to a point where it becomes illegible. Without the proposed signage, it's difficult for prospective patients to be able to identify the type of medical practice located at this facility.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.**

The subject lot at 1535 Ellinwood St. is a corner lot with 2 sides of the building facing the public way (North and East). Due to the current ordinance, even if the building has multiple facades in which they can install signage the allowable square footage for exterior signage does not increase.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.**

Due to the current ordinance, even if the building has multiple facades in which they can install signage the allowable square footage for exterior signage does not increase.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.**

Since our location has two separate signs on different elevations, each sign is significantly smaller than our neighboring businesses who can use the entire allotted amount on a single facade.

- 5. Not Merely Special Privilege:** The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

NorthShore University HealthSystem is merely asking for the same amount of sign area that is awarded to neighboring tenants be applied to each of our available facades. Our North and East facades are both available to receive signage.

- 6. Title And Plan Purposes:** The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

The variation would result in future signage that remains in harmony with current neighborings signs, Our proposed sign will neither obstruct neighboring businesses nor break from the original design intent of the shopping center.

- 7. No Other Remedy:** There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

The only other remedy would be to decrease the entire size of the sign in order to make room for the "Immediate Care & Orthopaedics" lettering per the current ordinance. If the size of the lettering is decreased any smaller, the current " University HealthSystem" sign and the proposed "Immediate Care & Orthopaedics" would become illegible.

- 8. Minimum Required:** The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

The proposed variation of the sign is the smallest lettering we can use before the sign becomes illegible. The future sign also falls within the current sign's lettering size and total sign width.



Map created on November 19, 2020.

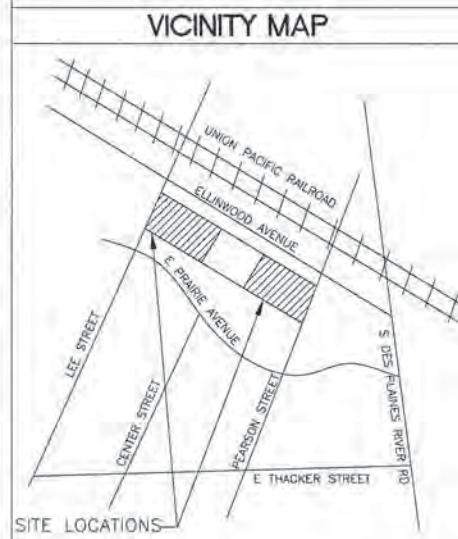
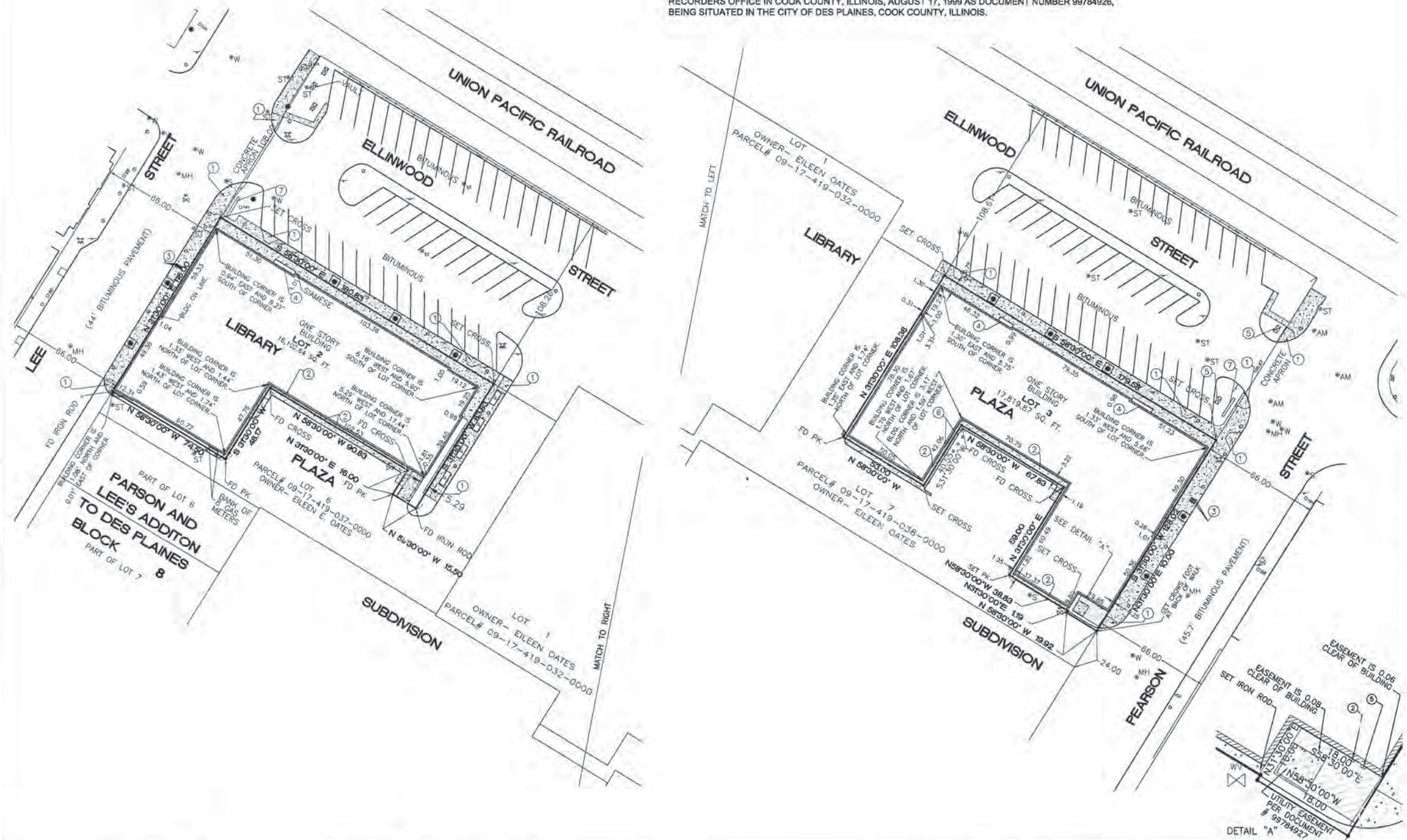
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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

# ALTA/ACSM LAND TITLE SURVEY

LOT 2 AND 3 IN LIBRARY PLAZA SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, AS RECORDED ION THE RECORDERS OFFICE IN COOK COUNTY, ILLINOIS, AUGUST 17, 1999 AS DOCUMENT NUMBER 99784928, BEING SITUATED IN THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS.



### NOTES

- TOTAL SQUARE FOOTAGE OF LOT 2 IS 16,102.64 SF, AND LOT 3 IS 17,819.87 SF.
- NO ENCROACHMENTS WERE OBSERVED AT THE TIME OF THE SURVEY.
- UNDERGROUND UTILITIES LINE ARE SHOWN FROM VISIBLE EVIDENCE ONLY.
- ALL DIMENSIONS SHOWN HEREON ARE MEASURED VALUES UNLESS OTHERWISE NTED.
- DATE OF SURVEY: JULY 9, 2007.

### LEGEND

- ⊙ MH INDICATES EXISTING MANHOLE
- ⊙ ST INDICATES EXISTING SANITARY STRUCTURE
- ⊙ W INDICATES EXISTING WATER STRUCTURE
- ⊙ H INDICATES EXISTING HYDRANT
- ⊙ V INDICATES EXISTING HYDRANT AND VALVE
- ⊙ SL INDICATES EXISTING STREET LIGHT
- ⊙ TL INDICATES EXISTING TRAFFIC LIGHT
- ⊙ UP INDICATES EXISTING UTILITY POLE
- ⊙ SP INDICATES EXISTING SIGN POST
- ⊙ GP INDICATES EXISTING GUARD POST
- ⊙ RG INDICATES EXISTING RAILROAD GATE
- ⊙ RB INDICATES EXISTING BUFFALO BOX
- ⊙ WV INDICATES EXISTING WATER VALVE
- ⊙ DV INDICATES EXISTING GAS VALVE
- ⊙ SC INDICATES EXISTING SIGNAL CONTROL BOX
- ⊙ HD INDICATES EXISTING HANDHOLE
- ⊙ MG INDICATES EXISTING METAL GRATE WITH TREE
- ⊙ PL INDICATES EXISTING PLANTER
- ⊙ C INDICATES EXISTING CONCRETE
- ① DEPRESSED CURB
- ② ELECTRIC METER
- ③ BIKE TRACK
- ④ PLANTER
- ⑤ CATV PANEL
- ⑥ GAS METER/VALVES
- ⑦ SIGN

### EXCEPTIONS

- (M) PROVISIONS CONTAINED IN THE VACATION ORDINANCE RECORDED JULY 31, 1974, AS DOCUMENT 22798236, WHEREBY THE CITY OF DES PLAINES RETAINS THE RIGHT TO MAINTAIN, OPERATE, REPAIR AND REPLACE, BY ITSELF OR BY ANY LESSEE OR HOLDER OF A FRANCHISE, OR BY ANY PUBLIC UTILITY COMPANY, ANY WIRES, POLES, PIPES, CONDUITS, SEWER MAINS, WATER MAINS, OR ANY OTHER UTILITY FACILITIES OR EQUIPMENT ON THE LAND, BLANKET EASEMENT.
- (N) THE PLAT OF SUBDIVISION RECORDED AUGUST 17, 1999 AS DOCUMENT NUMBER 99784928 INCLUDES A CERTIFICATION BY THE SURVEYOR THAT THE LAND IS NOT LOCATED WITHIN A FLOOD HAZARD AREA, AS PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170081 0005C, EFFECTIVE DATE JUNE 15, 1981 AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP HAS BEEN UPDATED. SEE SURVEY CERTIFICATE FOR REVISED INFORMATION.
- (D) EASEMENT IN FAVOR OF AMERITECH, COMMONWEALTH EDISON COMPANY, NICOR, TSI AND THE CITY OF DES PLAINES, AND ITS/THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO CONTAINED IN THE PLAT OF EASEMENT RECORDED/FILED AS DOCUMENT NO. 99784927, AFFECTING THE SOUTHEASTERLY CORNER OF LOT 3, AS SHOWN ON SURVEY.

### LEGAL DESCRIPTION

PARCEL 1:  
LOTS 2 AND 3 IN LIBRARY PLAZA SUBDIVISION OF PART OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:  
NON-EXCLUSIVE PERPETUAL EASEMENT FOR THE BENEFIT OF LOT 2 AFORESAID FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER, UPON AND ACROSS LOT 3 IN LIBRARY PLAZA AFORESAID AND AN EXCLUSIVE PERPETUAL EASEMENT TO PARK UP TO SIXTEEN VEHICLES ON AFORESAID LOT 3, ALL AS GRANTED IN INGRESS, EGRESS AND PARKING EASEMENT AGREEMENT RECORDED AS DOCUMENT NUMBER 99938202.

PARCEL 3:  
NON-EXCLUSIVE PERPETUAL EASEMENT FOR THE BENEFIT OF LOT 3 AFORESAID FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER, UPON AND ACROSS LOT 2 IN LIBRARY PLAZA AFORESAID AND AN EXCLUSIVE PERPETUAL EASEMENT TO PARK UP TO FIFTEEN VEHICLES ON AFORESAID LOT 2, ALL AS GRANTED IN INGRESS, EGRESS, AND PARKING EASEMENT AGREEMENT RECORDED AS DOCUMENT NUMBER 99938202.



### SURVEY CERTIFICATE

TO: 1481 Elmwood Avenue, LLC  
Wells Fargo Bank, N.A., a national banking association, successor by merger to Wells Fargo Minnesota, N.A., a national banking association, as trustee for the registered holders of Wachovia Bank Commercial Mortgage Trust, Commercial Mortgage Pass through Certificate, Series 2003-C3.  
Wachovia Bank, N.A.; Loan No. 502751502  
Chicago Title Insurance Company  
Schwartz Cooper, Diversent  
River North Library Plaza, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1-7(A), 7(B)(1), 8-11, AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE UNDERSIGNED FURTHER CERTIFIES THAT, EXCEPT AS SHOWN ON THIS PLAT: (A) THERE ARE NO ENCROACHMENTS OF IMPROVEMENTS LOCATED ON THE SUBJECT PROPERTY ONTO ANY ADJOINING PROPERTY, EASEMENT AREA OR RIGHT OF WAY; (B) THERE ARE NO ENCROACHMENTS OF IMPROVEMENTS LOCATED ON ADJOINING PROPERTY ONTO THE SUBJECT PROPERTY; AND (C) THERE ARE NO DISCREPANCIES, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, GAPS OR GORES.

THE UNDERSIGNED FURTHER CERTIFIES THAT:

- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES.
- THE PROPERTY HAS LEGAL VEHICULAR ACCESS TO AND FROM A PUBLIC ROADWAY OR ROADWAYS KNOWN AS NORTH MCLEAN BOULEVARD, AND HOLMES DRIVE.
- THERE ARE ZERO AUTOMOBILE PARKING SPACES ON THE PROPERTY.
- THE PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A NEILANDS AREA OR OTHER ENVIRONMENTAL PROTECTION AREA BY ANY FEDERAL, STATE OR LOCAL GOVERNMENTAL BODY.
- THE LAND IS NOT LOCATED WITHIN A SPECIAL FLOOD AREA, LOCATED IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500 YR - FLOODPLAIN) AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FIRM MAP PANEL NUMBER 1703100217E, DATED 11/16/00 TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1401 008383837 02 WITH AN EFFECTIVE DATE OF JUNE 7, 2007 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

William R. Webb  
WILLIAM R. WEBB DATE 9/18/07  
LICENSE NO. 035-002190  
MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2008.

NO.	REVISIONS	DESCRIPTION	DATE

**Landmark**  
ENGINEERING GROUP  
2295 VALLEY CREEK DRIVE - BLDG. 1L 00123  
PHONE (847) 888-2800 FAX (847) 888-2809  
CIVIL ENGINEERING AND LAND SURVEYING

DESIGN FIRM REGISTRATION NUMBER IL 104-001611

**ALTA/ACSM LAND TITLE SURVEY**  
**LOTS 2 & 3 OF LIBRARY PLAZA SUBDIVISION**  
**COOK COUNTY**  
**DES PLAINES, ILLINOIS**

DATE: 07/09/07  
DRAWN BY: JDL  
CHECKED BY: MRS

**1**  
SHEET 1 OF 1

02-07-286



PROPOSED ADDITIONAL EXTERIOR SIGNAGE  
Des Plaines, IL



61 Square Feet

83 Square Feet

Existing Signage

Future Signage



SIDE views

Proposed Additional Signage for Northeast and Southwest Locations





Rendered with addition of proposed signage shown below



Rendered with addition of proposed signage shown below

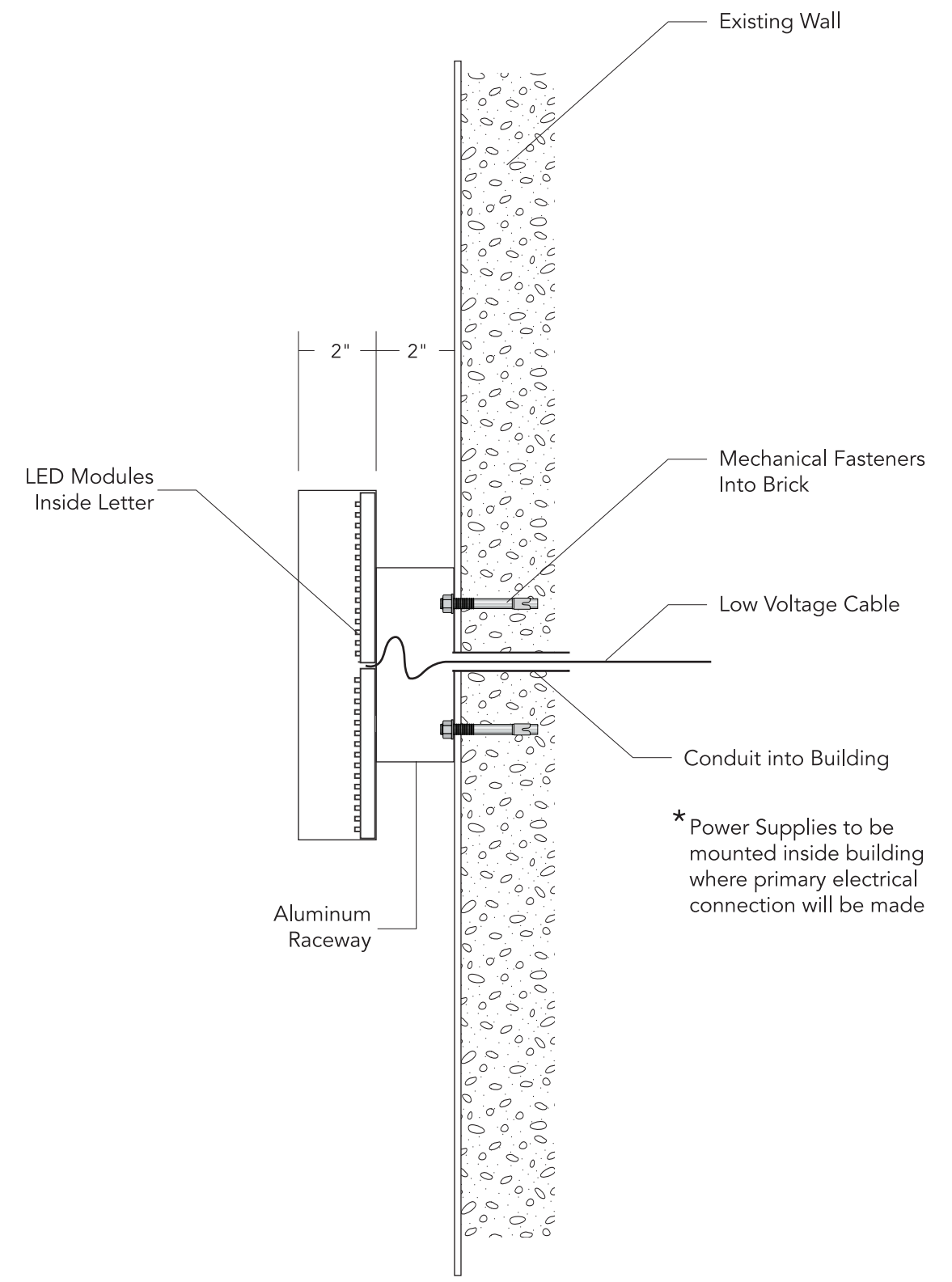
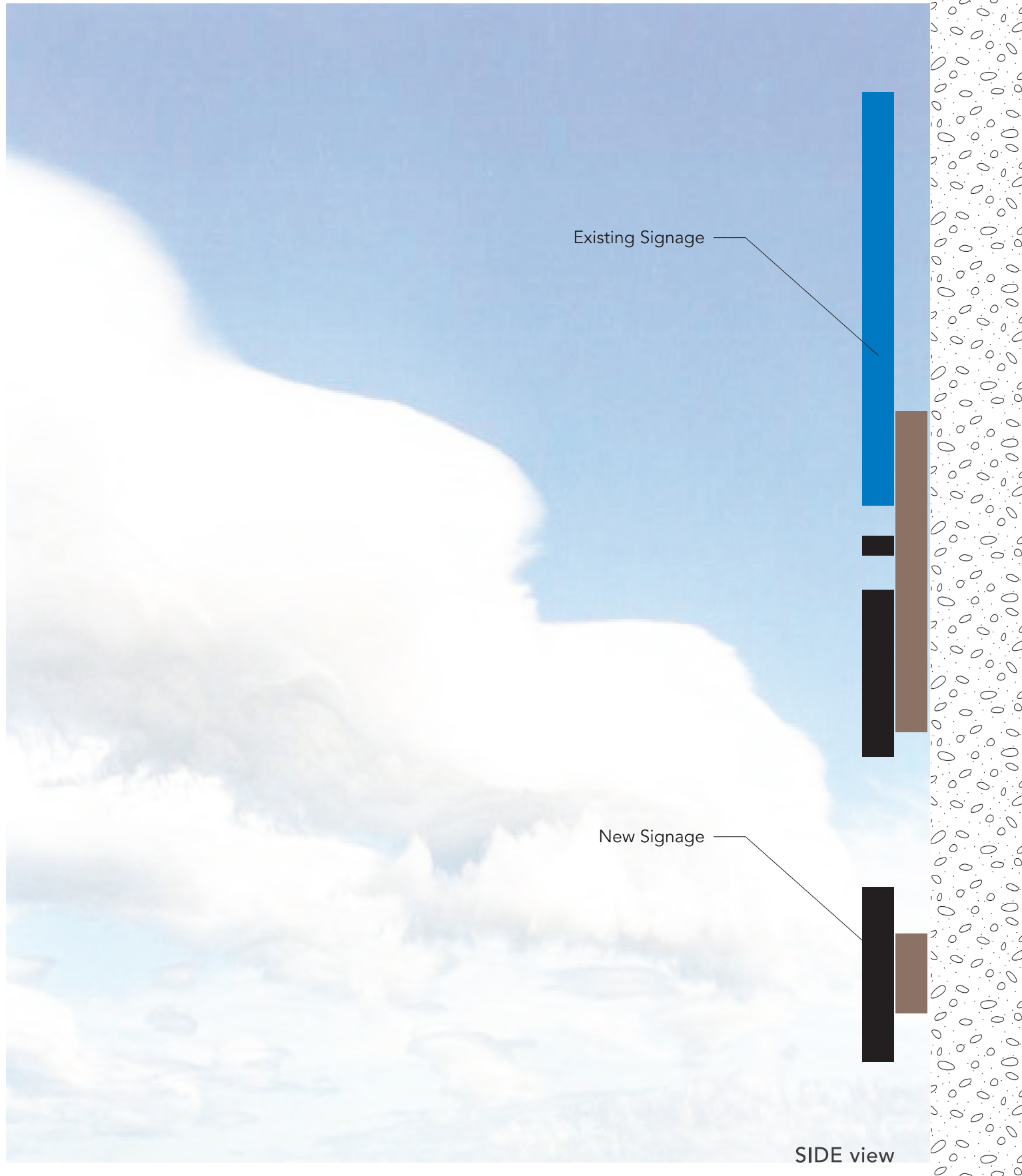


- 1**

**DESCRIPTION:** 2" Deep Fabricated Aluminum Letters: Face-lit Illumination  
**FACE MATERIAL:** Acrylic  
**COLOR:** White with 3M 3630-33 Translucent Red Vinyl applied to the 1st Surface  
**TRIMCAP:** Paint Red to match Face  
**RETURNS:** Paint Red to match Face  
**LIGHTING:** White LED  
**VOLTAGE:** To be determined
- 2**

**DESCRIPTION:** 2" Deep Fabricated Aluminum Letters: Face-lit Illumination  
**FACE MATERIAL:** Acrylic  
**COLOR:** White with 3M Black Perforated Vinyl applied to the 1st Surface  
**TRIMCAP:** Paint Black  
**RETURNS:** Paint Black  
**LIGHTING:** White LED  
**VOLTAGE:** To be determined
- 3**

**DESCRIPTION:** Aluminum Raceway  
**COLOR:** Paint to match Brick Fascia  
**INSTALLATION:** Flush to Wall



\* Power Supplies to be mounted inside building where primary electrical connection will be made



Proposed Additional Signage for Northeast and Southwest Locations



Future Night View



- 1**

**DESCRIPTION:** 2" Deep Fabricated Aluminum Letters: Face-lit Illumination  
**FACE MATERIAL:** Acrylic  
**COLOR:** White with 3M 3630-33 Translucent Red Vinyl applied to the 1st Surface  
**TRIMCAP:** Paint Red to match Face  
**RETURNS:** Paint Red to match Face  
**LIGHTING:** White LED  
**VOLTAGE:** To be determined
- 2**

**DESCRIPTION:** 2" Deep Fabricated Aluminum Letters: Face-lit Illumination  
**FACE MATERIAL:** Acrylic  
**COLOR:** White with 3M Black Perforated Vinyl applied to the 1st Surface  
**TRIMCAP:** Paint Black  
**RETURNS:** Paint Black  
**LIGHTING:** White LED  
**VOLTAGE:** To be determined
- 3**

**DESCRIPTION:** Aluminum Raceway  
**COLOR:** Paint to match Brick Fascia  
**INSTALLATION:** Flush to Wall



1535 Ellinwood St – Public Notice and Front Building Entrance



1535 Ellinwood St – Existing Signage Looking Southeast



1535 Ellinwood St – Existing Signage Looking Southwest



1535 Ellinwood St – Existing Signage Looking Northwest



MEMORANDUM

Date: November 6, 2020  
To: Planning and Zoning Board  
From: Jonathan Stytz, Planner JS  
Cc: Michael McMahon, Director of Community & Economic Development  
Subject: Consideration of Preliminary/Final Planned Unit Development and Conditional Use for a Localized Alternative Sign Regulation for a fueling station at 10 E. Golf Road (4<sup>th</sup> Ward)

**Issue:** The petitioner is requesting the following: (i) a Preliminary and Final Planned Unit Development under Section 12-3-5 of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a new fuel station at the existing Mariano’s grocery store; (ii) a Conditional Use for a Localized Alternative Sign Regulation (LASR) under Section 12-3-4 to allow a modified monument sign and new canopy signs with price readers; and (iii) approval of any other such variations, waivers, and zoning relief as may be necessary.

**Analysis:**

**Address:** 10 E. Golf Road  
**Owner:** Realty Income Illinois Properties 2, LLC, 11995 El Camino Real, San Diego, CA 92130  
**Petitioner:** Tim Kratz, 3025 Highland Parkway, Suite 850, Downers Grove, IL 60018  
**Case Number:** 20-025-PUD-LASR  
**PIN:** 09-18-100-004-0000  
**Ward:** #4, Alderman Artur Zadrozny  
**Existing Zoning:** C-3, General Commercial Business District  
**Existing Land Use:** Grocery Store (Mariano’s)  
**Surrounding Zoning:** North: R-1, Single Family Residential District  
South: C-3, General Commercial / R-1, Single Family Residential District  
East: R-1, Single Family Residential District  
West: R-1, Single Family Residential District

**Surrounding Land Use:** North: Single Family Residences  
South: Commercial (Animal Hospital) / Single Family Residences  
East: Blackhawk Park  
West: Single Family Residences

**Street Classification:** Golf Road and Mount Prospect Road are classified as arterial roads.

**Comprehensive Plan:** The Comprehensive Plan designates the site as Commercial.

**Project Description:** The petitioner, Tim Kratz on behalf of Roundy's Supermarkets, is requesting a Preliminary and Final Planned Unit Development (PUD) to allow the construction of a fueling station on the existing Mariano's property and a conditional use for a Localized Alternative Sign Regulation (LASR) to allow a modified monument sign and new canopy signs with price readers at 10 E. Golf Road. The existing 8.62-acre property consists of a 73,680-square foot building, 407-space surface parking lot, and the following signs listed below totaling 384.12-square feet and shown in the Sign Plan (Attachment 9):

- Three wall signs, one on the south, east, and west building elevations;
- One monument sign along Mount Prospect Road;
- One monument sign along Golf Road in front of Blackhawk Park; and
- One monument sign located at the corner of the Golf Road/Mount Prospect Road intersection.

The Mariano's building consists of a 60,100-square foot grocery store, 1,680-square foot restaurant, and 265-square foot food preparation and storage area. The petitioner is requesting the Preliminary and Final PUD in order to allow the proposed fueling station kiosk on the same lot as the existing Mariano's grocery store building without a Plat of Subdivision. Pursuant to Section 12-7-1 of the Zoning Ordinance, a PUD allows for more than one principle building to be located on a zoning lot. The subject property meets the location, ownership, and size prerequisites required for PUDs as specified in Section 12-3-5 as it: (i) is located within the C-3, General Commercial District, which allows PUDs through a conditional use permit; (ii) is under single ownership; and (iii) meets the minimum lot size requirement of two acres as required for PUDs located in the C-3 zoning district. The conditional use for the Preliminary and Final PUD is one of the two conditional uses included in this project.

Mariano's is a brand of Roundy's Supermarkets, Inc., which is a subsidiary of The Kroger Co. The Kroger Co. currently owns and operates approximately 1,500 retail fuel locations nationwide to provide Mariano's customers with loyalty discounts and one-stop conveniences as noted in the Project Narrative (Attachment 1). The proposal includes the addition of a new passenger vehicle fueling station with a kiosk on the southwest portion of the property near the Golf Road/Mount Prospect Road intersection as shown on the Site Plan & Truck Turning Analysis Diagram (Attachment 5). The proposed five pump fueling station will be an extension of the existing Mariano's grocery store and will be staffed by one grocery store employee at all times. The proposal will utilize the existing access points, approaches, and parking areas to access the proposed fueling center. In addition, the site will be modified accordingly to accommodate ingress/egress movements surrounding the fuel station for users and the fuel tanker truck, which will access the site from Mount Prospect Road.

The petitioner is also requesting a LASR to install six new signs to advertise the new fueling station. The petitioner is requesting the following exceptions to Section 12-11-6(B) of the Zoning Ordinance with the LASR request:

- For the three wall signs on the existing building totaling 299.37-square feet, which currently exceed the maximum sign area of 125-square feet permitted on an entire building (including all elevations).
- For the new 2.31-foot tall canopy signs to exceed 12-inches in height.
- To allow two electronic message board signs on the subject property where only one is permitted.

LASRs generally allow more signage and flexibility as compared to the Zoning Ordinance due to the size of the property, the configuration of buildings and the variety of uses. In this case, the existing Mariano’s building is setback roughly 392-feet from Golf Road and 97-feet from Mount Prospect Road so any signage added to the building for the proposed fueling station would not be clearly visible to the street. Given the subject property’s size and unique location near the Golf Road/Mount Prospect Road intersection, staff finds the request necessary to provide visibility for users coming from multiple directions. LASRs are permitted as a conditional use when the subject property is within a PUD. While this property is currently not in a PUD, the petitioner is requesting a PUD for this property as part of this project. The breakdown of the existing and proposed signage is shown below:

<b>Existing Sign Area</b>			
Sign Type	Qty	Location(s)	Area
Non-Illuminated Wall Sign	3	South, East, and West Store Elevations	99.79 each (299.37 total)
External Illuminated Monument sign	1	Corner of Golf Road/Mount Prospect Road	40.00
External Illuminated Monument sign	1	Along Golf Road in front of Blackhawk Park	30.75
External Illuminated Monument sign	1	Along Mount Prospect Road at west parking lot entrance	15.00
<b>Total Area of Existing Signage on Site</b>			<b>384.12</b>
<b>Proposed Sign Area</b>			
Sign Type	Qty	Location	Area
Non-Illuminated Wall Sign	3	One on South, East, and West Store Elevations	99.79 each (299.37 total)
External Illuminated Monument sign	1	Along Golf Road in front of Blackhawk Park	30.75
External Illuminated Monument sign	1	Along Mount Prospect Road at west parking lot entrance	15.00
<i>New Monument with LED Price Reader*</i>	<i>1</i>	<i>Corner of Golf Road/Mount Prospect Road</i>	<i>66.60</i>
New Wall LED Price Reader	1	Fuel station canopy	43.70
New “Mariano’s” Wall	4	Fuel station canopy	14.8 each (59.2 total)
<b>Total Area of New Signage Proposed</b>			<b>514.62</b>

*\*Existing sign replaced by new monument sign with LED Price Reader*

The design of the proposed fueling station is intended to utilize the existing impervious surfaces, add supplemental landscaping to address displaced landscaping on site, and utilize the general layout of the existing parking area as indicated on the Landscape Plan (Attachment 10). The building materials for the proposed fuel station kiosk and canopy will be vintagewood cedar and ACM fascia to match the existing Mariano's Grocery Store. The addition of the proposed fueling station will decrease the available parking spaces on the subject property from 407 to 337 spaces, totaling a net loss of 70 parking spaces. The existing Mariano's grocery store and proposed fueling station kiosk are 73,680-square feet and 265-square feet, respectively according to the Architectural Plans (Attachment 8). The following parking requirements apply pursuant to Section 12-9-7 of the Zoning Ordinance:

- For grocery stores, one space is required for every 300 square feet of gross floor area for grocery stores.
- For restaurants, one space is required for every 50-square feet of net floor area, or one space for every four seats, whichever is greater, plus one space for every three employees.
- For automotive fuel stations, two spaces required per pump, plus one space for every 200 square feet of accessory retail.

Furthermore, the grocery store portion of the Mariano's building will require 201 parking spaces (60,100-square feet / 300-square feet = 201), the restaurant area will require 37 parking spaces (1,680-square feet / 50-square feet plus three employees = 37), the food preparation and storage area is not counted, and the proposed fueling station will require 12 parking spaces (265-square feet / 200-square feet plus two spaces per pump = 12). Thus, staff concludes that a total of 250 parking spaces, including seven handicap accessible parking spaces, are required for the subject property as a whole. The proposal includes 337 parking spaces, which meets and exceeds this requirement.

### **Compliance with the Comprehensive Plan**

There are several parts of the City of Des Plaines' 2019 Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Future Land Use Map:
  - The property is marked for commercial. The proposed fueling center will take advantage of a well-located site at the corner of the Golf Road/Mount Prospect Road intersection and general proximity to established residential neighborhoods to improve the existing property and provide an additional service to the community.
  - The proposal would satisfy the goal to expand retail uses that primarily serve the day-to-day needs of local residents along major corridors in Des Plaines.
- Under Economic Development:
  - The Comprehensive Plan recognizes the economic vitality of the surrounding area and its importance to the broader region. The proposed fueling station would be in keeping with prior development efforts and further transform a standalone grocery store building with a restaurant into a multi-use commercial center.
  - This proposal would also further establish this property as a commercial hub for the City of Des Plaines and provide additional retail options for residents that are currently not available in the immediate vicinity of the area.



**Conditional Use and PUD Findings:** As required, the proposed development is reviewed below in terms of the findings contained in Section 12-3-5(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

**A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3.5-1 and is a stated Conditional Use in the subject zoning district:**

**Comment:** A PUD is a listed conditional use in the C-3 zoning district. The proposed project meets the stated purpose of the PUD. Additionally, the redevelopment of the subject property will enhance the neighboring area, but also be cognizant of nearby land uses. Please also see the responses from the applicant.

**B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:**

**Comment:** The proposed development will be in keeping with the City's prerequisites and standards regarding planned unit development regulations. Please also see the responses from the applicant.

**C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:**

**Comment:** The proposed project is in-line with the intent of a PUD as there is an exception being requested to accommodate a second principle structure on the subject property where the existing Mariano's grocery store and separate restaurant use currently exist. Additionally, the proposed exception would provide additional services and conveniences for Mariano's patrons. Please also see the responses from the applicant.

**D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:**

**Comment:** All provisions for public services, adequate traffic control and the protection of open space are being accommodated in the proposed development. The proposed fueling station will be located within the existing paved parking area and will utilize the existing access points and approaches to the site. Please also see the responses from the applicant.

**E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:**

**Comment:** The proposed development complements existing development to the west and extends the commercial land use, which is designated for this property. Additionally, considerations will be made to reduce any impact on the nearby residential uses from light and noise pollution. Please also see the responses from the applicant.

**F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:**

**Comment:** The proposed project will contribute to an improved physical appearance within the City by constructing a new fueling station, which will contribute positively to the tax base and economic well-being of the community. Please also see the responses from the applicant.

**G. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:**

**Comment:** The proposed development meets the goals, objectives and recommendations of the 2019 Comprehensive Plan. Please also see the responses from the applicant.

**Recommendation:** Staff recommends approval of the requested Preliminary and Final Planned Unit Development and Conditional Use for a Localized Alternative Sign Regulation in the C-3 zoning district at 10 E. Golf Road.

**Planning and Zoning Board Procedure:** Under Section 12-3-5-1 of the Zoning Ordinance (Mixed-Use Planned Unit Developments) and Section 12-3-4(G) of the Zoning Ordinance (Conditional Uses), the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or disapprove the above-mentioned Preliminary & Final Planned Unit Development (PUD) and Conditional Use for a Localized Alternative Sign Regulation (LASR) within the C-3 Zoning District at 10 E. Golf Road. The City Council has the final authority on the proposal.

**Attachments:**

- Attachment 1: Petitioner’s Project Narrative
- Attachment 2: Petitioner’s Responses to Standards
- Attachment 3: Location Map
- Attachment 4: Plat of Survey
- Attachment 5: Site Plan & Truck Turning Analysis Diagram
- Attachment 6: Preliminary & Final Engineering Plan
- Attachment 7: Architectural Plans
- Attachment 8: Sign Plan
- Attachment 9: Preliminary & Final PUD Plat
- Attachment 10: Landscape Plan
- Attachment 11: Site and Context Photos



October 28, 2020

**Recipient:** Mike McMahon  
Community and Economic Development  
City of Des Plaines  
1420 Miner Street  
Des Plaines, IL 60016

**RE:** Mariano's Retail Fuel Center Project Narrative

**Location:** 10 E. Golf Rd.  
Des Plaines, IL 60016

Mr. McMahon,

Sevan Multi-Site Solutions, on behalf of the applicant, Roundy's Supermarkets Inc., is submitting the attached documents to be presented to the Planning and Zoning Board for purposes of Planned Unit Development and Conditional Use review. The documents detail the request for a proposed Mariano's retail fuel center consisting of five fueling dispensers, fuel canopy, and transaction kiosk in the parking lot located south of the Mariano's grocery store.

**Property:**

The subject location is in the parking field of the existing Mariano's grocery store. The shopping center has access to Golf Road to the south and South Mount Prospect Rd to the west. Blackhawk Park is located on the property directly to the east of the site

**Project Background:**

Mariano's is a brand of Roundy's Supermarkets Inc. who is a subsidiary of The Kroger Co. The Kroger Co. owns and operates approximately 1,500 retail fuel centers in combination with their grocery stores across the country in 37 states. The fuel program is designed to be a benefit to the existing customers by providing loyalty discounts and one-stop convenience. The proposed retail fuel center is a category extension of the existing grocery operations and will be managed and staffed by well-trained grocery store employees (typically one employee per shift).

**Site Plan:**

See attached plans. The design intent is to utilize the existing paved parking area for the fuel center improvements. The proposed improvements will maintain the general layout of the parking and access aisles. Disturbance to landscape areas will be minimized and additional landscaping added to supplement what is existing while providing a net positive change in total pervious area on the site. The fuel customers can park in the shared parking to the north, east, and west; however, most customers will utilize the fueling spaces at the dispensers for parking.

**Traffic:**

Site access is provided from existing internal access drives along South Mount Prospect Rd. and Golf Rd. There are no proposed changes to the approaches or public road. Most customer trips come from the grocery store customers internal to the site. Internal islands will be modified to improve traffic flow surrounding the fuel station.

The underground fuel storage tanks will be filled by a fuel tanker which will be on the site for approximately thirty minutes per fill. The site has been laid out to accommodate the movements of the truck with ingress and egress from South Mount Prospect Rd., as shown on C1.03.

A parking evaluation was performed to determine the impact of the proposed fuel center on the parking field requirements. While the proposed redevelopment will result in the loss of 70 spaces, there will still be more than adequate parking for both the existing grocery store and proposed fuel station, per Des Plaines Parking Ordinance 12-9-7. The complete parking evaluation can be found on sheet C1.02.

**Utilities/Stormwater:**

Power and communication services will be bored to the store where they will feed from existing systems. The sanitary lead will tie into a manhole near the South Mount Prospect Rd. approach. It is expected a sanitary pump will be required. The water service lead will tie into to the existing Mariano’s water lead to the east of the proposed development. The existing stormwater system serving the site will remain largely untouched. One existing catch basin will be removed, and three new catch basins will tie-into the existing system. All catch basins that receive runoff from the proposed fuel center dispenser pad will have stormwater quality treatment units installed. A pre-application meeting with MWRD will be held prior to submittal to the Village of Hoffman Estates. The development will not increase the impervious area or change drainage patterns. The existing detention and volume control system that currently serves the entire shopping center will remain as is without modifications.

The underground petroleum storage tank system is designed, installed, and operated per local, state, and federal guidelines.

**Signage:**

Signage is be proposed on the canopy as well as a monument sign with fuel pricing. Signage will be discussed with staff during the site plan approval process.

**Architecture and Building Design Standards:**

The established “front” of the fuel center is actually facing inward to the site (north) toward the grocery store and that the kiosk attendant building is an employee only office function with the exception of the customer accessed restroom and the interior accessed employee only restroom.

**Compliance with “PRINCIPAL BUILDING ENTRANCE LOCATION”:**

The “principal entrance” for the public to this fuel facility is by vehicle along the entire north (interior to the property) and south facing along East Golf Road. Employee entrance to the cashier office as well as the customer restroom entrance are facing South Prospect Road. The public access to the fuel facility meets the intent of the “standard’ in that they are very apparent and easily accessed.

**Compliance with “STREET FACING TRANSPARENCY”:**

The use of the kiosk is an attendant “office” and it is not accessible to the public. The west facing (South Mount Prospect Road) wall area of the occupied portion of the kiosk (the Cashier occupies the front 7’-0” of the building) from 2’-9” above grade to the bottom of the kiosk fascia (parapet) is 36.8 sf. The glass of the Cashier area of this part of the building is 19.1 sf which equates to 52% of the wall area. This is within the required 50% minimum for: “commercial – office” use. The south facing (East Golf Road) end of the kiosk is an unoccupied customer restroom of which transparency would be a problem thus none is proposed.

**Compliance with “PERMITTED GROUND STORY MATERIALS”:**

The wall materials proposed for the kiosk exterior walls and fuel canopy column cladding is a composite cementous/fiber composite siding to match the same material highlighting the entrance and accent walls of the

exterior of the Mariano's Grocery store. This is a much-increased quality material providing longevity, durability and color retention. We offer that this material exceeds the intent of the BUILDING DESIGN STANDARDS in providing an exterior wall finish material of a considerably more human scale and aesthetically pleasing nature.

**Project Timeline:**

The proposed improvements related to the fuel center will take approximately 10 weeks to complete. Construction is schedule to commence in spring of 2021.

**Operations:**

Customers do not enter the fuel sales kiosk but complete transactions via a transaction window. Most transactions take place at the credit card readers at each fuel dispenser. There will be unisex single occupancy restrooms for the fuel customers. There are proposed to be limited outdoor selling, i.e. ice, soda vending, dry goods on the exterior of the transaction kiosk and limited sales of convenience items from within the kiosk. The fuel center is open to all the general public but does offer additional customer loyalty discounts for customers who shop at the store prior to fueling.

The Fuel Center is proposed to be open 24 hours. The site will be manned with a gas station attendant during grocery store hours: 6AM-10PM and unmanned the remainder of the time.

Regards,

Tim Kratz, P.E.  
Project Manager – Agent for the Owner

CC:Dan Farrell– Mariano's Real Estate Manager (e-mail), Natalie Mouw – Mariano's Project Manager (e-mail)



## Standards for Conditional Use – Des Plaines

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;  
**Per 12-11-8.A, Planned Unit Developments (PUD) may establish a localized alternative sign regulation plan (LASR) for their property.**
2. The proposed conditional use is in accordance with the objectives of the city’s comprehensive plan and this title;  
**The proposed LASR is in accordance with the objectives of the city’s comprehensive plan, as it is an extension of, and complimentary to, the existing sign plan.**
3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;  
**The proposed LASR serves as an extension of the existing sign plan. It minimizes changes to the existing signage plan, utilizing the same monument sign as the existing grocery store. The proposed canopy signage is of similar design to the existing store signs.**
4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;  
**The proposed LASR is not hazardous or disturbing to existing neighboring uses.**
5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services.  
**The proposed LASR does not create a burden on essential public facilities. Electric service will be provided through the existing grocery store.**



6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

**The proposed LASR does not create any burden on public facilities and will not be detrimental to economic welfare.**

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditionals of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

**The proposed LASR will not create excessive traffic, noise, smoke, fumes, glare, or odors.**

8. The proposed conditional use provides vehicular access to the property designed that it does not create an interference with traffic on surrounding public thoroughfares.

**The proposed LASR will not cause any interference with traffic.**

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

**The proposed LASR does not result in the destruction or damage of any natural features, as the existing monument sign will be utilized.**

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested.

**The proposed LASR complies with all regulations found in 12-11-8: Localized Alternative Sign Regulations.**



October 28, 2020

## Standards for Planned Unit Developments

1. The extent to which the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations set forth in subsection A of this section.

**The proposed plan is consistent with the stated purposes set forth in subsection A. The addition of the fuel center is a creative and efficient use of land which capitalizes on the space offered by the under-utilized parking field, adding a complimentary use to the grocery store while preserving existing vegetation, topographic and geologic features. The fuel center is also able to tie into many existing site utilities and requires no new R.O.W. approaches, resulting in a more economic network of utilities and streets.**
2. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

**The proposed plan meets the requirements of standards of the planned unit development regulations, as it is under single ownership, and meets the minimum PUD size for its underlying zoning district.**
3. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are or are not deemed to be in the public interest.

**The proposed plan departs from the zoning regulation by adding a second principal structure (fuel center) to the existing grocery store site, which is a complimentary use to the grocery store and benefit to the public interest.**
4. The extent to which the physical design of the proposed plan does or does not make adequate provision for public services, provide adequate control over vehicular traffic, provide for and protect designated common open space, and further the amenities of light and air, recreation and visual enjoyment

**The proposed development will utilize the existing parking lot and existing internal access drives with no additional approaches to the public right-of-way. Most customer trips come from the grocery store customers internal to the site.**
5. The extent to which the relationship and compatibility of the proposed plan is beneficial or adverse to adjacent properties and neighborhood.

**The proposed unit development is compatible with the adjacent properties as it only utilizes existing commercial property, does not alter any existing ROW approaches, and is not a burden on public or private utilities.**
6. The extent to which the proposed plan is not desirable to the proposed plan to physical development, tax base and economic well-being of the entire community

**The proposed development has minimal adverse impact on the physical development, tax base, and economic well-being of the community. It will be constructed within a fully developed parcel resulting in no land use impact. The fuel station will be complimentary to the store.**



7. The extent to which the proposed plan is not in conformity with the recommendations of the comprehensive plan.

**In lieu of a separate parcel for the fuel station, we are seeking a Planned Unit Development to allow for two principal structures on the same lot. We are also seeking to modify the existing LASR to include the proposed fuel center signs.**

Regards,

Tim Kratz, P.E.  
Project Manager – Agent for the Owner

CC:  
Dan Farrell– Mariano’s Real Estate Manager (e-mail), Natalie Mouw – Mariano’s Project Manager (e-mail)

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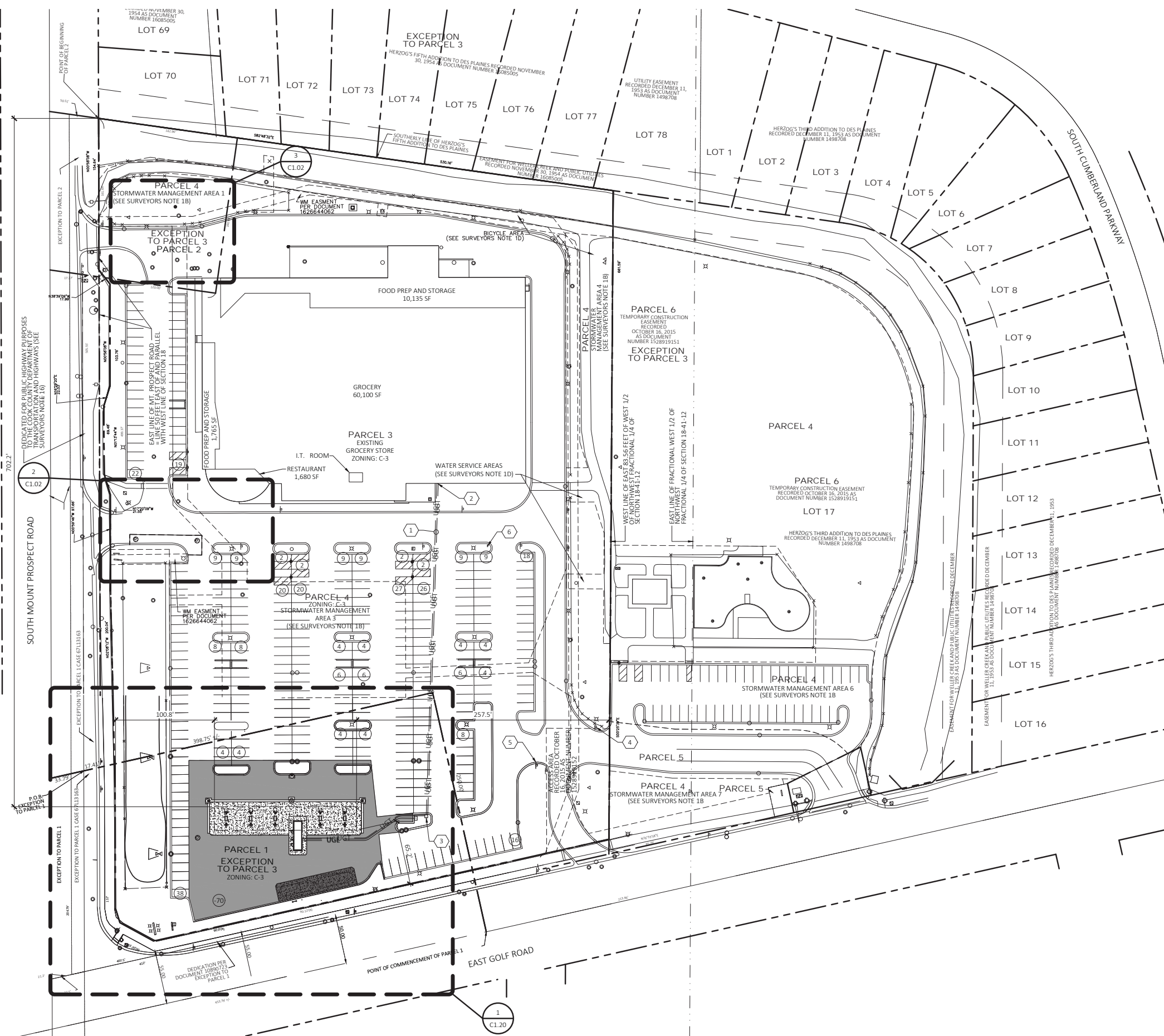
3025 Highland Parkway, Suite 850 | Downers Grove, IL 60515 | 312-756-7778 | [sevansolutions.com](http://sevansolutions.com)



Map created on November 18, 2020.  
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FILE NAME: \\shared\clients\boundy\supplements\inc\design\531-00541\COMPOSITE.C1.02.dwg LAST SAVED BY: Jamerson, Austin SAVED DATE: 10/16/2020 11:36 AM PLOTTED: 10/20/2020 4:02 PM



**COMPOSITE SITE PLAN - CONSTRUCTION**  
SCALE: 1" = 50'-0"

- SCOPE OF WORK:**
- INSTALL COMMUNICATION CONDUITS FROM MARIANO'S STORE TO FUEL CENTER KIOSK. SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT ONLY AS REQUIRED TO ALLOW FOR DIRECTIONAL BORING TO MARIANO'S STORE. REPLACE SIDEWALK, PAVED AND UNPAVED AREAS TO MATCH EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE IN PLANS. REVIEW AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING. SEE UTILITY PLAN, SHEET C1.40.
  - ROUTE COMMUNICATION CONDUITS UP EXTERIOR FACE OF MARIANO'S STORE AS REQUIRED TO PENETRATE WALL ABOVE FINISHED CEILING. PROVIDE AND INSTALL WEATHERPROOF JUNCTION BOXES AS REQUIRED BY CODE. PAINT ALL EXPOSED CONDUITS AND JUNCTION BOXES TO MATCH EXISTING ADJACENT SURFACES.
  - PROVIDE AND INSTALL 3'X3' PULL BOX IN LANDSCAPE AREA.
  - INSTALL W4-4ALP "TRAFFIC FROM LEFT DOES NOT STOP" UNDER EXISTING STOP SIGN.
  - INSTALL W4-4ARP "TRAFFIC FROM RIGHT DOES NOT STOP" UNDER EXISTING STOP SIGN.
  - INSTALL "TURN RIGHT FOR E. GOLF ROAD ACCESS" WAYFINDING SIGN.
- PARKING CALCULATIONS (DOES NOT INCLUDE BLACKHAWK PARK AND ASSOCIATED PARKING):**  
TOTAL MARIANO'S STORE SQUARE FOOTAGE: 73,680 SF
- GROCERY TOTAL SQUARE FOOTAGE: 60,100 SF**  
GROCERY PARKING REQUIREMENTS: 1 SPACE FOR EVERY 300 SQUARE FEET OF GROSS FLOOR AREA  
GROCERY REQUIRED SPACES: 201 SPACES
- RESTAURANT TOTAL SQUARE FOOTAGE: 1,680 SF**  
RESTAURANT PARKING REQUIREMENTS: 1 SPACE FOR EVERY 50 SF OF NET FLOOR AREA, OR 1 SPACE FOR EVERY 4 SEATS, WHICHEVER IS GREATER, PLUS 1 SPACE FOR EVERY 3 EMPLOYEES  
RESTAURANT REQUIRED SPACES: 35 SPACES (3 EMPLOYEES)
- FOOD PREP AND STORAGE TOTAL SQUARE FOOTAGE: 11,900 SF**  
FOOD PREP AND STORAGE REQUIREMENTS: N/A  
FOOD PREP AND STORAGE REQUIRED SPACES: N/A
- FUEL STATION TOTAL SQUARE FOOTAGE: 265 SF**  
FUEL STATION PUMPS: 5  
FUEL STATION PARKING REQUIREMENTS: 2 SPACES PER PUMP, PLUS ONE SPACE FOR EVERY 200 SF OF ACCESSORY RETAIL.  
FUEL STATION REQUIRED SPACES: 12
- TOTAL EXISTING SPACES: 407 SPACES**  
**TOTAL SPACES LOST: 70 SPACES**  
**TOTAL PROVIDED SPACES: 337 SPACES**  
**TOTAL REQUIRED SPACES: 248 SPACES**

**sevan ENGINEERING**  
Regional Office:  
37704 Hills Tech Drive  
Farmington Hills, MI 48331  
734.367.4444 Telephone

Corporate Office:  
3025 Highland Parkway, Suite 850  
Downers Grove, IL 60515  
info@sevan.com www.sevan.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARITY

REVISIONS		
NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

**CONSULTANT**

**SEAL**  
TIMOTHY B. KRATZ  
062.068956  
10/27/2020

**CUSTOMER**  
MARIANO'S

**PROJECT DESCRIPTION**  
531-00541  
RETAIL FUEL CENTER

**PROJECT LOCATION**  
10 E. GOLF ROAD  
DES PLAINES, IL 60016  
(COOK COUNTY)

**SHEET TITLE**  
COMPOSITE SITE PLAN  
CONSTRUCTION

**SHEET MANAGEMENT**  
PROJECT NO.: 531-00541  
DATE: -  
CAD FILE: C1.02.dwg  
PROJECT MANAGER: T. KRATZ

**SHEET NUMBER**  
C1.02

REVISIONS

NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**531-00541**  
**RETAIL FUEL CENTER**

PROJECT LOCATION

**10 E. GOLF ROAD**  
**DES PLAINES, IL 60016**

(COOK COUNTY)

SHEET TITLE

**TRUCK TURN PLAN**

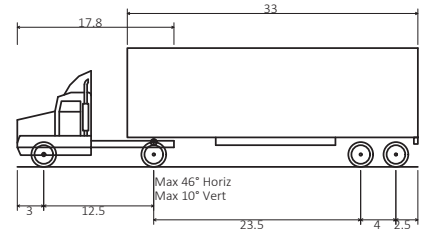
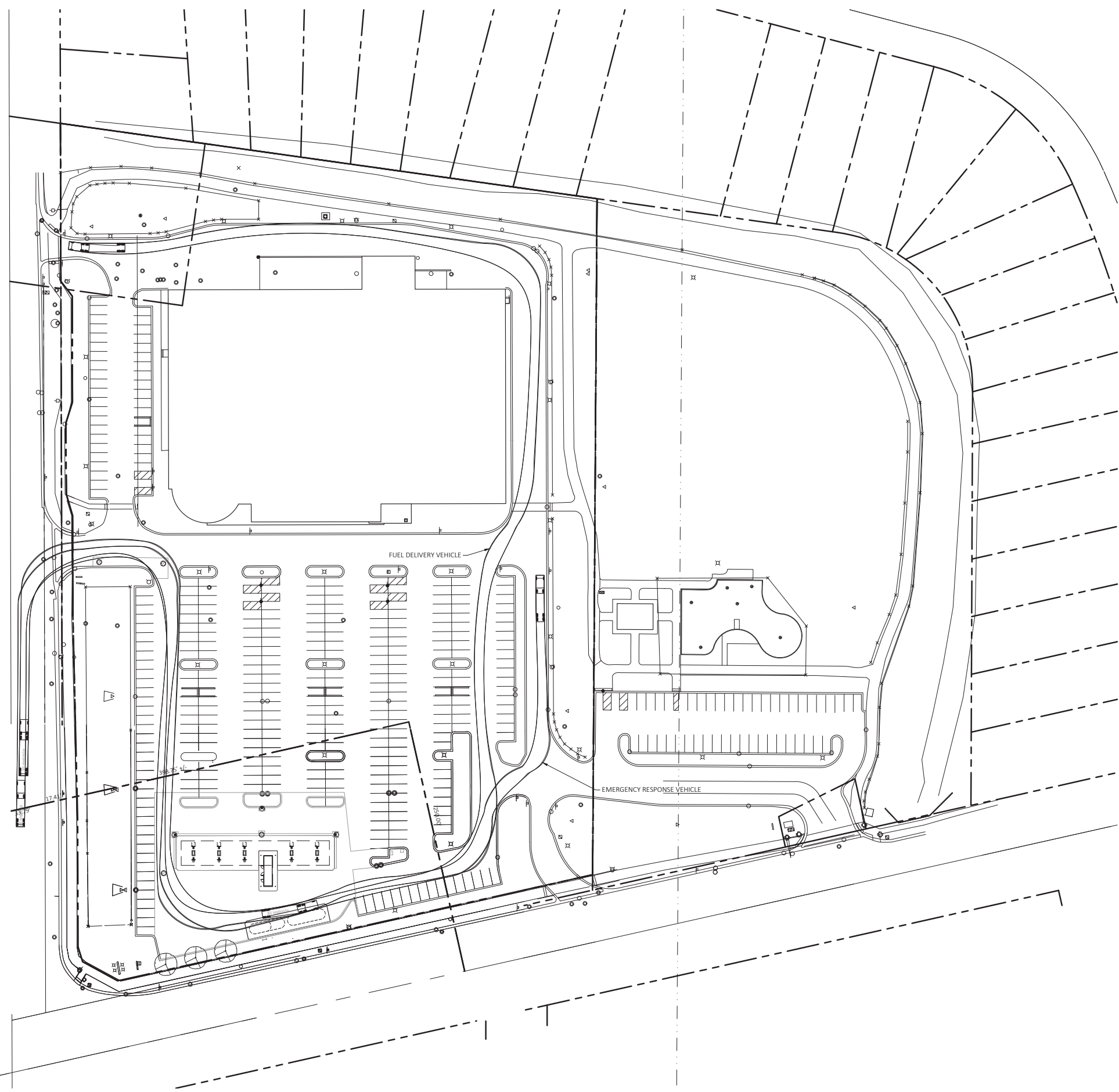
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PROJECT NO.:	531-00541
DATE:	-
CAD FILE:	C1.03.dwg
PROJECT MANAGER:	T. KRATZ

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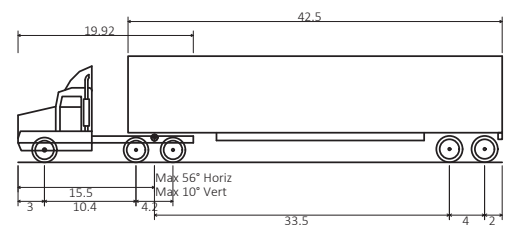
SHEET NUMBER

**C1.03**



**WB-40 - Intermediate Semi-Trailer**  
Overall Length 45.499ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min Body Ground Clearance 1.334ft  
Track Width 8.000ft  
Lock-to-lock time 4.00s  
Max Steering Angle (Virtual) 20.30°

**EMERGENCY RESPONSE VEHICLE**



**WB-50 - Intermediate Semi-Trailer**  
Overall Length 55.000ft  
Overall Width 8.500ft  
Overall Body Height 12.052ft  
Min Body Ground Clearance 1.334ft  
Max Track Width 8.500ft  
Lock-to-lock time 6.00s  
Max Steering Angle (Virtual) 17.90°

**FUEL DELIVERY VEHICLE**

**TRUCK TURN PLAN**  
SCALE: 1" = 50'-0"

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

- PROPOSED SITE IMPROVEMENTS:**
- DISPENSER CANOPY, CANOPY COLUMNS AND FOOTINGS.
  - TRANSACTION KIOSK.
  - U-SHAPED BOLLARD AT CANOPY COLUMNS.
  - KIOSK BOLLARD.
  - 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED). FUEL TANKS TO BE STRAPPED UNDERGROUND TO PREVENT BUOYANCY.
  - 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL. FUEL TANKS TO BE STRAPPED UNDERGROUND TO PREVENT BUOYANCY.
  - TANK VENT RISER AND TANK OVERFLOW ALARM.
  - 3.00' X 5.00' DISPENSER ISLAND.
  - AUTOMOBILE MULTI-PRODUCT DISPENSER (3+1 GASOLINE/DIESEL) WITH CARD READER.
  - AIR TOWER, ALL ASSOCIATED EQUIPMENT AND UTILITIES REQUIRED TO PROVIDE PROPER SERVICE.
  - CONCRETE DISPENSER MAT.
  - CONCRETE TANK MAT. S
  - HEAVY DUTY BITUMINOUS PAVEMENT. SEE PAVING DETAILS 2D/CS.00.
  - CONCRETE CURB AND GUTTER. SEE DETAIL TYPE B-6.12 ON CITY OF DES PLAINES DETAIL SHEET 2 OF 2.
  - 10.0' X 70.0' LOADING ZONE.

**CONSULTANT**

**SEAL**



**CUSTOMER**



**PROJECT DESCRIPTION**

**531-00541  
RETAIL FUEL CENTER**

**PROJECT LOCATION**

**10 E. GOLF ROAD  
DES PLAINES, IL 60016**

(COOK COUNTY)

**SHEET TITLE**

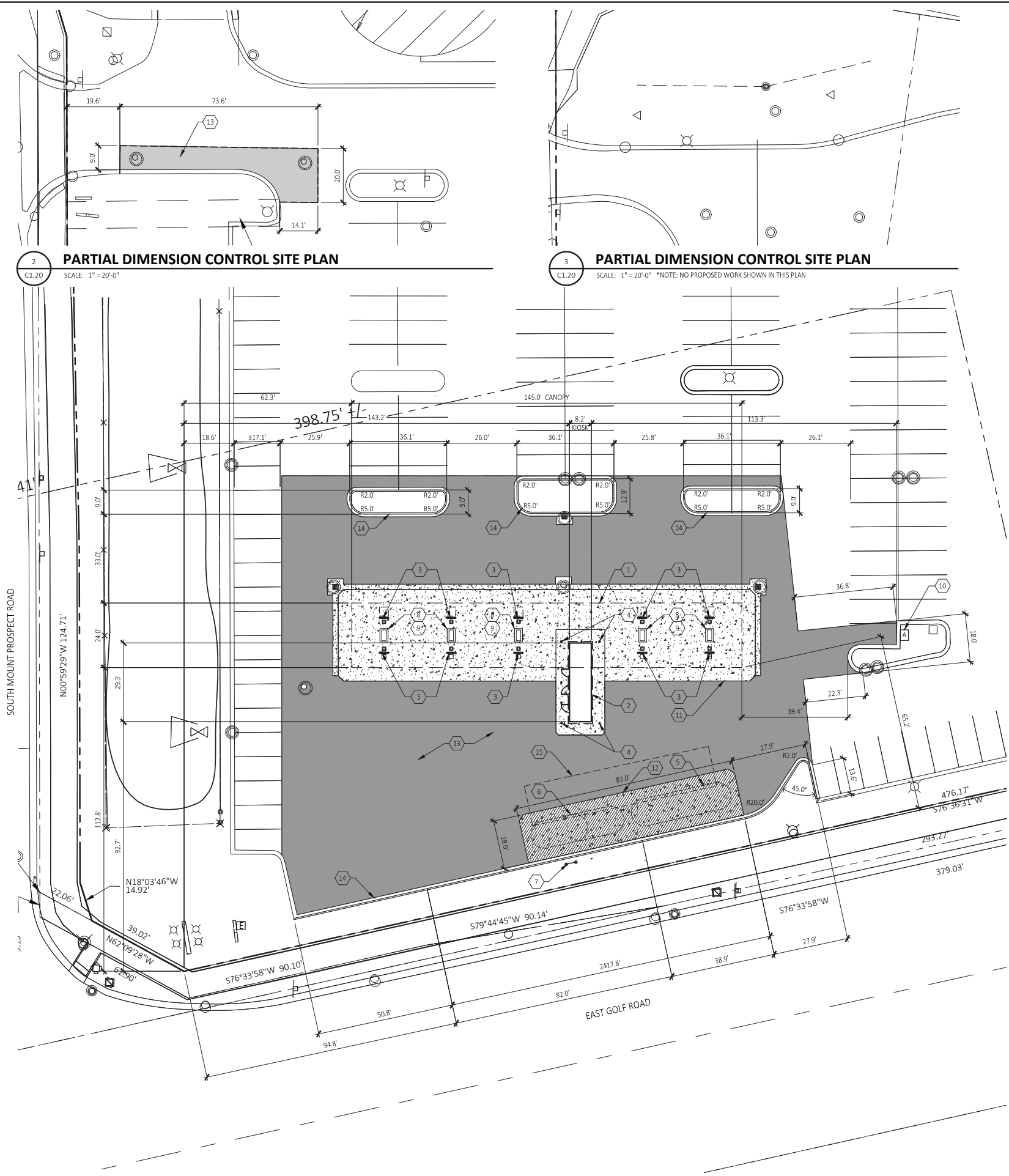
**DIMENSION CONTROL  
SITE PLAN**

**SHEET MANAGEMENT**

PROJECT NO.:	531-00541
DATE:	-
CAD FILE:	-
PROJECT MANAGER:	T. KRATZ

**SHEET NUMBER**

**C1.20**



**2 PARTIAL DIMENSION CONTROL SITE PLAN**  
SCALE: 1" = 20'-0"

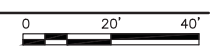
**3 PARTIAL DIMENSION CONTROL SITE PLAN**  
SCALE: 1" = 20'-0" \*NOTE: NO PROPOSED WORK SHOWN IN THIS PLAN

**1 DIMENSION CONTROL SITE PLAN**  
SCALE: 1" = 20'-0"

**STAKING NOTES:**  
CANOPY AND KIOSK ARE PARALLEL AND PERPENDICULAR TO THE WESTERN PROPERTY LINE.  
PROPOSED PARKING TO ALIGN WITH EXISTING PARKING TO REMAIN.

**NOTE:**  
UNDERGROUND STORAGE TANKS(UST) TO BE INSTALLED PER LOCATION SHOWN ON C1.20. REFER TO FUEL PIPING LAYOUT SHEET T1.0 FOR UST ORIENTATION, TANK TOP HARDWARE AND PIPING INSTALLATION.

- PAVING LEGEND:**
- HEAVY DUTY ASPHALT PAVEMENT
  - CONCRETE PAVEMENT TANK MAT
  - CONCRETE PAVEMENT DISPENSER MAT
  - LITE DUTY ASPHALT PAVEMENT (BIKE PATH BY OTHERS)



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**REVISIONS**

NO.	DATE	DESCRIPTION
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2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

**CONSULTANT**



**SEAL**



**CUSTOMER**



**PROJECT DESCRIPTION**

**531-00541**  
**RETAIL FUEL CENTER**

**PROJECT LOCATION**

**10 E. GOLF ROAD**  
**DES PLAINES, IL 60016**  
(COOK COUNTY)

**SHEET TITLE**

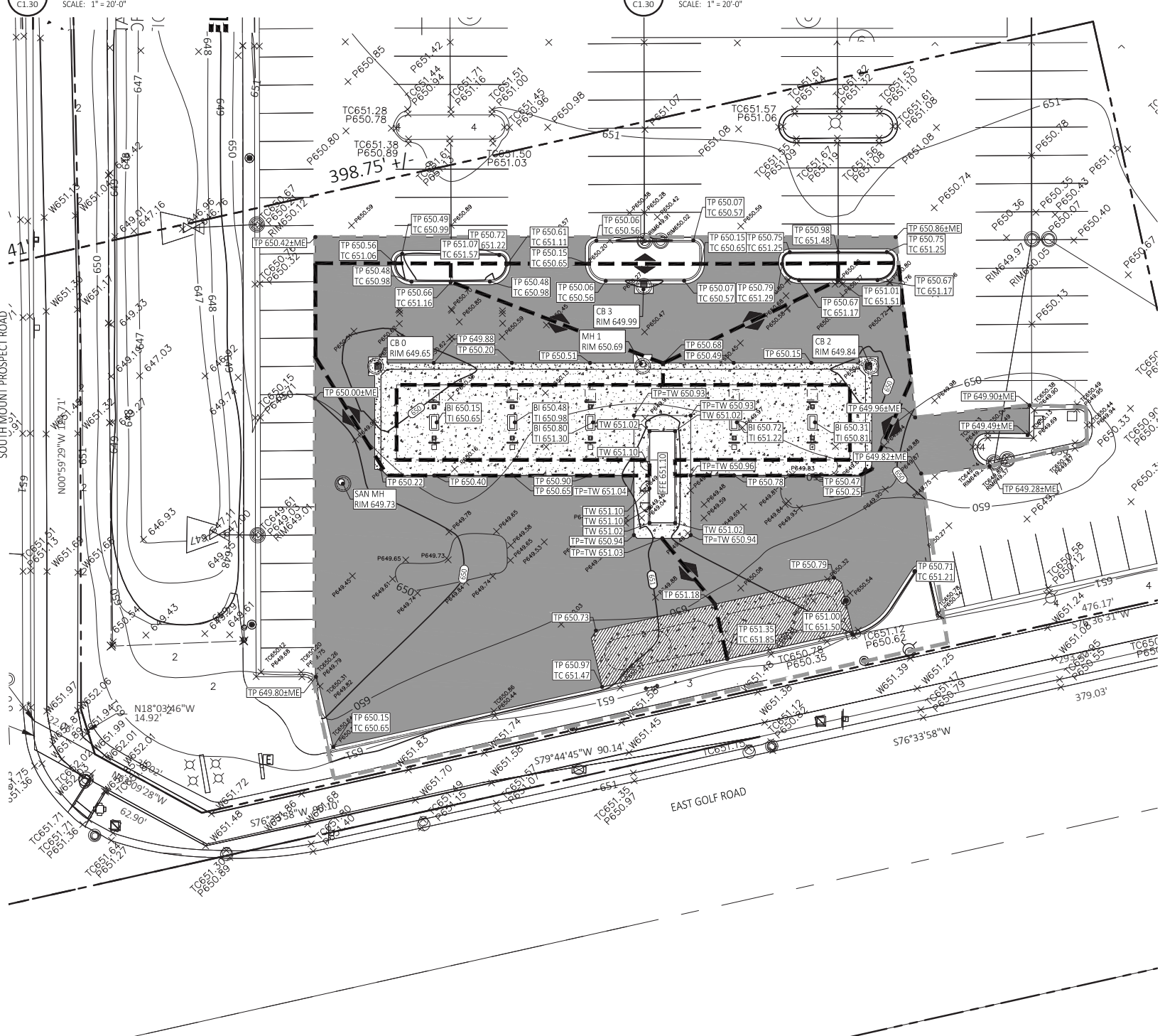
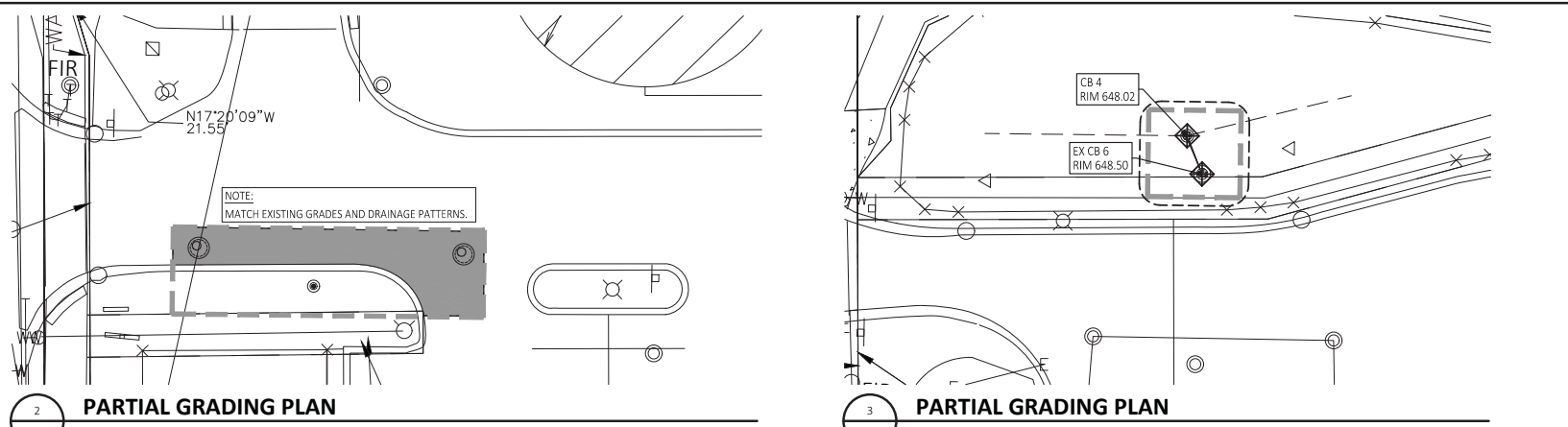
**GRADING PLAN**

**SHEET MANAGEMENT**

PROJECT NO.:	531-00541
DATE:	-
CAD FILE:	C1.30.dwg
PROJECT MANAGER:	T. KRATZ

**SHEET NUMBER**

**C1.30**



**GRADING PLAN**  
SCALE: 1" = 20'-0"

**BENCHMARKS:**  
SOURCE BENCHMARK: NAVD GEOID 03  
CITY OF DES PLAINES BENCHMARK #29 MONUMENT SET IN CONCRETE AT THE N. SIDE OF GOLD ROAD. AT WELLS CREEK 15' NORTH OF E/P OF GOLF, 15' EAST OF THE EAST ENTRANCE TO BLACKHAWK PARK. ELEVATION = 649.355 (NAVD 88)

SITE BENCHMARK #100  
ARROW BOLT ON FIRE HYDRANT LOCATED ON THE NORTH SIDE OF GOLD ROAD ± 350 FEET EAST OF THE INTERSECTION OF S. MOUNT PROSPECT ROAD AND GOLF ROAD. ELEVATION = 653.81 (NAVD 88)

SITE BENCHMARK #101  
ARROW BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF S. MOUNT PROSPECT ROAD ± 390 FEET NORTH OF THE INTERSECTION OF GOLF ROAD AND S. MOUNT PROSPECT ROAD. ELEVATION = 653.65

SITE BENCHMARK #102  
ARROW BOLT ON FIRE HYDRANT LOCATED ON THE NORTHEAST CORNER AT THE INTERSECTION OF GOLF ROAD AND S. MOUNT PROSPECT ROAD. ELEVATION = 653.20 (NAVD 88)

**GRADING NOTES:**

- REFER TO C1.11 FOR EROSION CONTROL NOTES AND DETAILS
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
- THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
- UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
- THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SESC PLAN ON SHEET C1.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.

**FUEL GRADING DESIGN STANDARDS:**

- PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S), PER GRADING/SECTION DRAWINGS. 3%-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.
- PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA), WHILE MAINTAINING POSITIVE DRAINAGE AWAY FROM THE FUEL CENTER KIOSK AND DISPENSER ISLANDS. GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.
- SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK. IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING EXTERIOR GRADE. SLOPE DRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MUST BE VERIFIED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

**SITE SPECIFIC GRADING GENERAL NOTES:**

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:

- EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.
- EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION.
- EXISTING LANDSCAPING.
- EXISTING LIGHT STANDARD(S) AND WIRING.

**GRADING LEGEND:**

TG GUTTER GRADE  
TC TOP OF CURB  
BW FINISHED GRADE AT WALL  
FG FINISHED GRADE  
FL DITCH FLOW LINE  
BI PUMP ISLAND BOTTOM  
TI PUMP ISLAND TOP  
TP TOP OF PAVEMENT  
RIM UNDERGROUND STRUCTURE RIM  
TW TOP OF WALK  
FFE FINISHED FLOOR ELEVATION  
ME MATCH EXISTING  
2.0% PROPOSED SLOPE

**PAVING LEGEND:**

ASPHALT PAVEMENT.  
CONCRETE PAVEMENT TANK MAT.  
CONCRETE PAVEMENT DISPENSER MAT.

**NOTES:**  
GENERAL CONTRACTOR SHALL REVIEW GRADES AT DISPENSER ISLANDS PRIOR TO CONSTRUCTION TO ENSURE TOP OF ISLAND TO BOTTOM OF ISLAND RELATIONSHIP WILL MATCH GALLOWAY DETAILS ON T-DRAWINGS.

FILE NAME: \\S:\shared\Clients\Roundy's Supermarkets\inc\Design\531-00541\AutoCAD\C1.30.dwg LAST SAVED BY: Jamerson, Austin SAVED DATE: 10/19/2020 9:40:AM PLOTTED: 10/20/2020 1:30 PM

**REVISIONS**

NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

**CONSULTANT**



**CUSTOMER**



**PROJECT DESCRIPTION**

531-00541  
RETAIL FUEL CENTER

**PROJECT LOCATION**

10 E. GOLF ROAD  
DES PLAINES, IL 60016  
(COOK COUNTY)

**SHEET TITLE**

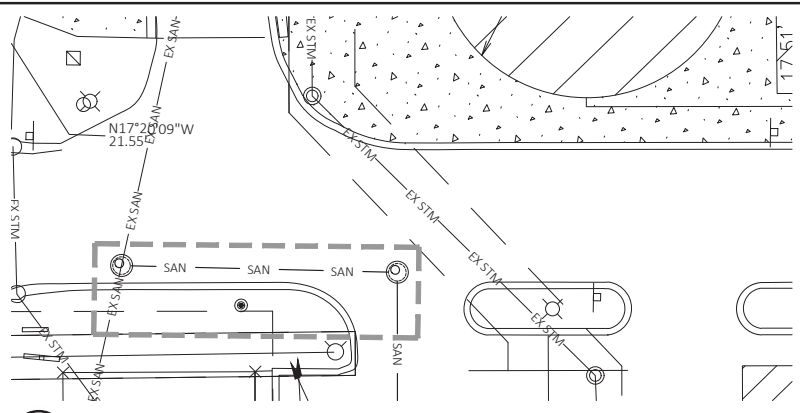
STORMWATER  
MANAGEMENT PLAN

**SHEET MANAGEMENT**

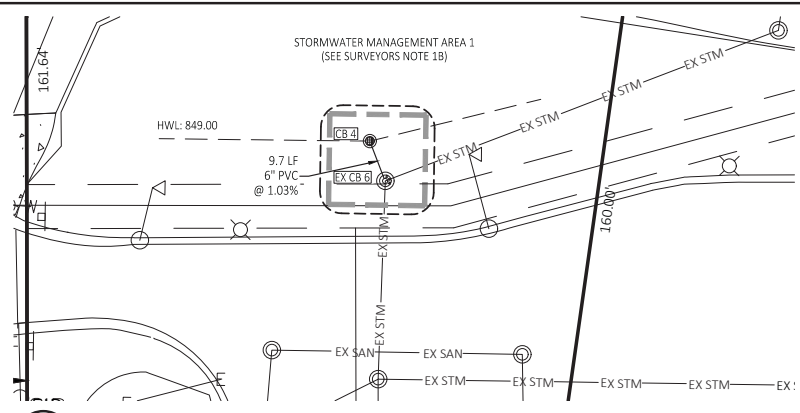
PROJECT NO.: 531-00541  
DATE: -  
CAD FILE: C.1.31.dwg  
PROJECT MANAGER: T. KRATZ

**SHEET NUMBER**

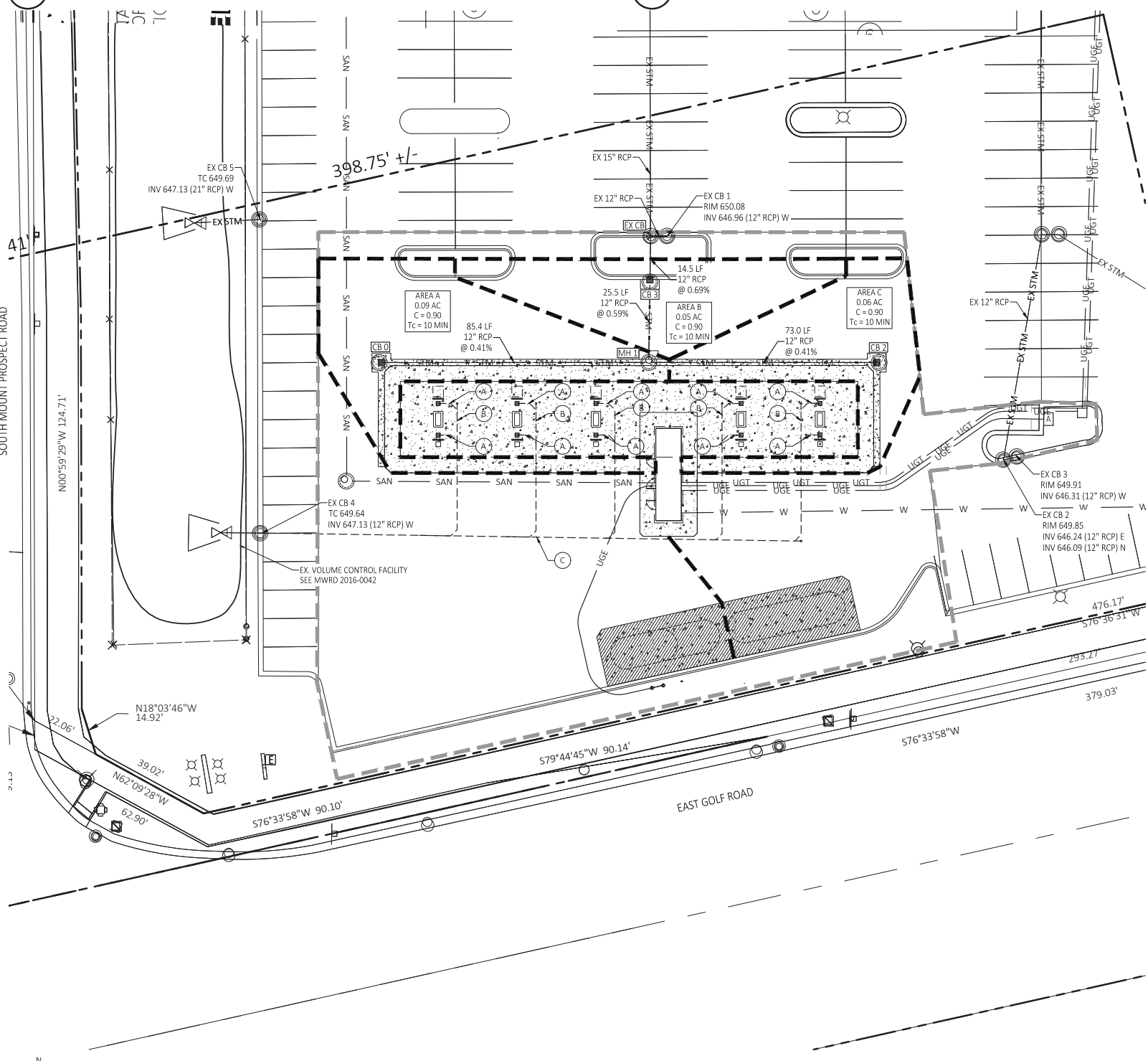
C1.31



**2 PARTIAL STORM WATER MANAGEMENT PLAN**  
SCALE: 1" = 20'-0" \*NOTE: NO PROPOSED WORK SHOWN IN THIS PLAN



**3 PARTIAL STORM WATER MANAGEMENT PLAN**  
SCALE: 1" = 20'-0"



**1 STORM WATER MANAGEMENT PLAN**  
SCALE: 1" = 20'-0"

- LEGEND:**
- PROPOSED STRUCTURES:**
- Storm Manhole
  - Catch Basin
  - Yard Basin
  - Flared End Section
  - Sanitary Manhole
  - Sanitary Cleanout
  - Transformer
  - Light Pole
  - Water Valve
  - Fire Hydrant
  - Fuel Vent
  - Air Tower
- LINE TYPES:**
- STM - Storm Sewer
  - RD - Roof Drain
  - SAN - Sanitary Sewer
  - W - Water Main/Service
  - UGE - Electric Service
  - UGT - Telephone Service
  - OH - Overhead Utilities

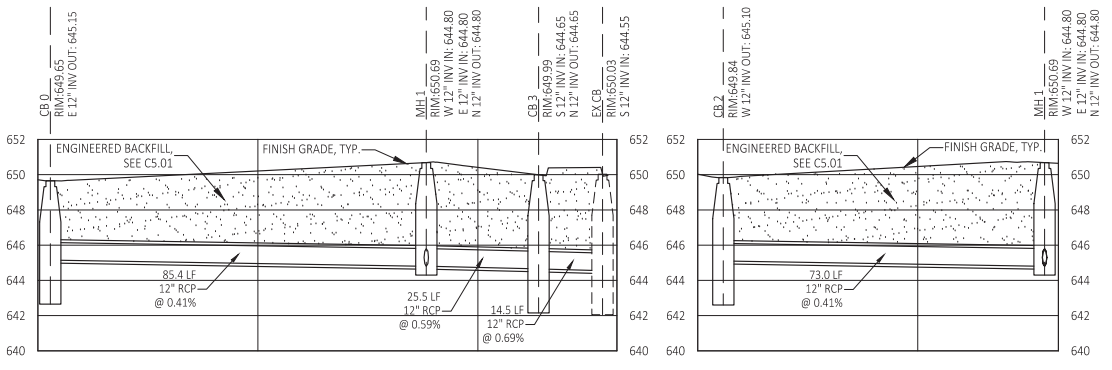
- EXISTING STRUCTURES**
- BOLLARD (BOL)
  - GAS VALVE (GV)
  - HANDHOLE (HH)
  - TRAFFIC SIGNAL BOX (TSB)
  - TRAFFIC SIGNAL (TS)
  - LIGHT (LHT)
  - GROUND LIGHT (GLHT)
  - POWER POLE (PP)
  - GUY WIRE (GW)
  - CABLE PEDESTAL (PEDC)
  - ELECTRIC PEDESTAL (PEDE)
  - TELEPHONE PEDESTAL (PEDT)
  - TRANSFORMER
  - SIGN
  - MAILBOX (MB)
  - CHORD BEARING
  - CHAIN LINK FENCE
  - ELECTRIC METER
  - GAS METER
  - ARC LENGTH
  - RADIUS
  - RECORD
  - SET IRON ROD
  - SET CUT CROSS
  - BOUNDARY LINE
  - EASEMENT LINE
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING LOT LINE
  - SECTION LINE
- EXISTING SANITARY SEWER**
- EX SAN - SANITARY SEWER
  - EX STM - STORM SEWER
  - EX W - WATER MAIN
  - EX E - ELECTRIC LINE
  - EX G - GAS LINE
  - EX T - TELEPHONE LINE
  - EX OH - OVERHEAD WIRE
  - EX M - MANHOLE (STM/SAMH)
  - EX CB - CATCH BASIN (CB)
  - EX IN - INLET (INL)
  - EX FES - FLARED END SECTION (FES)
  - EX VB - VALVE VAULT (VV)
  - EX V - VALVE BOX (VB)
  - EX BB - BUFFALO BOX (BB)
  - EX FH - FIRE HYDRANT (FH)
  - EX AV - AUXILIARY VALVE (AV)
  - EX CO - CLEANOUT (CO)
  - EX HMA - HOT MIX ASPHALT
  - EX CONC - CONCRETE (CONC)
  - EX BLDG - BUILDING
  - EX DC - DEPRESSED CURB

**STRUCTURE TABLE**

NAME:	DETAILS:	DESCRIPTION:	N	E
CB 0	RIM = 649.65 12" E INV OUT = 645.15	4.0' DIA PRECAST CONCRETE CATCH BASIN WITH REMOVABLE HOOD	1960857.4	1096347.9
CB 2	RIM = 649.84 12" W INV OUT = 645.10	4.0' DIA PRECAST CONCRETE CATCH BASIN WITH REMOVABLE HOOD	1960859.8	1096506.4
CB 3	RIM = 649.99 12" S INV IN = 644.65 12" N INV OUT = 644.65	4.0' DIA PRECAST CONCRETE CATCH BASIN	1960884.2	1096433.4
CB 4	RIM = 649.00 6" W INV IN = 644.17 6" S INV OUT = 647.00	4.0' DIA PRECAST CONCRETE CATCH BASIN	1961462.9	1096306.3
EX CB	RIM = 650.03 12" S INV IN = 644.55	EX. CATCH BASIN REPAIR AS REQUIRED	1960898.8	1096433.4
EX CB 6	RIM = 648.50 6" N INV IN = 646.90 24" S INV IN = 641.10 54" E INV OUT = 641.10	EX. CATCH BASIN REPAIR AS REQUIRED CHANGE RIM TO SOLID MH COVER CAP EXISTING UNDERDRAIN INV	1961453.9	1096309.9
MH 1	RIM = 650.69 12" W INV IN = 644.80 12" E INV IN = 644.80 12" N INV OUT = 644.80	4.0' DIA PRECAST CONCRETE MANHOLE	1960858.7	1096433.4

**STORM STRUCTURE TABLE**

- STORM STRUCTURE NOTES:**
- ALL STORM STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH VILLAGE OF DES PLAINES STANDARDS AND DETAILS UNLESS NOTED OTHERWISE.
  - PROVIDE INLET FILTERS ON ALL PROPOSED INLETS. FILTER SHALL BE REGULARLY MAINTAINED AND REMAIN IN PLACE UNTIL FINAL GRADES HAVE BEEN ESTABLISHED. REFER TO SHEET C1.11.
  - NORTHING AND EASTING PER COORDINATE SYSTEM PROVIDED AS PER DESIGN SURVEY REFERENCE .DWG FILE.
- ROOF DRAIN SCOPE OF WORK:**
- 4" ROOF CONDUCTOR. SEE DETAIL 9/C5.00.
  - 207.0 LF 6" SDR 23.5 PVC AT 0.50% MIN SLOPE.
  - 170.0 LF 8" SDR 23.5 PVC AT 0.50% MIN SLOPE.



**STORM WATER MANAGEMENT PROFILES**

HORIZONTAL SCALE: 1" = 20'-0"  
VERTICAL SCALE: 1" = 5'-0"

FILE NAME: Y:\Shared\Clients\Roundy's Supermarkets\inc\Design\531-00541\K\ConDoc\C1.31.dwg LAST SAVED BY: Jamerson, Austin SAVED DATE: 10/19/2020 9:53 AM PLOTTED: 10/20/2020 4:32 PM



**REVISIONS**

NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

**CONSULTANT**



**SEAL**

TIMOTHY B. KRATZ  
10/27/2020

**CUSTOMER**



**PROJECT DESCRIPTION**

531-00541  
RETAIL FUEL CENTER

**PROJECT LOCATION**

10 E. GOLF ROAD  
DES PLAINES, IL 60016  
(COOK COUNTY)

**SHEET TITLE**

MWRD  
DRAINAGE EXHIBIT

**SHEET MANAGEMENT**

PROJECT NO.:	531-00541
DATE:	
CAD FILE:	C1.33.dwg
PROJECT MANAGER:	T. KRATZ

**SHEET NUMBER**

**C1.32**

**SUMMARY OF STORMWATER MANAGEMENT (DETENTION AND VOLUME CONTROL PROVIDED)**

TOTAL VOLUME CONTROL STORAGE REQUIRED = 29,403 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 29,872 CF

DETENTION VOLUME REQUIRED = 5.30 AC-FT  
DETENTION VOLUME PROVIDED AT SURFACE = 3.02 AC-FT  
DETENTION VOLUME PROVIDED IN STORMTRAP SYSTEM = 2.48 AC-FT  
TOTAL DETENTION VOLUME PROVIDED = 5.50 AC-FT

HIGH WATER ELEVATION = 649.0

EXISTING COMPOSITE CN = 86  
PROPOSED COMPOSITE CN = 86

NO CHANGES TO EXISTING DETENTION REQUIRED

TOTAL FLOW-THROUGH AREA = 0.20± AC

EXISTING EMERGENCY OVERLAND FLOOD PATHWAY TO REMAIN. NO PROPOSED CHANGE

**EXISTING STORMWATER MANAGEMENT AREA NC**

STORAGE IN AREA BELOW UD (AT 100%) = 171 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 428 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 989 CF  
VOLUME ABOVE GROUND (AT 100%) = 1,701 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 3,288 CF  
DETENTION VOLUME PROVIDED = 0.52 AC-FT  
HIGH WATER ELEVATION = 649.0

**EXISTING STORMWATER MANAGEMENT AREA NE**

STORAGE IN AREA BELOW UD (AT 100%) = 102 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 256 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 644 CF  
VOLUME ABOVE GROUND (AT 100%) = 642 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 1,644 CF  
DETENTION VOLUME PROVIDED = 1.86 AC-FT  
HIGH WATER ELEVATION = 649.0

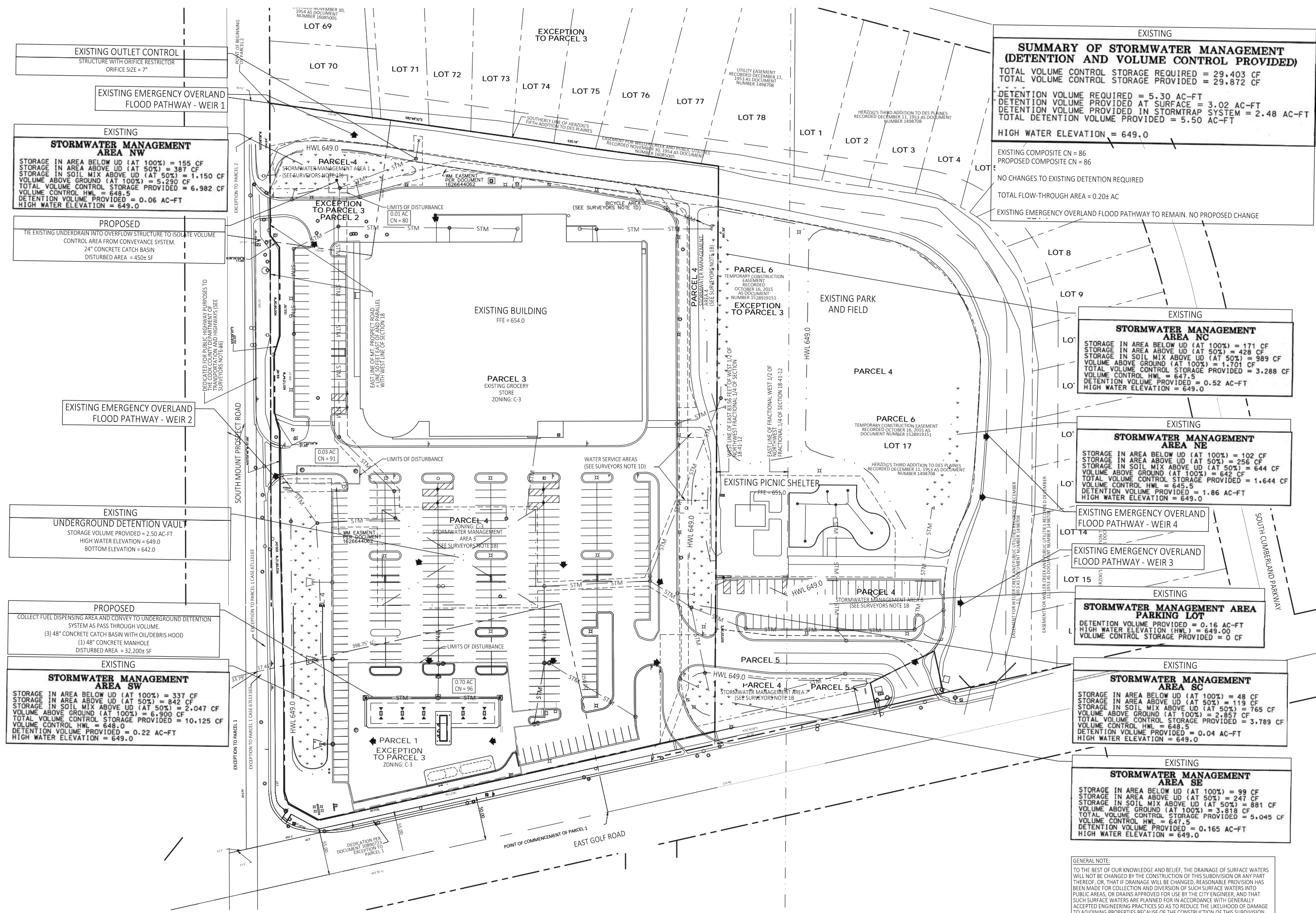
**EXISTING STORMWATER MANAGEMENT AREA SC**

STORAGE IN AREA BELOW UD (AT 100%) = 48 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 247 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 765 CF  
VOLUME ABOVE GROUND (AT 100%) = 2,857 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 3,789 CF  
DETENTION VOLUME PROVIDED = 0.04 AC-FT  
HIGH WATER ELEVATION = 649.0

**EXISTING STORMWATER MANAGEMENT AREA SE**

STORAGE IN AREA BELOW UD (AT 100%) = 99 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 247 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 881 CF  
VOLUME ABOVE GROUND (AT 100%) = 3,818 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 5,045 CF  
DETENTION VOLUME PROVIDED = 0.165 AC-FT  
HIGH WATER ELEVATION = 649.0

**GENERAL NOTE:**  
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS APPROVED FOR USE BY THE CITY ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.



**EXISTING OUTLET CONTROL**  
STRUCTURE WITH ORIFICE RESTRICTOR  
ORIFICE SIZE = 7"

**EXISTING EMERGENCY OVERLAND FLOOD PATHWAY - WEIR 1**

**EXISTING STORMWATER MANAGEMENT AREA NW**

STORAGE IN AREA BELOW UD (AT 100%) = 155 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 387 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 1,150 CF  
VOLUME ABOVE GROUND (AT 100%) = 5,290 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 6,982 CF  
DETENTION VOLUME PROVIDED = 0.06 AC-FT  
HIGH WATER ELEVATION = 649.0

**PROPOSED**

TIE EXISTING UNDERDRAIN INTO OVERFLOW STRUCTURE TO ISOLATE VOLUME CONTROL AREA FROM CONVEYANCE SYSTEM.  
24" CONCRETE CATCH BASIN  
DISTURBED AREA = 450± SF

**EXISTING EMERGENCY OVERLAND FLOOD PATHWAY - WEIR 2**

**EXISTING UNDERGROUND DETENTION VAULT**

STORAGE VOLUME PROVIDED = 2.50 AC-FT  
HIGH WATER ELEVATION = 649.0  
BOTTOM ELEVATION = 642.0

**PROPOSED**

COLLECT FUEL DISPENSING AREA AND CONVEY TO UNDERGROUND DETENTION SYSTEM AS PASS THROUGH VOLUME  
(3) 48" CONCRETE CATCH BASIN WITH OIL/DEBRIS HOOD  
(1) 48" CONCRETE MANHOLE  
DISTURBED AREA = 32,200± SF

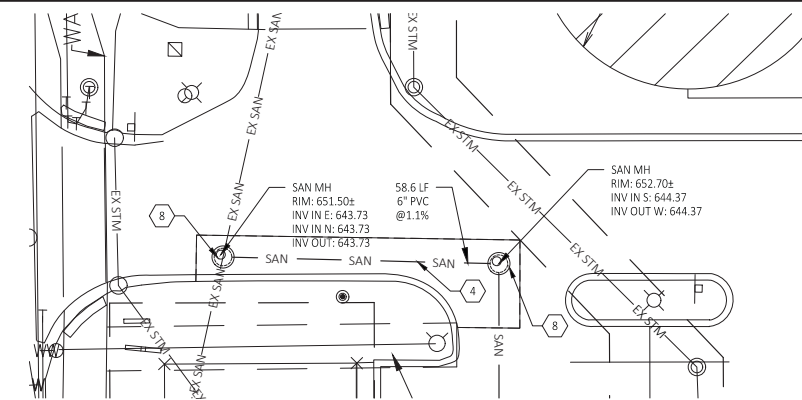
**EXISTING STORMWATER MANAGEMENT AREA SW**

STORAGE IN AREA BELOW UD (AT 100%) = 337 CF  
STORAGE IN AREA ABOVE UD (AT 50%) = 842 CF  
STORAGE IN SOIL MIX ABOVE UD (AT 50%) = 2,047 CF  
VOLUME ABOVE GROUND (AT 100%) = 6,900 CF  
TOTAL VOLUME CONTROL STORAGE PROVIDED = 10,125 CF  
DETENTION VOLUME PROVIDED = 0.22 AC-FT  
HIGH WATER ELEVATION = 649.0

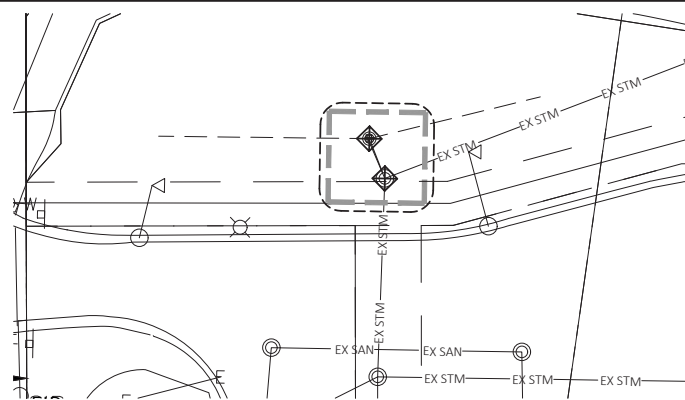
**STORMWATER MANAGEMENT PLAN - COMPOSITE SITE**  
SCALE: 1" = 50'-0"

FILE NAME: \\S:\shared\Clients\Boumby's Supermarkets, Inc\Design\531-00541\A\COOK\DWG\C1.32\_MWRD Drainage Exhibit.dwg LAST SAVED BY: Jamerson, Justin LAST SAVED DATE: 10/19/2020 10:59 AM PLOTTED: 10/20/2020 4:33 PM

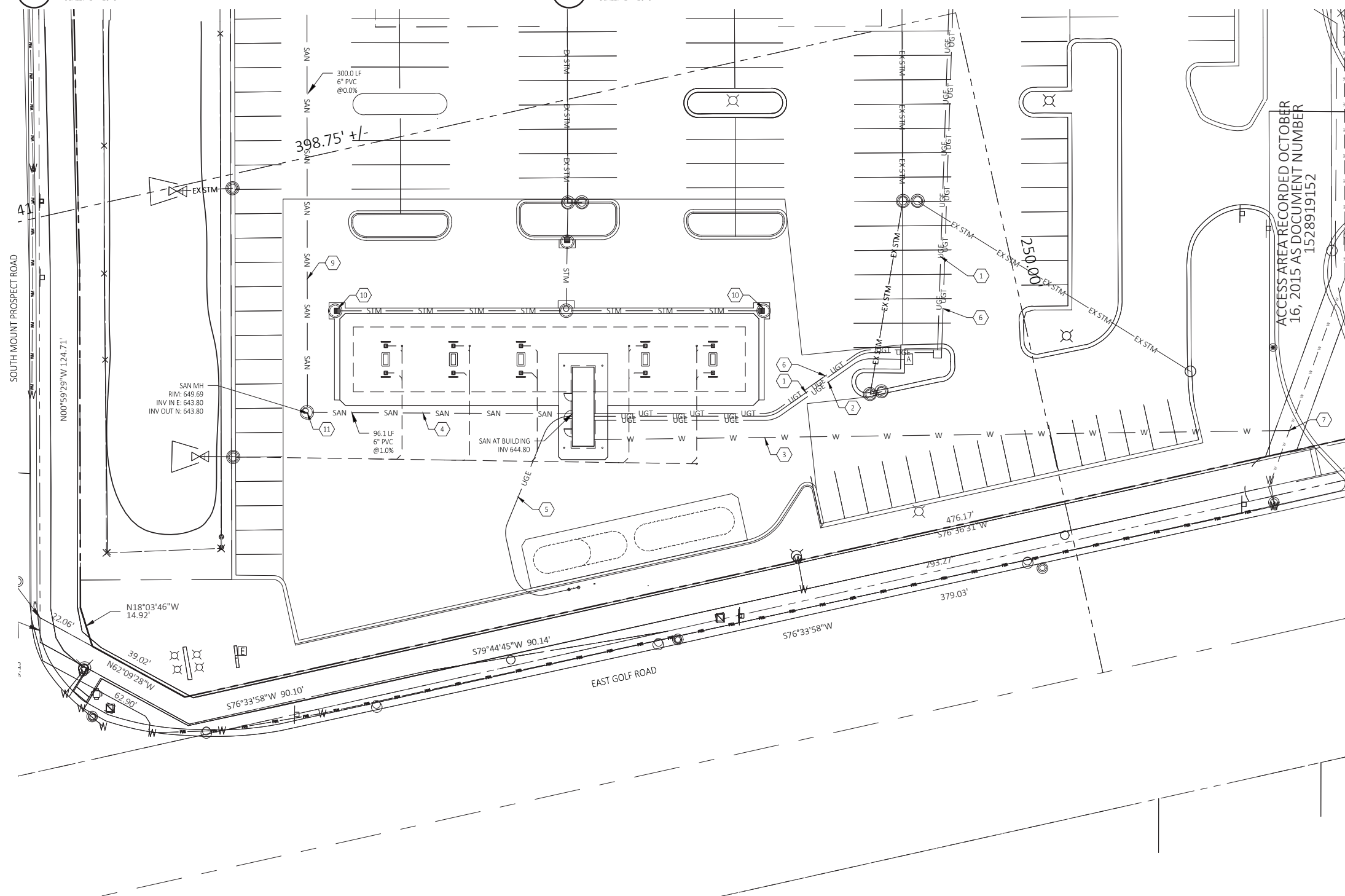
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**2 PARTIAL UTILITY PLAN**  
SCALE: 1" = 20'-0"



**3 PARTIAL UTILITY PLAN**  
SCALE: 1" = 20'-0" \*NOTE: NO PROPOSED WORK SHOWN IN THIS PLAN



**1 UTILITY PLAN**  
SCALE: 1" = 20'-0"

- KEYNOTES: (X)
1. PROVIDE AND INSTALL ONE (1) 4" SCHEDULE 40 PVC CONDUIT (WITH FOUR ELECTRICAL PULL STRINGS) FROM THE ELECTRICAL ROOM TO THE FUEL CENTER KIOSK. REFER TO C1.02 AND THE ELECTRICAL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
  2. PROVIDE AND INSTALL ONE (1) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO AIR COMPRESSOR FOR 120V POWER.
  3. PROVIDE AND INSTALL 1.5" COPPER TYPE 'K' WATER SERVICE LINE (MIN. DEPTH 5.0'); PROVIDE MINIMUM 18" CLEARANCE AT ALL UTILITY CROSSINGS. SAWCUT, REMOVE, AND DISPOSE OF SITE PAVEMENT ONLY AS REQUIRED TO ALLOW FOR DIRECTIONAL BORING. MAKE CONNECTION AT WATER MAIN PER REQUIRED STANDARDS.
  4. PROVIDE AND INSTALL 6" PVC SDR-26 SANITARY SEWER SERVICE WITH CLEANOUTS LOCATED 5.0' OUTSIDE OF FOUNDATION AND AT EVERY HORIZONTAL AND VERTICAL BEND.
  5. PROVIDE AND INSTALL TWO (2) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO TANK VENT.
  6. PROVIDE AND INSTALL 4" PVC CONDUIT FOR TELEPHONE/DATA. REFER TO C1.02 FOR FURTHER INFORMATION. COORDINATE WITH UTILITY COMPANY.
  7. PROVIDE AND INSTALL WATER STOP BOX AND VALVE PER REQUIRED STANDARDS.
  8. PROVIDE AND INSTALL 48" DIAMETER CONCRETE SANITARY SEWER STRUCTURE.
  9. PROVIDE AND INSTALL 2" PVC PRESSURE RATED SANITARY LEAD FORCE MAIN. SAWCUT, REMOVE, AND DISPOSE OF SITE PAVEMENT ONLY AS REQUIRED TO ALLOW FOR DIRECTIONAL BORING.
  10. PROVIDE AND INSTALL REMOVABLE HOOD BASIN AND WATER QUALITY STRUCTURE. SEE DETAIL ON SHEET C5.00.
  11. PROVIDE AND INSTALL 48" DIAMETER CONCRETE SANITARY SEWER STRUCTURE WITH SEWER EJECTOR PUMP.

**sevan ENGINEERING**

Regional Office:  
37704 Hills Tech Drive  
Farmington Hills, MI 48331  
734.367.4444 Telephone

Corporate Office:  
3025 Highland Parkway, Suite 850  
Downers Grove, IL 60515  
info@sevan.com www.sevan.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARITY

**REVISIONS**

NO.	DATE	DESCRIPTION
1	04.23.2020	MWRD
2	06.12.2020	PUD SUBMITTAL
3	10.20.2020	MWRD AND PUD

**CONSULTANT**

**SEAL**

LICENSED PROFESSIONAL ENGINEER  
TIMOTHY B. KRATZ  
062.068956

10/27/2020

**CUSTOMER**

**MARIANO'S**

**PROJECT DESCRIPTION**

531-00541  
RETAIL FUEL CENTER

**PROJECT LOCATION**

10 E. GOLF ROAD  
DES PLAINES, IL 60016  
(COOK COUNTY)

**SHEET TITLE**

UTILITY PLAN

**SHEET MANAGEMENT**

PROJECT NO.: 531-00541  
DATE: -  
CAD FILE: C1.40.dwg  
PROJECT MANAGER: T. KRATZ

**SHEET NUMBER**

C1.40

**PROPOSED LINETYPES:**

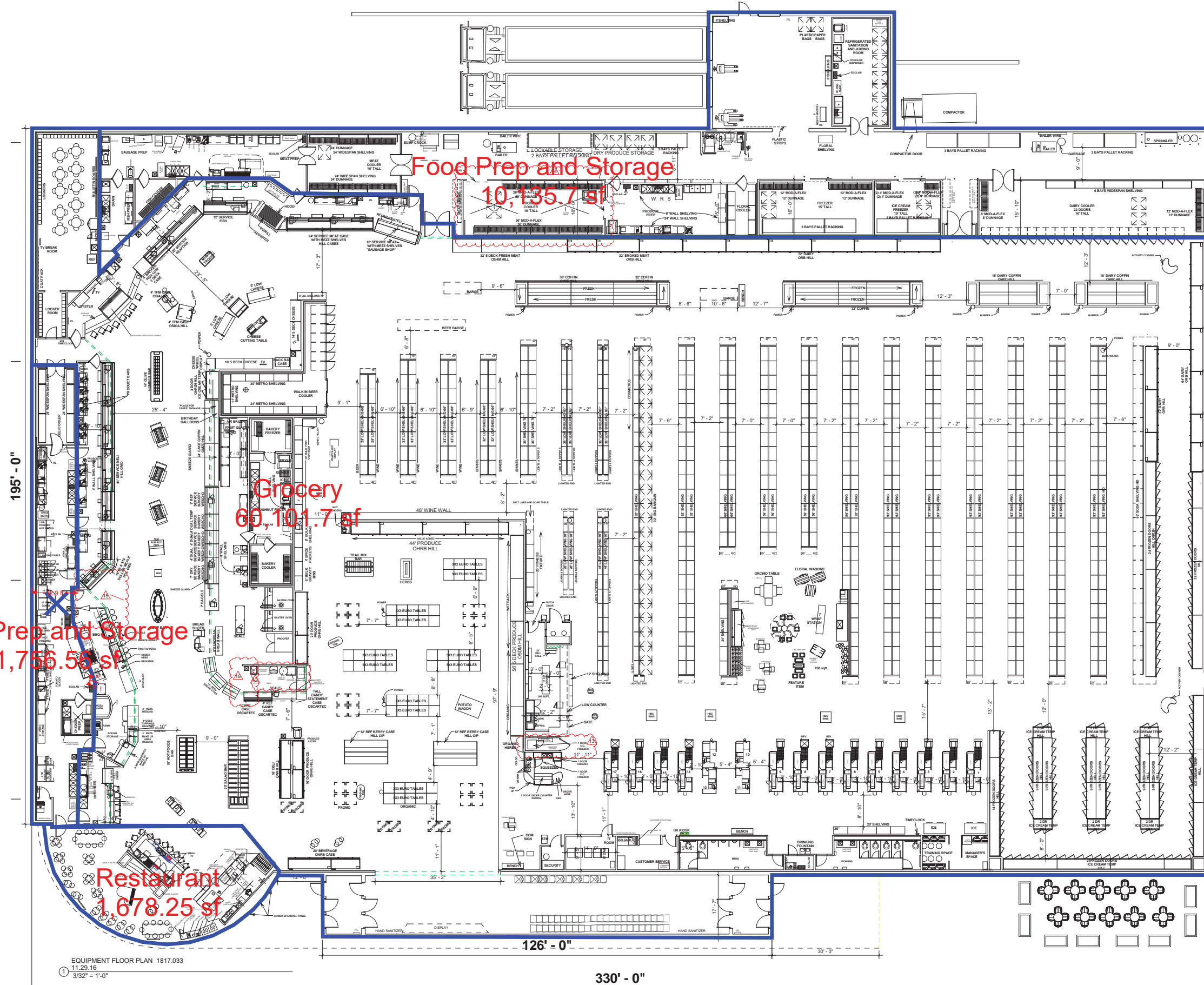
STORM SEWER	— STM —
ROOF DRAIN	— - - - -
SANITARY SEWER	— SAN —
WATER MAIN/SERVICE	— W —
ELECTRIC SERVICE	— UGE —
TELEPHONE SERVICE	— UGT —
OVERHEAD UTILITIES	— OH —

**PROPOSED STRUCTURES:**

	STORM MANHOLE		TRANSFORMER
	CATCH BASIN		LIGHT POLE
	YARD BASIN		WATER VALVE
	FLARED END SECTION		FIRE HYDRANT
	SANITARY MANHOLE		FUEL VENT
	SANITARY CLEANOUT		AIR TOWER

**EXISTING LEGEND:**

	BOLLARD (BOL)		SANITARY SEWER
	GAS VALVE (GV)		STORM SEWER
	HANDHOLE (HH)		WATER MAIN
	TRAFFIC SIGNAL BOX (TSB)		ELECTRIC LINE
	TRAFFIC SIGNAL (TS)		GAS LINE
	LIGHT (LHT)		TELEPHONE LINE
	GROUND LIGHT (GLHT)		OVERHEAD WIRE
	POWER POLE (PP)		FENCE MANHOLE (STMH/SAMH)
	GUY WIRE (GW)		CATCH BASIN (CB)
	CABLE PEDESTAL (PEDC)		INLET (INL)
	ELECTRIC PEDESTAL (PEDE)		FLARED END SECTION (FES)
	TELEPHONE PEDESTAL (PEDT)		VALVE VAULT (VV)
	TRANSFORMER		VALVE BOX (VB)
	SIGN		BUFFALO BOX (BB)
	MAILBOX (MB)		FIRE HYDRANT (FH)
	CHORD BEARING		AUXILIARY VALVE (AV)
	CHAIN LINK FENCE		CLEANOUT (CO)
	ELECTRIC METER		HOT MIX ASPHALT
	GAS METER		CONCRETE (CONC)
	ARC LENGTH		BUILDING
	RADIUS		DEPRESSED CURB
	RECORD		
	SET IRON ROD		
	SET CUT CROSS		
	BOUNDARY LINE		
	EASEMENT LINE		
	EXISTING RIGHT-OF-WAY LINE		
	EXISTING LOT LINE		
	SECTION LINE		



Food Prep and Storage  
10,135.7 sf

Grocery  
60,101.7 sf

Food Prep and Storage  
1,756.56 sf

Restaurant  
1,678.25 sf

EQUIPMENT FLOOR PLAN 1817.033  
11.29.16  
1 3/32" = 1'-0"

330' - 0"

LEGEND

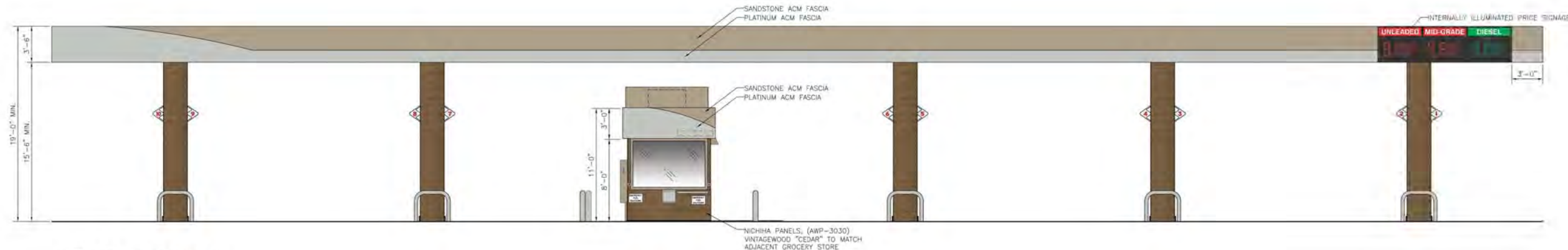
NO.	REVISION / ISSUE	DATE
16	REMOVE CANDY WALL 1817.033 11.29.16	11.29.16
15	REVISE SOFFIT AND TODD'S COUNTER 1817.033 11.29.16	11.29.16
14	REDUCE PRODUCE COOLER HEIGHT AND PALLET RACKING PER PAUL M. 1817.032 10.05.16	10.05.16
13	ADD ONE DOOR FREEZER IN SQUEEZED CLOSET PER PAUL M. 1817.032 10.05.16	10.05.16
12	REVISE POPCORN LINE UP AND ADD U.C. REFRIGERATOR PER PAUL M. 1817.032 10.05.16	10.05.16

ROUNDY'S SUPERMARKET INC.  
875 E. WISCONSIN AVENUE  
MILWAUKEE, WI 53202  
414.231.5000

MARIANO'S MFM-541  
DesPlaines, IL

PROPOSED FLOOR PLAN

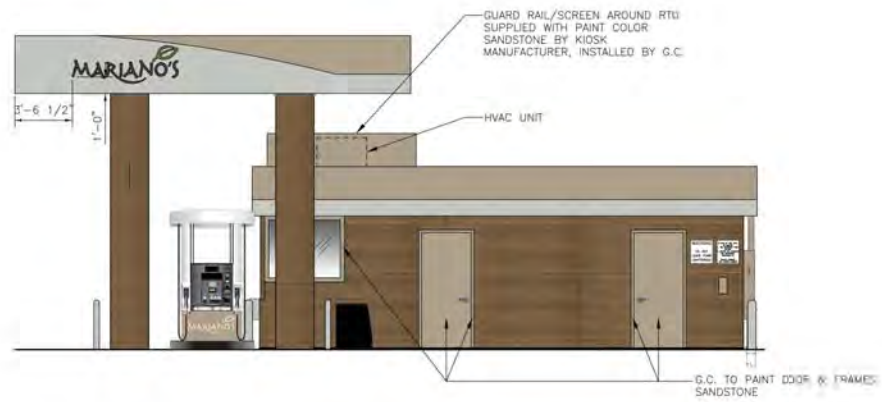
1817-033	
04/22/2015	
3/32" = 1'-0"	



1 FRONT ELEVATION  
SCALE: 3/16"=1'-0"



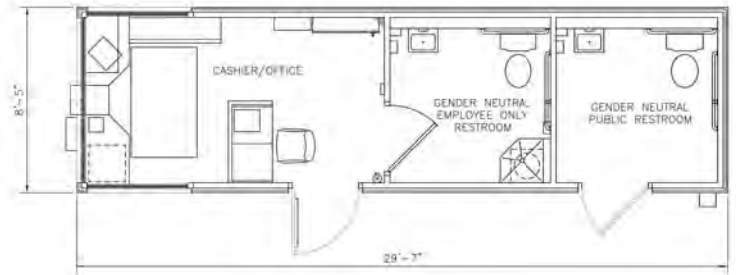
2 LEFT ELEVATION  
SCALE: 3/16"=1'-0"



3 RIGHT ELEVATION  
SCALE: 3/16"=1'-0"



4 REAR ELEVATION  
SCALE: 3/16"=1'-0"



5 FLOOR PLAN  
SCALE: 1/4"=1'-0"

REVISIONS	
No.	DESCRIPTION

Project #: RD-541  
Date: JUNE, 2020  
Scale: FULL  
Disk File: \\roR00541\_A2.0\_ELEV  
Model: 5x1 (GD) 2RR

Address: 10 East Golf Rd,  
Des Plaines, IL 60018

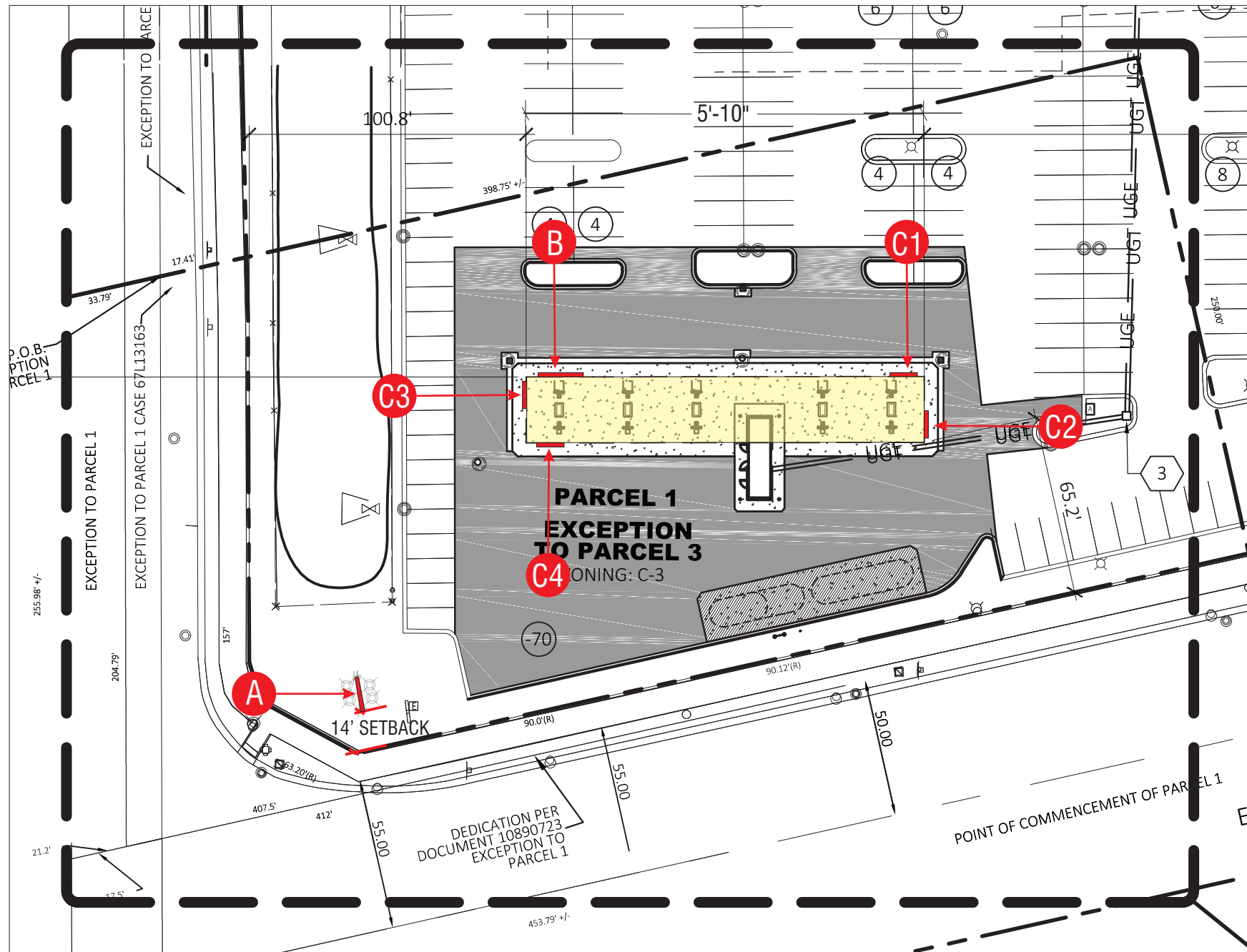
**FUEL CENTER CANOPY ELEVATIONS & FLOOR PLAN**

Sheet: **A2.0**

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H:\Kroger\11\_Planes - Korndorff\Planning Elements\020204\_L2A.0\_ELEV.dwg - Andar Hernandez - 11/10/2020 2:48 PM



SCALE 1" = 50'

**A** DOUBLE SIDED MONUMENT SIGN WITH PRICERS  
SCALE: 1"=50'

**B** 3 PRICER UNIT MOUNTED ON CANOPY  
SCALE: 1"=50'

**C1 C2 C3 C4** MARIANO'S INTERNAL LED CHANNEL LETTERS  
SCALE: 1"=50'



GENERAL SIGN CONTRACTORS

232 INTERSTATE RD. P.O. BOX 1068 ADDISON, IL 60101 630-543-9490 FAX 630-543-9493

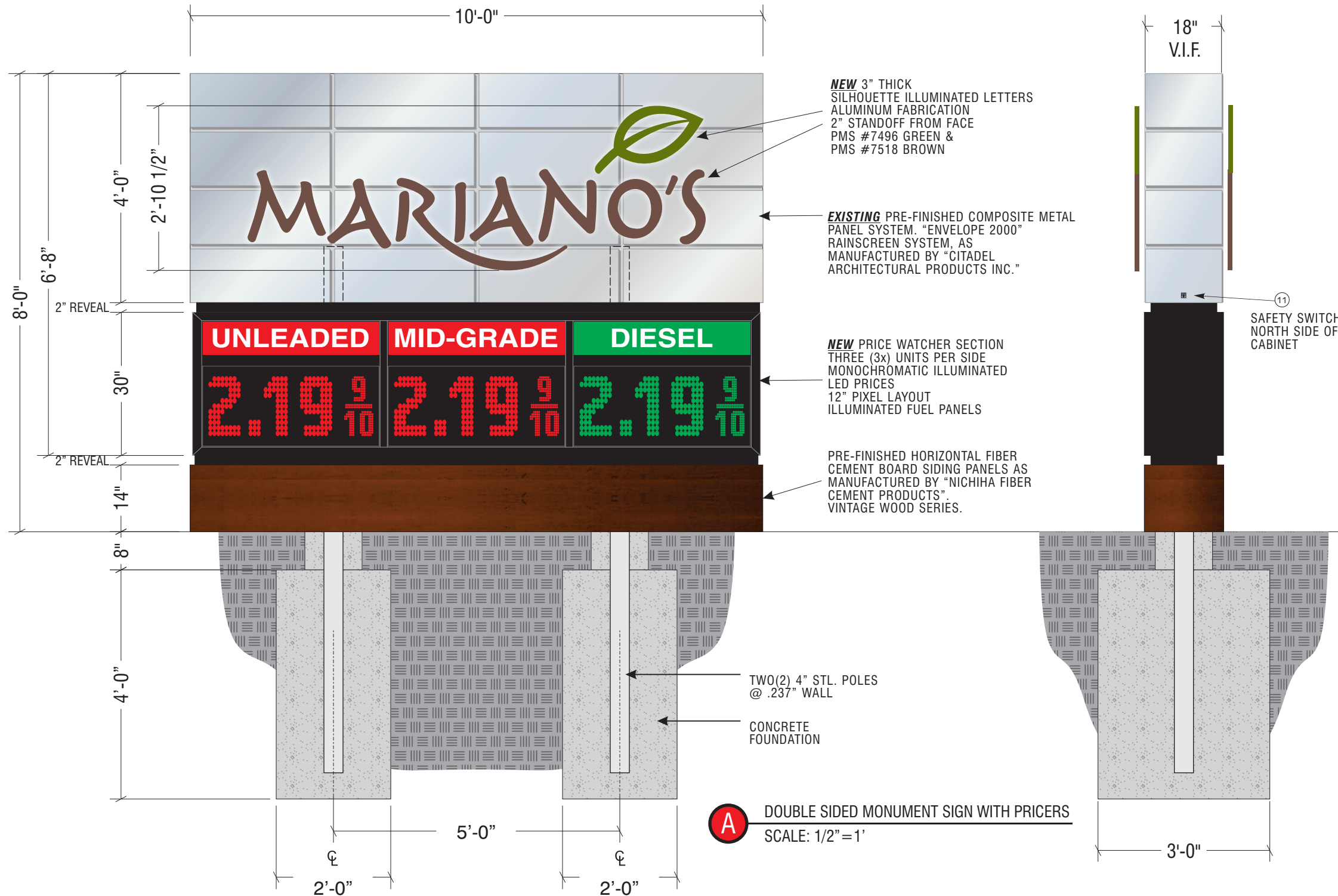
DATE	REVISION
6.11.20	ADDED EXISTING SIGN & SQ. FT. INFO
9.1.20	ADDED SETBACK INFO AND LIGHTING INFO JD

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

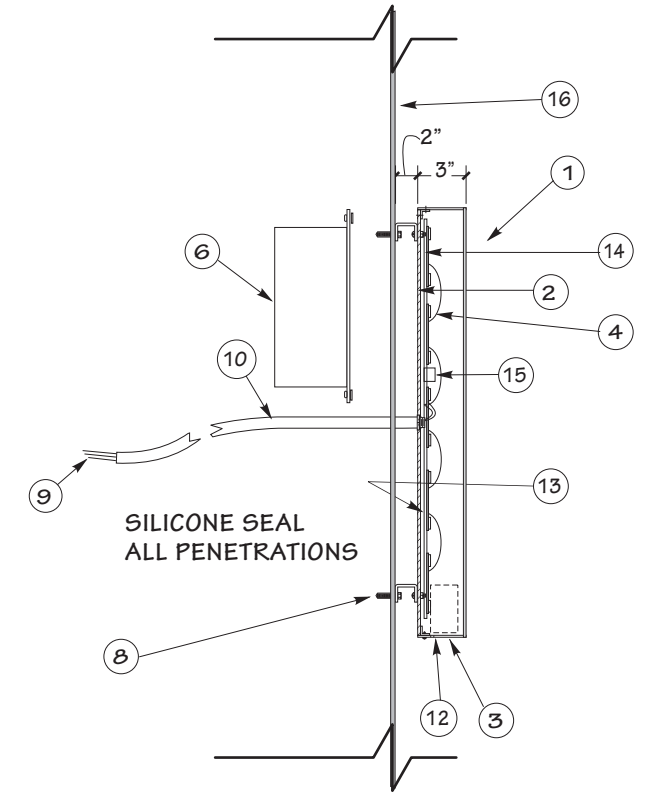
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ADDRESS	10 E. GOLF RD - ( GOLF & MOUNT PROSPECT RD. )				
CITY	DES PLAINES	STATE	IL	DESIGNER	DT
SALESPERSON	TD				
DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020
SHEET NO.	1				

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- LEGEND**
- ① ALUM. FACE
  - ② .187 CLR. LEXAN BACKS
  - ③ .063 ALUM. RETURNS
  - ④ TERMINAL BLOCK
  - ⑥ REMOTE TRANSFORMER, CLASS II 12V.
  - ⑧ MOUNTING ANCHORS
  - ⑨ 120V PRIMARY, No.12 THHN STRANDED WIRE
  - ⑩ FLEXIBLE, WEATHERPROOF, CONDUIT PER CHGO. CODE
  - ⑪ SAFETY SWITCH, PER LOCAL CODE
  - ⑫ 1/4" DRAIN HOLE
  - ⑬ L.E.D. STENCIL
  - ⑭ L.E.D. CIRCUIT BOARD
  - ⑮ BRIDGE RECTIFIER
  - ⑯ SIGN FACE



**Section Halo-lit Channel Letters**



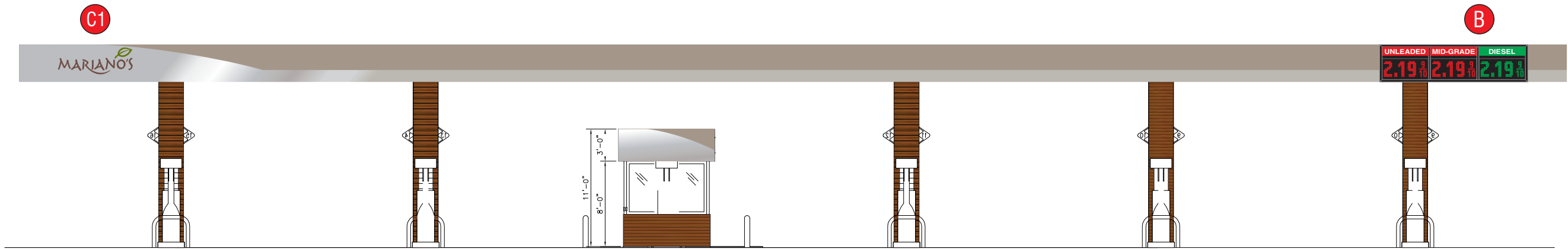
DATE	REVISION
6.11.20	ADDED EXISTING SIGN & SQ. FT. INFO
9.1.20	ADDED SETBACK INFO AND LIGHTING INFO JD

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

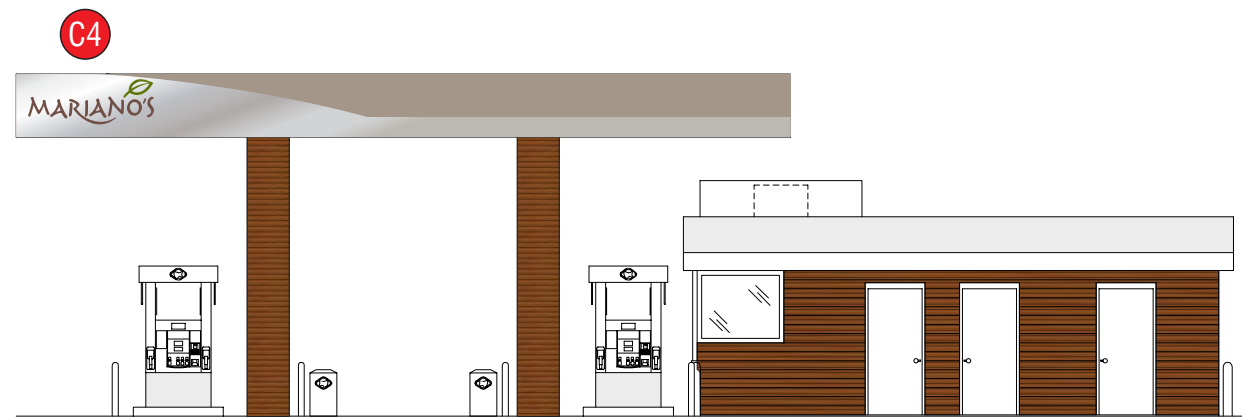
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CITY	DES PLAINES	STATE	IL	DESIGNER	DT	SALESPERSON	TD
DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020	SHEET NO.	2

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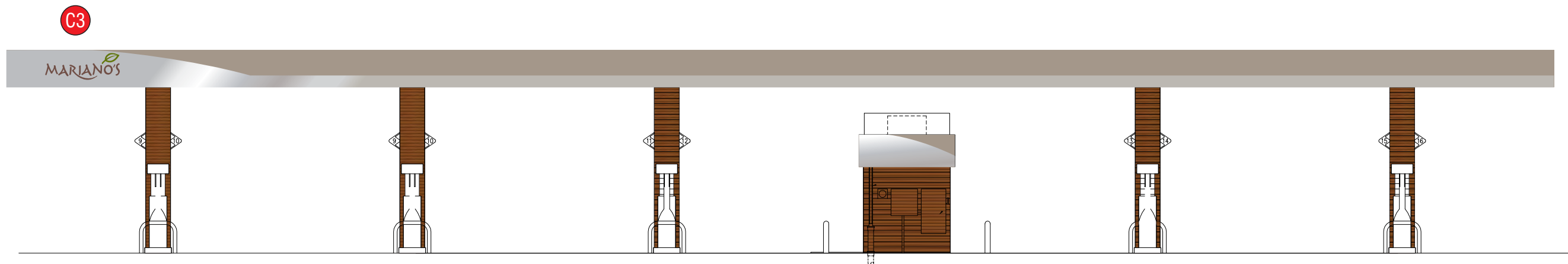
1 FRONT ELEVATION (NORTH)  
SCALE: 3/32" = 1'



2 LEFT ELEVATION (WEST)  
SCALE: 3/32" = 1'



3 RIGHT ELEVATION (EAST)  
SCALE: 3/32" = 1'



4 REAR ELEVATION (SOUTH)  
SCALE: 3/32" = 1'



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ADDISON, IL 60101  
630-543-9490  
FAX 630-543-9493

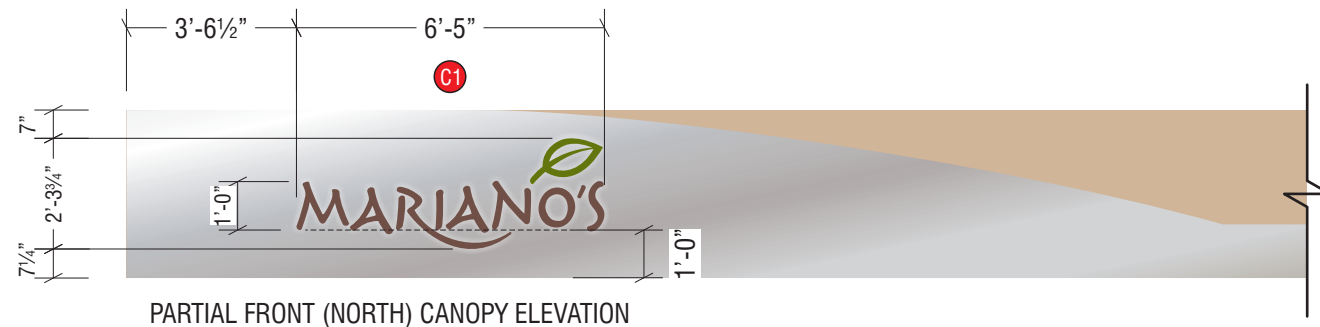
DATE	REVISION
6.11.20	ADDED EXISTING SIGN & SQ. FT. INFO
9.1.20	ADDED SETBACK INFO AND LIGHTING INFO JD

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SALESPERSON	TD				
DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020
SHEET NO.	3				

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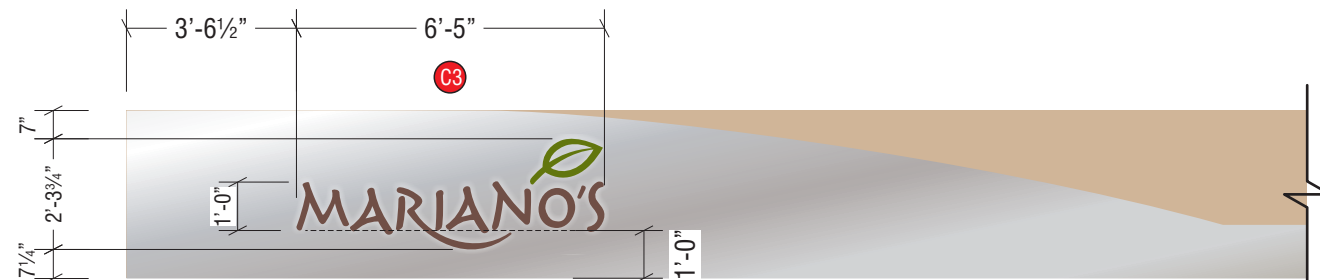
PARTIAL FRONT (NORTH) CANOPY ELEVATION

SCALE: 1/4" = 1'



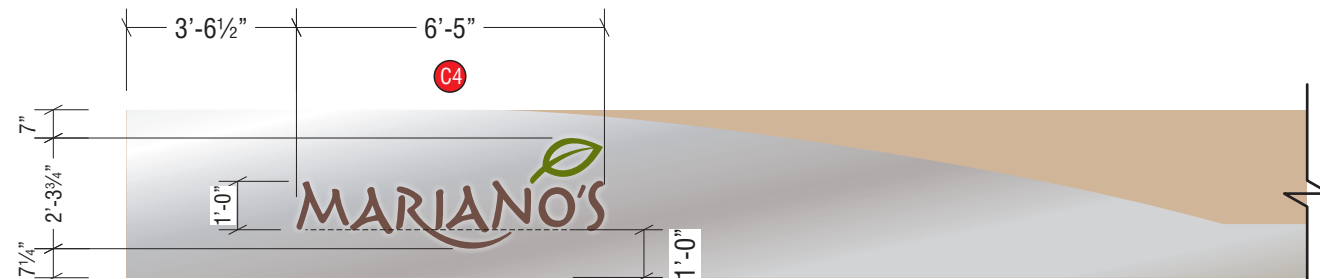
PARTIAL RIGHT (EAST) CANOPY ELEVATION

SCALE: 1/4" = 1'



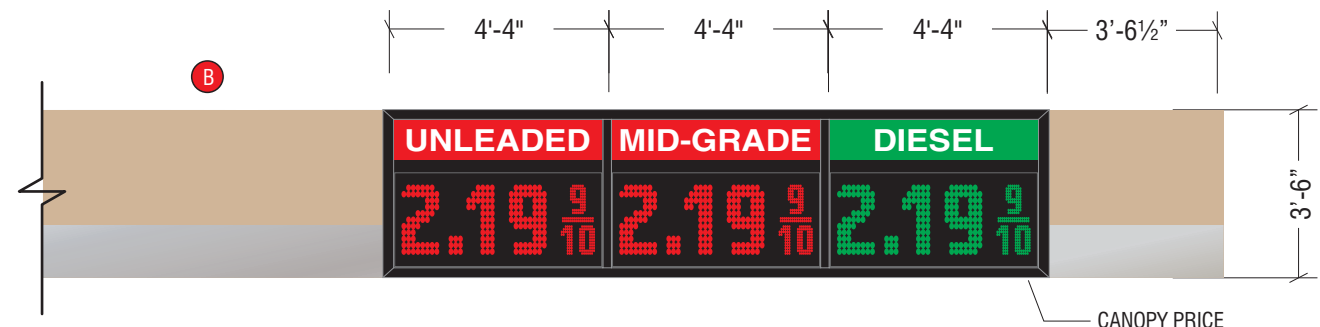
PARTIAL LEFT (WEST) CANOPY ELEVATION

SCALE: 1/4" = 1'



PARTIAL FRONT (SOUTH) CANOPY ELEVATION

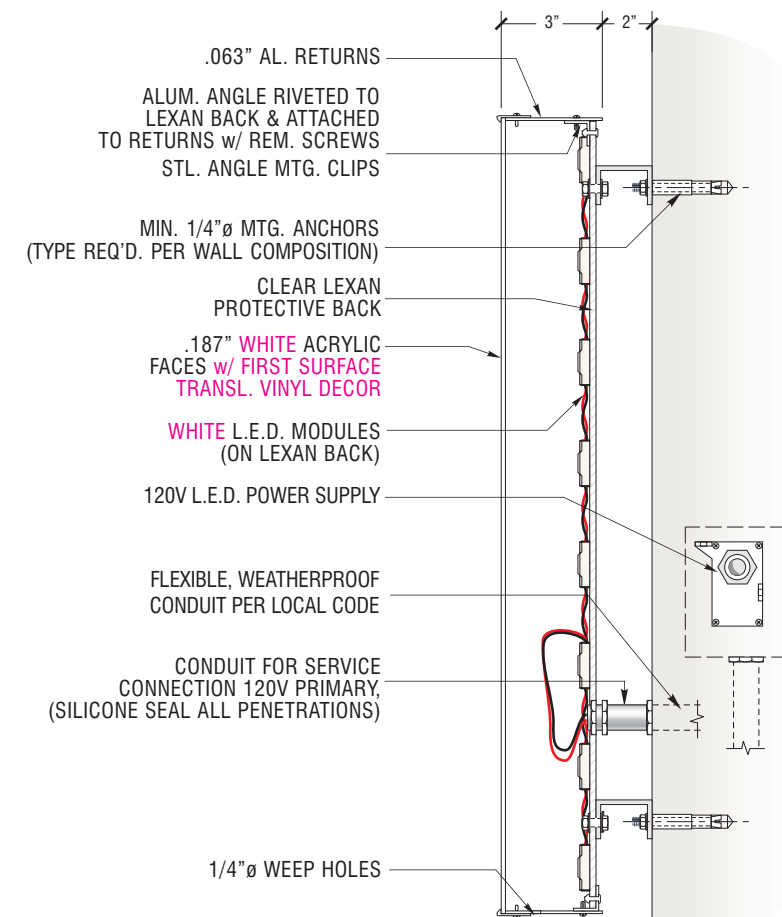
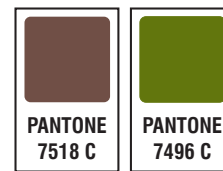
SCALE: 1/4" = 1'



PARTIAL FRONT (NORTH) CANOPY ELEVATION

SCALE: 1/4" = 1'

CANOPY PRICE CHANGER TO BE CONTROLLED BY PHOTO CELL ILLUMINATED



**FACE-LIT / BACK-LIT CHANNEL LETTER**

NTS



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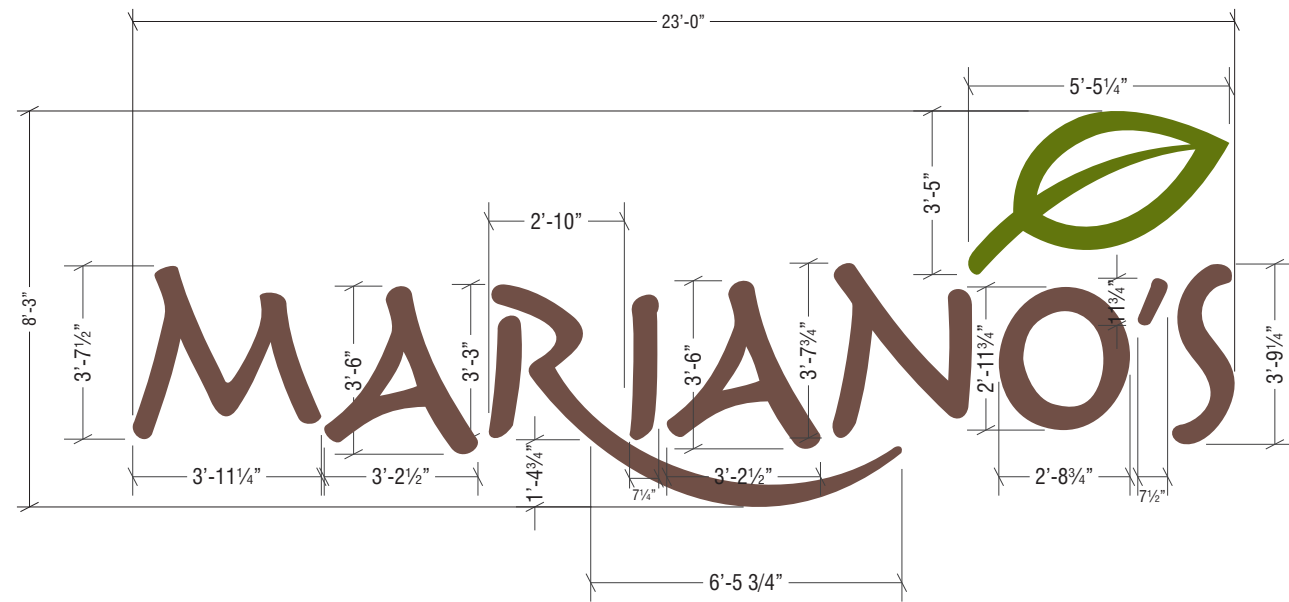
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DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020
SHEET NO.	4				

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CHARACTER / GRAPHIC	DIMENSIONS	SQ. FT.
"M"	3'-7½" x 3'-11¼"	14.27
"A"	3'-6" x 3'-2½"	11.23
"R"	3'-3" x 2'-10"	9.21
SWOOSH OF "R"	1'-4¾" x 6'-5¾"	9.04
"I"	3'-½" x 0'-7¼"	1.84
"A"	3'-6" x 3'-2½"	11.23
"N"	3'-7¾" x 2'-11"	10.63
"O"	2'-11¼" x 2'-8¾"	8.13
" ' "	0'-11¼" x 0'-7½"	0.61
"S"	3'-9¼" x 1'-3¾"	4.95
LEAF LOGO	3'-5" x 5'-5½"	18.65
<b>TOTAL SQ. FT.</b>		<b>99.79</b>



**D** Existing Non-Illum'd. Letters  
THREE(3) 1/4" = 1'-0"

**E** Existing D/F Monument Sign  
One(1) 1/4" = 1'-0"



	EXISTING SIGNS	SQ. FT.
<b>D</b>	"MARIANO'S" LETTERS x3	99.79 x3
<b>E</b>	MARIANO'S LG. MONUMENT	40
<b>F</b>	MARIANO'S / PARK DIST. MONUMENT	30.75
<b>G</b>	MARIANO'S SM. MONUMENT	15
	<b>TOTAL SQ. FT.</b>	<b>384.12</b>

	PROPOSED SIGNS	SQ. FT.
<b>A</b>	NEW MARIANO'S LG. MONUMENT	66.6
<b>B</b>	GAS CANOPY LED PRICE CHANGER	43.7
<b>C</b>	GAS CANOPY LETTERS x4	14.8 x4
<b>D</b>	"MARIANO'S" LETTERS x3	99.79 x3
<b>F</b>	MARIANO'S / PARK SM. MONUMENT	30.75
<b>G</b>	MARIANO'S SM. MONUMENT	15
	<b>TOTAL SQ. FT.</b>	<b>514.62</b>

**F** Existing D/F Monument Sign  
One(1) 1/4" = 1'-0"

**G** Existing D/F Monument Sign  
One(1) 1/4" = 1'-0"



DATE	REVISION
6.11.20	ADDED EXISTING SIGN & SQ. FT. INFO
9.1.20	ADDED SETBACK INFO AND LIGHTING INFO JD

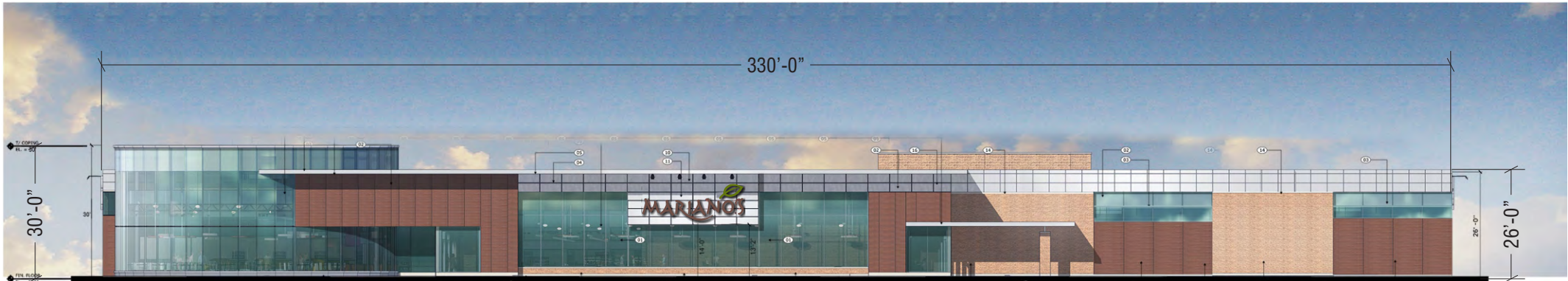
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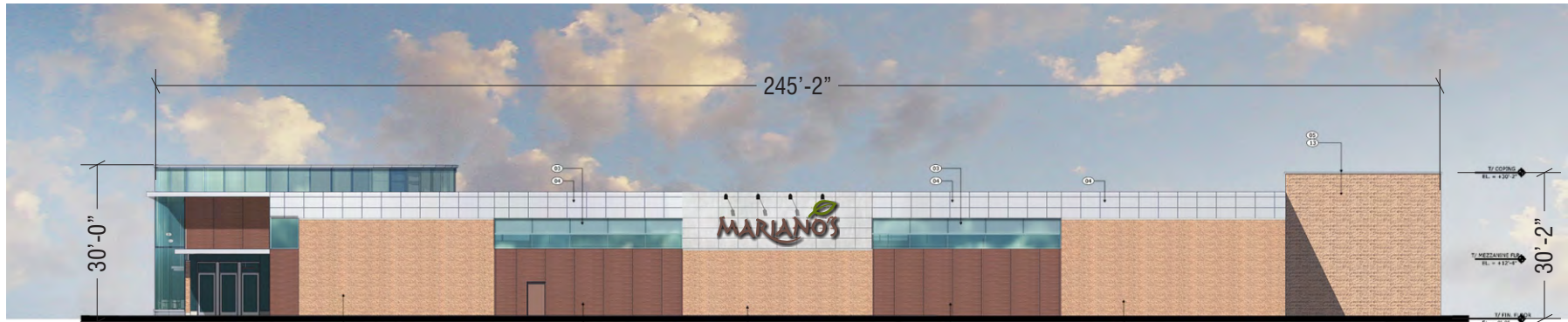
CLIENT	MARIANO'S - FUEL CENTER				
ADDRESS	10 E. GOLF RD - ( GOLF & MOUNT PROSPECT RD. )				
CITY	DES PLAINES	STATE	IL	DESIGNER	DT
DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020
				SALESPERSON	TD
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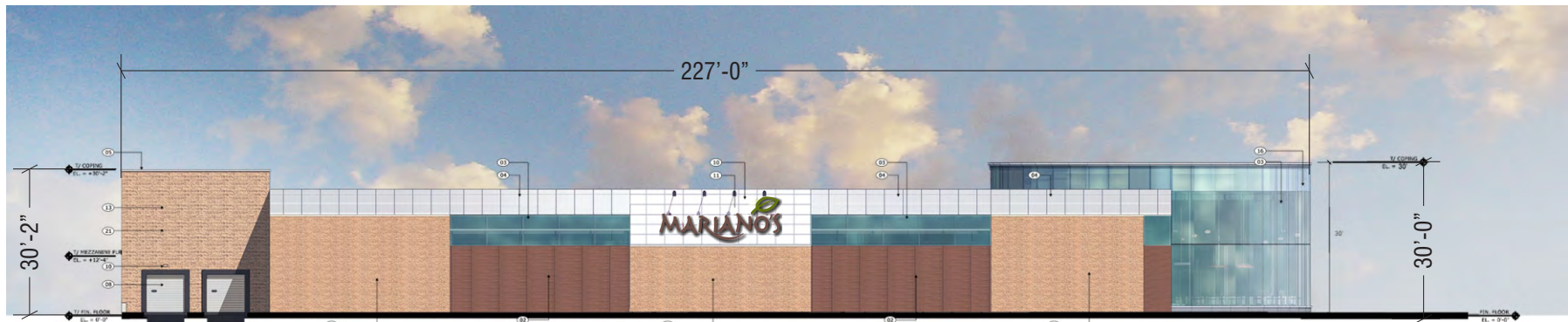
EXISTING BUILDING SIGNS



SOUTH ELEVATION (FRONT)  
SCALE: 1/32" = 1'0"



EAST ELEVATION (RIGHT)  
SCALE: 1/32" = 1'0"



WEST ELEVATION (LEFT)  
SCALE: 1/32" = 1'0"

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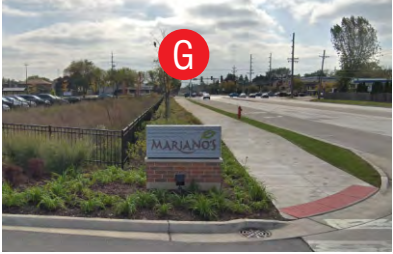
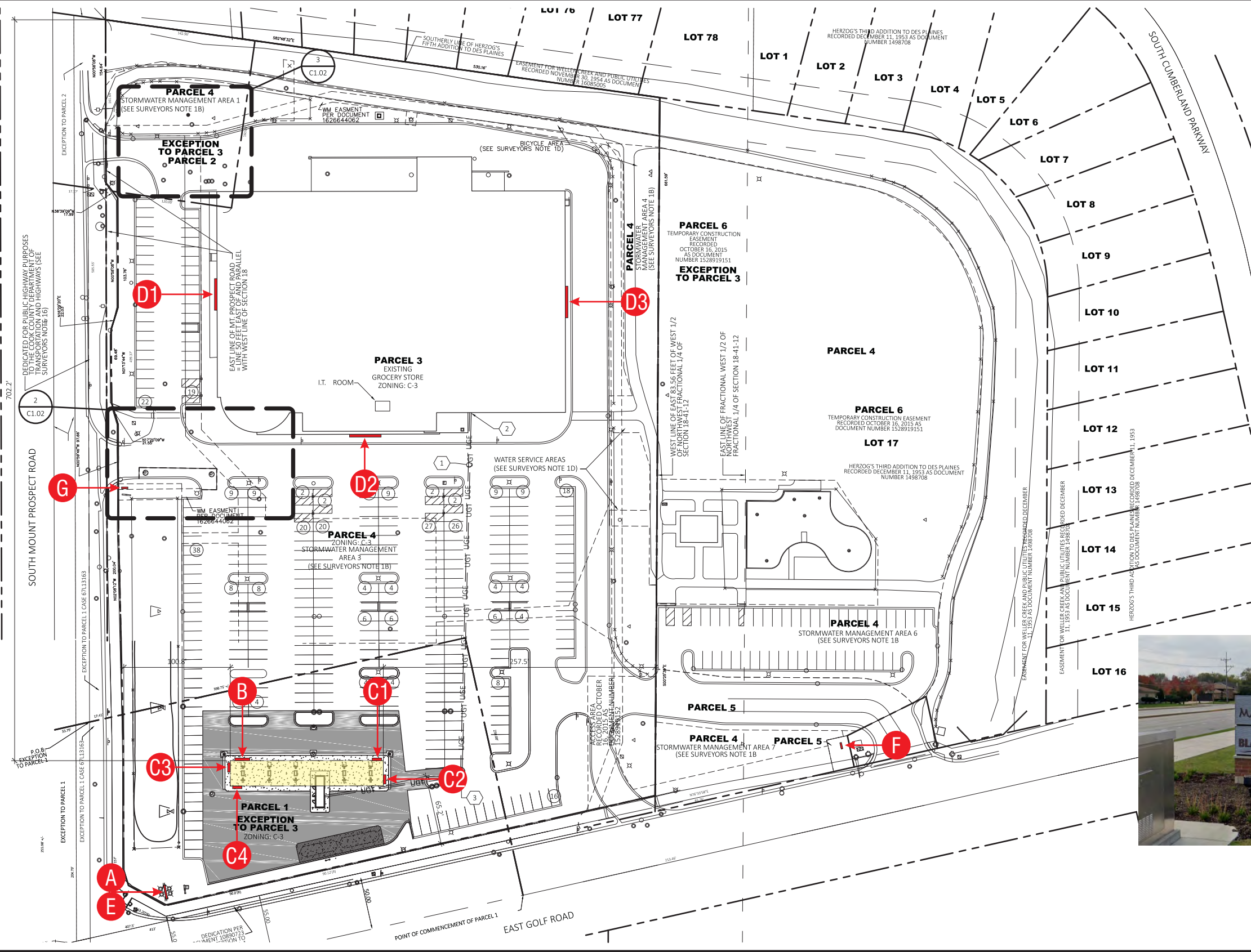
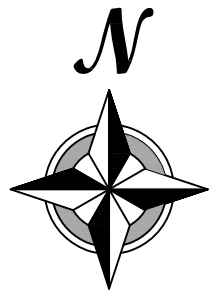
DATE	REVISION
6.11.20	ADDED EXISTING SIGN & SQ. FT. INFO
9.1.20	ADDED SETBACK INFO AND LIGHTING INFO JD

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DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020	SHEET NO.	6

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**EXISTING "MARIANO'S" LARGE MONUMENT TO BE REPLACED BY SIGN 'A'**



**DOYLE**  
GENERAL SIGN CONTRACTORS  
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DATE	REVISION
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DRWG. NO.	17900	SCALE:	NOTED	DATE:	05.20.2020
				SALESPERSON	TD
				SHEET NO.	7

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**REVISIONS**

NO.	DATE	DESCRIPTION
3	10.20.2020	MWRD AND PUD

**CONSULTANT**

**SEAL**

LICENSED PROFESSIONAL ENGINEER  
TIMOTHY B. KRATZ  
062 068956

10/27/2020

**CUSTOMER**

**MARIANO'S**

**PROJECT DESCRIPTION**

**531-00541**  
**RETAIL FUEL CENTER**

**PROJECT LOCATION**

**10 E. GOLF ROAD**  
**DES PLAINES, IL 60016**

(COOK COUNTY)

**SHEET TITLE**

**PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAT**

**SHEET MANAGEMENT**

PROJECT NO.:	531-00541
DATE:	10/27/2020
CAD FILE:	C1.02.dwg
PROJECT MANAGER:	T. KRATZ

**SHEET NUMBER**

**1 OF 3**

PARCEL 1:  
THAT PART OF FRACTIONAL WEST 1/2 OF THE NORTHWEST FRACTIONAL 1/4 OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
COMMENCING AT A POINT IN THE CENTER LINE OF GOLF ROAD, AS NOW LAID OUT, 213.46 FEET SOUTHWESTERLY AS MEASURED ON SAID CENTER LINE OF THE INTERSECTION OF SAID CENTER LINE WITH THE EAST LINE OF SAID WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 18, THENCE NORTHWESTERLY AT RIGHT ANGLES TO SAID CENTER LINE OF GOLF ROAD 250 FEET; THENCE SOUTHWESTERLY PARALLEL TO THE CENTER LINE OF GOLF ROAD, 398.75 FEET MORE OR LESS TO AN INTERSECTION WITH THE WEST LINE OF SAID SECTION 18; THENCE SOUTH ON THE WEST LINE OF SAID SECTION 18, 255.98 FEET MORE OR LESS TO AN INTERSECTION WITH THE CENTER LINE OF GOLF ROAD, THENCE NORTH EASTERLY ON THE CENTER LINE OF GOLF ROAD, 453.79 FEET MORE OR LESS TO THE PLACE OF BEGINNING IN COOK COUNTY, ILLINOIS (EXCEPT THAT PART FALLING IN GOLF ROAD).

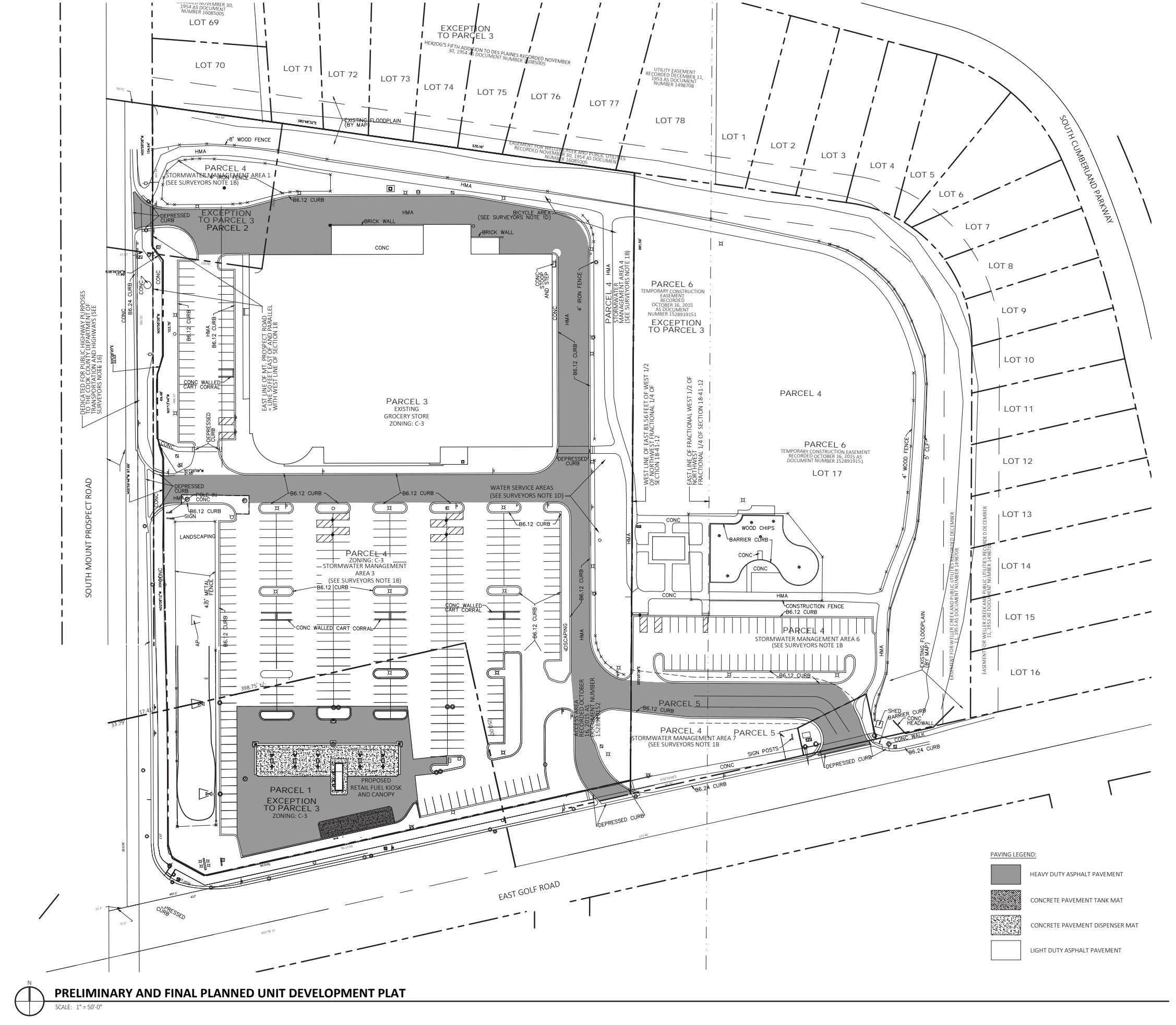
PARCEL 2:  
THAT PART OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF FRACTIONAL SECTION 18 AFORSAID; THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION 18, 250 FEET; THENCE EASTERLY ON A LINE FORMING AN ANGLE OF 81 DEGREES 50 MINUTES FROM SOUTH TO EAST WITH SAID WEST LINE OF SECTION 18, 50.53 FEET FOR A POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED; SAID POINT BEING THE SOUTHWESTERLY CORNER OF LOT 70 IN HERZOG'S FIFTH ADDITION TO DES PLAINES; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID HERZOG'S FIFTH ADDITION TO DES PLAINES 142.96 FEET; THENCE SOUTHERLY ON A LINE DRAWN AT RIGHT ANGLES TO THE SOUTHERLY LINE OF HERZOG'S FIFTH ADDITION TO DES PLAINES 160 FEET; THENCE WESTERLY ON A LINE PARALLEL WITH THE SOUTHERLY LINE OF HERZOG'S FIFTH ADDITION TO DES PLAINES 120.00 FEET TO AN INTERSECTION WITH THE EAST LINE OF MOUNT PROSPECT ROAD, BEING A LINE 50 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID SECTION 18; THENCE NORTH ALONG THE EAST LINE OF MOUNT PROSPECT ROAD, 161.64 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PARCEL 3:  
THAT PART OF FRACTIONAL WEST 1/2 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE CENTER LINE OF SEEGER'S ROAD NOW KNOWN AS GOLF ROAD OF COOK COUNTY, ILLINOIS;  
EXCEPT  
(1) THE EAST 83.56 FEET THEREOF  
(2) THAT PART THEREOF FALLING WITHIN THE BOUNDARIES OF HERZOG'S FIFTH ADDITION TO DES PLAINES A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 7, AND PART OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN,  
(3) PARCELS 1 AND 2 AS HEREINABOVE DESCRIBED IN COOK COUNTY, ILLINOIS  
(4) THE EAST 17 FEET OF THE WEST 50 FEET TAKEN PURSUANT TO ORDERS ENTERED IN CASE 84LS2056,  
EXCEPTING FROM PARCELS 1 AND 3 THAT PART OF THE LAND TAKEN FOR ROAD PURPOSES BY CONDEMNATION PROCEEDINGS HAD IN CASE NO. 67L13163, DESCRIBED AS FOLLOWS:  
THAT PART OF THE FRACTIONAL WEST 1/2 OF THE NORTHWEST FRACTIONAL QUARTER OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS BOUNDED AND DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF GOLF (EVANSTON-ELGIN) ROAD, WITH THE WEST LINE OF SECTION 18; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 18 A DISTANCE OF 255.98 FEET TO A POINT; THENCE NORTHEASTERLY ALONG A LINE PARALLEL WITH THE CENTERLINE OF GOLF (EVANSTON-ELGIN) ROAD, A DISTANCE OF 33.79 FEET FOR A POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG AN EXTENSION OF THE LAST DESCRIBED LINE A DISTANCE OF 17.41 FEET TO A POINT ON A LINE PARALLEL WITH AND DISTANT 50 FEET EAST OF THE WEST LINE OF SAID SECTION 18; THENCE SOUTH ALONG SAID LINE PARALLEL WITH AND DISTANT 50 FEET EAST OF WEST LINE OF SAID SECTION 18 A DISTANCE OF 157 FEET TO A POINT; THENCE SOUTHEASTERLY ALONG A STRAIGHT LINE A DISTANCE OF 29.79 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.  
ALSO THAT PART OF THE FRACTIONAL WEST 1/2 OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, BOUNDED AND DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF GOLF (EVANSTON-ELGIN) ROAD, WITH THE WEST LINE OF SECTION 18; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 18 A DISTANCE OF 255.98 FEET TO A POINT; THENCE NORTHEASTERLY ALONG A LINE PARALLEL WITH THE CENTERLINE OF GOLF (EVANSTON-ELGIN) ROAD, A DISTANCE OF 33.79 FEET FOR A POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG AN EXTENSION OF THE LAST DESCRIBED LINE, A DISTANCE OF 17.41 FEET TO A POINT ON A LINE PARALLEL WITH AND DISTANT 50 FEET EAST OF THE WEST LINE OF SAID SECTION 18; THENCE NORTH ALONG SAID LINE PARALLEL WITH AND DISTANT 50 FEET EAST OF THE WEST LINE OF SAID SECTION 18, THENCE NORTH ALONG SAID LINE PARALLEL WITH AND DISTANT 50 FEET EAST OF SAID EAST LINE OF MOUNT PROSPECT ROAD, THENCE NORTH ALONG SAID EAST LINE OF MOUNT PROSPECT ROAD, A DISTANCE OF 29.79 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.  
ALSO EXCEPTING THEREFROM THAT PART OF FRACTIONAL WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 LYING NORTH OF THE CENTERLINE OF SEEGER'S ROAD WHICH IS IN THE FOLLOWING DESCRIBED TRACT:  
COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 18; THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION 18 FOR A DISTANCE OF 11.11 FEET; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 02 DEGREES 25 MINUTES TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 21.2 FEET TO THE POINT OF BEGINNING, WHICH IS ON THE EASTERLY RIGHT OF WAY LINE OF MOUNT PROSPECT ROAD, THENCE NORTHEASTERLY ALONG A CONTINUATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 42.5 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SEEGER'S ROAD; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 177 DEGREES 18 MINUTES TO THE RIGHT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 412 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE WHICH FORMS AN ANGLE OF 105 DEGREES 7 MINUTES TO THE RIGHT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE FOR A DISTANCE OF 17.5 FEET MORE OR LESS THAN POINT OF BEGINNING, AS DEDICATED FOR ROAD PURPOSES BY INSTRUMENT DATED NOVEMBER 26, 1930 AND RECORDED APRIL 28, 1931 AS DOCUMENT 1089073.  
ALSO EXCEPTING THAT PART TO BE DEDICATED FOR PUBLIC HIGHWAY PURPOSES TO THE COOK COUNTY DEPARTMENT OF TRANSPORTATION AND HIGHWAYS DESCRIBED AS FOLLOWS:  
THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEARINGS AND DISTANCES BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83 (2011 ADJUSTMENT), DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT 17 IN BLOCK 9, IN HERZOG'S THIRD ADDITION TO DES PLAINES, BEING A SUBDIVISION OF PART OF LOTS 4 AND 5 OF SEEGER'S SUBDIVISION OF PART OF THE SOUTH HALF OF FRACTIONAL SECTION 7, AND PART OF THE NORTH HALF OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON DECEMBER 11, 1953, AS DOCUMENT NUMBER 1489708; THENCE SOUTH 76 DEGREES 33 MINUTES 58 SECONDS WEST, A DISTANCE OF 89.14 FEET ALONG THE NORTH LINE OF ILLINOIS ROUTE 58 (GOLF ROAD); THENCE SOUTH 79 DEGREES 44 MINUTES 45 SECONDS WEST, A DISTANCE OF 90.14 FEET ALONG SAID NORTH LINE; THENCE SOUTH 76 DEGREES 33 MINUTES 58 SECONDS WEST, A DISTANCE OF 90.10 FEET ALONG SAID NORTH LINE; THENCE NORTH 62 DEGREES 09 MINUTES 09 SECONDS WEST, A DISTANCE OF 62.90 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF MOUNT PROSPECT ROAD; THENCE NORTH 00 DEGREES 58 MINUTES 08 SECONDS WEST, A DISTANCE OF 9.13 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 58 MINUTES 08 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 655.17 FEET; THENCE SOUTH 38 DEGREES 39 MINUTES 09 SECONDS EAST, A DISTANCE OF 17.41 FEET; THENCE SOUTH 00 DEGREES 08 SECONDS EAST, A DISTANCE OF 103.76 FEET; THENCE SOUTH 16 DEGREES 29 MINUTES 20 SECONDS WEST, A DISTANCE OF 22.09 FEET; THENCE SOUTH 01 DEGREES 13 MINUTES 44 SECONDS EAST, A DISTANCE OF 69.48 FEET; THENCE SOUTH 17 DEGREES 30 MINUTES 09 SECONDS EAST, A DISTANCE OF 21.55 FEET; THENCE SOUTH 00 DEGREES 59 MINUTES 46 SECONDS EAST, A DISTANCE OF 97.66 FEET; THENCE SOUTH 02 DEGREES 08 MINUTES 12 SECONDS EAST, A DISTANCE OF 200.04 FEET; THENCE SOUTH 00 DEGREES 59 MINUTES 29 SECONDS EAST, A DISTANCE OF 124.71 FEET; THENCE SOUTH 18 DEGREES 03 MINUTES 46 SECONDS EAST, A DISTANCE OF 14.92 FEET; THENCE NORTH 62 DEGREES 09 MINUTES 09 SECONDS WEST, A DISTANCE OF 22.06 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.  
ALSO EXCEPTING THAT PART TO BE DEDICATED TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION DESCRIBED AS FOLLOWS:  
THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEARINGS AND DISTANCES BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83 (2011 ADJUSTMENT), DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT 17 IN BLOCK 9, IN HERZOG'S THIRD ADDITION TO DES PLAINES, BEING A SUBDIVISION OF PART OF LOTS 4 AND 5 OF SEEGER'S SUBDIVISION OF PART OF THE SOUTH HALF OF FRACTIONAL SECTION 7, AND PART OF THE NORTH HALF OF FRACTIONAL SECTION 18, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON DECEMBER 11, 1953, AS DOCUMENT NUMBER 1489708; THENCE SOUTH 76 DEGREES 33 MINUTES 58 SECONDS WEST, A DISTANCE OF 89.76 FEET ALONG THE NORTH LINE OF ILLINOIS ROUTE 58 (GOLF ROAD) AS MONUMENTED AND OCCUPIED TO A POINT ON THE WEST LINE OF THE EAST 83.56 FEET OF THE WEST HALF OF SAID NORTHWEST QUARTER OF FRACTIONAL SECTION 18, SAID POINT BEING ALSO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 76 DEGREES 33 MINUTES 58 SECONDS WEST, A DISTANCE OF 293.27 FEET ALONG SAID NORTH LINE; THENCE SOUTH 79 DEGREES 44 MINUTES 45 SECONDS WEST, A DISTANCE OF 90.14 FEET ALONG THE NORTH LINE OF ILLINOIS ROUTE 58 (GOLF ROAD) PER COURT CASE NUMBER 67L13163; THENCE SOUTH 76 DEGREES 33 MINUTES 58 SECONDS WEST, A DISTANCE OF 90.10 FEET ALONG SAID NORTH LINE; THENCE NORTH 62 DEGREES 09 MINUTES 09 SECONDS WEST, A DISTANCE OF 62.90 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF MOUNT PROSPECT ROAD PER COURT CASE NUMBER 67L13163; THENCE NORTH 00 DEGREES 58 MINUTES 08 SECONDS WEST, A DISTANCE OF 9.13 FEET ALONG SAID EAST LINE; THENCE SOUTH 62 DEGREES 09 MINUTES 08 SECONDS EAST, A DISTANCE OF 61.08 FEET; THENCE NORTH 76 DEGREES 36 MINUTES 31 SECONDS EAST, A DISTANCE OF 476.17 FEET TO SAID WEST LINE OF THE EAST 83.56 FEET OF THE WEST HALF OF THE NORTHWEST QUARTER OF FRACTIONAL SECTION 18; THENCE SOUTH 00 DEGREES 59 MINUTES 29 SECONDS EAST, A DISTANCE OF 15.15 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 4:  
PERPETUAL, NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCELS 1, 2 AND 3 AS CREATED BY THE RECIPROCAL STORM WATER MANAGEMENT, DETENTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED OCTOBER 16, 2015 AS DOCUMENT NUMBER 1528919151 FOR STORM WATER MANAGEMENT, DRAINAGE AND DETENTION, MAINTENANCE, OVER AND UPON THOSE AREAS DEPICTED AS SMA 5, SMA 6 AND SMA 7 ON EXHIBIT 'A' ATTACHED THERETO, LOCATED ON THE LAND DESCRIBED ON EXHIBIT 'B', ATTACHED THERETO.

PARCEL 5:  
PERPETUAL, NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCELS 1, 2 AND 3 AS CREATED BY THE ACCESS, SIGN AND MAINTENANCE EASEMENT RECORDED OCTOBER 16, 2015 AS DOCUMENT NUMBER 1528919149, FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS, SIGNAGE, AND MAINTENANCE OVER AND UPON THOSE AREAS DEPICTED ON EXHIBIT 'A', AND DESCRIBED ON EXHIBITS 'D' AND 'E' ATTACHED THERETO.

PARCEL 6:  
TEMPORARY CONSTRUCTION EASEMENT FOR THE BENEFIT OF PARCELS 1, 2, AND 3, AS CREATED BY THE TEMPORARY CONSTRUCTION EASEMENT RECORDED OCTOBER 16, 2015 AS DOCUMENT NUMBER 1528919151, OVER AND UPON THE LAND DESCRIBED ON EXHIBIT 'A', ATTACHED THERETO.



**PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAT**  
SCALE: 1" = 50'-0"

**REVISIONS**

NO.	DATE	DESCRIPTION
3	10.20.2020	MWRD AND PUD

**CONSULTANT**

NO.	DATE	DESCRIPTION
3	10.20.2020	MWRD AND PUD

**SEAL**



**CUSTOMER**



**PROJECT DESCRIPTION**

531-00541  
**RETAIL FUEL CENTER**

**PROJECT LOCATION**

10 E. GOLF ROAD  
DES PLAINES, IL 60016  
(COOK COUNTY)

**SHEET TITLE**

**PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAT**

**SHEET MANAGEMENT**

PROJECT NO.:	531-00541
DATE:	-
CAD FILE:	CL.02.dwg
PROJECT MANAGER:	T. KRATZ

**SHEET NUMBER**

**2 OF 3**

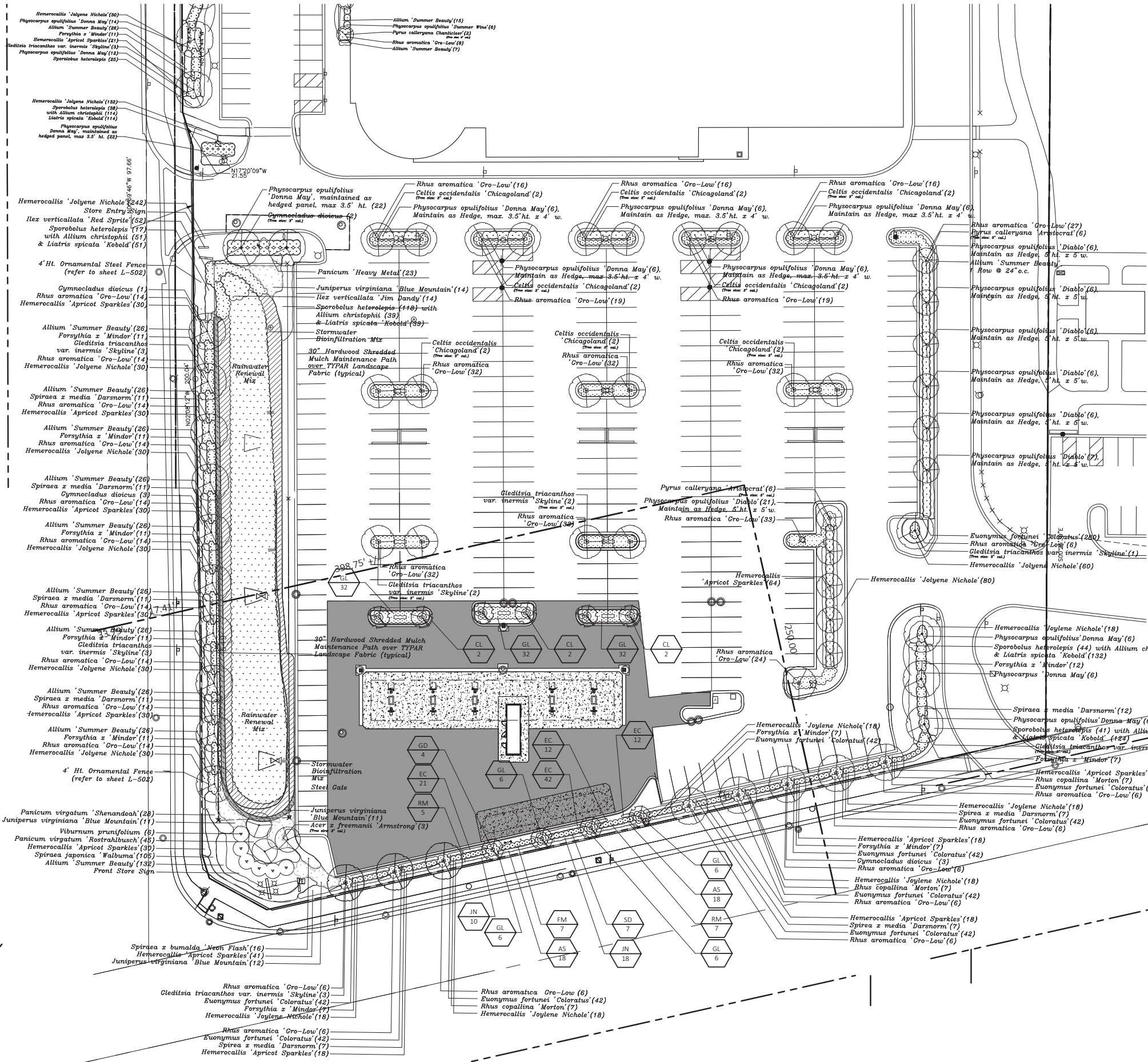
**EXISTING PLANT AND MATERIAL SCHEDULE**

TREES	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
-	-	ACER X FREEMANNI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5"
3	3	ACER X FREEMANNI 'ARMSTRONG'	ARMSTRONG MAPLE	2.5"
16	16	CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	2.5"
19	19	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE THORNLESS HONEYLOCUST	2.5"
9	9	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.5"
12	12	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2.5"
88	88	FORSYTHIA X 'MINDOR'	SHOWOFF FORSYTHIA	3 GAL./1.5'
14	14	ILEX VERTICALATA 'JIM DANDY'	JIM DANDY WINTERBERRY	3' HT.
52	52	ILEX VERTICALATA 'RED SPRITE'	RED SPRITE WINTERBERRY	3' HT.
48	48	JUNIPERUS VIRGINIANA 'BLUE MOUNTAIN'	BLUE MOUNTAIN JUNIPER	5 GAL./1.5'
70	70	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	DONNA MAY NINEBARK	3' HT.
-	-	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK	3' HT.
58	58	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3.5' HT.
518	518	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL./1.5'
21	21	RHUS COPALLINA 'MORTON'	MORTON SHINING SUMAC	3 GAL./1.5'
70	70	SPIREA X MEDIA 'DARSNORM'	SNOW STORM SPIREA	3 GAL./1.5'
16	16	SPIREA BIMALDA 'NEON FLASH'	NEON FLASH SPIREA	3 GAL./1.5'
105	105	SPIREA JAPONICA 'WALBUMA'	MAGIC CARPET SPIREA	5 GAL.
-	-	VIBURNUM PRUNIFOLIUM 'BLACKHAW'	BLACKHAW VIBURNUM	6' HT.
PERENNIALS & GRASSES	366	ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ONION	TOP SIZE
622	622	HEMEROCALLIS 'JOLYENE NICOLE'	JOLYENE SPARKLES DAYLILY	1 GAL.
354	354	HEMEROCALLIS 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILY	1 GAL.
346	346	LIATRIS SPICATA 'KOBOLD'	KOBOLD BLAZING STAR	1 GAL.
23	23	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	1 GAL.
45	45	PANICUM VIRGATUM 'ROSTRAHBUSCH'	RED SWITCH GRASS	1 GAL.
28	28	PANICUM VIRGATUM 'SHENANDOAH'	SHNANDOAH SWITCH GRASS	1 GAL.
220	220	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSIDE	1 GAL.
346	346	ALLIUM CRISTOPHII	STAR OF PERSIA	1 GAL.
GROUNDCOVERS	574	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	1 QT.

**PROPOSED PLANT AND MATERIAL SCHEDULE**

DECIDUOUS TREES	KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
CL	6	6	CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	2.5"	B&B
GD	4	4	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.5"	B&B
FM	7	7	FORSYTHIA X 'MINDOR'	SHOWOFF FORSYTHIA	3 GAL./1.5'	-
GL	120	120	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL./1.5'	-
SD	7	7	SPIREA X MEDIA 'DARSNORM'	SNOW STORM SPIREA	3 GAL./1.5'	-
RM	12	12	RHUS COPALLINA 'MORTON'	MORTON SHINING SUMAC	5 GAL./1.5'	-
PERENNIALS & GRASSES	JN	28	HEMEROCALLIS 'JOLYENE NICOLE'	JOLYENE NICOLE DAYLILY	1 GAL.	-
AS	36	36	HEMEROCALLIS 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILY	1 GAL.	-
GROUNDCOVERS	EC	87	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	1 QT.	-

NOTE:  
EXISTING PLANTS SHOWN ARE PER THE PREVIOUSLY APPROVED LANDSCAPE PLAN FOR THE MARIANO'S GROCERY DEVELOPMENT. PROPOSED LANDSCAPE IMPROVEMENTS ARE DESIGNED TO BE COMPLEMENTARY TO THE PREVIOUSLY APPROVED LANDSCAPE PLAN.



**PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAT**

SCALE: 1" = 30'-0"

FILE NAME: \\S:\shared\Clients\Boundry's Supermarkets, Inc.\Design\531-00541\CL\02\001\PLD\Plat.dwg, JUST SAVED BY: jaramon, Austin, SAVED DATE: 10/21/2020 8:53 AM, PLOTTED: 10/23/2020 2:58 PM

**REVISIONS**

NO.	DATE	DESCRIPTION
3	10.20.2020	MWRD AND PUD

**CONSULTANT**

**SEAL**

LICENSED PROFESSIONAL ENGINEER  
TIMOTHY B KRATZ  
062-08556

10/27/2020

**CUSTOMER**

**MARIANO'S**

**PROJECT DESCRIPTION**

**531-00541**  
**RETAIL FUEL CENTER**

**PROJECT LOCATION**

**10 E. GOLF ROAD**  
**DES PLAINES, IL 60016**  
(COOK COUNTY)

**SHEET TITLE**

**PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAT**

**SHEET MANAGEMENT**

PROJECT NO.: 531-00541  
DATE: -  
CAD FILE: C1.02.dwg  
PROJECT MANAGER: T. KRATZ

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**SHEET NUMBER**

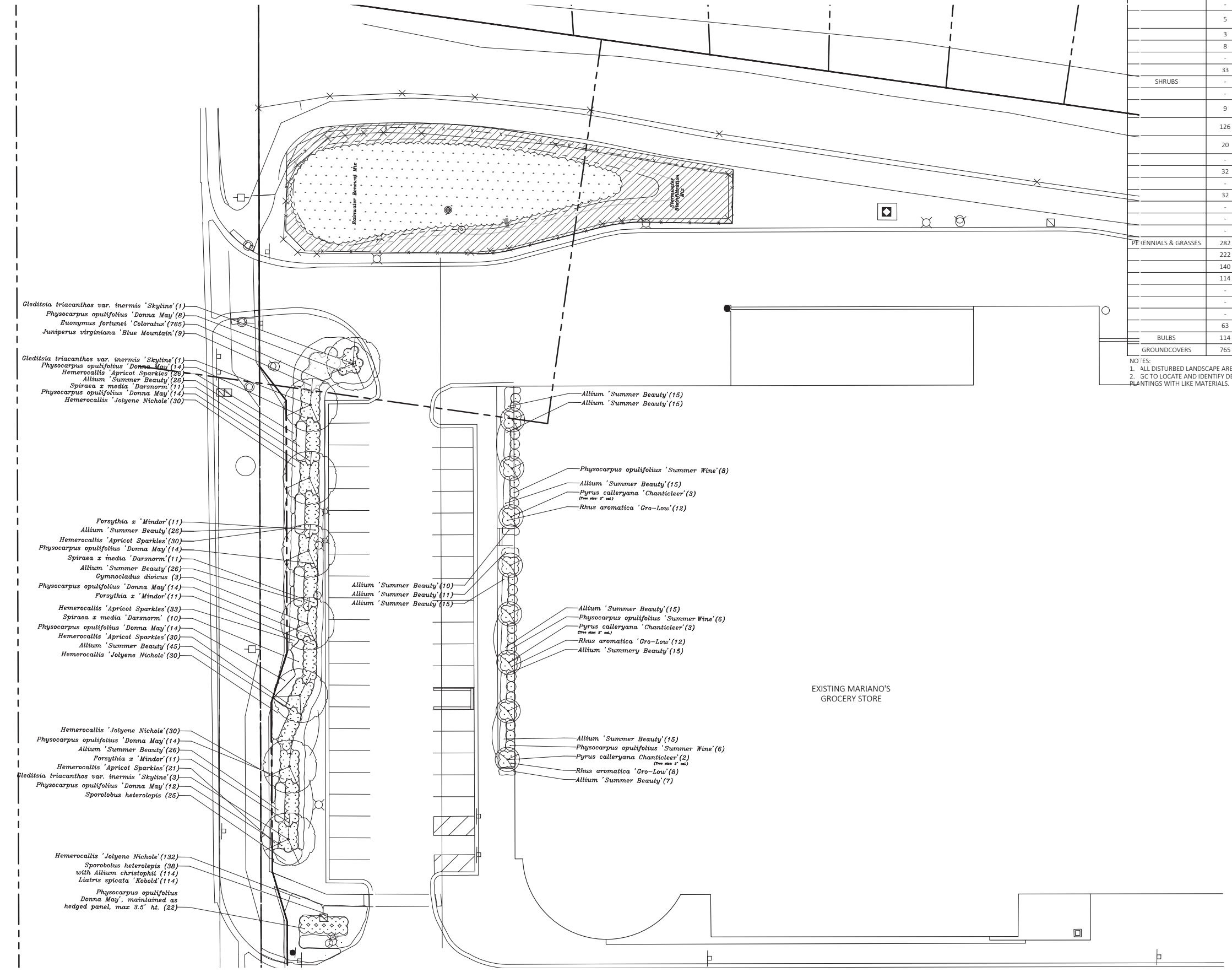
**PLAT**

EXISTING PLANT AND MATERIAL SCHEDULE

	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES	-	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5"
	-	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5"
	-	CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	2.5"
	5	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE THORNLESS HONEYLOCUST	2.5"
	3	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.5"
	8	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2.5"
	-	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2.5"
	33	FORSYTHIA X 'MINDOR'	SHOWOFF FORSYTHIA	3 GAL./1.5'
SHRUBS	-	ILEX VERTICALLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	3' HT.
	-	ILEX VERTICALLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	3' HT.
	9	JUNIPERUS VIRGINIANA 'BLUE MOUNTAIN'	BLUE MOUNTAIN JUNIPER	5 GAL./1.5'
	126	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	DONNA MAY NINEBARK	3' HT.
	20	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK	3' HT.
	-	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3.5' HT.
	32	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL./1.5'
	-	RHUS COPALLINA 'MORTON'	MORTON SHINING SUMAC	3 GAL./1.5'
	32	SPIREA X MEDIA 'DARSNORM'	SNOW STORM SPIREA	3 GAL./1.5'
	-	SPIREA BUMALDA 'NEON FLASH'	NEON FLASH SPIREA	3 GAL./1.5'
	-	SPIREA JAPONICA 'WALBUMA'	MAGIC CARPET SPIREA	5 GAL.
	-	VIBURNUM PRUNIFOLIUM 'BLACKHAW'	BLACKHAW VIBURNUM	6' HT.
PERENNIALS & GRASSES	282	ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ONION	TOP SIZE
	222	HEMEROCALLIS 'JOLYENE NICHOLE'	JOLYENE SPARKLES DAYLILY	1 GAL.
	140	HEMEROCALLIS 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILY	1 GAL.
	114	LIATRIS SPICATA 'KOBOLD'	KOBOLD BLAZING STAR	1 GAL.
	-	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	1 GAL.
	-	PANICUM VIRGATUM 'ROSTRAHLBUSCH'	RED SWITCH GRASS	1 GAL.
	-	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.
	63	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	1 GAL.
	114	ALLIUM CRISTOPHII	STAR OF PERSIA	
BULBS	114	ALLIUM CRISTOPHII	STAR OF PERSIA	
GROUNDCOVERS	765	EUNOYMYUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	

NOTES:  
1. ALL DISTURBED LANDSCAPE AREAS NOT TO BE RESTORED TO MATCH EXISTING.  
2. GC TO LOCATE AND IDENTIFY DEAD OR FAILING PLANTINGS. UNLESS NOTED OTHERWISE, GC TO REPLACE DEAD OR FAILING PLANTINGS WITH LIKE MATERIALS.

NOTE:  
EXISTING PLANTS SHOWN ARE PER THE PREVIOUSLY APPROVED LANDSCAPE PLAN FOR THE MARIANO'S GROCERY DEVELOPMENT. PROPOSED LANDSCAPE IMPROVEMENTS ARE DESIGNED TO BE COMPLEMENTARY TO THE PREVIOUSLY APPROVED LANDSCAPE PLAN.



EXISTING MARIANO'S GROCERY STORE

- Gleditsia triacanthos var. inermis 'Skyline' (1)
- Physocarpus opulifolius 'Donna May' (8)
- Eunonymus fortunei 'Coloratus' (765)
- Juniperus virginiana 'Blue Mountain' (9)
- Gleditsia triacanthos var. inermis 'Skyline' (1)
- Physocarpus opulifolius 'Donna May' (14)
- Hemerocallis 'Apricot Sparkles' (26)
- Allium 'Summer Beauty' (26)
- Spiraea x media 'Darsnorm' (11)
- Physocarpus opulifolius 'Donna May' (14)
- Hemerocallis 'Jolyene Nichole' (30)
- Porsythia x 'Mindor' (11)
- Allium 'Summer Beauty' (26)
- Hemerocallis 'Apricot Sparkles' (30)
- Physocarpus opulifolius 'Donna May' (14)
- Spiraea x media 'Darsnorm' (11)
- Allium 'Summer Beauty' (26)
- Gymnocladus dioicus (3)
- Physocarpus opulifolius 'Donna May' (14)
- Porsythia x 'Mindor' (11)
- Hemerocallis 'Apricot Sparkles' (33)
- Spiraea x media 'Darsnorm' (10)
- Physocarpus opulifolius 'Donna May' (14)
- Hemerocallis 'Apricot Sparkles' (30)
- Allium 'Summer Beauty' (45)
- Hemerocallis 'Jolyene Nichole' (30)
- Hemerocallis 'Jolyene Nichole' (30)
- Physocarpus opulifolius 'Donna May' (14)
- Allium 'Summer Beauty' (26)
- Porsythia x 'Mindor' (11)
- Hemerocallis 'Apricot Sparkles' (21)
- Gleditsia triacanthos var. inermis 'Skyline' (3)
- Physocarpus opulifolius 'Donna May' (12)
- Sporobolus heterolepis (25)
- Hemerocallis 'Jolyene Nichole' (132)
- Sporobolus heterolepis (38)
- with Allium christophii (114)
- Liatris spicata 'Kobold' (114)
- Physocarpus opulifolius 'Donna May', maintained as hedged panel, max 3.5' ht. (22)

- Allium 'Summer Beauty' (15)
- Allium 'Summer Beauty' (15)
- Physocarpus opulifolius 'Summer Wine' (8)
- Allium 'Summer Beauty' (15)
- Pyrus calleryana 'Chanticleer' (3)
- Rhus aromatica 'Gro-Low' (12)
- Allium 'Summer Beauty' (10)
- Allium 'Summer Beauty' (11)
- Allium 'Summer Beauty' (15)
- Physocarpus opulifolius 'Summer Wine' (6)
- Pyrus calleryana 'Chanticleer' (3)
- Rhus aromatica 'Gro-Low' (12)
- Allium 'Summer Beauty' (15)
- Allium 'Summer Beauty' (15)
- Allium 'Summer Beauty' (15)
- Physocarpus opulifolius 'Summer Wine' (6)
- Pyrus calleryana 'Chanticleer' (2)
- Rhus aromatica 'Gro-Low' (8)
- Allium 'Summer Beauty' (7)



**10 E. Golf Road – Public Notice Near East Entrance and Park**



**10 E. Golf Road – Existing Monument Sign Looking East**



**10 E. Golf Road – Proposed Fuel Station Location Looking West**



**10 E. Golf Road – Proposed Fuel Station Location Looking East**